

BOUNTIFUL CITY COUNCIL MEETING

TUESDAY, March 23, 2021

6:00 p.m. – Work Session

7:00 p.m. - Regular Session

NOTICE IS HEREBY GIVEN that the City Council of Bountiful, Utah will hold its regular Council meeting at **City Hall, 795 South Main Street, Bountiful, Utah**, at the time and on the date given above. The public is invited to all meetings. Deliberations will occur in the meetings. Persons who are disabled as defined by the Americans With Disabilities Act may request an accommodation by contacting the Bountiful City Manager at 801.298.6140. Notification at least 24 hours prior to the meeting would be appreciated.

If you are not on the agenda, the Council will not be able to discuss your item of business until another meeting. For most items it is desirable for the Council to be informed of background information prior to consideration at a Council meeting. If you wish to have an item placed on the agenda, contact the Bountiful City Manager at 801.298.6140.

Bountiful City Council meetings, including this meeting, are open to the public. In consideration of the COVID-19 pandemic, members of the public wishing to attend this meeting are encouraged not to attend in person and to view the meeting online. The link to view the meeting can be found on the Bountiful City website homepage (www.bountifulutah.gov). If there is a public hearing listed on the agenda that you would like to submit a comment for, please email that comment prior to the meeting to info@bountifulutah.gov and indicate in the email if you would like your comment read at the meeting.

AGENDA

6:00 p.m. – Work Session

1. Bountiful City Youth Council Q&A
2. Public Art implementation and organization – Mr. Gary Hill p. 3

7:00 p.m. – Regular Session

1. Welcome, Pledge of Allegiance and Thought/Prayer
2. Public Comment – If you wish to make a comment to the Council, please use the podium and clearly state your name and address, keeping your comments to a maximum of two minutes. Public comment is limited to no more than ten minutes per meeting. Please do not repeat positions already stated. Public comment is a time for the Council to receive new information and perspectives.
3. Consider approval of minutes of previous meetings held on March 9, 2021 p. 7
4. Council Reports
5. Consider approval of expenditures greater than \$1,000 paid March 1, 8, 10 & 15, 2021 p. 15
6. Consider retroactive approval of the purchase of PVC pipe from Western Water Works in the amount of \$27,305 – Mr. Kraig Christensen p. 19
7. Consider approval of the purchase of a 2020 John Deere 9009A large area mower and a Z960M 60” zero turn mower from Stotz in the total amount of \$74,979 – Mr. Brock Hill p. 21
8. Consider adoption of Resolution 2021-09 which supports the revision and update of the 2016 Davis County Pre-Disaster Mitigation Plan– Lt. Dave Edwards p. 23
9. Consider approval of additional engineering services from ECI in the amount of \$169,984 – Mr. Allen Johnson p. 25
10. Consider approval of the purchase of 15,600 feet of 1100 URD Cable from Codale Electric Supply in the amount of \$123,552 – Mr. Allen Johnson p. 27
11. Consider approval of the proposal from Black Forest Paving for the 2021 asphalt overlay contract – Mr. Lloyd Cheney p. 29
12. Consider approval of the proposal from Hydro Vac Excavation for the 2021 concrete replacement projects contract – Mr. Lloyd Cheney p. 33
13. Consider approval of Ordinance 2021-03 proposing land use code text amendments– Mr. Francisco Astorga p. 37
 - a. Public hearing
 - b. Action
14. Consider approval of a site plan for a two-family residential building located at 1350 South 200 West – Mr. Francisco Astorga p. 49
15. Adjourn


City Recorder

City Council Staff Report

Subject: Public Art Program Update
Author: Gary Hill and Rebecca Hatch
Department: Administration
Date: March 23, 2021



Background

The City Council has identified Public Art as a priority for FY 2022. 1% of all non-enterprise capital projects is set aside for the purchase and installation of public art. The total set-aside is currently about \$90,000.

Rebecca Hatch is a new part-time employee hired as a Community Affairs Specialist. Along with other roles, she will oversee the implementation of the public art program. At the work session on March 23rd, we will review the actions currently underway and our next proposed steps.

Analysis

Initiatives Currently Underway

Public Art Advisory Board - We are currently accepting applications for the Public Art Advisory Committee which will assist staff in carrying out the City's public art plan. The art committee will be advisory to staff (like the Trails Advisory Committee) and will help recommend art to the city council. Roles may also include promotion of public art, solicitation of artists, and recommendations on new initiatives.

Art for City Hall – Last week staff began a program to solicit art donations (paintings, photographs, etc) for display at City Hall. Our hope is to find local artists willing to donate Bountiful-themed 2D art selections that can be used, perhaps on a rotational basis, at City Hall.



Next Steps

Rotating Gallery – Staff will soon begin working with the BDAC to evaluate the possibility of a rotating gallery in the alcove across the hall from the new meeting rooms on the lower floor of City Hall. The space is ideal for highlighting local artists, with a possible emphasis on high school art.



Downtown Discovery Art – Once the Public Art Advisory Board is in place, Rebecca and the committee will begin to flesh out a plan for “discovery” art along Main Street. These are the small, hidden sculptures similar to the mice in Greenville South Carolina (see pictures below).



Bountiful Town Square – As soon as the Downtown Discovery program is underway, staff and the art board will begin plans for an initial sculpture and/or mural at the Town Square. This would likely be a commissioned piece of art and would need to have conceptual approval by the City Council before an RFP or commission is started.

Main Street Mural – Davis County’s Tourism and Economic Development Department has allocated funds to begin a countywide art mural program. Their staff has reached out to Bountiful City and to the BDAC to potentially coordinate a few murals in Bountiful City.

Future Considerations

The Public Art Program will hopefully expand to become a major part of Bountiful’s growing attractions and be a boon for the Main Street area in particular. Some future ideas to consider and be evaluated by the Art Board could include:

- Public art along Main Street
- Designated locations for rotating donated sculpture art
- Displays in conjunction with the BDAC
- Scarecrows decorated and displayed at the Town Square in the fall
- Etc.

Department Review

This report was written by the City Manager

Significant Impacts

None

Recommendation

This item is for discussion only, but Staff would like to know if the future projects are consistent with Council’s priorities and vision.

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Minutes of the
BOUNTIFUL CITY COUNCIL

March 9, 2021 – 6:00 p.m.

Present:	Mayor	Randy Lewis
	Councilmembers	Millie S. Bahr, Kate Bradshaw, Kendalyn Harris, Richard Higginson, Chris Simonsen
	City Manager	Gary Hill
	Asst City Manager	Galen Rasmussen
	City Engineer	Lloyd Cheney
	City Planner	Francisco Astorga
	City Attorney	Clinton Drake
	Streets Director	Charles Benson
	Police Chief	Ed Biehler
	Recording Secretary	Maranda Hilton

Official notice of the City Council Meeting was given by posting an agenda at City Hall and on the Bountiful City Website and the Utah Public Notice Website and by providing copies to the following newspapers of general circulation: Davis County Journal and Standard Examiner.

Work Session – 6:00 p.m.
City Council Chambers

Mayor Lewis called the meeting to order at 6:00 p.m. and welcomed those in attendance.

CONTINUATION OF BOUNTIFUL POLICE DEPARTMENT CULTURE – CHIEF EDWARD BIEHLER

Chief Biehler addressed the Council and said that he hoped to have a conversation and receive input from the Council about their concerns and/or wishes regarding the Police Department and its culture.

Chief Biehler talked first about enforcement culture in his department. He explained that they do not operate on a quota system like many people believe. Officers are simply required to have at least one traffic stop for every two hours of uncommitted time (time not spent on calls). It has been shown that departments who use a quota system place more pressure on the officers to write tickets. In Bountiful they expect that performance is balanced with compassion, giving officers the ability to use their discretion to simply give a warning at times. Our court system also allows for the courts to dismiss tickets under certain circumstances.

Chief Biehler also talked about the newly opened Davis County Receiving Center, and how wonderful it is to have more options for dealing with people with substance abuse and mental health problems. He said the ultimate goal is to help people and help get the word out that these resources are available. He said they have been overwhelmed at how effective the receiving center has been, with 70% of people completing the treatment.

Another thing the department does is a lethality assessment when called to help in domestic disputes. He explained that they use an assessment questionnaire developed by professionals to assist in evaluating how likely a person is to be harmed. If it is determined they are at risk, officers can refer a person to the women’s shelter in Kaysville and point them additional resources to help them.

1 Chief Biehler said that in 2019, Bountiful officers responded to 25,779 calls, with 875 arrests.
2 Force was used in 12 of those cases. A “use of force” report is filled-out for every instance of force,
3 which then must go through a rigorous chain of approval all the way up to the Chief. He said this
4 system is a very good one because it is a proactive approach that does not rely upon waiting for a
5 citizen’s complaint which may never come. Of those 12 cases, one was for use of a taser, and eleven
6 were for physical force. Overall, force was used 0.04% of the time they came in contact with
7 someone and in 1.3% of arrests.

8 The Police also have a lot of non-enforcement contact with our residents. School Resource
9 Officers (SROs) are in all the schools in Bountiful where they help teach civic classes and interact
10 with the students in positive ways.

11 Councilman Higginson said that the school resource program is one that he feels has worked
12 tremendously well helping establish good relationships between residents and officers. He said the
13 students know they can rely on police officers in any circumstance because of those friendships that
14 are created. Councilwoman Bahr agreed and said she is glad it is continuing.

15 The officers also respond to several non-enforcement calls that many other departments no
16 longer do; lock-out calls (651 calls in 2019) and alarm responses (2,384 alarms in 2019).

17 Police officers also participate in the parade and the Coats for Kids Car Show, do
18 neighborhood BBQs, host a Citizen’s Academy and Metro S.W.A.T. night.

19 Councilwoman Bradshaw asked Chief Biehler how they could help his department with these
20 types of events, since she knows the officers have a lot of things contending for their time. He said
21 just being aware of how much they have going on and realize they may have to say no to some events
22 would be helpful.

23 Chief Biehler explained that they try to have an informative and interesting social media
24 presence while maintaining professionalism. He said officers are encouraged to help residents
25 wherever they notice a need; crossing the street, fixing mailboxes, shoveling sidewalks, changing
26 tires, and helping clean up after windstorms. He said they are proud of where they work and always
27 want people to know they are the Bountiful. One way the Department does this is by keeping their
28 vehicles clean and professional looking.

29 Councilman Higginson asked how the Council could help them with their training facility.
30 Chief Bieler said it is a balancing act because it’s easy to spend a lot of money there, but they try to
31 be conservative with taxpayer dollars. He is working with the City Manager to find ways to fund
32 improvements using grants and other resources. He asked that the Council just be supportive of any
33 proposals that they bring at a later date.

34 Lastly, Chief Biehler spoke about how easy it is for officers to get caught up in the noise
35 around the country right now, and the worries they face as a profession. He is thankful for the support
36 that everyone here shows to his department, and he tells his officers that Bountiful is not like the rest
37 of the country. They receive an outpouring of support from everyone, and they truly appreciate it.

38
39 **FARMERS’ MARKET SHORT- AND LONG-TERM PLAN – MR. FRANCISCO ASTORGA**

40 Mr. Francisco Astorga explained that the Bountiful Farmers’ Market is now in the hands of
41 the Planning and Parks Departments. Due to the discontinuation of the non-profit status of the Main
42 Street Merchants Association, who previously managed the market, the City has decided to take it on
43 in order to keep it going. They are planning to hold the market this year from June 10 – October 7.
44 They hope to be able to work with the Health Department and have food trucks there this year.
45 Assignments have been given out to staff for managing the operations, permits, licensing, community
46 affairs, art and cultural programs, social media, tax reporting, revenue accounting, set-up and take-

1 down, and volunteer management. He said they are feeling prepared this year to have a great market
2 especially with the addition of Ms. Rebecca Hatch, the City's new community affairs specialist.

3 Mr. Gary Hill explained that although the City is excited to take this over for the short-term,
4 having the City run the market is not a great idea in the long-term. It is hopeful that next year a board
5 of directors can be formed that will eventually take over the management of the market and help
6 expand it in the future.

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8 The meeting was closed at 6:57 p.m.

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11 **Regular Meeting – 7:00 p.m.**
12 **City Council Chambers**
13

14 Mayor Lewis called the meeting to order at 7:00 p.m. and welcomed those in attendance. Mr.
15 Lloyd Carr led the Pledge of Allegiance and Mr. Carl Pond, High Councilman in the Bountiful
16 Orchard Stake, offered a prayer.

17
18 **PUBLIC COMMENT**

19 The public comment section was opened at 7:05 p.m.

20
21 Ms. Ronda Perkes (representing Congressman Chris Stewart) – reported that the office of
22 Congressman Stewart is now located in Bountiful. Congressman Stewart has been concerned about
23 the latest pandemic relief package and did not vote for it. He was recently placed on the F35 caucus
24 with the military which is a new experience for him. He also continues to serve on the appropriations
25 and intel committees.

26
27 The public comment section was closed at 7:08 p.m.

28
29 **APPROVE MINUTES OF PREVIOUS MEETINGS HELD ON FEBRUARY 23, 2021**

30 Councilwoman Bradshaw made a motion to approve the minutes from February 23, 2021 and
31 Councilman Higginson seconded the motion. The motion passed with Councilmembers Bahr,
32 Bradshaw, Harris, Higginson and Simonsen voting “aye”.

33
34 **COUNCIL REPORTS**

35 Councilwoman Bradshaw reported that the City is safe from additional regulations regarding
36 billboards and building codes for a little while.

37 Councilman Simonsen reported that the Veterans Park is entering Phase 3, which will add
38 statues to the park. He also thanked Congressman Stewart, who is on their board, for his support.

39 Councilwoman Harris welcomed members of the Historic Preservation Commission to the
40 meeting tonight and reminded everyone that the Bountiful History Museum is open by appointment
41 only right now. The museum recently applied for a RAP Tax grant.

42 Councilwoman Bahr did not have a report.

43 Councilman Higginson did not have a report.

1 **BCYC REPORT**

2 Ms. Emma Moulton, the BCYC City Manager, reported on the upcoming Bunny Hop Easter
3 activity. The activity is for children of all ages and will be on Saturday, March 20. More information
4 can be found on the BCYC website and there will be a drive-by option for families wishing to
5 socially distance.
6

7 **CONSIDER APPROVAL OF:**

8 **A. EXPENDITURES GREATER THAN \$1,000 PAID FEBRUARY 15 & 22, 2021**

9 **B. JANUARY 2021 FINANCIAL REPORT**

10 Councilman Higginson made a motion to approve the expenditures paid February 15 & 22,
11 2021 and the January 2021 Financial Report and Councilman Simonsen seconded the motion. The
12 motion passed with Councilmembers Bahr, Bradshaw, Harris, Higginson and Simonsen voting “aye”.
13

14 **RECOGNITION OF MR. LLOYD CARR – MAYOR RANDY LEWIS**

15 Councilwoman Harris recognized Mr. Lloyd Carr, who ran Carr Printing, a Bountiful
16 establishment since 1890. Mr. Carr began working there as a boy and worked his way through many
17 of the positions, including printer’s devil, delivery driver, janitor, letterpress operator, salesman,
18 purchasing agent. He was elected vice-president in 1984 and president in 1997. Carr Printing became
19 known for the Davis County Directory phone book which they printed from 1960 to 2020.

20 Mr. Carr wrote software programs long before others were available commercially that helped
21 with cost accounting, billing, job estimating and employee timecards. His management information
22 system was used by BYU printing services and Sun Letho in Salt Lake. He also wrote programs that
23 helped proof the printing of school yearbooks, track seminary students for the Church of Jesus Christ
24 of Latter-Day Saints and rate formulas for insurance companies

25 Mr. Carr also served in the American Guild of Organists and helped to oversee the restoration
26 of the pipe organ in the Bountiful Tabernacle in 1982. He served as a member and as president of the
27 Bountiful Area Chamber of Commerce and edited the Chamber’s newsletter. He also created the
28 Partners in Business monthly newsletter for Davis, Weber, Utah, and Salt Lake Counties. He served
29 on committees and boards that helped develop Weber State University property and developed
30 scholarships and fundraising for Davis Applied Technology College. He served on the first Bountiful
31 Historical Commission and is currently a member of the foundation which operates the Bountiful
32 Museum.

33 Carr Printing was also very involved in elections and ballot printing. Mr. Carr wrote voter
34 registration software and helped over half the counties in Utah automate and print voter registration
35 long before others were using computers to do that. Carr Printing also supplied ballots and precinct
36 supplies to most of the counties in the state, a service begun by Mr. Carr’s grandfather in 1902.

37 Mr. Carr thanked the Council for the recognition and talked about how his father taught him
38 to serve his community in any way he could. When his grandfather bought the publishing business,
39 he tried to find more work and realized that he could print voting supplies and started making kits for
40 the precincts with everything they needed for their elections. He said no one else in the country was
41 doing that at that time. He talked about how interesting it has been to be involved in elections and
42 how much it has changed over the years.
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1 **RECOGNITION OF MR. M.J. SQUIRE – MR. LLOYD CHENEY**

2 Mr. Cheney honored Mr. M.J. Squire, commenting on how many experiences they have
3 shared working together for over 20 years and how well M.J. knows Bountiful. He said Mr. Squire
4 has been a tremendous resource to the City throughout his 36-year career.

5 Mr. Squire said his father moved the family to Bountiful in 1955 and he has seen many
6 changes over the years, including the first three-story office building going up. He said working for
7 the City has been a choice experience for him and he has enjoyed the caliber of people he has worked
8 with over the years.

9 Mrs. Joan Squire said how grateful she is for the people her husband worked with, they all
10 cared about each other and also had a lot of fun and she will miss those associations.

11 Mayor Lewis presented Joan with flowers and M.J. with a check. He said how nice it is to be
12 able to see and honor the wonderful people in our community.

13
14 **CONSIDER APPROVAL OF THE AMENDED SITE PLAN FOR CREEKSIDE SENIOR**
15 **LIVING, 430 WEST 400 NORTH – MR. FRANCISCO ASTORGA**

16 Mr. Astorga presented the amended site plan for Creekside Senior Living, which will be an
17 addition to the current building and will add 30 more units to the center. The site plan meets all
18 requirements and is recommended by the Planning Commission.

19 Councilman Higginson made a motion to approve the Creekside site plan and Councilwoman
20 Bradshaw seconded the motion. The motion passed with Councilmembers Bahr, Bradshaw, Harris,
21 Higginson and Simonsen voting “aye”.

22
23 **CONSIDER APPROVAL OF A PROPOSAL FROM PRECISION CONCRETE CUTTING**
24 **AND EXTEND THE AWARD OF THE CONTRACT FOR TRIP HAZARD REMOVAL –**
25 **MR. LLOYD CHENEY**

26 Mr. Cheney explained that the trip hazard removal program has been around for about 20
27 years and was rebid last year and awarded to the company that has been doing it for the last 20 years.
28 The contract included provisions for three extensions to allow for some continuity. The company is
29 requesting a 3% increase from last year which Mr. Cheney said seems reasonable. He recommended
30 the Council approve the contract.

31 Councilwoman Bahr made a motion to approve the contract with Precision Concrete and
32 Councilman Higginson seconded the motion. The motion passed with Councilmembers Bahr,
33 Bradshaw, Harris, Higginson and Simonsen voting “aye”.

34
35 **CONSIDER APPROVAL OF AN EASEMENT RELEASE AT 4764 S SPRING MEADOW**
36 **CIRCLE – MR. LLOYD CHENEY**

37 Mr. Cheney explained that this utility easement release is for two properties in a cul-de-sac
38 which recently had an adjustment in their lot line. Due to this change it was recommended that the
39 easement be released, and a new easement be recorded along the new property line. Necessary
40 approvals from the utility companies have already been obtained.

