

BOUNTIFUL CITY COUNCIL MEETING

TUESDAY, September 22, 2015

Regular Meeting - 7:00 p.m.

NOTICE IS HEREBY GIVEN that the City Council of Bountiful, Utah will hold its regular Council meeting at City Hall, 790 South 100 East, Bountiful, Utah, at the time and on the date given above. The public is invited to both the Work Session and Regular Meeting. Deliberations will occur in both meetings. Persons who are disabled as defined by the Americans With Disabilities Act may request an accommodation by contacting the Bountiful City Manager at 801.298.6140. Notification at least 24 hours prior to the meeting would be appreciated.

If you are not on the agenda, the Council will not be able to discuss your item of business until another meeting. For most items it is desirable for the Council to be informed of background information prior to consideration at a Council meeting. If you wish to have an item placed on the agenda, contact the Bountiful City Manager at 801.298.6140.

AGENDA

Regular Session – 7:00 p.m.

1. Welcome, Pledge of Allegiance and Thought/Prayer
2. Approve minutes of previous meeting – September 8, 2015 p. 3
3. Council Reports
4. Consider approval of weekly expenditures > \$1,000 paid August 31, September 2 (June invoices) & 7, 2015 p. 9
5. Report on summer concerts – Mr. Richard Watson
6. Consider approval of the purchase of a 2015 Ford F150 4x4 truck from Young Ford in the amount of \$29,329 for the golf course – Mr. Brock Hill p. 13
7. Consider final site plan approval for a 131 unit Assisted Living/Memory Care facility located at approximately 430 West 400 North, Craig Smith, applicant – Mr. Chad Wilkinson p. 15
8. Consider preliminary and final site for duplex at 1290 North 200 West, Robert Gibson representing Andrea Dawn Hancock, applicant – Mr. Chad Wilkinson p. 29
9. Consider adoption of Ordinance 2015-16 amending the provision of Chapter 6 and Chapter 14 of the Bountiful City Land Use Ordinance related to allowing telecommunications facilities within commercial zones (public hearing held on September 8, 2015) – Mr. Chad Wilkinson p. 41
10. Consider granting Eyelands LLC a License to Occupy City-owned land at 1500 South Main Street – Mr. Russell Mahan p. 45
11. Consider adopting Resolution 2015-11 amending Utah State Retirement provisions of the Bountiful Personnel Policies & Procedures Manual – Mr. Russell Mahan p. 51
12. Consider approval of Resolution 2015-12 canceling the 2015 Bountiful City Municipal election and declaring Richard Higginson, Beth Holbrook and John Marc Knight elected – Mr. Russell Mahan p. 55

City Recorder

1 Minutes of the
 2 BOUNTIFUL CITY COUNCIL
 3 September 8, 2015 – 6:03 p.m.
 4

5 Present: Mayor: Randy Lewis
 6 Council Members: Kendalyn Harris, Richard Higginson, Beth Holbrook,
 7 John Marc Knight, John Pitt
 8 City Manager: Gary Hill
 9 City Engineer: Paul Rowland
 10 City Attorney: Russell Mahan
 11 City Planner: Chad Wilkinson
 12 Department Directors & Personnel:
 13 Tom Ross- Police Chief
 14 Tyson Beck – Finance Director
 15 Brock Hill – Parks Director
 16 Allen Johnson – Light & Power Director
 17 Lloyd Cheney – Asst. City Engineer
 18
 19 Recording Secretary: Nikki Dandurand
 20

21 Official Notice of the City Council Meeting was given by posting an Agenda at City Hall and
 22 on the Bountiful City Website and the Utah Public Notice Website, and by providing copies to the
 23 following newspapers of general circulation: Davis County Clipper and Standard Examiner.
 24

25 **Work Session – 6:03-7:05 p.m.**

26
 27 **DOGS IN PARKS/LEASH LAW DISCUSSION – MR. BROCK HILL**

28 Mr. Hill reviewed the City’s current dog leash law, which is over 20 years old. The dog at
 29 large policy is from the model county animal ordinance. The Bountiful City Code currently states
 30 dogs are not allowed in the cemetery or city parks and on leash only outside private property. Mr.
 31 Hill stated that most residents currently walking their dogs in the parks on leash are in violation of the
 32 City code without even knowing it. Mr. Hill stated he has been working with a few local residents
 33 on a solution for all of Bountiful residents. The biggest concern is the pickup of dog waste by the
 34 owners, and how to educate and encourage the owners to be responsible for their dogs. Dog waste
 35 stations can be installed as well as on/off leash parks to establish areas for all residents to enjoy. The
 36 Council discussed various options for parks to convert, rules for the parks and enforcement. Mayor
 37 Lewis concluded by saying that this item needs to be addressed and is excited to help the residents of
 38 the City enjoy the outdoors with their dogs.
 39