41 Councilman Higginson made a motion to approve the easement release and Councilwoman
42 Harris seconded the motion. The motion passed with Councilmembers Bahr, Bradshaw, Harris,
43 Higginson and Simonsen voting “aye”.

1 **CONSIDER APPROVAL OF THE EXTENSION OF FINAL APPROVAL OF THE**
2 **EVANS/HILLSIDE FARMS SUBDIVISION – MR. LLOYD**

3 Mr. Cheney explained that due to the economic conditions brought on by the pandemic, Mr.
4 Nielson is requesting a one-year extension to his approval for the Evans Subdivision. Mr. Cheney
5 recommended this extension with the same conditions as the original approval.

6 Councilwoman Bradshaw made a motion to approve the extension and Councilman
7 Higginson seconded the motion. The motion passed with Councilmembers Bahr, Bradshaw, Harris,
8 Higginson and Simonsen voting “aye”.

9
10 **CONSIDER APPROVAL OF RESOLUTION 2021-08 WHICH ALLOWS THE CITY TO**
11 **REIMBURSE ITSELF FOR FUNDS SPENT PRIOR TO THE ISSUANCE OF A BOND – MR.**
12 **GALEN RASMUSSEN**

13 Mr. Galen Rasmussen explained that in order to facilitate the development of the Washington
14 Elementary property prior to receiving bond proceeds, the Council must declare their intent to make
15 those expenditures and also to be reimbursed for those expenditures from the bond proceeds. They
16 must also specify the allocation period when these expenditures will take place and all expenditures
17 must be declared for the purpose stated. Resolution 2021-08 will take care of these requirements for
18 the IRS.

19 Councilman Higginson made a motion to approve Resolution 2021-08 allowing the City to
20 reimburse itself and Councilman Simonsen seconded the motion. The motion passed with
21 Councilmembers Bahr, Bradshaw, Harris, Higginson and Simonsen voting “aye”.

22
23 **CONSIDER APPROVAL OF A BEER LICENSE FOR STIKKI ENTERPRISES, L.L.C., DBA**
24 **GEORGE’S GRILL AT BOUNTIFUL RIDGE GOLF COURSE – MR. FRANCISCO**
25 **ASTORGA**

26 Mr. Astorga explained that this is a beer license for George’s Grill, the new concessionaire at
27 the Bountiful Ridge Golf Course.

28 Councilman Higginson made a motion to approve the beer license for George’s Grill and
29 Councilwoman Bradshaw seconded the motion. The motion passed with Councilmembers Bahr,
30 Bradshaw, Harris, Higginson and Simonsen voting “aye”.

31
32 Mr. Gary Hill took a moment to tell Council that staff is in the process of putting together an
33 RFI to gather uniform information from internet providers and wanted to clarify that the Council was
34 only interested in fiber-to-home capabilities and not other technologies. Council affirmed this.

35
36 **ADJOURN TO A CLOSED SESSION TO DISCUSS THE ACQUISITION OR SALE OF**
37 **REAL PROPERTY, PENDING LITIGATION AND/OR TO DISCUSS THE CHARACTER**
38 **AND/OR COMPETENCY OF AN INDIVIDUAL(S) (UTAH CODE §52-4-205)**

39 Councilman Higginson made a motion to adjourn to a closed session and Councilman
40 Simonsen seconded the motion. The motion passed with the following roll call vote:

41 Simonsen Aye
42 Bradshaw Aye
43 Higginson Aye
44 Bahr Aye
45 Harris Aye
46

1 The regular session of City Council was adjourned to a closed session at 7:47 p.m.

2
3 Councilman Simonsen made a motion to leave the closed session and reenter the regular
4 session and Councilman Higginson seconded the motion. The motion passed with Councilmembers
5 Bahr, Bradshaw, Harris, Higginson and Simonsen voting “aye”.

6
7 Councilwoman Bradshaw made a motion to adjourn the regular session and Councilwoman
8 Bahr seconded the motion. The motion passed with Councilmembers Bahr, Bradshaw, Harris,
9 Higginson and Simonsen voting “aye”.

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11 The regular session was adjourned at 8:32 p.m.

12

Mayor Randy Lewis

City Recorder

PENDING

City Council Staff Report



Subject: Expenditures for Invoices > \$1,000 paid
March 1st through the 15th, 2021
Author: Tyson Beck, Finance Director
Department: Finance
Date: March 23, 2021

Background

This report is prepared following the weekly accounts payable run. It includes payments for invoices hitting expense accounts equaling or exceeding \$1,000.

Payments for invoices affecting only revenue or balance sheet accounts are not included. Such payments include: those to acquire additions to inventories, salaries and wages, the remittance of payroll withholdings and taxes, employee benefits, utility deposits, construction retention, customer credit balance refunds, and performance bond refunds. Credit memos or return amounts are also not included.

Analysis

Unless otherwise noted and approved in advance, all expenditures are included in the current budget. Answers to questions or further research can be provided upon request.

Department Review

This report was prepared and reviewed by the Finance Department.

Significant Impacts

None

Recommendation

Council should review the attached expenditures.

Attachments

Weekly report of expenses/expenditures for invoices equaling or exceeding \$1,000 paid, March 1, 8, 10 & 15, 2021.

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00
Paid March 1, 2021**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
1012	AAA SPRING SPECIALIS	Streets	104410 425000	Equip Supplies & Maint	2,508.30	220273	01S1557	Misc.Parts and Tools - Customer # 07988
1035	ADS, LLC	Light & Power	535300 448629	Pineview Hydro Major Repairs	8,460.00	220274	53709.021821	Low Meter Consoles - Customer ID C-10742
1164	ANIXTER, INC.	Light & Power	535300 448636	Special Equipment	4,370.15	220276	4799305-00	4/0 Jumpers - Customer # 6000052
1212	ASPLUNDH TREE EXPERT	Light & Power	535300 448632	Distribution	4,484.80	220278	56S36521	Tree Trimming - Customer # 025450
1212	ASPLUNDH TREE EXPERT	Light & Power	535300 448632	Distribution	5,693.60	220278	56S36621	Tree Trimming - Customer # 025450
1415	BOUNTIFUL DAVIS ARTS	Legislative	104110 492010	Contr-Btfl/Davis Art Ctr	30,000.00	220287	02282021	Release of funds for 2nd half Fiscal Year2020-2021
1473	BROKEN ARROW INC	Streets	104410 441100	Special Highway Supplies	20,433.87	220289	36128	Road Salt - Customer # BOUNTIFUL
1473	BROKEN ARROW INC	Streets	104410 441100	Special Highway Supplies	30,539.03	220289	36108	Road Salt - Customer # BOUNTIFUL
1615	CENTURYLINK	Enhanced 911	104219 428000	Telephone Expense	3,522.28	220294	02222021	Acct # 801-578-0401 452B
12584	CLEAN HARBORS	Light & Power	535300 448638	PCB Disposal	2,625.46	220298	1003612373	PCB Oil Disposal - Customer # BO28731
2264	GATEWAY MAPPING, INC	Light & Power	535300 429300	Computer	3,463.20	220307	0140020	Basic Training Prep and Set up
5026	GLOBAL SURVEILLANCE	Legislative	454110 472100	Buildings	1,680.00	220310	GS-20294	GS-12987-SO s2 SISP Renewal
5026	GLOBAL SURVEILLANCE	Legislative	454110 472100	Buildings	3,157.90	220310	GS-20293	S2 Portal License for Remodeled City Hall
11527	JONES AND ASSOCIATES	Legislative	104110 461000	Miscellaneous Expense	1,616.75	220321	20019	Professional Engineering Services rendered in Jan.
2804	KEN GARFF WEST VALLE	Police	454210 474500	Machinery & Equipment	191,212.00	220323	1112	2021 Dodge Police Car Fleet
3105	MHL SYSTEMS	Streets	104410 425000	Equip Supplies & Maint	2,208.00	220330	21-15249	Snow Blow Truck Blades
3105	MHL SYSTEMS	Streets	104410 425000	Equip Supplies & Maint	6,624.00	220330	21-15250	Snow Plow Truck Parts
3375	OLYMPUS INSURANCE AG	Water	515100 451100	Insurance & Surety Bonds	1,214.54	220342	15660	Insurance/Liability & Surety-City Hall-Town Square
3375	OLYMPUS INSURANCE AG	Streets	104410 451100	Insurance & Surety Bonds	1,428.75	220342	15660	Insurance/Liability & Surety-City Hall-Town Square
3375	OLYMPUS INSURANCE AG	Police	104210 451100	Insurance & Surety Bonds	2,595.09	220342	15660	Insurance/Liability & Surety-City Hall-Town Square
3375	OLYMPUS INSURANCE AG	Light & Power	535300 451100	Insurance & Surety Bonds	5,977.98	220342	15660	Insurance/Liability & Surety-City Hall-Town Square
4844	OWEN EQUIPMENT	Storm Water	494900 425000	Equip Supplies & Maint	2,221.38	220344	00101740	Part for Broom Badger - Acct # S1234
12326	PARSONS BEHLE & LAT	Liability Insurance	636300 431000	Profess & Tech Services	1,049.10	220345	1335044	Legal Fee RE: Brian L & Jayne H Farr
12326	PARSONS BEHLE & LAT	Liability Insurance	636300 431000	Profess & Tech Services	1,259.50	220345	1328412	Legal Fee RE: E. Christiansen & R.Tingey
12583	PYE BARKER FIRE	Light & Power	535300 424002	Office & Warehouse	1,390.47	220357	PSI421719	Test Fire Extinguishers - Acct # C481649
11638	SIDDONS-MARTIN EMERG	Streets	104410 425000	Equip Supplies & Maint	1,520.67	220362	38401635	S.D.Fire Truck Sublet Repair
4217	TITLEIST	Golf	555500 448240	Items Purchased - Resale	1,001.58	220373	910312549	Golf Hats - Acct # US00021802
4229	TOM RANDALL DIST. CO	Streets	104410 425000	Equip Supplies & Maint	18,312.40	220374	0320557	Fuel - Acct # 000275
4334	USDA-FOREST SERVICE	Water	515100 426000	Bldg & Grnd Suppl & Maint	1,892.03	220381	BF041901AB258	Special use fee - Job # 89901321
4341	UTAH ASSOCIATED MUNI	Light & Power	53 213130	UAMPS Annualized Accrual	921,478.86	220382	02252021	January 2021 payment for Power Resources
					TOTAL:			<u>1,283,941.69</u>

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00
Paid March 8, 2021**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
1211	ASPHALT MATERIALS IN	Streets	104410 441200	Road Matl Patch/ Class C	1,462.00	220396	200110	Cold Mix
10816	BAILEY'S MOVING	Legislative	454110 472100	Buildings	10,830.17	220399	64988	Moving into New Remodled City Hall - Cust # BOU010
1393	BTS LANDSCAPING PROD	Landfill	575700 462400	Contract Equipment	23,965.75	220404	113053	Grinding - Tub Grinding for December 2020
4890	CES & R CORPORATE OF	Light & Power	535300 429300	Computer	12,495.00	220408	98716	CANON TX-4000, SCANNER, ROLL UNIT
2003	DUNCAN ELECTRIC SUPP	Light & Power	535300 448633	Street Light	1,688.04	220415	154300-1	STREET LIGHT FUSE
2553	HVAC CONSTRUCTION, I	Water	515100 426000	Bldg & Grnd Suppl & Maint	11,550.00	220425	126268	Heaters Replacement
6959	JANI-KING OF SALT LA	Light & Power	535300 424002	Office & Warehouse	1,775.00	220426	SLC03210058	Custodial Cleaning for March 2021 - Cust # 065075
10586	ROCKY MOUNTAIN RECYC	Recycling	484800 431550	Recycling Collectn Service	9,903.88	220452	33767	RECYCLING FEES
4775	ROCKY MOUNTAIN VALVE	Water	515100 448400	Dist Systm Repair & Maint	3,887.21	220453	12740-15294	PRV Bluebell
3938	SKM INC.	Water	515100 431000	Profess & Tech Services	1,913.60	220459	20662	System Int Scada - Bountiful Holbrook Booster

3938 SKM INC.	Water	515100	431000	Profess & Tech Services	2,217.95	220459	20672	System Int Scada - Bountiful Templeview Reservoir
3938 SKM INC.	Water	515100	431000	Profess & Tech Services	2,539.69	220459	20360	System Int Scada - Bountiful Barton Creek
3938 SKM INC.	Water	515100	431000	Profess & Tech Services	2,876.31	220459	20663	System Int Scada - Bountiful Rowland Tank
3938 SKM INC.	Water	515100	431000	Profess & Tech Services	4,683.81	220459	20673	System Int Scada - Bountiful Eggett Booster
3938 SKM INC.	Water	515100	431000	Profess & Tech Services	8,027.50	220459	20666	System Int Scada - Bountiful Master PLC/Radio
4171 THATCHER COMPANY	Water	515100	448000	Operating Supplies	1,109.50	220468	1514782	Fluoride - Assoc # 1535684
4171 THATCHER COMPANY	Water	515100	448000	Operating Supplies	1,606.75	220468	1514784	Fluoride - Assoc # 1535682
TOTAL:					<u>102,532.16</u>			

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00
Paid March 10 & 15, 2021**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>	
5368	ACE DISPOSAL INCORPO	Recycling	484800	431550	Recycling Collectn Service	36,668.31	220502	03012021	Recycling for February 2021
1142	AMERICOM TECHNOLOGY	Light & Power	535300	448632	Distribution	7,390.00	220508	1126-19	3" Bore by Quick Quack - Acct # BOUI1126
1169	APCO INTERNATIONAL,	Police	104210	421000	Books Subscr & Mmbrshp	1,032.00	220510	03122021	2021 APCO Membership Dues - Org # 305659
1212	ASPLUNDH TREE EXPERT	Light & Power	535300	448632	Distribution	1,639.36	220511	57S30221	Tree Trimming - Customer # 025450
1212	ASPLUNDH TREE EXPERT	Light & Power	535300	448632	Distribution	4,484.80	220511	57G49321	Tree Trimming - Customer # 025450
1212	ASPLUNDH TREE EXPERT	Light & Power	535300	448632	Distribution	4,972.64	220511	57S30121	Tree Trimming - Customer # 025450
1212	ASPLUNDH TREE EXPERT	Light & Power	535300	448632	Distribution	5,316.32	220511	57G49421	Tree Trimming - Customer # 025450
4903	DAVIS SCHOOL DISTRICT	Legislative	454110	471100	Land	3,447,953.60		Wire 6-090324	Washington Elementary Land Purchase
1347	BICIN SALES INC	Parks	104510	426000	Bldg & Grnd Suppl & Maint	1,095.94	220513	23163	Trash Liners and Gloves
1465	BRIDGESTONE GOLF, IN	Golf	555500	448240	Items Purchased - Resale	2,183.04	220517	1002968601	Golf Balls - Acct # 33740
1550	CALL CLIMATE	Light & Power	535300	448628	Pineview Hydro Operating Costs	5,363.50	220520	18057	Repair to Motor at Pineview Station
1550	CALL CLIMATE	Light & Power	535300	448627	Echo Hydro Operating Costs	6,888.10	220520	17989	Install Heaters at Echo Hydro
11793	CHOICE FOODSERVICE	Parks	104510	426000	Bldg & Grnd Suppl & Maint	5,475.34	220525	93988	Ice Maker
1836	CUSTOM FENCE CO.	Cemetery	595900	473100	Improv Other Than Bldgs	6,622.00	220530	K3266.1	Vinyl Fence Installation
1836	CUSTOM FENCE CO.	Cemetery	595900	473100	Improv Other Than Bldgs	17,185.00	220530	K3266	Install Vinyl Fence for Cemetery
1889	DAVIS COUNTY GOVERNMENT	Police	104210	431600	Animal Control Services	10,390.92	220532	111228	Feb. 2021 Animal Control Services
5281	DOMINION ENERGY UTAH	Streets	104410	427000	Utilities	1,420.82	220539	03012021I	Acct # 3893910000
5281	DOMINION ENERGY UTAH	Light & Power	535300	448613	Power Plant Operating Costs	1,618.27	220539	03012021A	Natural Gas - Acct # 1067495449
5281	DOMINION ENERGY UTAH	Water	515100	427000	Utilities	1,649.18	220539	03012021K	Acct # 9591363682
5281	DOMINION ENERGY UTAH	Parks	104510	427000	Utilities	1,769.09	220539	03012021N	Acct # 2987969838
5281	DOMINION ENERGY UTAH	Police	104210	427000	Utilities	2,017.16	220539	03012021L	Acct # 3401140000
5281	DOMINION ENERGY UTAH	Light & Power	535300	448611	Natural Gas	15,597.09	220539	03012021	Natural Gas - Acct # 6056810000
2537	HOSE & RUBBER SUPPLY	Streets	104410	425000	Equip Supplies & Maint	1,182.35	220554	01513641	Misc. Parts and Supplies - Customer B1580
11418	HUMDINGER EQUIPMENT	Landfill	575700	425000	Equip Supplies & Maint	1,100.00	220555	25508	2021 Annual Fees
2614	INTERMOUNTAIN GEOENV	Landfill	575700	431000	Profess & Tech Services	6,500.00	220559	00536-003-01	Porject Management, Consultation ect.- Cust ID 536
5549	JRCA ARCHITECTS, INC	Light & Power	535300	472100	Buildings	3,200.00	220563	200038-01	Geotechnical Investigation - Project 20038 BCLP
11730	LINE 29 ARCHITECTURE	Streets	454410	472100	Buildings	1,000.00	220569	1033	20-013A Bountiful City Car Wash
11730	LINE 29 ARCHITECTURE	Streets	454410	472100	Buildings	1,360.00	220569	1032	20-013 Bountiful City Car Wash
3200	MOUNTAIN WEST TRUCK	Water	515100	425000	Equip Supplies & Maint	1,094.30	220573	403410	Parts and Service - Customer # 1086
3195	MOUNTAINLAND SUPPLY	Water	515100	448400	Dist Systm Repair & Maint	3,706.67	220574	S103986430.001	Misc. Parts and Supplies - Customer # 18498
3271	NETWIZE	Water	515100	429300	Computer Hardware	2,793.30	220576	20557	Desktop Computers for Treasury and Water SCADA
3400	PACIFIC OFFICE AUTOM	Engineering	454450	474500	Machinery & Equipment	18,895.00	220579	163063	OCE Colorwave 3600 - Customer # 757083
3431	PAUL'S SALES & SERVI	Light & Power	535300	448636	Special Equipment	1,010.00	220581	43120	HUSQ Battery Chainsaw - Customer # 111462
10033	PINETOP ENGINEERING	Streets	104410	441300	Street Signs	2,722.32	220583	3756	Pedestrian Button Installations
10033	PINETOP ENGINEERING	Streets	104410	441300	Street Signs	3,190.00	220583	3773	400E / 500S Signal Junction Box Replacement
5553	PURCELL TIRE AND SER	Streets	104410	425000	Equip Supplies & Maint	3,048.88	220587	2831586	Tire Service - Acct # 2801867
8703	QUALTRICS, LLC	Legislative	104110	461000	Miscellaneous Expense	12,127.50	220589	271992	CoreXM License Number of Responses 12000 Included