40 **SENIOR HOUSING/ASSISTED LIVING DISCUSSION – MR. CHAD WILKINSON**

41 Mr. Wilkinson reviewed notes from the last discussion at a work session in January 2015 and
 42 has since received three letters from local assisted living center directors. Two sites were in the
 43 approval process for new builds, but one has since been removed. The remaining site is set for final
 44 approval next week. Mr. Wilkinson asked the Council what direction they would like to go, i.e.,
 45 more approvals, zoning changes, removing the density bonus and converting multi-family homes for

1 future use, etc. Councilman Higginson re-emphasized that we do not want any commercial ground
2 being converted for use as assisted living centers. Councilwoman Holbrook agreed and added that
3 the density bonus needs to be adapted and restrictions need to be placed in specific building zones.
4 Councilman Knight stated the hospital zones also need additional restrictions to reduce more skilled
5 nursing facilities being built.

6
7 **Regular Meeting – 7:05 p.m.**
8 **City Council Chambers**
9

10 Mayor Lewis called the meeting to order at 7:05 p.m. and welcomed those in attendance.
11 Jaron Hamblin, Troop 431, led the Pledge of Allegiance; Carolyn Black, resident, gave a prayer.

12
13 **APPROVAL OF MINUTES**

14 Minutes of the August 11, 2015 meeting were presented. Councilman Higginson made a
15 motion to approve the minutes as presented, and Councilwoman Harris seconded the motion. Voting
16 was unanimous with Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting “aye”.

17
18 **COUNCIL REPORTS**

19 Councilwoman Holbrook said thank you to all that participated in the Summer Concert Series.
20 Councilman Higginson wanted to give a special thanks to our Police Department and encouraged the
21 citizens to do the same. Councilman Pitt said thank you as well to all that helped with the many
22 summer events this year.

23
24 **YOUTH COUNCIL REPORT**

25 Council members Jeremy Mumford and Sarah Peters reported on the help they provided for
26 the Tour of Utah, and plans for the upcoming Pumpkin Patch.

27
28 **CONSIDER APPROVAL OF WEEKLY EXPENDITURES > \$1,000 PAID JULY 27,**
29 **AUGUST 3, 17, 18 (JUNE INVOICES), 23 & 24, 2015 AND THE MONTHLY FINANCIAL**
30 **REPORTS FOR JUNE 2015**

31 Mayor Lewis presented the weekly expenditure summary paid on July 27 for \$137,380.37,
32 August 3 for \$321,797.51, August 17 for \$45,580.45, August 18 (June Invoices) for \$81,832.00,
33 August 23 for \$9,064.86 and August 24 for \$1,368,957.95. Councilman Pitt moved to approve the
34 expenditures as presented, and Councilman Higginson seconded the motion. Voting was unanimous
35 with Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting “aye”.

36
37 **DAVIS COUNTY SCHOOL DISTRICT BOND PRESENTATION - MR. CRAIG CARTER,**
38 **DAVIS COUNTY SCHOOL DISTRICT**

39 Mr. Carter turned the time over to Rulon Homer, High School Director for Davis County
40 School District. Mr. Homer explained the need for this bond and the reasons behind it. The growth
41 in Davis County has been substantial. Currently there are numerous portable classrooms within the
42 district, some schools are on a year round calendar and boundary adjustments have been made to
43 support the increased growth. Mueller Park Jr. High, Viewmont High and Woods Cross High are on
44 the list of schools that need additional money to accommodate the students. Mr. Carter then
45 explained the funding, additional tax increase to fund the bond and budget issues associated with this
46 bond. They asked that Bountiful City pass a resolution to support the bond at the next election.

1 Mayor Lewis concluded that as a County, we need to share in the things that are good for the
2 community.

3
4 **PUBLIC HEARING: THE PURPOSE AND OPERATION OF THE PROPOSED SOUTH**
5 **DAVIS FIRE SERVICE AREA THAT WILL PROVIDE FIRE PROTETION, EMERGENCY**
6 **RESPONSE SERVICES, EMERGENCY MEDICAL RESPONSE, PARAMEDIC,**
7 **AMBULANCE SERVICES AND RELATED SERVICES AND RECEIVE PUBLIC INPUT**
8 **ON THE PROPOSED LOCAL DISTRICT – MR. RUSSELL MAHAN**

9 Mr. Mahan explained the current situation of local Fire Services, why this proposal is open for
10 a public hearing and the dates of the protest period. No actions will be taken by the City Council
11 tonight. Chief Bassett discussed the current budget and interlocal agreement, and said there are major
12 capital issues that need to be addressed. Since the current entity is a non-taxing authority, it makes
13 bonding for capital expenses impossible. Chief Bassett went on to describe the conditions of some of
14 the fire stations and needs of our local emergency response teams.

15
16 *PUBLIC HEARING: OPEN: 7:43 P.M.*

- 17 • *Van Nielson* – strongly supports our emergency responders
- 18 • *Kim Ball* – 900 North 1000 East – asked to have the process explained for increasing
19 taxes. Chief Bassett responded. Mayor Lewis also added that several months ago, the
20 City was strongly against this proposal, but with some explaining, we are comfortable
21 to move forward. Mr. Mahan also explained that all City Managers and Mayors
22 within the area will be on the new governing board.
- 23 • *Gary Davis* – 2841 South 500 West - asked to clarify what the reasons were for
24 creating the special district and where the funding comes from.
- 25 • *Kate Bradshaw* – 379 North 650 East – Asked how we know if Bountiful gets its fair
26 share of the bond money. Mr. Gary Hill responded that it is on an assessed value. Mr.
27 Mahan also explained that Bountiful is not responsible for the existing bond amount.

28
29 Mr. Mahan closed the hearing by reading the public protest process.

30 *CLOSED: 8:05 P.M.*

31
32 **CONSIDER APPROVAL OF A QUIT CLAIM DEED ON RICHARD SHARP PROPERTY**
33 **LOCATED AT 500 EAST MILL STREET – MR. RUSSELL MAHAN**

34 Mr. Mahan stated this approval is necessary to clear the title on the Sharp property by a
35 quitclaim deed to Mr. Sharp. This arises from the acquisition of the Swaney property adjacent to the
36 proposed park on 500 East Mill Street. Councilwoman Harris made a motion to approve the quit
37 claim deed, and Councilman Pitt seconded the motion. Councilman Higginson made it known that
38 this does not warrant any items to the Sharps and the City has no claim to the title. Voting was
39 unanimous with Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting “aye”.

40
41 **CONSIDER APPROVAL OF THE STEEL POLE BID FROM SABRE IN THE AMOUNT OF**
42 **\$97,179 – MR. ALLEN JOHNSON**

43 Mr. Johnson stated the work was started this week and will hopefully be completed by spring
44 2016. Three bids were received, but one was not complete. Mr. Johnson asked that the low bid from
45 Sabre to be approved for the purchase. Councilwoman Harris made a motion to approve the
46 purchase, and Councilman Higginson seconded the motion. Voting was unanimous with

1 Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting “aye”.

2
3 **CONSIDER APPROVAL OF THE VOLTAGE TRANSFORMER BID FROM CODALE**
4 **ELECTRIC IN THE AMOUNT OF \$30,701 – MR. ALLEN JOHNSON**

5 Mr. Johnson stated that two local bids were received, with Codale being the low bid.
6 Councilwoman Holbrook moved to approve the purchase, and Councilman Higginson seconded the
7 motion. Voting was unanimous with Councilpersons Harris, Higginson, Holbrook, Knight and Pitt
8 voting “aye”.

9
10 **CONSIDER APPROVAL OF AN INTERIOR PAINTING CONTRACT FOR THE PUBLIC**
11 **SAFETY BUILDING WITH PECK’S PAINTING IN THE IN THE AMOUNT OF \$28,905 –**
12 **CHIEF TOM ROSS**

13 Chief Ross presented a bid with a local company for the interior painting of the building.
14 Councilman Knight moved to approve the contract, and Councilman Pitt seconded the motion.
15 Voting was unanimous with Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting
16 “aye”.