12348 ROSEMOUNT INC	Water	515100	448000	Operating Supplies	1,404.77	220592 949338	Chlorine Probes
3790 RURAL WATER ASSOC OF	Water	515100	421000	Books Subscr & Mmbrshp	1,566.00	220593 8074	Membership Dues
3835 SALT LAKE WHOLESALE	Police	104210	445100	Public Safety Supplies	10,261.22	220595 6227	9MM Luger Lawman, 5.56 MM Nata 55 GR
3899 SHERRILL, INC.	Light & Power	535300	448636	Special Equipment	2,435.37	220596 INV-610557	Rope, Harness, Anchors for Tree Crew- Cust # 68053
3972 SOLAR TURBINES, INC.	Light & Power	535300	448614	Power Plant Equipment Repairs	2,618.00	220598 AR570033845	Input Output Card - Acct # 910-2-493203
3972 SOLAR TURBINES, INC.	Light & Power	535300	448614	Power Plant Equipment Repairs	3,332.00	220598 AR570033202	InputOutput CardsTitanTurbine- Acct # 910-2-493203
3982 SOUTH DAVIS METRO FI	Fire	104220	431000	Profess & Tech Services	535,676.00	220599 03102021	Apr 2021 Impact Fees that were collected bytheCity
4051 STATE OF UTAH	Streets	104410	441300	Street Signs	27,410.36	220603 RE 2154000225	400E/400N Signal Repalcement - PO # 19674
5358 STOTZ EQUIPMENT	Streets	104410	425000	Equip Supplies & Maint	1,237.44	220604 P99412	Misc. Park Parts for John Deere -Acct # BOUNT002
12138 SURVIVAL EDGE	Police	104210	423000	Travel & Training	1,200.00	220606 181	Course Fees Level 1 Foundation- Training
4229 TOM RANDALL DIST. CO	Streets	104410	425000	Equip Supplies & Maint	1,389.86	220610 0320740	Bulk Oil - Acct # 000275
4229 TOM RANDALL DIST. CO	Streets	104410	425000	Equip Supplies & Maint	1,888.10	220610 0321001	Bulk Oil- Acct # 000275
4229 TOM RANDALL DIST. CO	Golf	555500	425100	Special Equip Maintenance	2,139.49	220610 0320581	Fuel - Acct # 000276
4229 TOM RANDALL DIST. CO	Streets	104410	425000	Equip Supplies & Maint	24,537.92	220610 0321238	Fuel - Acct # 000275
4273 TURF EQUIPMENT CO	Cemetery	595900	425000	Equip Supplies & Maint	1,814.45	220611 453515-00	Misc. Parts and Supplies - Cust # 2144
4450 VERIZON WIRELESS	Light & Power	535300	448641	Communication Equipment	1,557.69	220616 9874488533	Acct # 371517689-00001
12358 WADMAN CORPORATION	Streets	454410	472100	Buildings	253,427.47	220617 04	Street Dept Car Wash - Project # WC-20-103
TOTAL:					<u>4,525,558.94</u>		

City Council Staff Report

Subject: PVC Pipe Purchase
Author: Kraig Christensen
Department: Water Department
Date: March 23, 2021



Background

We included in our 2020- 2021 budget funds for water line replacement which will be installed by Water Department crews. We have put together a bid package for the C-900 pipe for these in-house projects to be completed this year, and have requested proposals from local suppliers for materials.

Analysis

We have received pricing for the main line pipe from three different vendors, for two sizes of pipe. Unfortunately, the vendors are unable to hold prices for more than a day due to the current demand and limited product availability. Due to unforeseen factors the pipe plants have been shut down for a time and have not been producing PVC products. It is our understanding that manufacturing facilities are up and running now but have a back log of orders. The bids are as follows...

Ferguson Waterworks
3,100' of pipe – \$27,545

Mountainland Supply
3,100' of pipe - \$28,241

Western Water Works
3,100' of pipe – \$27,305

Department Review

I have reviewed the purchase of these materials with the appropriate staff and with the City Manager, who has authorized the purchase of the pipe materials based on price volatility and material availability.

Recommendation

I would request that the City Council retroactively approve the purchase of PVC pipe from Western Water Works in the amount of \$27,305.

Significant Impacts

Funds for the purchase of pipe are included in our (Dist. System Repair and Maintenance) in the FY 20-21 Budget.

Attachments

None

City Council Staff Report



Subject: Large Area Mower

Author: Brock Hill

Department: Parks

Date: 23 March 2021

Background

The Parks Department relies heavily on the maintenance equipment in our fleet and work hard to maintain and upkeep that equipment in safe and reliable working condition. We maintain 48 sites consisting of parks, detention basins, City owned facility landscapes, streetscapes, trailheads, and open spaces totaling 217 acres. Currently, the parks department will be operating in 6 crews. Each crew has 1 full-time employee as the parks supervisor and manages 4-5 seasonal employees. We rely heavily on our mowing equipment for the maintenance operations at each of the 48 sites.

Analysis

With the age of and condition of our current large area mower combined with the purchase of the Washington Elementary property and increased acreage to maintain, it is necessary to purchase a new large area mower. Our current mower is 16 years old and has become difficult to maintain with the model being discontinued and limited parts availability.

Staff requested price quotes for large area mowers from 3 vendors; Stotz Equipment (John Deere), Rocky Mountain Turf Equipment (Jacobsen), and Turf Equipment (Toro). We received two responses from the companies contacted. After reviewing the quotes received, we determined the 2 were responsive responsible quotes based on the type of vehicle and equipment requested. They are as follows:

Stotz Equipment	\$63,679.00 (State contract – John Deere)
Turf Equipment	\$70,847.93 (State Contract – Toro)
Rocky Mountain Turf Equipment	no quote

The purchase of a new large area is budgeted for in FY2021, 10 Year Capital plan for the amount of \$75,000.00

In addition, Stotz equipment was able to reduce the price of the mower enough for us to purchase a small zero turn mower at a reduced cost and still not exceed the budgeted amount. The small mower cost is \$11,300.00. We have a small mower budgeted for in the Capital Plan for FY2022. We will delay the purchase of this mower too sometime in the future.

Department Review

The review was completed by the Parks Department

Significant Impacts

Not purchasing this equipment will decrease our ability to operate efficiently and negatively impact our quality of maintenance at Washington Elementary when the park is fully developed and we start mowing the sports fields for Davis School District.

Recommendation

Staff recommends the Council approve the purchase of a 2020 John Deere 9009A large area mower and Z960M 60" zero turn mower through the State Contract, from Stotz Equipment for the combined cost of \$74,979.00.

Attachments

None (quotes are available for review if requested)

City Council Staff Report

Subject: Resolution of support for Davis County PDM Plan

Author: Lt. Dave Edwards

Department: Police

Date: 3-15-21



Background

In 2016, Bountiful City participated with Davis County and other municipalities in creating a Pre-Disaster Mitigation Plan (291 pages) addressing risks occurring in Davis County and providing plans to mitigate those risks. FEMA requires this plan be updated every five (5) years.

Executive Summary

FEMA requires Bountiful City to participate and support the revision of the 2016 PDM Plan by formal resolution and to later adopt the completed PDM plan to be eligible for Federal grant funding related to disaster mitigation projects or disaster funding.

Analysis

In order to maintain the option of applying for Federal funds through grant applications Bountiful City must maintain compliance with eligibility requirements set forth by FEMA and other Federal grant funding sources.

Department Review

Police

Legal

Executive

Significant Impacts

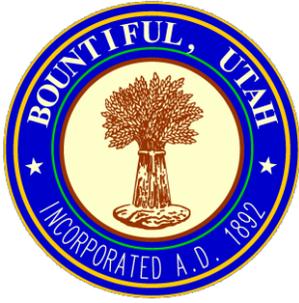
Approving this resolution may provide funding to Bountiful City through future Federal grant applications.

Recommendation

It is recommended Bountiful city adopt resolution 2021-09 formally supporting the revision and update of the 2016 Davis County PDM.

Attachments

Resolution 2021-09



BOUNTIFUL

Bountiful City Resolution No. 2021-09

MAYOR

Randy C. Lewis

COUNCIL

Millie Segura Bahr
Kate Bradshaw
Kendalyn Harris
Richard Higginson
Chris R. Simonsen

CITY MANAGER

Gary R. Hill

A RESOLUTION TO SUPPORT AND PARTICIPATE IN UPDATING THE DAVIS COUNTY PRE-DISASTER MITIGATION PLAN AS REQUIRED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (“FEMA”).

WHEREAS the health, safety and welfare of the citizens of Bountiful are matters of paramount importance to the City Council; and

WHEREAS the Bountiful City Council recognizes the threat that natural hazards pose to people and property within their jurisdiction; and

WHEREAS, the Federal Emergency Management Agency (“FEMA”) has required that municipalities review and revise their local multi-hazard mitigation plan every five years to reflect changes in development, progress in local hazard mitigation efforts, and changes in mitigation priorities and submit their revised multi-hazard mitigation plan for review and approval by FEMA to remain eligible for pre-disaster mitigation grant funding; and

WHEREAS the Emergency Services Division of Davis County has received a grant from FEMA to prepare a multi-jurisdictional hazard mitigation plan in accordance with the requirements of 44.C.F.R. 201.6 and the FEMA “Local Mitigation Planning Handbook”; and

WHEREAS these requirements include obtaining formal resolutions of participation and support from stakeholder jurisdictions.

NOW THEREFORE, BE IT RESOLVED that the City Council of Bountiful hereby intends to support the Plan update initiative by participating with the committee intended to develop revisions and updates to the Davis County Pre-Disaster Mitigation Plan.

Adopted this 23rd day of March 2021.

Mayor Randy C. Lewis

ATTEST:

City Recorder Shawna Andrus

City Council Staff Report



Subject: ECI Engineering Services Approval
Author: Allen Ray Johnson, Director
Department: Light & Power
Date: March 23, 2021

Background

Last January we hired Electrical Consultants Incorporated (ECI) to produce a complete set of electronic drawings for our #4 (Southeast) Substation for \$76,000. There are several system upgrades at the Southeast substation that we want to complete this spring and this fall. These upgrades include replacing the two existing 46kV oil circuit breakers (1970's technology) with two new gas insulated breakers, upgrading the existing 2032 communications processor (installed about 15 years ago) with a new 3530 communications processor, install a new SEL-2440 DPAC, and install a bus differential relay. We have already purchased the breakers and the 3530 communications processor. The remaining equipment purchase will not be a significant expenditure.

Analysis

These system upgrades will require some engineering and design support as well as some extensive drafting updates. There will be some cost savings to do the engineering and drafting while ECI is developing the new electronic drawing set. The total additional cost for ECI to provide this service is \$93,984.

Department Review

This has been reviewed by the Power Department Staff and the City Manager.

Significant Impacts

This expense will be charged to the Substation account 535300-448639.

Recommendation

The Staff recommends approval of these additional engineering services from ECI for the additional amount of \$93,984 for the total sum of \$169,984.

This item will be discussed at the Power Commission meeting Tuesday morning, March 23, 2021, and we will bring their recommendation to the City Council meeting that night.

Attachments

None

City Council Staff Report



Subject: 1100 URD Cable Purchase Approval
Author: Allen Ray Johnson, Director
Department: Light & Power
Date: March 23, 2021

Background

Our inventory of 1100 URD Primary cable is running low, and we need to purchase some to replenish it. The cable will be used on several feeder upgrade projects on our system this spring and summer. Two of the major projects that this cable will be used for are the feeder relocation on 11th North Main and the rebuilding of feeder 675 on 3100 South.

Analysis

This underground cable is a 600 amp jacketed cable with one third neutral and has a 40 year warranty. It is manufactured by Okonite and is a single source item. Irby Utilities is the single source for this cable in the state of Utah.

Distributor	Manufacture	Price per ft.	Total Cost	Delivery
Irby Utilities Salt Lake City, Utah	Okonite	\$7.92	\$123,552	Stock in SLC

Department Review

This has been reviewed by the Staff and the City Manager.

Significant Impacts

This cable will be purchased and placed into inventory until it is needed on the system.

Recommendation

Staff recommends the approval of the purchase of 15,600 feet of 1100 URD cable from Codale Electric Supply for a total of \$123,552.

This item will be taken to the Power Commission on Tuesday morning and we will bring their recommendation to the meeting.

Attachments

None

City Council Staff Report

Subject: 2012 Asphalt Overlay Contract
Author: Lloyd Cheney, City Engineer
Department: Engineering, Streets
Date: March 23, 2021



Background

For Fiscal Years 2021 and 2022 the Street Department Budget includes large overlay projects on several streets which are more demanding, and better suited for a commercial paving contractor. For FY 2021, the projects include new pavement on Medical Drive from 400 E to 500 S and Lakeview Drive from 500 S to Bountiful Boulevard. Paving projects for FY2022 include Cave Hollow Way and Wood Hollow Way. Staff combined projects in both fiscal years to streamline the bidding process and take advantage of potential economies of scale.

Analysis

A Bid Opening was held on March 9, 2021 and proposals were received from **8** companies. The prices received from all Bidders is included on the attached Bid Tabulation. The 4 lowest cost proposals are as follows:

<u>Engineer's Estimate</u>	<u>\$684,360.00</u>
Black Forest Paving	\$533,755.00
Ridge Rock	\$537,959.31
Green Construction	\$578,705.00
Advanced Paving	\$583,898.00

Black Forest Paving was recently awarded the reconstruction project completed on 100 N in 2020. The project was completed efficiently and Black Forest was great to work with as staff dealt with some minor issues on the project. This contract also includes an extension clause which could be used to extend this contract for overlay work in the 2023 budget year.

Department Review

This memo has been reviewed by the City Engineer and the Street Dept. Director.

Significant Impacts

Funding for this work has been included in the Street Department's Operations & Maintenance Road Materials-Overlay line items in the current FY2021 budget and in the

preliminary budget for FY2022. This expense will be funded by B&C money and Transportation tax revenues.

Recommendation

- It is recommended that the City Council accept the proposal of Black Forest Paving and award the contract at the unit prices noted in the Bid Tabulation.

Attachments

Bid Tabulation

BID TABULATION

LNC				Engineer's Estimate		Black Forest		Ridge Rock		Green		Advanced		Kilgore		Staker		Granite		Miller	
Item	Description	Qty	Unit	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount
SCHEDULE 1 - Medical Dr. & Lakeview Dr.																					
1	Mobilization	1	LS	\$ 35,000.00	\$ 35,000.00	\$ 8,500.00	\$ 8,500.00	\$ 14,751.81	\$ 14,751.81	\$ 18,600.00	\$ 18,600.00	\$ 4,500.00	\$ 4,500.00	\$ 28,000.00	\$ 28,000.00	\$ 24,650.00	\$ 24,650.00	\$ 26,898.00	\$ 26,898.00	\$ 30,000.00	\$ 30,000.00
2	Pavement Milling - 1-1/2" Depth	30,500	Sqyd	\$ 1.80	\$ 54,900.00	\$ 1.35	\$ 41,175.00	\$ 0.89	\$ 27,145.00	\$ 1.32	\$ 40,260.00	\$ 1.50	\$ 45,750.00	\$ 1.43	\$ 43,615.00	\$ 1.49	\$ 45,445.00	\$ 1.68	\$ 51,240.00	\$ 1.64	\$ 50,020.00
3	1-1/2" Asphalt Overlay	2,600	Ton	\$ 67.50	\$ 175,500.00	\$ 57.20	\$ 148,720.00	\$ 63.63	\$ 165,438.00	\$ 65.40	\$ 170,040.00	\$ 66.50	\$ 172,900.00	\$ 60.75	\$ 157,950.00	\$ 58.50	\$ 152,100.00	\$ 64.30	\$ 167,180.00	\$ 64.50	\$ 167,700.00
4	Adjust Valve (Metal)	38	Ea	\$ 85.00	\$ 3,230.00	\$ 340.00	\$ 12,920.00	\$ 90.00	\$ 3,420.00	\$ 90.00	\$ 3,420.00	\$ 30.00	\$ 1,140.00	\$ 80.00	\$ 3,040.00	\$ 37.00	\$ 1,406.00	\$ 2.60	\$ 98.80	\$ 52.00	\$ 1,976.00
5	Adjust Manhole (Metal)	2	Ea	\$ 150.00	\$ 300.00	\$ 360.00	\$ 720.00	\$ 90.00	\$ 180.00	\$ 175.00	\$ 350.00	\$ 59.00	\$ 118.00	\$ 105.00	\$ 210.00	\$ 166.00	\$ 332.00	\$ 112.00	\$ 224.00	\$ 155.00	\$ 310.00
6	Adjust Manhole (Conc.)	36	Ea	\$ 850.00	\$ 30,600.00	\$ 590.00	\$ 21,240.00	\$ 600.00	\$ 21,600.00	\$ 665.00	\$ 23,940.00	\$ 680.00	\$ 24,480.00	\$ 637.00	\$ 22,932.00	\$ 625.00	\$ 22,500.00	\$ 567.00	\$ 20,412.00	\$ 900.00	\$ 32,400.00
SubTotal - Schedule 1					\$ 299,530.00		\$ 233,275.00		\$ 232,534.81		\$ 256,610.00		\$ 248,888.00		\$ 255,747.00		\$ 246,433.00		\$ 266,052.80		\$ 282,406.00
SCHEDULE 2 - Cave Hollow, Wood Hollow, Maple Ln., Fawn Ln. & 2475 S.																					
1	Mobilization	1	LS	\$ 35,000.00	\$ 35,000.00	\$ 9,000.00	\$ 9,000.00	\$ 14,752.00	\$ 14,752.00	\$ 19,600.00	\$ 19,600.00	\$ 4,200.00	\$ 4,200.00	\$ 28,500.00	\$ 28,500.00	\$ 32,900.00	\$ 32,900.00	\$ 13,088.00	\$ 13,088.00	\$ 35,000.00	\$ 35,000.00
2	Pavement Milling - 2" Depth	33,000	Sqyd	\$ 2.00	\$ 66,000.00	\$ 1.53	\$ 50,490.00	\$ 0.96	\$ 31,680.00	\$ 1.35	\$ 44,550.00	\$ 1.85	\$ 61,050.00	\$ 1.72	\$ 56,760.00	\$ 1.92	\$ 63,360.00	\$ 1.88	\$ 62,040.00	\$ 1.77	\$ 58,410.00
3	2" Asphalt Overlay	3,650	Ton	\$ 67.50	\$ 246,375.00	\$ 57.20	\$ 208,780.00	\$ 63.65	\$ 232,322.50	\$ 62.40	\$ 227,760.00	\$ 66.00	\$ 240,900.00	\$ 60.00	\$ 219,000.00	\$ 59.70	\$ 217,905.00	\$ 66.60	\$ 243,090.00	\$ 63.50	\$ 231,775.00
4	Adjust Valve (Metal)	13	Ea	\$ 85.00	\$ 1,105.00	\$ 340.00	\$ 4,420.00	\$ 90.00	\$ 1,170.00	\$ 90.00	\$ 1,170.00	\$ 30.00	\$ 390.00	\$ 80.00	\$ 1,040.00	\$ 43.00	\$ 559.00	\$ 22.60	\$ 293.80	\$ 52.00	\$ 676.00
5	Adjust Manhole (Metal)	10	Ea	\$ 150.00	\$ 1,500.00	\$ 360.00	\$ 3,600.00	\$ 90.00	\$ 900.00	\$ 175.00	\$ 1,750.00	\$ 59.00	\$ 590.00	\$ 105.00	\$ 1,050.00	\$ 145.00	\$ 1,450.00	\$ 112.00	\$ 1,120.00	\$ 155.00	\$ 1,550.00
6	Adjust Manhole (Conc.)	41	Ea	\$ 850.00	\$ 34,850.00	\$ 590.00	\$ 24,190.00	\$ 600.00	\$ 24,600.00	\$ 665.00	\$ 27,265.00	\$ 680.00	\$ 27,880.00	\$ 637.00	\$ 26,117.00	\$ 625.00	\$ 25,625.00	\$ 567.00	\$ 23,247.00	\$ 900.00	\$ 36,900.00
SubTotal - Schedule 2					\$ 384,830.00		\$ 300,480.00		\$ 305,424.50		\$ 322,095.00		\$ 335,010.00		\$ 332,467.00		\$ 341,799.00		\$ 342,878.80		\$ 364,311.00
Total					\$ 684,360.00		\$ 533,755.00		\$ 537,959.31		\$ 578,705.00		\$ 583,898.00		\$ 588,214.00		\$ 588,232.00		\$ 608,931.60		\$ 646,717.00

City Council Staff Report

Subject: 2021 Concrete Replacement Contract
Author: Lloyd Cheney, City Engineer
Department: Engineering, Streets
Date: March 23, 2021



Background

On Tuesday, March 9, 2021 the Engineering Dept. received proposals from 4 contractors for the City's concrete repair contract. This contract includes removal and replacement of concrete street improvements such as curb, gutter and sidewalk, as well as storm drain improvements and the installation of ADA ramps at various locations throughout the City.