17
18 **CONSIDER APPROVAL OF CONTRACT TO REPAIR THE MILLSTREAM WAY SLOPE**
19 **WITH IMPRESSIVE HOMES IN THE AMOUNT OF \$77,163 – MR. LLOYD CHENEY**

20 Mr. Cheney explained that last year, some damage to the slope was caused by a water pipe
21 leak. A previous bid was received, but was too high at the time. There are two bids currently, and
22 approval of the low bid is recommended. Councilman Higginson moved to approve the contract, and
23 Councilwoman Holbrook seconded the motion. Voting was unanimous with Councilpersons Harris,
24 Higginson, Holbrook, Knight and Pitt voting “aye”.

25
26 **PUBLIC HEARING: CONSIDER AMENDING THE PROVISION OF CHPATER 6 AND**
27 **CHAPTER 14 OF THE BOUNTIFUL CITY LAND USE ORDINANCE RELATED TO**
28 **ALLOWING TELECOMMUNICATIONS FACILITES WITHIN COMMERCIAL ZONES –**
29 **MR. CHAD WILKINSON**

30 Mr. Wilkinson stated the current Bountiful City Land Use Ordinance includes standards for
31 telecommunication towers (commonly referred to as cellular or cell towers) which stipulate that these
32 facilities not be placed in residential areas unless there is no other alternative. In contrast the list of
33 allowed uses for the commercial zone districts in Bountiful does not allow the use of
34 telecommunications facilities in commercial zones. The proposed amendment would modify the
35 table of allowed uses to permit telecommunications uses on City owned properties in Commercial
36 zones and conditional uses on non-city owned property in these zones.

37
38 *PUBLIC HEARING: OPEN: 8:24 P.M.*

- 39
 - *Casey Urb - asked for better clarification on residential vs. public property and why*

40 *CLOSED: 8:26 P.M.*

41
42 Councilman Higginson stated that if the City can collect revenue, it will help the residents. If
43 the towers are placed on school property, it will not benefit as much. Mr. Mahan concluded that the
44 ordinance is not prepared at this time, so no vote can be taken. This item is postponed for the next
45 agenda.

1 **CONSIDER APPROVAL OF A SUBDIVISION AMENDMENT FOR NORTHERN HILLS**
2 **SUBDIVISION PLAT B IN ORDER TO COMBINE LOTS 63 & 64 LOCATED AT 1232**
3 **EAST NORTHERN HILLS, BRAD MILLER, APPLICANT – MR. PAUL ROWLAND**

4 Council reviewed the amendment and Councilman Higginson made a motion to approve the
5 subdivision amendment, and Councilman Knight seconded the motion. Voting was unanimous with
6 Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting “aye”.

7
8 **CONSIDER PRELIMINARY AND FINAL PLAT APPROVAL OF THE ORCHARD PINES**
9 **PUD COMMERCIAL LOT 2 CONDOMINIUM AT 2155 SOUTH ORCHARD DRIVE,**
10 **KNOWLTON GENERAL, APPLICANT – MR. PAUL ROWLAND**

11 Mr. Rowland stated the applicant only wishes to change the ownership with the final plat
12 approval. Councilman Pitt made a motion to approve the preliminary and final plat approval, and
13 Councilman Higginson seconded the motion. Voting was unanimous with Councilpersons Harris,
14 Higginson, Holbrook, Knight and Pitt voting “aye”.

15
16 **CONSIDER APPROVAL OF PRELIMINARY AND FINAL SITE PLAN TO DEVELOP**
17 **PHASE 2 OF A MULTI-FAMILY AND COMMERCIAL MIXED USE DEVELOPMENT**
18 **FOR KNOWLTON GENERAL TO INCLUDE 2 PARCELS LOCATED AT**
19 **APPROXIMATELY 35 WEST 100 SOUTH, HEPWORTH INVESTMENTS, APPLICANT –**
20 **MR. CHAD WILKINSON**

21 Mr. Wilkinson stated that preliminary approval was granted a few weeks ago, but the total
22 number of units has changed, the parking was fixed and phase 3 was completely removed. The
23 Planning Commission recommends approval with the following conditions being met:

- 24 1. Complete any and all redline corrections, including modifications.
- 25 2. Prior to issuance of building permits, the property shall be consolidated into one
26 parcel.
- 27 3. Prior to final approval, submit a revised final landscape plan consistent with the
28 amended plan and meeting the requirements of Chapter 16 of the Bountiful City
29 Zoning Ordinance.
- 30 4. Approval of the amended Conditional Use Permit and site plan rescinds the previous
31 approval. Any development of area shown as future phase will require additional
32 approval by the Planning Commission and City Council.

33
34 Mr. Wilkinson continued that if the conditions are met, a permit will be approved.
35 Councilwoman Holbrook made a motion to rescind the original approval and to approve the amended
36 preliminary and final plat approval with the revised wording, and Councilman Higginson seconded
37 the motion. Voting was unanimous with Councilpersons Harris, Higginson, Holbrook, Knight and
38 Pitt voting “aye”.

39
40 **CONSIDER APPROVAL OF RESOLUTION 2015-10 APPOINTING JOHN MARC KNIGHT**
41 **AND CHAD WILKINSON AS BOUNTIFUL CITY REPRESENTATIVES FOR THE**
42 **BOUNTIFUL REDEVELOPMENT AGENCY TAXING ENTITY COMMITTEE – MR.**
43 **CHAD WILKINSON**

44 Mr. Wilkinson stated that within all the taxing entities, there are many representatives.
45 Councilman Higginson made a motion to approve Resolution 2015-10, and Councilwoman Holbrook
46 seconded the motion. Voting was unanimous with Councilpersons Harris, Higginson, Holbrook,

1 Knight and Pitt voting “aye”.
2 Councilwoman Holbrook made a motion to close the regular session and adjourn to a closed
3 session to discuss the acquisition or sale of real property, pending litigation and/or to discuss the
4 character and/or competency of an individual(s) (Utah Code 52-4-205) and Councilman Higginson
5 seconded the motion. . Voting was unanimous with Councilpersons Harris, Higginson, Holbrook,
6 Knight and Pitt voting “aye”.

7 The regular meeting of City Council was adjourned at 8:38 p.m.
8
9

10 *Attendees in Closed Session:*

- 11 *Mayor: Randy Lewis*
- 12 *Council Members: Kendalyn Harris, Beth Holbrook, Richard Higginson, John Marc*
- 13 *Knight, John Pitt*
- 14 *City Manager: Gary Hill*
- 15 *City Attorney: Russell Mahan*
- 16 *City Engineer: Paul Rowland*

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26 *Mayor, Randy Lewis*

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33 _____
34 *City Recorder, Shawna Andrus*
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City Council Staff Report



Subject: Expenditures for Invoices > \$1,000.00 paid
August 31, September 2 (June Invoices)
& September 7, 2015

Author: Tyson Beck, Finance Director

Department: Finance

Date: September 22, 2015

Background

This report is prepared following the weekly accounts payable run. It includes payments for all expense invoices equaling or exceeding \$1,000.00. Payments affecting only revenue or balance sheet accounts are not included. Such payments include those to acquire additions to inventories, the remittance of payroll withholdings and taxes, and performance bond refunds. Expenses for salaries and wages and utility deposit and credit balance refunds are not included.

Analysis

Unless otherwise noted and approved in advance, all expenditures are included in the current budget. Answers to questions or further research can be provided upon request.

Department Review

This report was prepared and reviewed by the Finance Department.

Significant Impacts

None

Recommendation

Council should review and approve the attached expenditures.

Attachments

Weekly report of expenses/expenditures for invoices equaling or exceeding \$1,000.00 paid August 31, September 2 (June Invoices) & September 7, 2015.