The focus of this contract will include making repairs to street improvements where overlay projects are planned; replacing damaged street improvements through the cost-sharing program with the residents; repairing or constructing improvements for the various Departments of the City; and replacing sidewalk trip hazards that are not suitable for grinding. We will also focus on sidewalk issues in the downtown area and around the elementary schools, where the pedestrian traffic volumes are high.

Analysis

Proposals were received from the following companies:

<u>Engineer's Estimate</u>	\$705,064.25
Hydro-Vac Excavation	\$589,406.00
JMR	\$760,875.00
Advanced Paving	\$1,047,650.00
Beck Construction	\$1,416,525.00

Hydro-Vac Excavation has submitted the lowest price proposal, which also includes a 5% defined yearly price modifier, should they and the City agree to a contract extension beyond this year. Because Hydro-Vac is a young company, and a new entity to Bountiful City, the Engineering Department has checked the references furnished by the Contractor and has travelled to inspect their work. All references (City and private entities) gave favorable comments. Engineering Dept staff reviewed concerns with Hydro Vac staff based on observations of their work.

Department Review

This proposal has been reviewed by the Street Dept. Director and the City Engineer.

Significant Impacts

Because this contract generally does not tie the work to specific projects, the proposed total amount is based on our best estimate of the types and quantities of concrete and storm drain repairs that we expect to see in the next year. The actual amount spent on this contract will vary either up or down from the proposed total based on the amount of work that is actually completed. Also, many of the departments participate in this contract to repair improvements

affected by their projects around the city. We request that the Council approve the unit prices as listed and allow the Engineering, Streets, Storm Drain, Water, Power and Parks Departments to monitor their own expenditures so that they do not exceed their budgeted amounts.

This Contract also includes an Extension Provision which would allow the Contract to be renewed twice, upon agreement by both parties.

Recommendation

I recommend that the Council accept the proposal of Hydro Vac Excavation for the 2021 Concrete Replacement Projects at the unit prices submitted in the proposal.

Attachments

Bid Tabulation

Bountiful City
2021 Misc. Concrete
BID TABULATION

Bid Opening		2021 Estimate	2021 Engineer's Estimate		Hydro Vac Excavation		JMR		Advanced		Beck		
Item	Description	Qty	Unit	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount
1	Remove Curb and Gutter	2,000	LF	4.89	9,780.00	\$14.00	\$28,000.00	\$4.90	\$9,800.00	\$5.00	\$10,000.00	\$11.50	\$23,000.00
2	Remove Sidewalk & Concrete Slabs	17,500	SF	2.53	44,275.00	\$3.00	\$52,500.00	\$2.75	\$48,125.00	\$1.40	\$24,500.00	\$3.75	\$65,625.00
3	Remove Storm Drain Inlet or Outlet	10	EA	805.00	8,050.00	\$500.00	\$5,000.00	\$805.00	\$8,050.00	\$1,300.00	\$13,000.00	\$3,300.00	\$33,000.00
4	Remove Waterway	1,000	SF	2.88	2,880.00	\$3.00	\$3,000.00	\$2.95	\$2,950.00	\$2.40	\$2,400.00	\$4.30	\$4,300.00
5	Remove Asphalt Pavement	15,000	SF	1.15	17,250.00	\$2.00	\$30,000.00	\$1.75	\$26,250.00	\$0.40	\$6,000.00	\$2.10	\$31,500.00
6	Construct 24" C&G (<50' in a block)	1,000	LF	34.50	34,500.00	\$30.00	\$30,000.00	\$35.00	\$35,000.00	\$55.00	\$55,000.00	\$51.50	\$51,500.00
7	Construct 24" C&G (<100' in a block)	750	LF	29.90	22,425.00	\$30.00	\$22,500.00	\$31.00	\$23,250.00	\$45.00	\$33,750.00	\$40.50	\$30,375.00
8	Construct 24" C&G (>100' in a block)	1,500	LF	25.30	37,950.00	\$30.00	\$45,000.00	\$27.00	\$40,500.00	\$43.00	\$64,500.00	\$27.50	\$41,250.00
9	Construct 30" C&G	100	LF	19.55	1,955.00	\$30.00	\$3,000.00	\$22.00	\$2,200.00	\$100.00	\$10,000.00	\$34.75	\$3,475.00
10	Sidewalk, 4" Thick (<50' in a block)	4,000	SF	9.78	39,120.00	\$6.50	\$26,000.00	\$10.00	\$40,000.00	\$14.00	\$56,000.00	\$14.00	\$56,000.00
11	Sidewalk, 4" Thick (<100' in a block)	2,500	SF	9.20	23,000.00	\$6.50	\$16,250.00	\$9.50	\$23,750.00	\$10.00	\$25,000.00	\$11.50	\$28,750.00
12	Sidewalk, 4" Thick (>100' in a block)	5,000	SF	6.67	33,350.00	\$6.50	\$32,500.00	\$6.80	\$34,000.00	\$9.00	\$45,000.00	\$6.75	\$33,750.00
13	Sidewalk, 6" Thick	4,000	SF	9.78	39,120.00	\$7.50	\$30,000.00	\$10.25	\$41,000.00	\$12.00	\$48,000.00	\$9.00	\$36,000.00
14	Drive Approach, Type A	750	LF	69.00	51,750.00	\$30.00	\$22,500.00	\$70.00	\$52,500.00	\$115.00	\$86,250.00	\$168.00	\$126,000.00
15	Drive Approach, Type B	250	LF	51.75	12,937.50	\$30.00	\$7,500.00	\$52.00	\$13,000.00	\$135.00	\$33,750.00	\$168.00	\$42,000.00
16	Drive Approach, Type C	100	LF	31.05	3,105.00	\$30.00	\$3,000.00	\$30.00	\$3,000.00	\$130.00	\$13,000.00	\$220.00	\$22,000.00
17	Drive Approach, Type D	100	LF	51.75	5,175.00	\$30.00	\$3,000.00	\$54.00	\$5,400.00	\$170.00	\$17,000.00	\$246.75	\$24,675.00
18	Drive Approach, Type E	100	LF	34.50	3,450.00	\$30.00	\$3,000.00	\$39.00	\$3,900.00	\$145.00	\$14,500.00	\$189.00	\$18,900.00
19	Saw Cut Asphalt	4,000	LF	2.01	8,040.00	\$2.00	\$8,000.00	\$2.65	\$10,600.00	\$1.00	\$4,000.00	\$1.05	\$4,200.00
20	Saw Cut Concrete	1,000	LF	4.89	4,890.00	\$10.00	\$10,000.00	\$5.00	\$5,000.00	\$4.00	\$4,000.00	\$1.58	\$1,580.00
21	Install Dowels in Concrete	250	EA	2.88	720.00	\$10.00	\$2,500.00	\$2.80	\$700.00	\$23.00	\$5,750.00	\$47.00	\$11,750.00
22	Full Depth Roadway Slab Replacement	50,000	SF * In	2.59	129,500.00	\$1.56	\$78,000.00	\$2.75	\$137,500.00	\$1.40	\$70,000.00	\$4.75	\$237,500.00
23	Sprinkler Valves, Repair or Replace	20	EA	18.40	368.00	\$50.00	\$1,000.00	\$20.00	\$400.00	\$315.00	\$6,300.00	\$236.00	\$4,720.00
24	Sprinkler Heads, Repair or Replace	100	EA	11.50	1,150.00	\$35.00	\$3,500.00	\$22.00	\$2,200.00	\$76.00	\$7,600.00	\$168.00	\$16,800.00
25	Sprinkler Pipe, Repair or Replace	500	LF	2.88	1,440.00	\$10.00	\$5,000.00	\$5.50	\$2,750.00	\$14.00	\$7,000.00	\$57.00	\$28,500.00
26	Turf Sod	1,500	SF	1.50	2,250.00	\$2.00	\$3,000.00	\$3.00	\$4,500.00	\$8.00	\$12,000.00	\$3.15	\$4,725.00
27	Common Fill	100	Ton	17.25	1,725.00	\$40.00	\$4,000.00	\$18.00	\$1,800.00	\$50.00	\$5,000.00	\$67.00	\$6,700.00
28	Storm Drain Inlet Box Type A (Plan 315)	10	EA	3,105.00	31,050.00	\$500.00	\$5,000.00	\$3,240.00	\$32,400.00	\$5,800.00	\$58,000.00	\$5,000.00	\$50,000.00
29	Storm Drain Inlet Box Double Type B (Plan 315)	5	EA	2,185.00	10,925.00	\$500.00	\$2,500.00	\$2,250.00	\$11,250.00	\$6,650.00	\$33,250.00	\$5,775.00	\$28,875.00
30	Storm Drain Inlet Box with Side Box (Plan 316)	5	EA	1,495.00	7,475.00	\$500.00	\$2,500.00	\$1,500.00	\$7,500.00	\$8,500.00	\$42,500.00	\$8,000.00	\$40,000.00
31	Dipstone Outlet	5	EA	2,185.00	10,925.00	\$500.00	\$2,500.00	\$2,400.00	\$12,000.00	\$6,400.00	\$32,000.00	\$6,930.00	\$34,650.00
32	Waterway, 9" Thick (Plan 211)	2,000	SF	13.80	27,600.00	\$9.00	\$18,000.00	\$14.00	\$28,000.00	\$24.00	\$48,000.00	\$18.90	\$37,800.00
33	Waterway, Transition Structure (Plan 213)	500	SF	12.36	6,180.00	\$9.00	\$4,500.00	\$14.00	\$7,000.00	\$23.00	\$11,500.00	\$18.90	\$9,450.00
34	Concrete Pipe, 12" Reinforced (CLIII)	350	LF	63.25	22,137.50	\$27.24	\$9,534.00	\$80.00	\$28,000.00	\$110.00	\$38,500.00	\$204.00	\$71,400.00
35	Concrete Pipe, 15" Reinforced (CLIII)	100	LF	71.30	7,130.00	\$29.62	\$2,962.00	\$83.00	\$8,300.00	\$115.00	\$11,500.00	\$215.00	\$21,500.00
36	Concrete Pipe, 18" Reinforced (CLIII)	100	LF	72.45	7,245.00	\$34.60	\$3,460.00	\$73.00	\$7,300.00	\$118.00	\$11,800.00	\$225.00	\$22,500.00
37	HDPE Pipe, 12"	100	LF	36.80	3,680.00	\$35.00	\$3,500.00	\$42.00	\$4,200.00	\$105.00	\$10,500.00	\$204.00	\$20,400.00
38	HDPE Pipe, 15"	100	LF	37.95	3,795.00	\$70.00	\$7,000.00	\$43.00	\$4,300.00	\$111.00	\$11,100.00	\$215.00	\$21,500.00
39	Storm Drain Manhole, 30"	2	EA	1,495.00	2,990.00	\$500.00	\$1,000.00	\$2,900.00	\$5,800.00	\$6,000.00	\$12,000.00	\$5,460.00	\$10,920.00
40	Storm Drain Manhole, 48"	2	EA	1,840.00	3,680.00	\$5,000.00	\$10,000.00	\$2,950.00	\$5,900.00	\$6,000.00	\$12,000.00	\$4,830.00	\$9,660.00
41	6" Monolithic Curb Wall	200	LF	12.65	2,530.00	\$12.00	\$2,400.00	\$14.00	\$2,800.00	\$21.50	\$4,300.00	\$21.00	\$4,200.00
42	Concrete Wall, 20"	100	LF	18.40	1,840.00	\$44.00	\$4,400.00	\$17.00	\$1,700.00	\$48.00	\$4,800.00	\$31.50	\$3,150.00
43	Concrete Wall, 36"	100	LF	20.70	2,070.00	\$44.00	\$4,400.00	\$20.00	\$2,000.00	\$130.00	\$13,000.00	\$136.50	\$13,650.00
44	Flowable Fill	20	CY	115.00	2,300.00	\$150.00	\$3,000.00	\$115.00	\$2,300.00	\$185.00	\$3,700.00	\$283.50	\$5,670.00
45	2' x 4' Detectable Warning Device	25	EA	431.25	10,781.25	\$500.00	\$12,500.00	\$430.00	\$10,750.00	\$270.00	\$6,750.00	\$575.00	\$14,375.00
46	Tree Removal, 12" Dia.	5	EA	115.00	575.00	\$2,500.00	\$12,500.00	\$250.00	\$1,250.00	\$630.00	\$3,150.00	\$1,650.00	\$8,250.00
47		-	LF		-								
Total All Items					705,064.25	\$589,406.00	\$760,875.00	\$1,047,650.00	\$1,416,525.00				

City Council Staff Report



Subject: Proposed Amendments to the Land Use Code
Author: Curtis Poole, City Planner
Francisco Astorga, AICP, Planning Director
Date: March 23, 2021

Background

The Planning Commission reviewed the proposed text amendments, held a public hearing and has unanimously (6-0) forwarded a positive recommendation to the City Council to approve the land use code text changes.

Analysis

On a regular basis, usually annually, the Planning Department will bring up various amendments that need to be made to the land use code to provide order, accuracy or clarifications. The current Code is several hundred pages and consists of the work, research, analysis, etc. of current and former City Planners, Planning Commissions and City Councils. Given the ever-changing nature of land use development it is necessary to periodically revise and amend the Code. The proposed amendments include the following:

1. Building Height
2. Nonconforming uses and Noncomplying Structures
3. Home Occupation – Day Care
4. Mixed Use Zone
5. Mixed-Use Zone (Uses)
6. Planning Commission Voting
7. Location of Street Trees
8. Access Requirements
9. Site Plan Review Application Submittal

Department Review

This staff report was written by the Planning Department and reviewed by the City Attorney.

Significant Impacts

Staff does not identify any impacts with the proposed land use code text amendments.

Recommendation

The Planning Commission has forwarded a positive recommendation to the City Council for approval of the proposed Land Use Code text amendments. Staff recommends the Council hold a public hearing and consider approval of the attached proposed ordinances.

Attachments

1. Proposed Ordinance with Text Amendments



BOUNTIFUL

Bountiful City
DRAFT Ordinance No. 2021-03

An Ordinance amending various omnibus sections of the Bountiful City Land Use Code

It is the finding of the Bountiful City Council that:

1. The Bountiful City Council is empowered to adopt and amend general laws and land use ordinances pursuant to Utah State law (§10-9a-101 et seq.) and under corresponding sections of the Bountiful City Code; and
2. The Planning Department recommends that various changes take place to provide order, accuracy, and clarifications for consideration; and
3. The Planning Commission of Bountiful City held a public hearing on this Ordinance on March 16, 2021, reviewed the Land Use Code amendment, and forwarded a positive recommendation to the City Council; and
4. The City Council of Bountiful City held a public hearing on this Ordinance on March 23, 2021, and after receiving and considering input from Staff, the Planning Commission, and the public, the Council finds it in the best interests of the health, safety, and welfare of the City to adopt the requested amendment.

NOW THEREFORE, be it ordained by the City Council of Bountiful, Utah:

SECTION 1. Applicable sections of the Bountiful City Land Use Code, Title 14 of the Bountiful City Code, is hereby amended as shown in Exhibit A

SECTION 2. This ordinance shall take effect immediately upon passage.

Adopted by the City Council of Bountiful, Utah, this 23rd day of March 2021.

Randy C. Lewis, Mayor

ATTEST:

Shawna Andrus, City Recorder

MAYOR
Randy C. Lewis

CITY COUNCIL
Millie Segura Bahr
Kate Bradshaw
Kendalyn Harris
Richard Higginson
Chris R. Simonsen

CITY MANAGER
Gary R. Hill

Exhibit A

1. Building Height

14-4-107 BUILDING LOCATION AND HEIGHT

A. No building or structure in the (R) Zone shall exceed ~~two (2) stories or~~ thirty-five (35) feet in height as measured at the average grade. Chimneys, flagpoles, church towers and similar accessory elements not used for human occupancy are excluded in determining height; however, the City may limit the height of any protrusion that is found by the City Council to be a public nuisance.

14-5-107 BUILDING HEIGHT

No building or structure in the (R) Zone shall exceed ~~two (2) stories or~~ thirty-five (35) feet in height as measured at the average grade. Chimneys, flagpoles, church towers and similar accessory elements not used for human occupancy are excluded in determining height; however, the City may limit the height of any protrusion that is found by the City Council to be a public nuisance.

2. Nonconforming uses and Noncomplying Structures

14-3-102 DEFINITIONS

- ...
- ~~197.~~ **NONCOMPLYING SITE:** A site that legally existed before its current land use designation; and because of one or more subsequent land use code changes, does not conform to the setback, height restrictions, or other regulations, excluding those regulations which govern the use of land.
 - ~~197.~~ **198. NONCOMPLYING STRUCTURE** (~~see also "NONCONFORMING STRUCTURE" or "NONCONFORMING BUILDING"~~): A structure that legally existed before its current land use designation; and because of one or more subsequent land use code changes, does not conform to the setback, height restrictions, or other regulations, excluding those regulations which govern the use of land.
 - ~~198.~~ **199. NONCONFORMING SIGN** (~~see also "NONCOMPLYING SIGN"~~): A sign or sign structure that legally existed before its current land use (zoning) designation; and because of subsequent changes to the land use code, does not conform to the regulations that now govern the use of the sign.
 - ~~199.~~ **200. NONCONFORMING LOT** (~~see also "NONCOMPLYING LOT"~~): A parcel that legally existed before its current land use (zoning) designation. Shown continuously on the records of the Davis County

Recorder as an independently existing piece of property and because of one (1) or more subsequent land use code changes does not conform to the minimum size, width, frontage, depth or other applicable dimensional requirements of the zone where the lot is located.

~~200.~~ 201. **NONCONFORMING USE:** A use of land that legally existed before its current land use designation that has been maintained continuously since the time the land use code governing the land changed; and because of one or more subsequent land use code changes, does not conform to the regulations that now govern the use of the land.

~~201.~~ 202. **NONCONFORMITY:** Is a general term to collectively describe a noncomplying structure, **noncomplying site**, nonconforming lot, nonconforming sign, nonconforming use, and/or any other item that legally existed before the current land use (zoning) designation of the property where the said item is located, and that, because of subsequent land use code changes does not conform to the regulations that now govern the use of the land.

.....