Expenditure Report for Invoices >\$1,000.00

Paid August 31, 2015

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>		<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
1051	AFFORDABLE PORTABLES	Parks	10.426000	Bldg & Grnd Suppl & Maint	\$ 1,430.00	185015	30483	PORTABLE TOILET RENTAL
1393	BTS LANDSCAPING PRODUCTS	Landfill	57.462400	Contract Equipment	1,921.00	185026	21324	GREEN WASTE GRINDING
1393	BTS LANDSCAPING PRODUCTS	Landfill	57.462400	Contract Equipment	19,975.00	185026	21323	GREEN WASTE GRINDING
1602	CDW GOVERNMENT, INC.	Computer Maintenance	61.429300	Computer Hardware	1,199.98	185029	XH71815	THIN CLIENT LENOX COMPUTERS
1609	CENTERVILLE REDEVELOPMENT	RAP Tax	83.475300	Interlocal Payment-Centerville	41,444.45	185030	08272015	AUGUST 2015 RAP TAX
1716	CMT ENGINEERING LABOR	Streets	45.473300	New Constr - Class "C"	2,283.00	185034	55543	400 E ROAD RECONSTRUCTION
2126	FAIRBANKS SCALES	Landfill	57.426000	Bldg & Grnd Suppl & Maint	1,165.00	185042	1232812	MAINTENANCE AGREEMENT
2799	KELLERSTRASS ENTERPRISE	Streets	10.425000	Equip Supplies & Maint	18,778.50	185061	244083	FUEL
3193	MOUNTAIN STATES IND.	Streets	10.425000	Equip Supplies & Maint	1,102.54	185070	23795	HAND CONTROLS FOR FORD BUCKET TRUCK
3200	MOUNTAIN WEST TRUCK	Streets	10.425000	Equip Supplies & Maint	1,100.00	185072	07222015	EXTEND WARRANTY-1M2AX07C4EM020862
3200	MOUNTAIN WEST TRUCK	Streets	10.425000	Equip Supplies & Maint	1,100.00	185072	07222015B	EXTEND WARRANTY-1M2AX07C2EM020861
3417	PARKIN CONSTRUCTION	Parks	10.426000	Bldg & Grnd Suppl & Maint	3,000.00	185080	08122015	STRIP PICKLEBALL COURTS-N CANYON PARK
6148	PLANT, CHRISTENSEN	Liability Insurance	63.451150	Liability Claims/Deductible	1,190.00	185082	49874	JULY/AUGUST 2015 LEGAL FEES
3519	POND'S PLUMBING/HEAT	Streets	10.426000	Bldg & Grnd Suppl & Maint	2,831.00	185083	530	WATER HEATER
3519	POND'S PLUMBING/HEAT	Parks	10.426000	Bldg & Grnd Suppl & Maint	2,831.00	185083	530	WATER HEATER
3519	POND'S PLUMBING/HEAT	Legislative	10.426050	Bldg/Grnds Maint - Stoker	13,845.00	185083	1270	U OF U STOKER BUILDING SERVICE
3805	S.D.P. MANUFACTURING	Light & Power	53.448635	Vehicles	2,043.96	185094	36561	EZ HAULER ROPES
4016	SPRINT	Police	10.425200	Communication Equip Maint	1,296.64	185104	456251837-061	ACCT #456251837
4229	TOM RANDALL DIST. CO	Landfill	57.425000	Equip Supplies & Maint	1,000.66	185116	233027	OIL
4229	TOM RANDALL DIST. CO	Streets	10.425000	Equip Supplies & Maint	16,644.58	185116	233002	FUEL
5000	U.S. BANK CORPORATE	Legislative	10.461750	Employee Wellness & Recognit'n	1,712.94	185120	08102015SC	OFFICE SUPPLIES,EE WELLNESS,TRAVEL,TELEPHONE
5000	U.S. BANK CORPORATE	Legislative	10.423000	Travel & Training	1,875.00	185120	08102015GH	REG-NAT LEAGUE OF CITIES-NASHVILLE,RIBBON
5000	U.S. BANK CORPORATE	Police	10.421000	Books Subscr & Mmbrshp	4,050.00	185120	08102015EB	NTOA REGISTRATION,OFFICERS PARADE
4574	WHEELER MACHINERY CO	Landfill	57.425000	Equip Supplies & Maint	1,825.09	185129	PS000254311	IDLER WHEEL FOR TRACK ON DOZER #2284
TOTAL:					<u>\$ 145,645.34</u>			

Expenditure Report for Invoices >\$1,000.00

Paid September 2, 2015- June Invoices

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>		<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
3195	MOUNTAIN STATES SUPPLY	Water	51.448400	Dist System Repair & Maint	3,554.05	185137	S101423659.001	GATE VALVE
3519	POND'S PLUMBING/HEAT	Legislative	10.426050	Bldg/Grnds Maint - Stoker	1,021.00	185141	748	U OF U STOKER BUILDING SERVICES
3519	POND'S PLUMBING/HEAT	Legislative	10.426050	Bldg/Grnds Maint - Stoker	1,448.00	185141	592	U OF U STOKER BUILDING SERVICES
<i>TOTAL:</i>					<u>6,023.05</u>			