14-2-111 APPROVAL/REVIEW BODIES

Item	Subcategory	Approval/Review Bodies			
		Staff	AC	PC	CC
Conditional Use Permit	Home Occupation Licenses & Commercial Business Operation	No	Final	No	No
	Accessory Dwelling Units	No	Final	No	No
	All Others	No	No	Final	No
Subdivision	All	No	No	Recommend	Final
Re-Zone	All	No	No	Recommend	Final
Land Use Code Text Amendment	All	No	No	Recommend	Final
Combine Lots/Lot Line Adjustment	All	No	Final	No	No
Land Use Code/Map Interpretation	All	Planning Director	No	No	No
General Plan	All	No	No	Recommend	Final
Site Plan	Residential SFD	Final	No	Appeal	No
	Res SFD 200+ feet from street	No	Final	No	No

	All other Residential	No	No	Recommend	Final
	Res. SFD Accessory Structure	Final	No	No	No
	All other Res. Accessory Structure	Final	No	No	No
	Non-Residential	No	No	Recommend	Final
	Non-Residential Accessory Structure	Final	No	No	No
	All Non-SFD Residential Amend	No	No	Recommend	Final
	All Non-Residential Amend	No	No	Recommend	Final
Expansion-Alteration and Modification of Non-Complying Site or Structure	Residential SFD	As Designated	All Others	No	No
	All Others	No	As Designated	All Others	No
Expansion-Alteration and Modification of Non-Conforming Use	All	No	As Designated	All Others	No

14-2-402

GENERAL PROVISIONS

- A. *Continuation. A nonconformity in any zone may be continued as provided so long as no additions or enlargements are made thereto and no structural alterations are made therein, except as provided in this Chapter or as may be required by law. If any nonconformity is removed from the property on which it was located, it shall not be replaced unless it conforms to the current provisions of this Title.*
- B. *Maintenance and Repair. Repairs and structural alterations may be made to any nonconformity within the existing footprint thereof provided that the degree of nonconformity is not increased.*
- C. ~~Expansion and Enlargement~~ *Alteration and Modification. Any expansion of a nonconformity that increases the degree of nonconformance is prohibited except as provided in this Title or as may be required by law. Alterations, modifications or changes to a noncomplying structure or site or nonconforming use may be allowed only if the proposed alteration, modification or change reduces and mitigates the degree of the existing nonconformity, is in harmony with the surrounding neighborhood and is consistent with the General Plan. When considering if an alteration, modification or change may be approved, the Planning Commission shall consider whether all the following factors are reduced or mitigated, where applicable:*

1. setback restrictions,
2. height restrictions,
3. aesthetics,
4. landscaping,
5. parking,
6. traffic and pedestrian circulation.

An application to alter, modify or change a nonconforming use or site shall be reviewed by the Planning Commission. For purposes of this Section, the addition of a solar energy device to a building is not an expansion.

- D. *Relocation. Only noncomplying structures may be relocated. If a noncomplying structure is relocated within the City, it shall be located in a manner which fully conforms to the applicable requirements of this Title.*
- E. *Restoration. A noncomplying structure or a nonconforming sign damaged by fire, wind, tornado, earthquake, or other natural disaster or calamity may be restored as it existed previously and its use may be continued so long as restoration is complete within one (1) year.*

14-2-404 CHANGE OF STATUS

- ~~A. Any nonconformity shall not be changed except in conformance with the provisions of this Title.~~
- ~~B. Whenever any nonconforming use is changed to a less intensive nonconforming use, such use shall not be changed back to a more intensive nonconforming use.~~

Whenever any nonconforming use is changed to a conforming use, the nonconforming use status is immediately abandoned and it is unlawful to revert back to that nonconforming use.

3. Home Occupation – Day Care

14-17-106 SPECIAL CONDITIONS FOR RESIDENTIAL DAY CARE OR GROUP INSTRUCTION

- B. *Residential day care facilities shall comply with all regulations of the State of Utah and shall be licensed by the State. One additional person not residing in the dwelling may be employed in the residential day care or group instruction where seven ~~eight~~ (7) or more children or people are involved.*

4. Mixed-Use Zone

14-10-104

SUB-ZONE STANDARDS

Each sub-zone shall have an emphasis toward a particular category of land-use. Percentages are based on the total square footage of floor area within a project and include areas within a structure (floors of a building) and *open spaces or public* areas on the surface of the land (sidewalks, parks, etc.). ~~Parking, landscaping and similar ancillary uses are calculated on a pro-rated basis for each use category.~~

5. Mixed-Use Zone (Uses)

14-10-105a

PERMITTED USES

Underlined uses may not be located on individual pad sites or parcels. They must be part of a larger building or physically connected and integrated into the complex. Residential uses may not exceed twenty five percent (25%) of the total project floor area, except as indicated by the sub-zone designation.

Residential

*Multi-family - minimum one (1) covered space per unit.
Underground and/or structured parking recommended;
carports are not permitted without specific City Council approval.*

Office

*Professional offices
Banks and credit unions
Medical clinics
Artist studios*

Commercial

*Convenience stores – ~~with or~~ without fuel sales
Grocery stores – maximum 50,000 square feet per tenant
Retail – maximum 50,000 square feet per tenant/floor, no single tenant to exceed 100,000 square feet total across multiple floors
~~Personal service and improvement~~
~~Health clubs~~*

Institutional/Public

*Medical clinics
Colleges/Universities/Educational Services
Museums
Open space/Park
Convention center/Assembly/Auditorium
Government offices
Places of worship
Municipal Facilities*

Hotel/Entertainment

Hotels – Rooms off interior corridors (no motor lodges)
Recreation – Indoor/Outdoor Restaurants and private clubs –
without drive-up window

Fast-food restaurant

Movie Theaters - Indoor

Convention center/Assembly/Auditorium

~~Health clubs~~

6. Planning Commission Voting

14-2-103

PLANNING COMMISSION

C. Organization and Procedure. The Planning Commission shall be organized and exercise its powers and duties as follows:

4. No official business shall be conducted by the Planning Commission unless a quorum of its members is present. Four (4) members of the Planning Commission shall constitute a quorum. ~~Any action taken shall require a minimum of four (4) yes votes majority of members present and voting from members of the Planning Commission~~, unless otherwise prescribed by law.

7. Location of Street Trees

14-16-109

TYPES AND LOCATION OF LANDSCAPING

C. Street trees shall be required along each street and any reverse frontage conditions. ~~Street trees shall be located within the front, corner side or street yard setback~~. Each tree shall be a minimum two (2) inch caliper and shall be planted at a minimum spacing of one (1) tree for every thirty-five (35) lineal feet of street frontage or fraction thereof over twenty (20) feet.

8. Access Requirements

14-18-109

ACCESS REQUIREMENTS

- A. Any property, regardless of its use or zone designation, shall be subject to the following.
 1. Any off-street parking area shall be accessed through an approved drive approach, also referred to as a “drive-access” or “curb-cut”, meeting city construction standards. It is unlawful to drive a motor vehicle on any sidewalk, park strip, or any other area behind the curb within a public right-of-way, with the exception of an approved drive-approach.
 2. The combined area of drive-approaches along any public street frontage shall not exceed fifty-percent (50%) of the linear length of the street curb immediately adjacent to a property, including required curb returns. A legal, non-

conforming flag lot shall be limited to one drive-approach which shall be the narrowest width possible to comply with the minimum access requirements of this Title and the Fire Code.

- 3. No off-street parking area shall be approved or constructed without a drive approach meeting City standards. Any drive-approach shall be located at least five (5) feet from a side or rear property line, with the exception of approved, shared drive-approaches.*
- 4. Each drive approach, drive access or driveway, shall be surfaced with asphalt, concrete pavement or comparable material and shall be graded to dispose of all surface water. All parking, driveways and grading plans shall be reviewed and approved by the City Engineer.*
- 5. Existing drive approaches (drive accesses or curb-cuts) which are abandoned by non-use or which are relocated as part of an approved development project shall be removed and replaced with standard curb, gutter, and sidewalk, as required by the City Engineer.*

9. Site Plan Review Application Submittal

14-2-304

ACCOMPANYING MAPS AND DRAWINGS REQUIRED

All maps, drawings, and illustrations shall conform to Chapter 15 - Design Standards for Non-Single Family Development, and to all other provisions of this title, and shall be prepared and drawn to a standard scale large enough to show details clearly with dimensions thereof. Said maps and drawings shall be stamped by a Registered Architect, Engineer, Landscape Architect, or Land Surveyor in accordance with the laws of the State of Utah and the provisions of this Title. The following shall be included:

- A. For Preliminary Review:*
 - 1. A vicinity map showing site orientation and location in relation to streets and arterial roads.*
 - 2. Survey of the subject site prepared by a Surveyor registered in the State of Utah.*
 - 3. Typed statement describing the proposal*
 - ~~*4.*~~ *Statement of building use, occupancy, area tabulations, parking, and landscaping tabulations.*
 - ~~*5.*~~ *The location of all proposed and existing structures on the subject property and within fifty (50) feet on immediately adjoining properties to show that light and air are preserved, and to show that the development will not be detrimental to the orderly and harmonious development of the City.*

- ~~4.~~ *6. Location and types of landscaping and/or fencing and screening within yards and setback areas, including proposed sprinkling and irrigation systems.*
- ~~5.~~ *7. Location of existing and proposed utilities (i.e., power, water, sewer, gas, telephone, storm drains) and other public infrastructure improvements (i.e., curb, gutter, sidewalk, streets) together with existing easements and rights-of-way.*
- ~~6.~~ *8. Design of ingress and egress to provide a functional on-site traffic flow and to prevent interference with traffic on adjacent streets.*
- ~~7.~~ *9. Off-street parking and loading facilities in compliance with the off-street parking and loading standards as set forth in Chapter 18 of this Code, including provisions for pedestrians and the disabled.*
- ~~8.~~ *10. Existing and proposed contours and spot elevations.*
- ~~9.~~ *11. Preliminary drainage plan.*
- ~~10.~~ *12. Preliminary building elevations and sections.*
- ~~11.~~ *13. Architectural drawings, sketches, or perspective drawings of the exterior elevations of proposed buildings, structures, signs, including types, textures, and colors of materials to be used.*
- ~~12.~~ *14. Other pertinent building features.*

City Council Staff Report



Subject: Site Plan Review for a Two-Family Residential Building
Author: Curtis Poole, City Planner
Address: 1350 South 200 West
Date: March 23, 2021

Background

The Applicant, Hank Nelson, requests site plan approval to construct a two-family (duplex) residential development located at 1350 South 200 West. The subject property is in the RM-25 Subzone with the RM-25 Subzone to the south, west and north; and the RM-13 Subzone to the east. Except for a few properties, most properties are multi-family residential uses in this neighborhood. Bountiful Land-Use Code requires site plan review of all multifamily residential developments, including duplexes. The Planning Commission reviewed this request at its March 16, 2021 meeting and has forwarded a positive recommendation for approval to the City Council on a 6-0 vote.

Analysis

The property is located on 0.345 acres (15,028 square feet). The RM-25 Subzone permits up to twenty-five (25) units per acre with a minimum lot size of one (1) acre. When a property is smaller than one (1) acre and larger than 0.25 acres the maximum density is reduced to seven (7) units per acre. The density for these smaller properties would be determined by the net buildable area, after minimum setbacks (25' front, 10' side and 20' rear) have been identified.

The Applicant has removed the existing single-family dwelling and proposes to replace it with a duplex. Plans show the duplex would be oriented towards 200 West with one thirty-foot (30') shared driveway, which meets the maximum standard width of thirty feet (30') for driveways. The proposal meets the minimum standard for parking (2.75/unit) based upon each unit containing three (3) bedrooms.

Based upon submitted plans the Applicant would meet the setback standards of code. Landscaping standards for the zone require a minimum of forty percent (40%) and plans show approximately seventy-four percent (74%) of this development would be landscaped. There is no standard for location and number of trees and shrubs for two-family residential dwellings.

Renderings show a two-story building approximately twenty-six feet (26') in height, which is less than the maximum height standard of thirty-five feet (35'). Building material is a mix of cementitious siding (Hardie board) and stucco. Entrances for each unit would be oriented toward 200 West.

Bountiful Light and Power is requesting a ten-foot (10') wide rear yard easement and five-foot (5') side yard easement to be recorded at the County. BL&P indicates there is a utility pole located inside the northwest corner of the property that would provide service to this new development and the existing apartments to the west. The purpose of the easement would be for access to the utility pole. The Applicant has indicated that each unit would have their own garbage cans.

Department Review

This proposal has been reviewed by the Engineering, Planning, Police and Power Departments and by the Fire Marshall and City Attorney.

Significant Impacts

This proposed site plan amendment is located in an area with urban levels of infrastructure already in place and would be adequate to accommodate the proposed development.

Recommendation

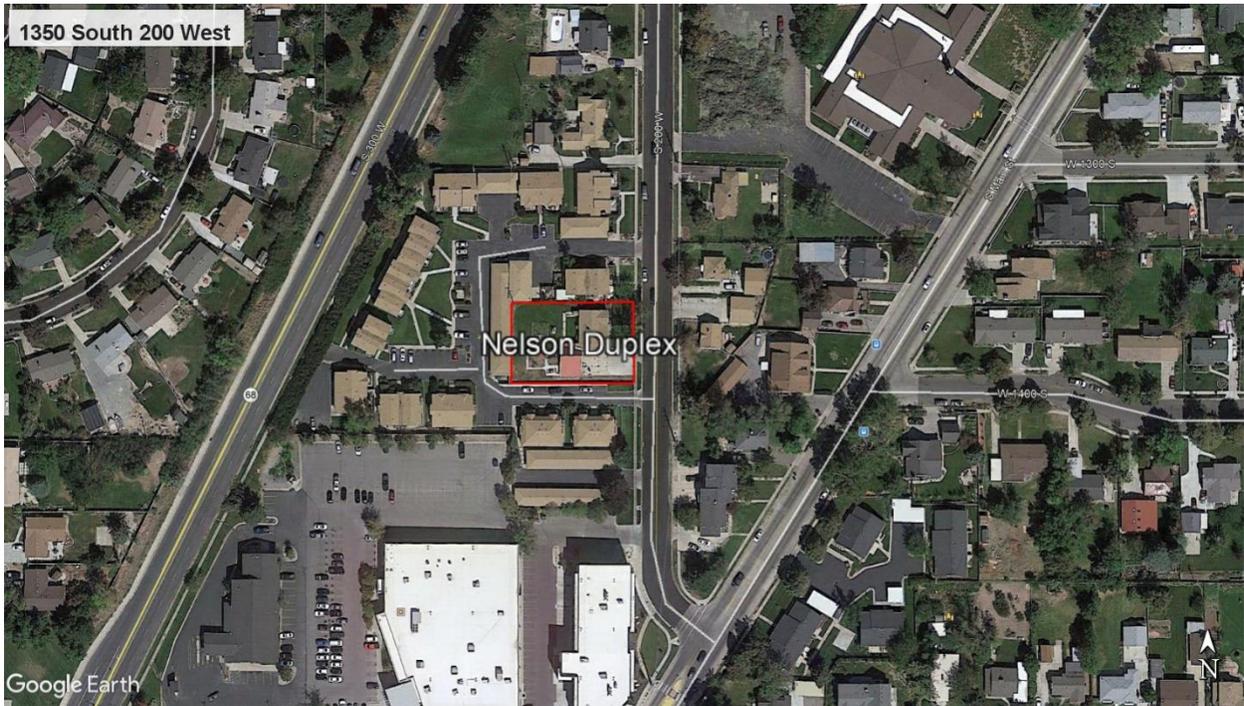
The Planning Commission has forwarded a positive recommendation to the City Council for approval of the two-family residential building site plan with the following conditions:

1. Complete all redline corrections.
2. Grant and record utility easements requested by Bountiful Light and Power.
3. Provide elevations and resolve any concerns regarding drainage to the satisfaction of the City Engineer.
4. Pay fees and post an acceptable bond in the amount determined by the City Engineer.
5. Sign a Public Improvement Development Agreement.

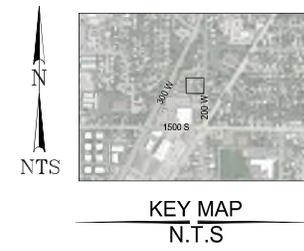
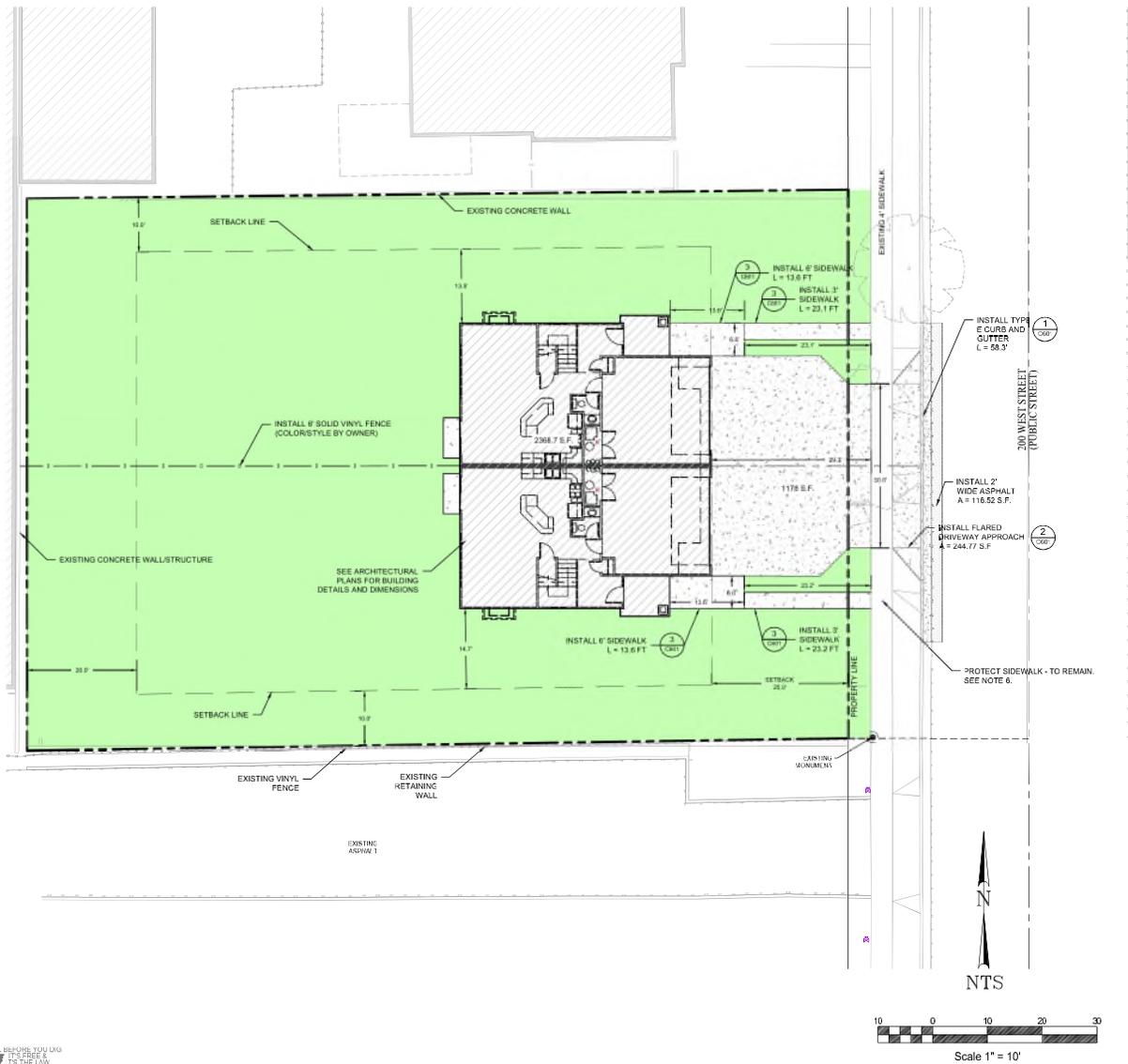
Attachments

1. Aerial photo
2. Site Plan
3. Grading Plan
4. Utility Plan
5. Demo Plan
6. Landscape Plan
7. Building Renderings
8. Floorplans

Aerial Photo



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- SITE NOTES**
1. Bluminous surface course shall be 3/4" gradation. Asphalt cement shall be PG64-28. Asphalt shall be compacted per city standards.
 2. Unretreated base course shall be 3/4" or 1" gradation and shall be installed and compacted per APWA 32.1.23 including addendum.
 3. Hot mix paving activities shall be conducted only when air and roadbed temperatures in the shade are 45° F. and rising. Cease paving if air temperatures fall below 50° F.
 4. The contractor shall decide on final locations for both the concrete washout and temporary construction entrance. The contractor shall acquire County approval of all locations prior to installation.
 5. Contractor shall remove and replace "in-kind" all concrete disturbance or damage during the site construction.
 6. Bountiful City Excavation Permit required for sewer lateral installation. City bonding and insurance requirements apply.

- Concrete**
1. All concrete work shall be normal weight concrete with a compressive strength equal to at least 4000 psi within 28 days after pouring. The water cement ratio shall be no greater than 0.45 and slump shall be between 2.5" to 4.5" or less. Minimum cement content shall be 8.5 sacks per cubic yard. Provide 5.5% to 5.9% air entrainment for concrete of this class used in slabs and walls.
 2. Unless otherwise noted, all construction joints shall be keyed with a key 1-1/2 in. deep, a length 2 in. Less than the member, and a width 1/2 of the member. Reinforcing shall be continuous through the joint.
 3. All concrete work shall be placed, cured, stripped, and protected as directed by the project and APWA specifications (03 30 10).
 4. Before concrete is poured check with all trades to insure proper placement of all openings, sleeves, curbs, conduits, bolts, inserts, etc. relative to work.
 5. Contractor is responsible for all shoring and formwork.
 6. Refer to architectural drawings for molds, grooves, ornament, clips AND grounds required to be encased in concrete slab and slab finishes, color, patterns, and depressions.
 7. Refer to slab joint layout plan for control and construction joint locations.
 8. Concrete testing shall be per project specifications and APWA 03 30 05. Testing shall comprise of temperature, air, slump and strength testing. The following table summarizes required testing frequency.

Rate of Placement (c/yd)	Temperature	Air	Slump	Strength
0-8	1	1	1	1
0-50	1	1	1	1
Each additional 50 cy or fraction thereof	1	1	1	1

- Concrete Reinforcement**
1. All metal reinforcement shall be deformed type bars (except #2 bars) and shall conform to the requirements of the Standard Specifications ASTM A615 Grade 60.
 2. All Splices in continuous concrete reinforcing bars shall lap 36 bar diameter or per the latest addition of ACI 318. All such splices shall be made in a region of compression unless otherwise shown. All continuous reinforcement shall terminate with a 90° turn or a separate corner bar.
 - A. Formed surfaces in contact with the ground or exposed to weather, and slabs on grade - 2 in.
 - B. Unformed surfaces cast against and permanently exposed to earth (bottom and sides of footings) - 3 in
 3. All reinforcement bars shall be securely anchored and held in place and shall be spaced from adjacent surfaces (unless shown otherwise) as follows:
 - A. Formed surfaces in contact with the ground or exposed to weather, and slabs on grade - 2 in.
 - B. Unformed surfaces cast against and permanently exposed to earth (bottom and sides of footings) - 3 in
 4. Welded wire fabric shall conform to ASTM A 185 and shall have a minimum site lap of 8 in.
 5. All reinforcement shall be detailed and placed in accordance with the latest edition of ACI detailing manual 315-77 and ACI standard 318.

MULTI-FAMILY RESIDENTIAL DEVELOPMENT
1350 S. 200 W., BOUNTIFUL, UT
SITE PLAN

231 West 800 South, Salt Lake City, Utah 84101
Ward Engineering Group
Planning Engineering Surveying
PH: 801.487.8900

CLIENT: HANK NELSON
DWG: SITE.dwg
JOB NO.: 4982-NELSON02-20
DATE: 03/05/2021

DRAWN BY: AMD
DESIGNED BY: AMD
CHECKED BY: BHT
DATE: 03/05/2021

REVISIONS

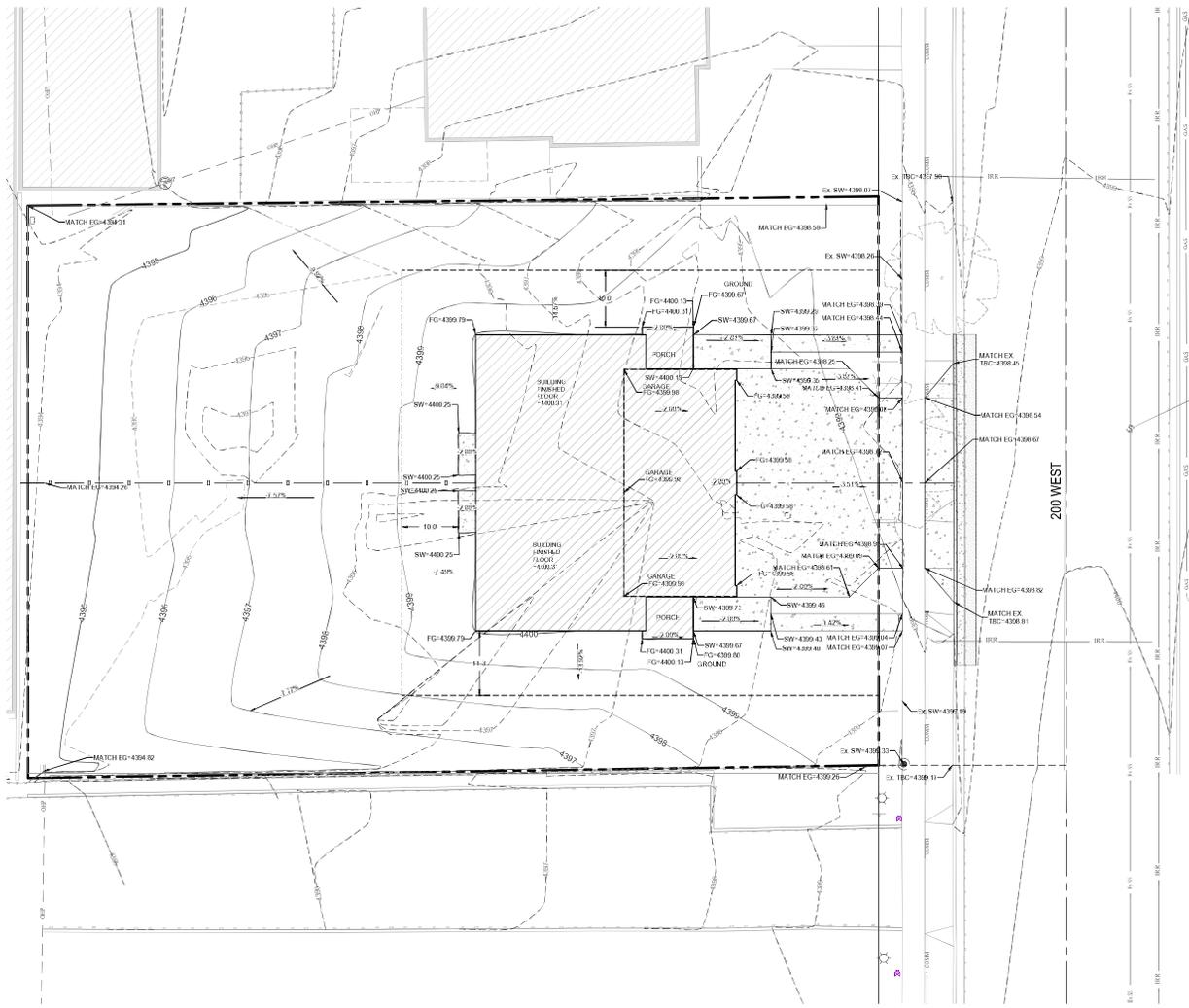
NO.	DESCRIPTION	DATE



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C301

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 PLOT DATE AND TIME: 3/5/2021 2:39 PM

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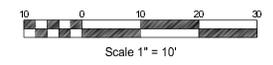
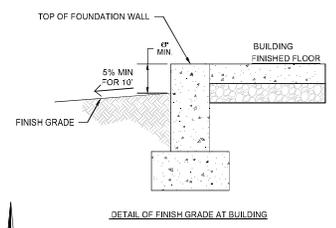


KEY MAP
N.T.S.

APPROXIMATE EARTHWORK TOTAL
NET FILL REQUIRED: 750 CU YD

- NOTES:**
1. EARTHWORK CALCULATIONS ARE FROM A COMPUTER MODEL AND DOES NOT ACCOUNT FOR POTENTIAL LOSSES WHICH MAY AND WILL BE ATTRIBUTED TO DEMOLITION ACTIVITIES OF: REMOVAL OF CONCRETE, FOUNDATION, TURF, GRASS, TREE, & STRUCTURES.

- EARTHWORK NOTES**
1. The contractor shall exercise sufficient supervisory control during grading and construction to insure compliance with the plans, soils report, specifications, and code with his purview.
 2. Surface drainage to be one (2%) percent minimum to approved drainage facilities, except as waived by the Building Official or directed by the Engineer.
 3. All fill except that underneath paved surfaces, within road right of way, or underneath building slabs, footings, and sidewalks shall be classification compacted to a minimum of eighty-five (85%) percent maximum density and +1-2% optimum moisture content as determined by ASTM D-698 standard proctor density, and certified by tests and reports from soils engineer.
 4. All fill underneath roadways, building slabs, footings, sidewalks and parking areas shall be classification A1 soils as defined by AASHTO M 143 and compacted to a minimum of ninety-five (95%) percent maximum density and +1-2% optimum moisture content as specified by ASTM D-1557 modified proctor density. For all fill underneath building slabs and footings, refer to structural plans and geotechnical report.
 5. Remove and dispose of trees, stumps, logs, limbs, sticks, vegetation, debris, and other material on the natural ground surface.
 6. Dispose of all material off the property to a facility licensed to accept the material type.
 7. Contractor shall remove all top soil within the area of construction. Stockpile or remove from site per owner instructions.



MULTI-FAMILY RESIDENTIAL DEVELOPMENT
1350 S. 200 W., BOUNTIFUL, UT
GRADING PLAN

231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
 Planning Engineering Surveying



CLIENT: HANK NELSON
 DRAWING PLAN DWG
 JOB No. 4502-NEL-020-20
 DATE: 03/05/2021

DRAWN AND DESIGNED BY: AMD
 CHECKED BY: BHT

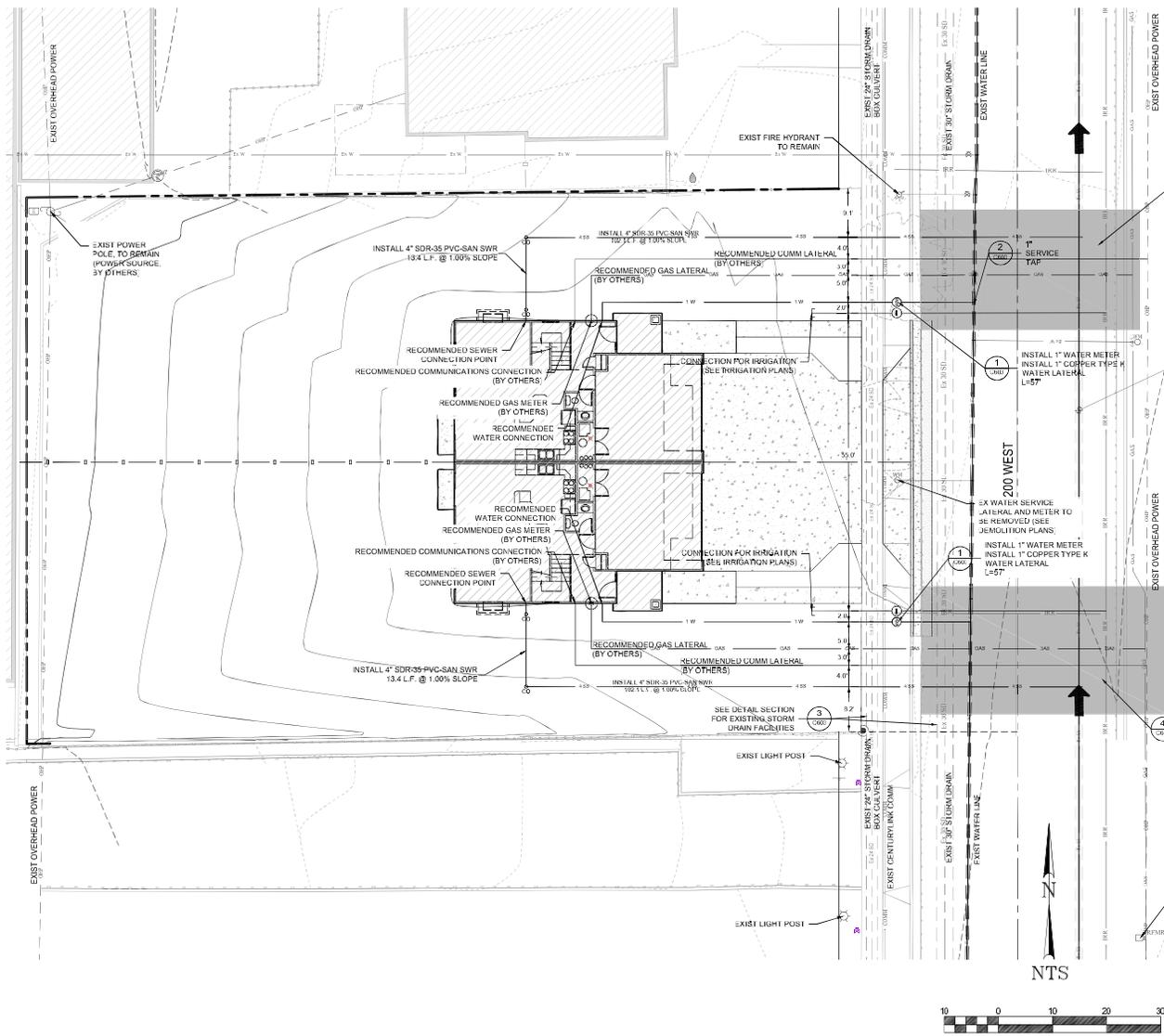
REVISIONS



SHEET

C401

PH: 801.487.8040



KEY MAP
N.T.S

- WATER IMPROVEMENT REQUIREMENTS:**
- Bountiful City Water Department will install culinary water service from the main to the meter.
 - There is an existing irrigation main on the east side of 200 West Street. It is required that this development connect to it and utilize this utility for irrigation needs.
 - All water mains and appurtenances, shall be designed, constructed, disinfected, tested, and placed in service in accordance with all applicable laws, rules, regulations, ordinances, and requirements including but not limited to, the requirements of OSHA, the State Division of Drinking Water, Bountiful City Water District.
 - All construction within public rights-of-way shall comply with Bountiful City Water District Standards.
 - All materials which may contact the drinking water shall be ANSI certified as meeting NSF Standard 61.
 - Water mains shall be PVC pipe and shall meet all the requirements for AWWA C900, pressure class 150, DR-18 pipe, unless called out otherwise. Installation and testing shall be performed in accordance with AWWA C605. Disinfection shall be performed in accordance with AWWA C601. Water mains and laterals shall be tested to include, Construction and Deflection Testing, Pressure Testing and Dismantling and in accordance with the requirements of Bountiful City Water District, OSHA, and the Utah Division of Drinking Water.
 - Water laterals shall be Polyethylene (PE) PE3408, AWWA C901, SDR-7 unless otherwise indicated on the plans. Installation and testing shall be performed in accordance with AWWA C600. Disinfection shall be performed in accordance with AWWA C105.
 - All buried pipelines shall have tracer wire (12 Gauge) directly above pipe which shall be tied to all valves. All utility piping shall have warning tape installed 12" min. above and along the entire length, including service lateral. Tape shall be labeled according to utility.
 - The open ends of all pipelines under construction shall be covered and effectively sealed at the end of each day's work.
 - Any proposed connection to existing pipelines, or any non-flanged fitting or valve is required to be restrained or truss blocked.
 - All water lines shall be constructed to a depth so as to maintain 48" min ground cover.
 - Contractor shall notify Bountiful City Water District 48 hours in advance of making any connections to water or sewer lines.
 - Pipe bedding installation and backfill shall be per manufacturer's recommendations. Backfill compaction shall be to a minimum of ninety-five (95%) percent maximum dry density and +/-2% optimum moisture content Modified Proctor, as specified in ASTM D-1557. Compaction testing shall be a minimum of 1 per 100' for every 200 feet of trench length.

- SEWER IMPROVEMENT REQUIREMENTS:**
- Bountiful City Excavation Permit required for sewer lateral installation. City bonding and insurance requirements apply.
 - All sewer mains and appurtenances shall be designed, constructed, tested, and placed in service in accordance with all applicable laws, rules, regulations, ordinances, and requirements including, but not limited to, the requirements of OSHA, the State Division of Water Quality.
 - All construction within public rights-of-way shall comply with South Davis Sewer District Standards.
 - Any flushing into the existing sanitary sewer system is strictly prohibited.
 - Gravity sewer mains and laterals shall be PVC, SDR 35 pipe with integral bell and spigot, gasketed joints. Sewer force mains shall be PE (Polyethylene) pipe and shall meet the requirements for AWWA C906 / PE 3408, minimum pressure class 150 (DR-11 minimum). Installation shall be per ASTM D 2321 and ASTM F 1668.
 - Gravity sewer mains and laterals shall be tested according to APWA 33 08 00 to include, Alignment and Grade Testing, Obstructions and Deflection Testing, Infiltration Testing for gravity pipelines, Pressure Testing for pressure pipelines, and Video Inspection.
 - Pipe bedding installation and backfill shall be per manufacturer's recommendations. Backfill compaction shall be to a minimum of ninety-five (95%) percent maximum dry density and +/-2% optimum moisture content Modified Proctor, as specified in ASTM D-1557. Compaction testing shall be a minimum of 1 per 100' for every 200 feet of trench length.
 - The location of the stub ends of all laterals shall be marked in the field using a 2" x 4" post extending from the end of the lateral to a minimum of three feet above the ground surface. The 2" x 4" post shall be painted using green paint. Record drawings shall be maintained at the project site showing accurate locations of all lateral connections measured from the nearest manhole and all lateral ends measured from the nearest property line. No laterals shall be directly connected to manholes.
 - Following placement of asphalt, all sewer lines shall be flushed and cleaned, and all manhole lids adjusted to 1.0 feet below finished grade and in accordance with the requirements herein.
 - The Owner reserves the right to televise, at their expense, any or all portions of this work prior to placing such facilities in service, and the Contractor shall give the Owner sufficient advance notice of their intent to place these facilities in service as will allow the Owner to schedule such televising.

- OTHER UTILITY NOTES:**
- WITH THE EXISTING STORM DRAIN BOX CULVERT UNDER THE SIDEWALK AND CONCRETE PIPE IN THE ROADWAY CONTRACTOR SHALL TAKE CARE TO FOLLOW CITY AND UTILITY DISTRICT STANDARDS FOR CROSSING EXISTING UTILITIES WITH NEW UTILITY LATERAL CONNECTIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, LOOPS, ENCASEING, INSULATION BOARDS, ETC AS DIRECTED BY THE STANDARDS.

MULTI-FAMILY RESIDENTIAL DEVELOPMENT
1350 S. 200 W., BOUNTIFUL, UT
UTILITY PLAN

231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
Planning Engineering Surveying

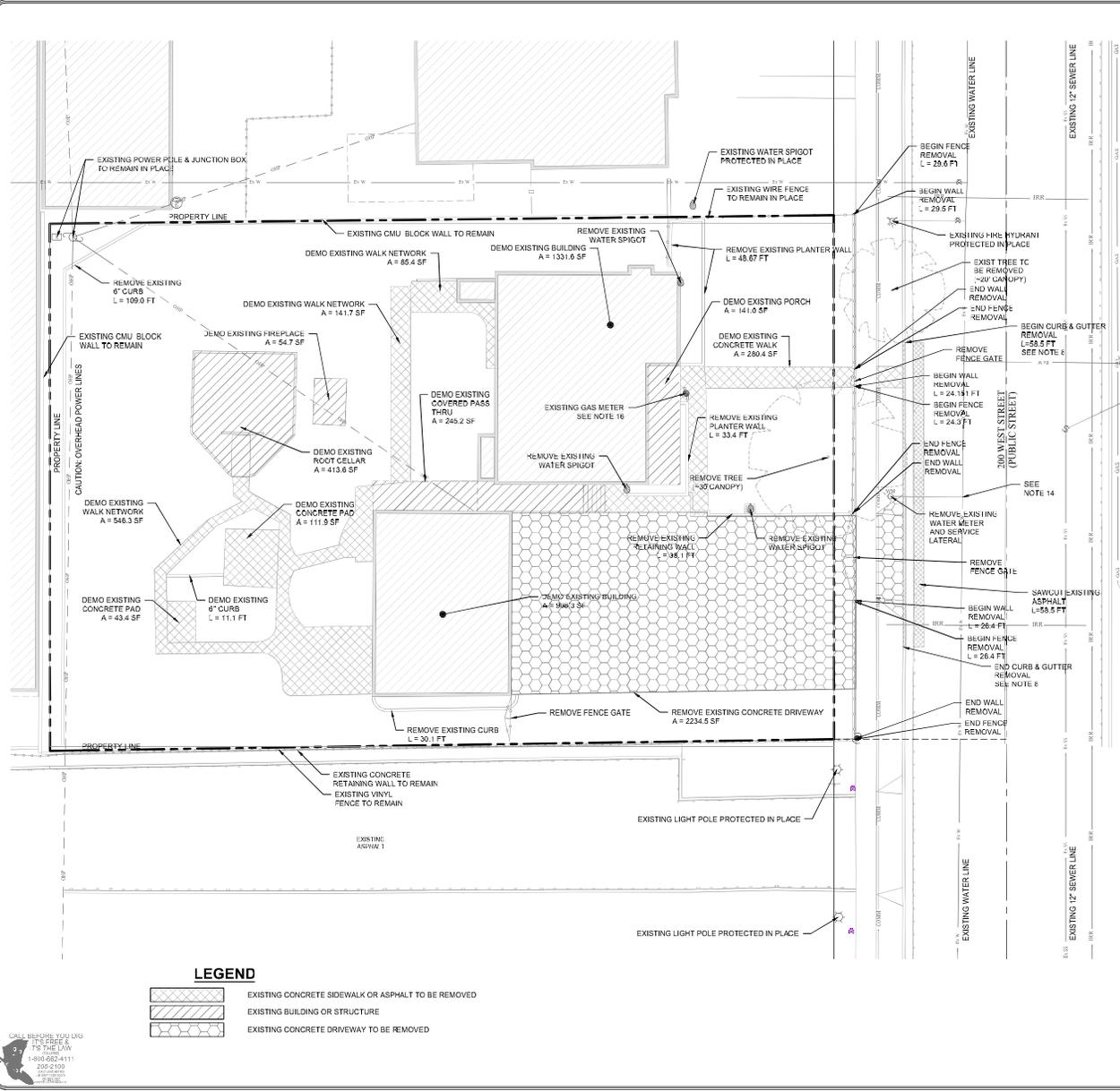
CLIENT: HANK NELSON
TYPE: UTILITY PLAN.dwg
JOB NO.: 4562-NELSON02-20
DATE: 03/05/2021

DRAWN BY: AMD
DESIGNED BY: AMD
CHECKED BY: BHT
DATE: 03/05/2021

REVISIONS	DATE	DESCRIPTION



SHEET
C501



DEMOLITION IS CURRENTLY UNDERWAY



KEY MAP
N.T.S

GENERAL NOTES:

1. CONTRACTOR WILL INVESTIGATE EXISTING RECORDS, VISIT THE PROJECT SITE AND BECOME FAMILIAR WITH THE LOCATION AND CONDITION OF ALL EXISTING UTILITIES PROPOSED FOR ABANDONMENT / REMOVAL
2. CONTRACTOR WILL PROTECT IN PLACE ALL EXISTING UTILITIES AND GROUND FEATURES INTENDED TO REMAIN IN USE. ALL DAMAGED UTILITIES AND IMPROVEMENTS DUE TO CONTRACTOR'S OPERATION WILL BE REPAIRED BY CONTRACTOR AT NO COST TO THE OWNER.
3. ALL UTILITY ABANDONMENT PROPOSED IN THIS PLAN SET WILL BE DONE AFTER SECURING SERVICES TO THE BUILDINGS AND EXHIBITS PROVIDED BY THE UTILITY PROPOSED FOR ABANDONMENT.
4. CONTRACTOR WILL POTHOLE AND USE APPROPRIATE NON-DESTRUCTIVE METHODS TO LOCATE THE EXISTING UTILITIES PROPOSED FOR ABANDONMENT. ANY DAMAGE TO OTHER UTILITIES DURING ABANDONMENT OPERATION WILL BE REPAIRED BY CONTRACTOR AT NO COST TO THE OWNER. THE CONTRACTOR WILL PROVIDE HELP WITH LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THEIR ABANDONMENT
5. THE CONTRACTOR IS RESPONSIBLE TO DISPOSE OF ALL REMOVED MATERIAL DURING ABANDONMENT OF UTILITIES TO A FACILITY LICENSED FOR DISPOSAL OF SUCH MATERIAL.
6. THE CONTRACTOR WILL PLACE COMPACTED IMPORTED GRANULAR FILL IN THE CONSTRUCTION AND EXCAVATION HOLES DUE TO THE REMOVAL OF THE EXISTING UNDERGROUND IMPROVEMENTS
7. ALL ON-SITE IMPERVIOUS SURFACES (CONCRETE, ASPHALT, CURBING) ARE TO BE REMOVED AND DISPOSED OF AT AN APPROVED FACILITY.
8. THE CONCRETE FLATWORK PROPOSED FOR REMOVAL IS TO BE REMOVED TO THE NEAREST CONSTRUCTION JOINT WHEN APPLICABLE.
9. THE CONTRACTOR IS RESPONSIBLE TO Haul AWAY ALL DEMOLISHED AND REMOVED MATERIAL DESCRIBED IN THIS PLAN SET TO A FACILITY LICENSED FOR THE DISPOSAL OF SUCH MATERIAL.
10. THE CONTRACTOR WILL NOTIFY QUESTAR GAS AND ROCKY MOUNTAIN POWER FOR ALL WORK AROUND GAS AND POWER UTILITIES.
11. THE EXISTING UTILITIES SHOWN ARE FROM RECORD DRAWINGS. THE ENGINEERS MAKE NO GUARANTEE AS TO THE ACCURACY OF THE ACTUAL LOCATIONS IN THE FIELD.

SPECIFIC NOTES:

- STORM DRAIN**
12. THE CONTRACTOR IS TO INSTALL GRAVEL BAG INLET PROTECTION ON ALL INLETS AND MANHOLES TO EXISTING STORM DRAIN SYSTEM TO PROTECT SOLIDS FROM ENTERING THE STORM DRAIN SYSTEM. SEE EC-01.
- CULINARY WATER**
13. ANY WATER FACILITIES REMOVED INCLUDING FIRE HYDRANTS AND VALVES WILL BE CLEANED AND RETURNED TO THE OWNER.
 14. BOUNTIFUL CITY WATER DEPARTMENT WILL CUT AND CAP ALL ABANDONED CULINARY WATER LATERALS AT THE PROPERTY LINE. LATERALS SHALL BE ABANDONED AT THE MAIN.
- SEWER**
15. CONTRACTOR WILL INSTALL CONCRETE PLUGS AT EACH END OF THE ABANDONED SEWER LATERAL AND IN EACH MANHOLE. CONTRACTOR WILL FILL THE ABANDONED IN PLACE SEWER LATERAL PIPE WITH FLOWABLE FILL. COORDINATE ABANDONMENT PROCEDURES WITH SOUTHWEST SEWER DISTRICT
- NATURAL GAS NOTES**
16. CONTRACTOR IS TO CONTACT DOMINION ENERGY FOR ANY WORK AT OR NEAR EXISTING NATURAL GAS LINES.
 17. THE EXISTING GAS LINES ARE TO REMAIN IN SERVICE UNTIL THE SERVICES ASSOCIATED WITH THE GAS LINES ARE COMPLETELY RECONNECTED TO THE NEW GAS SYSTEM OR DESIGNATED AS ABANDONED.
- BUILDING**
18. THE EXISTING POWER, GAS, WATER AND SEWER TO THE EXISTING BUILDINGS WILL BE DISCONNECTED IN ACCORDANCE WITH THE OWNING UTILITY COMPANY REQUIREMENTS PRIOR TO ANY DEMOLITION OF THE BUILDINGS CAN BEGIN.
 19. CONTRACTOR WILL SURVEY THE BUILDINGS FOR ANY ASBESTOS CEMENT (AC) MATERIAL. THE AC MATERIAL IF IT EXISTS WILL BE REMOVED AND DISPOSED OF AT A LICENSED LANDFILL BEFORE ANY DEMOLITION CAN BEGIN
- OTHER NOTES:**
20. EXISTING SIDEWALK AROUND SITE SHALL REMAIN INTACT.
 21. TREES TO BE REMOVED SHALL BE REMOVED AT THE BASE, ALONG WITH THE GRINDING AND REMOVAL OF THE STUMP BELOW THE SURFACE. CONTRACTOR SHALL ALSO CHEMICALLY KILL THE ROOT SYSTEM TO ENSURE NO FURTHER GROWTH OCCURS.
 22. REMOVE AND ABANDON ANY IRRIGATION LINES, PARTS, & APPURTENANCES AFTER DISCONNECTING THE EXISTING WATER SERVICE (SEE NOTE 14). COORDINATE ABANDONMENT PROCEDURES WITH BOUNTIFUL IRRIGATION.

LEGEND

	EXISTING CONCRETE SIDEWALK OR ASPHALT TO BE REMOVED
	EXISTING BUILDING OR STRUCTURE
	EXISTING CONCRETE DRIVEWAY TO BE REMOVED

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202-2100
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MULTI-FAMILY RESIDENTIAL
DEVELOPMENT
1350 S. 200 W., BOUNTIFUL, UT
DEMOLITION PLAN

231 West 800 South Salt Lake City, Utah 84101
Ward Engineering Group
Planning Engineering Surveying

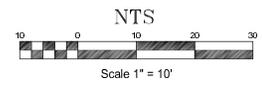
CLIENT: HANK NELSON
DWG: DEMOLITION.dwg
JOB NO.: 482-24-ELN-002-20
DATE: 03/25/2021

DRAWN BY: AMD
DESIGNED BY: AMD
CHECKED BY: BHT
DATE: 03/25/2021

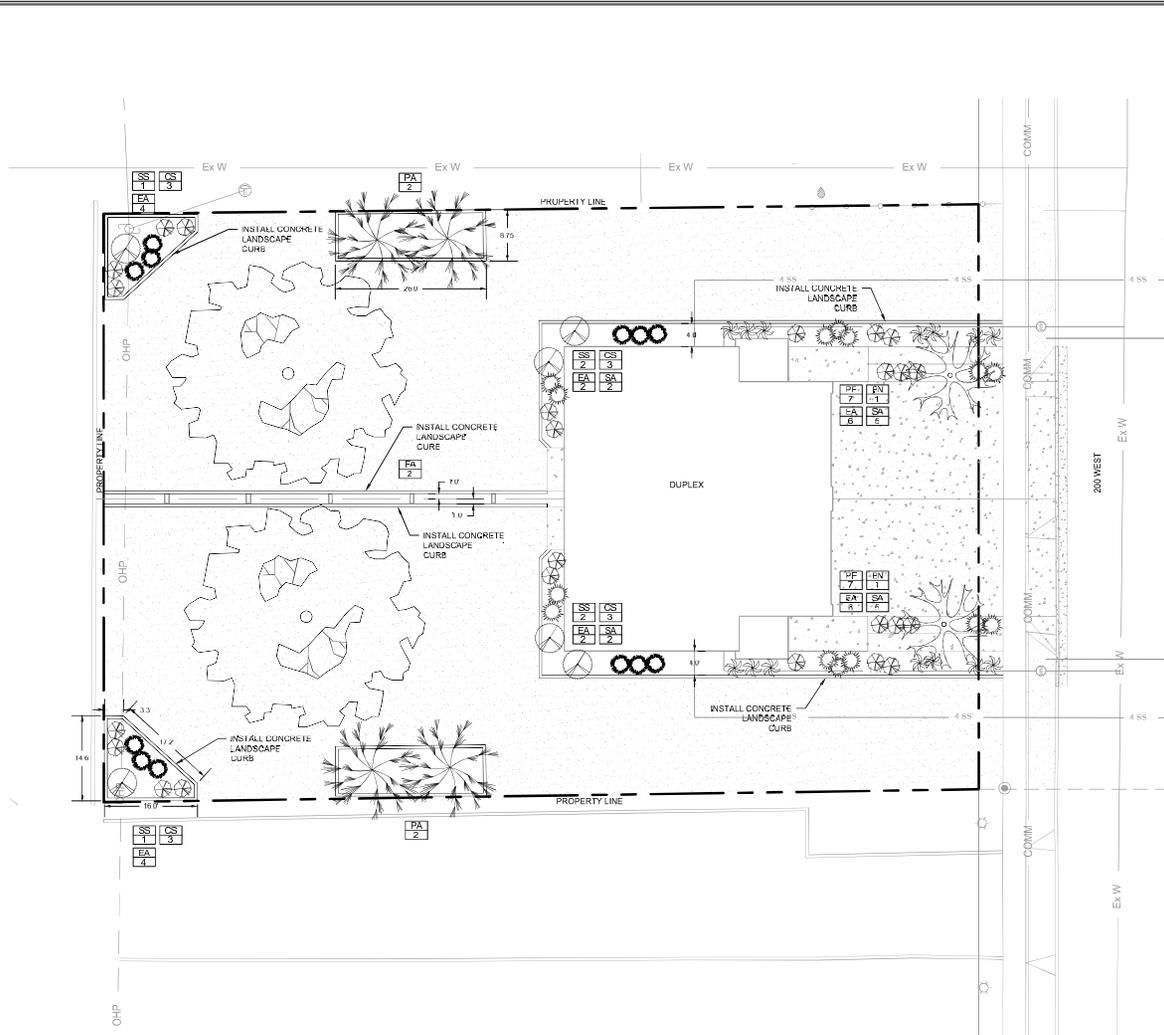
REVISIONS



SHEET
C201

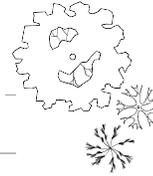


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PLANT LEGEND

TREES



CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE (mature)	NOTES
FA	2	<i>Fraxinus americana</i> Autumn Purple*	Autumn Purple Ash	2" CAL (60x60W)	DIR
EN	2	<i>Betula nigra</i>	Weibull River Birch	1 1/2" CAL (20x42CW)	Mult-Trunk
FA	4	<i>Picea abies</i>	Norway Spruce	5.6 Foot Tall (55x42CW)	DIR

SHRUBS/GRASSES

SS	6	<i>Syringa</i> spp.	Lilac	5 GAL (8x8W)	
EA	24	<i>Eucryphia alata</i> "Lampshade"	Deer Burning Bush	5 GAL (8x8W)	
FT	14	<i>Pennisetum setaceum</i> "Tobacco"	Purple Fountain Grass	5 GAL (8x8W)	DIR

GROUND COVER

SA	14	<i>Salvia</i> spp.	Salvia		
CS	12	<i>Cortaderia</i> spp.	Cortaderia varieties		
10,031 SF		<i>Festuca arundinacea</i> "Labyrinth"	RTF turf grass		

DIR: Drought Tolerant

GENERAL NOTES

ALL QUANTITIES ARE SHOWN AS AN AID ONLY. PLANS TAKE PRECEDENCE. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR FOR ALL ACTUAL QUANTITY CALCULATIONS.
 PLANT COMMON NAMES ARE SHOWN AS AN AID ONLY. USE BOTANICAL NAME WHEN PURCHASING ALL PLANT MATERIAL.
 ALL PLANTING TO BE DONE PER DETAILS SHEET LA-200 AND COMMON INDUSTRY BEST PRACTICES



Scale 1" = 10'

NOTE:

- ALL PLANTING AREAS TO RECEIVE PERMEABLE WEED FABRIC (NO PLASTIC) AND BARK MULCH 2" DEEP UNLESS NOTED ON PLAN. SEE PLANTING NOTE & SHEET LA-201
- ALL PLANTS TO BE INSTALLED IN CLUMPS AS SHOWN. DO NOT PLANT EVENLY SPACED.
- ALL PLANTING AREAS TO RECEIVE TOP SOIL PER SPEC. SEE PLANTING NOTE 11 SHEET LA-201

MULTI-FAMILY RESIDENTIAL
 DEVELOPMENT
 1350 S. 200 W., BOUNTIFUL, UT
 LANDSCAPE PLAN

231 West 800 South, Salt Lake City, Utah 84101
Ward Engineering Group
 Planning, Engineering, Surveying
 PH: 801.487.8040

CLIENT: HANK NELSON
 DWG: 4802-NEL-CON-02-20
 CHECKED BY: BHT
 DATE: 01/18/2021

REVISIONS

SHEET
LA-100

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ATTIC VENTILATION NOTES:

The net free ventilation area shall not be less than 1/300th provided that at least 50% of the area is provided by ventilators located in the upper portion of the space to be ventilated, the other to be provided by vented soffit system.

The builder/general contractor (construction professional) must carefully and thoroughly verify dimensions, validity, and overall integrity of the plans. In the event of a discrepancy, prior to construction, Creations West shall be contacted for clarification. At the time of construction, Creations West is relieved of liability and the builder/general contractor assumes full responsibility.

GENERAL NOTES:

Compliance with codes and ordinances governing the work shall be made and enforced by the general contractor. General contractor shall verify all existing conditions and dimensions prior to construction. Manufacturer's take precedence over scale. Manufacturer's specifications for installation of materials shall be followed. Workmanship throughout shall be of the best quality of the trade involved and the general contractor shall coordinate the work of the various trades to expedite the job in a smooth and continuous process.

WINDOWS NOTES:

Bedroom windows to have a finished clear opening height min. of 44" from floor.
 Windows to have 20" min. clear width and 24" min. clear height.
 Bedroom windows to be a min. of 5:1 sq. ft.
 Windows to be sized at 1/10th for the sq. ft. for glass size and 1/20th of the sq. ft. for ventilation requirements, windows with 8" of the floor to be of tempered glass.

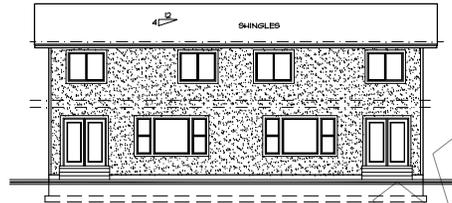
EXTERIOR WALL FINISHES MUST BE LISTED, LABELED AND INSTALLED AS PER MANUFACTURER'S INSTALLATION INSTRUCTION GUIDE. ALL INSTALLED MUST BE APPROVED BY THE MANUFACTURER.

EXCAVATION NOTES:

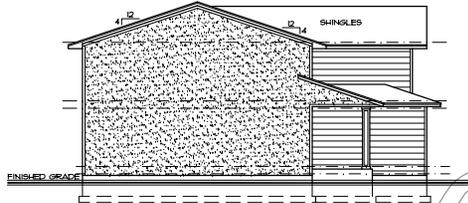
All footings shall bear on natural undisturbed soil. Footings shall be excavated to a minimum depth so as to provide frost protection. (30" min)
 The grade adjacent to all foundation wall shall fall a minimum of 6" inches within the first 10 feet (96")
 SLOPE Landings, ramps, porches or decks, which are required to be level or can have a MINIMUM slope of 1/4" per foot. All other horizontal surfaces within 10 feet of the foundation walls must slope a MINIMUM of 1/4" per foot away from walls.

VALIDITY OF PERMIT:

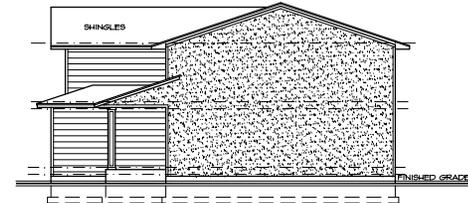
The issuance or granting of a permit or approval of plans, specifications and computations shall not be deemed to be a permit for, or an approval of, any violation of any of the provisions of this code or of any other ordinance of the jurisdiction. Permits presenting to give authority to violate or cause the provisions of this code or other ordinances of the jurisdiction shall not be valid. The issuance of a permit based upon plans, specifications and other data shall not prevent the building official from thereafter requiring the correction of errors on said plans, specifications and other data, or from preventing building operations being carried on thereunder when in violation of this code or of any other ordinance of this jurisdiction. The building official is also authorized to prevent occupancy or use of a structure where in violation of this code or any other ordinance of this jurisdiction.



REAR ELEVATION
 SCALE 1/8"



LEFT ELEVATION
 SCALE 1/8"



RIGHT ELEVATION
 SCALE 1/8"



TYP. SECTION
 SCALE 1/4"
 NOT APPLICABLE IN ALL LOCATIONS

FRONT ELEVATION
 SCALE 1/4"

PLANNED FOR:
HANK NELSON
 800.252.6799
 hnelson@creationswest.com

Address:
 1424 Legend Hills Dr., South Fowler | Phone: 848491
 Suite # 120 | Utah 84491 | Cell: 252.6799
 Clearfield, Utah 84015 | 801.252.6799 | 208.252.5753
 plans@creationswest.com

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DATE:
 FEB. 01 21
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PLAN NUMBER
D-1740-21UE

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The builder/general contractor (construction professional) must carefully and thoroughly verify dimensions, validity, and overall integrity of the plans. In the event of a discrepancy, prior to construction, Creations West shall be contacted for clarification. At the time of construction, Creations West is relieved of liability and the builder/general contractor assumes full responsibility.

FLOOR PLAN GENERAL NOTES:

1. All doors shall be 28" x 80" cover 4" minimum light to clear space. Location of door to be approved by authority.
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10. All doors shall be 28" x 80" cover 4" minimum light to clear space. Location of door to be approved by authority.

GENERAL NOTES:

1. Compliance with codes and references governing the work shall be made and enforced by the general contractor. General contractor shall verify all working conditions and dimensions prior to construction.
2. All work shall be in accordance with the International Building Code, 2018 Edition, with all amendments through the date of publication.
3. All work shall be in accordance with the International Building Code, 2018 Edition, with all amendments through the date of publication.
4. All work shall be in accordance with the International Building Code, 2018 Edition, with all amendments through the date of publication.
5. All work shall be in accordance with the International Building Code, 2018 Edition, with all amendments through the date of publication.

GENERAL BATHROOM NOTES:

1. Shower enclosures shall have at least 400 sq. ft. of floor area and be of sufficient size to provide a clear 60" x 60" clear area within the enclosure. Shower enclosure shall have a minimum clear height of 7'0".
2. All shower enclosures shall have a minimum clear height of 7'0".
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GENERAL NOTES:

1. All exterior doors shall have a floor or landing on each side of the door. The floor or landing at each shall not be less than 36" x 36" clear area. The top of the threshold, if the door is not a swing door, shall not be less than 1/2" above the finish floor. All landings shall be not less than 36" x 36" clear area, measured in the direction of travel.
2. All exterior doors shall have a floor or landing on each side of the door. The floor or landing at each shall not be less than 36" x 36" clear area. The top of the threshold, if the door is not a swing door, shall not be less than 1/2" above the finish floor. All landings shall be not less than 36" x 36" clear area, measured in the direction of travel.
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FIRE PROTECTION:

1. Provide 1/2" thick 1/4" thick on all the walls and ceiling of garage to the highest space above. Provide 5/8" thick 1/4" thick on all the walls and ceiling of garage to the highest space above. Provide 5/8" thick 1/4" thick on all the walls and ceiling of garage to the highest space above.
2. Provide 1/2" thick 1/4" thick on all the walls and ceiling of garage to the highest space above. Provide 5/8" thick 1/4" thick on all the walls and ceiling of garage to the highest space above. Provide 5/8" thick 1/4" thick on all the walls and ceiling of garage to the highest space above.
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PROJECT REQUIREMENTS:

1. Project requires double space under stairs with 5/8" gap. Provide the minimum protection on the exterior of the stairs in accordance with the International Building Code, 2018 Edition.
2. Project requires double space under stairs with 5/8" gap. Provide the minimum protection on the exterior of the stairs in accordance with the International Building Code, 2018 Edition.
3. Project requires double space under stairs with 5/8" gap. Provide the minimum protection on the exterior of the stairs in accordance with the International Building Code, 2018 Edition.

SMART STATE NOTES:

1. Smart State notes shall apply to the exterior of the building and shall be in accordance with the International Building Code, 2018 Edition, with all amendments through the date of publication.
2. Smart State notes shall apply to the exterior of the building and shall be in accordance with the International Building Code, 2018 Edition, with all amendments through the date of publication.
3. Smart State notes shall apply to the exterior of the building and shall be in accordance with the International Building Code, 2018 Edition, with all amendments through the date of publication.

REVISIONS:

1. When a factory built assembly is incorporated into the project, the manufacturer shall be responsible for the assembly and the assembly shall not include more than four pieces.
2. When a factory built assembly is incorporated into the project, the manufacturer shall be responsible for the assembly and the assembly shall not include more than four pieces.
3. When a factory built assembly is incorporated into the project, the manufacturer shall be responsible for the assembly and the assembly shall not include more than four pieces.

CHANGES:

1. Changes shall extend at least 3 feet above the highest adjacent floor or ceiling. Changes shall extend at least 3 feet above the highest adjacent floor or ceiling. Changes shall extend at least 3 feet above the highest adjacent floor or ceiling.
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LISTING:

1. Listing for any fireplace or stove shall be provided at submittal. Listing for any fireplace or stove shall be provided at submittal. Listing for any fireplace or stove shall be provided at submittal.
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WATER HEATER:

1. Water heater shall be installed in accordance with the International Building Code, 2018 Edition, with all amendments through the date of publication.
2. Water heater shall be installed in accordance with the International Building Code, 2018 Edition, with all amendments through the date of publication.
3. Water heater shall be installed in accordance with the International Building Code, 2018 Edition, with all amendments through the date of publication.

APPLIANCES IN ATTICS:

1. Attic containing appliances requiring access shall have an opening and a clear and unobstructed passageway large enough to allow removal of the largest appliance, but not less than 30 inches high and 24 inches wide and not more than 20 feet long when measured along the centerline of the passageway from the opening to the appliance. The passageway shall have continuous solid flooring in accordance with Chapter 5 not less than 24 inches wide. A level service space of at least 30 inches deep and 30 inches wide shall be present along all sides of the appliance where access is required. The clear access opening dimensions shall be a minimum of 20 inches by 30 inches, where such dimensions are large enough to allow removal of the largest appliance. I.R.C. M502.3.1
2. Attic containing appliances requiring access shall have an opening and a clear and unobstructed passageway large enough to allow removal of the largest appliance, but not less than 30 inches high and 24 inches wide and not more than 20 feet long when measured along the centerline of the passageway from the opening to the appliance. The passageway shall have continuous solid flooring in accordance with Chapter 5 not less than 24 inches wide. A level service space of at least 30 inches deep and 30 inches wide shall be present along all sides of the appliance where access is required. The clear access opening dimensions shall be a minimum of 20 inches by 30 inches, where such dimensions are large enough to allow removal of the largest appliance. I.R.C. M502.3.1
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DRYER DUCT:

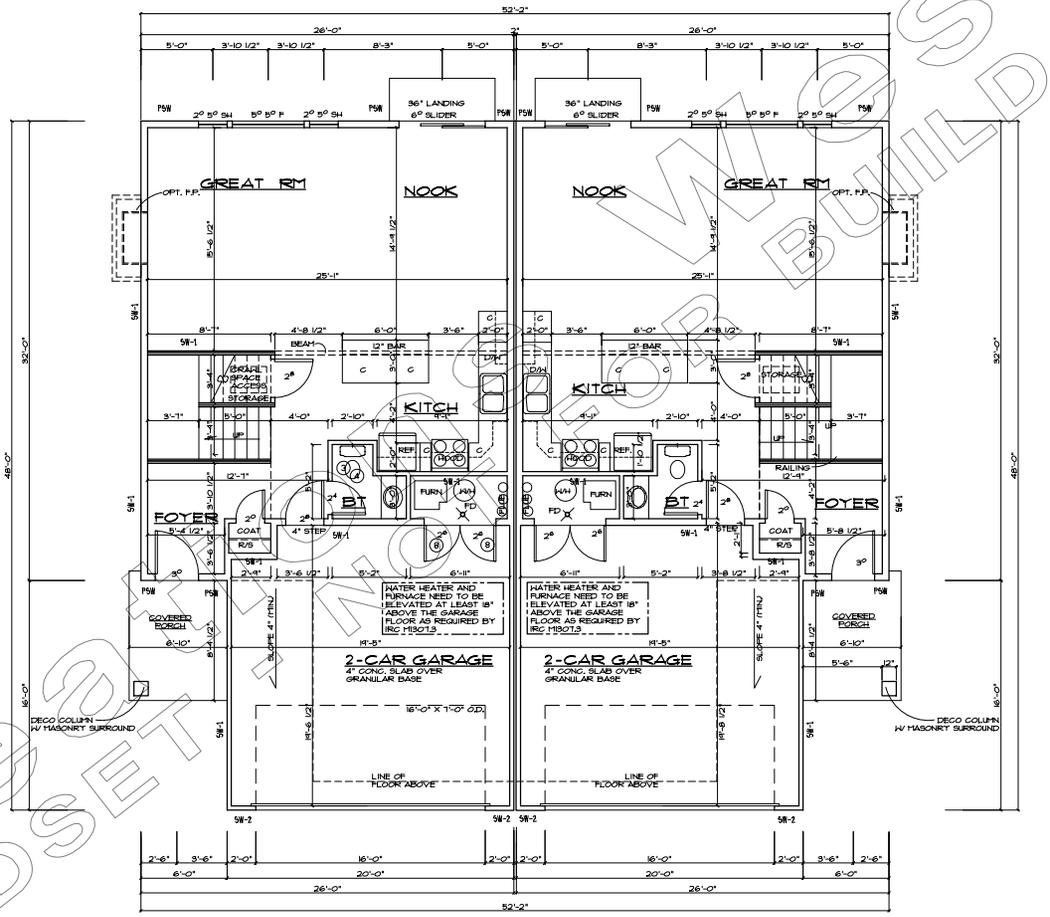
1. Dryer duct shall terminate outdoors and shall not exceed a total combined horizontal and vertical length of 35'. Maximum length of duct shall be reduced 2'-0" for each 45° bend or 3' for each 90° bend. Duct shall be a min. nominal size of 4". I.R.C. M502.4.1
2. Dryer duct shall terminate outdoors and shall not exceed a total combined horizontal and vertical length of 35'. Maximum length of duct shall be reduced 2'-0" for each 45° bend or 3' for each 90° bend. Duct shall be a min. nominal size of 4". I.R.C. M502.4.1
3. Dryer duct shall terminate outdoors and shall not exceed a total combined horizontal and vertical length of 35'. Maximum length of duct shall be reduced 2'-0" for each 45° bend or 3' for each 90° bend. Duct shall be a min. nominal size of 4". I.R.C. M502.4.1

CONDENSATE DISPOSAL:

1. Condensate from all cooling coils or evaporators shall be conveyed from the drain pan outlet to an approved place of disposal. Condensate shall not discharge to a street, alley or other areas so as to cause a nuisance. I.R.C. M511.3
2. Condensate from all cooling coils or evaporators shall be conveyed from the drain pan outlet to an approved place of disposal. Condensate shall not discharge to a street, alley or other areas so as to cause a nuisance. I.R.C. M511.3
3. Condensate from all cooling coils or evaporators shall be conveyed from the drain pan outlet to an approved place of disposal. Condensate shall not discharge to a street, alley or other areas so as to cause a nuisance. I.R.C. M511.3

ENERGY NOTES:

1. ICC I402.2.4: The attic access door and crawlspace door from the conditioned space to unconditioned space shall be weather stopped and insulated to a level equivalent to the insulation on the surrounding surfaces.
2. ICC I402.2.4: The attic access door and crawlspace door from the conditioned space to unconditioned space shall be weather stopped and insulated to a level equivalent to the insulation on the surrounding surfaces.
3. ICC I402.2.4: The attic access door and crawlspace door from the conditioned space to unconditioned space shall be weather stopped and insulated to a level equivalent to the insulation on the surrounding surfaces.



NOTE:
 8'-1 7/8" CEIL HEIGHT TYP.
 2X6 EXTERIOR WALLS (5 1/2")
 4 1/2" MASONRY LEDGE U.O.S.

MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 DATE: FEB. 01 21
 SHEET: 2

PLANNED FOR:
HANK NELSON
 801-252-6700
 hnelson@creationswest.com

1424 Legend Hills Dr. | South Jordan
 Utah 84091
 State # 120
 CHANDLER TOLSON 801-252-6700 | 208-252-5555
 801-252-6700 | plans@creationswest.com

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DATE: FEB. 01 21
 SHEET: 2

PLAN NUMBER
D-1740-21UE

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- FLOOR PLAN GENERAL NOTES**
1. All openings shall be in accordance with IRC R302.1.
 2. All doors shall be in accordance with IRC R302.1.
 3. All windows shall be in accordance with IRC R302.1.
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- GENERAL NOTES**
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- GENERAL BUILDING NOTES**
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 10. All windows shall be in accordance with IRC R302.1.

- ALL exterior doors shall have a floor or landing on each side of the door. The floor or landing at a door shall not be more than 12 inches lower than the top of the threshold. If the door is not a top out door the landing shall not be less than 12 inches above the finish floor. The landing shall be not less than 60 inches wide in the direction of travel.**

- BASE PROTECTORS**
- Provide 1/2" x 1/2" x 1/2" base on all the walls and ceiling of garage if no other floor above. Provide 5/8" x 1/2" x 1/2" base on all the walls and ceiling of garage if finished floor above. Provide 1/2" x 1/2" x 1/2" base on all the walls and ceiling of garage if finished floor above. Provide 1/2" x 1/2" x 1/2" base on all the walls and ceiling of garage if finished floor above.

- DOOR BETWEEN GARAGE AND HOUSE SHALL BE 20 MINUTE RATED, SELF-CLOSING AND SELF-LATCHING. THE DOOR SHALL BE NOT LESS THAN 1 3/4" W/ SELF-CLOSING AND SELF-LATCHING. IRC R302.3.**

- REAR EXTERIOR DOOR SHALL BE 20 MINUTE RATED, SELF-CLOSING AND SELF-LATCHING. THE DOOR SHALL BE NOT LESS THAN 1 3/4" W/ SELF-CLOSING AND SELF-LATCHING. IRC R302.3.**

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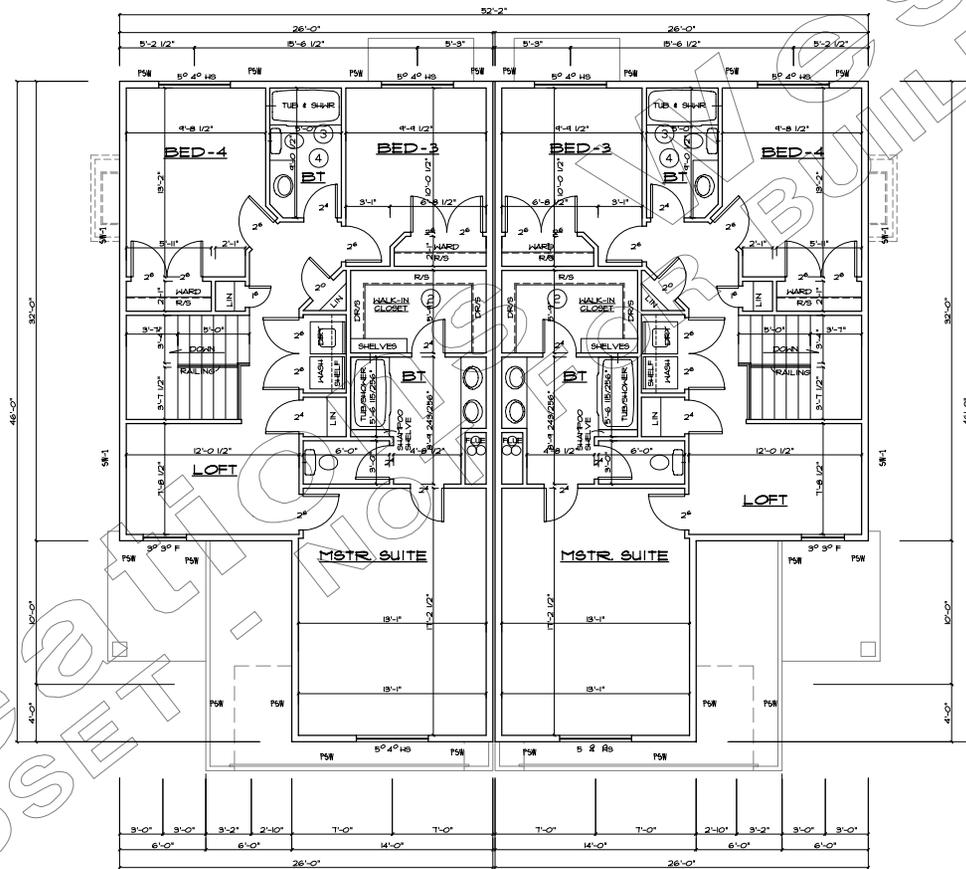
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NOTE
 8'-1 7/8" CELL HEIGHT TYP.
 2X6 EXTERIOR WALLS (5 1/2")

UPPER FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 1/4"

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DATE: FEB. 01 21
 SHEET: 3

PLAN NUMBER: D-1740-21UE