Expenditure Report for Invoices >\$1,000.00

Paid September 7, 2015

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
1393	BTS LANDSCAPING PRODUCTS	Parks	10.473100	Improv Other Than Bldgs	\$ 6,830.00	185192	21328 HOUSE REMOVAL-507 E MILLCREEK WAY
4874	BUGNAPPERS (THE)	Cemetery	59.426000	Bldg & Grnd Suppl & Maint	3,250.00	185193	219310 SUMMER LAWN APPLICATION 2
1615	CENTURYLINK	Enhanced 911	10.428000	Telephone Expense	3,556.32	185200	08222015 ACCT #801-578-0401 452B
1716	CMT ENGINEERING LABOR	Streets	45.473300	New Constr - Class "C"	1,454.00	185203	55640 400 E ROAD CONSTRUCTION
1821	CRSA, INC.	Redevelopment Agency	73.426100	Special Projects	5,011.75	185209	15-030-3 PROFESSIONAL SERVICES 08/01-08/31/15
1920	DELCO WESTERN	Golf Course	55.426000	Bldg & Grnd Suppl & Maint	1,877.45	185213	24002 FRAME,CAPACITOR,SLEEVE
5265	FIVE 9's COMMUNICATIONS	Police	10.428000	Telephone Expense	2,123.88	185224	30262 SHORETEL PHONE,OAISYS RECORDING MAINTENANCE
5265	FIVE 9's COMMUNICATIONS	Light & Power	53.448641	Communication Equipment	2,216.23	185224	30262 SHORETEL PHONE,OAISYS RECORDING MAINTENANCE
5633	GRIFFCO PARTNERS	Police	10.425430	Service & Parts	1,315.00	185227	204536 VEHICLE WRAP/REMOVAL
2446	HD SUPPLY POWER SOLUTIONS	Light & Power	53.448636	Special Equipment	1,688.35	185229	2960750-00 #5067 HOTSTICKS, TOOLS, HOIST
2765	JP ELECTRICAL, LC	Parks	10.426000	Bldg & Grnd Suppl & Maint	1,213.00	185240	12466 NEW WIRE TENNIS COURT LIGHTING
2987	M.C. GREEN & SONS INC	Storm Water	49.441250	Storm Drain Maintenance	13,334.75	185247	3085 STORM DRAIN REPAIR-691 E WOODLAND HILLS DRI
2987	M.C. GREEN & SONS INC	Water	51.473110	Water Mains	77,200.25	185247	3084 AUG 2015 WATER LINE PROJECT
2987	M.C. GREEN & SONS INC	Streets	45.473300	New Constr - Class "C"	478,522.11	185247	3081 2015 400 E RECONSTRUCTION
3293	NICKERSON CO INC	Water	51.448000	Operating Supplies	4,189.00	185260	J16889 REPAIR/REINTSTALL AURORA ROTATING ELEMENT
5553	PURCELL TIRE AND SERV	Sanitation	58.425000	Equip Supplies & Maint	1,568.75	185272	2817434 RECAPS,STEER FOR SANITATION TRUCKS
3690	REMOTE CONTROL SYSTEM	Water	51.448400	Dist System Repair & Maint	6,350.00	185276	15141 RTU-MILLCREEK STATION
3690	REMOTE CONTROL SYSTEM	Water	51.448400	Dist System Repair & Maint	7,315.00	185276	15142 RTU-EGGETT BOOSTER
3718	RIGBY & COMPANY	Light & Power	53.471100	Land	2,000.00	185277	15-171 APPRAISAL-160/170 S 200 W
4025	STAKER & PARSON COMP	Streets	10.441200	Road Matl Patch/ Class C	1,146.64	185287	3860315 PATCHING
4025	STAKER & PARSON COMP	Streets	10.441200	Road Matl Patch/ Class C	1,233.32	185287	3863602 PATCHING
4025	STAKER & PARSON COMP	Streets	10.441200	Road Matl Patch/ Class C	1,235.08	185287	3861484 PATCHING
4025	STAKER & PARSON COMP	Streets	10.441200	Road Matl Patch/ Class C	1,239.48	185287	3858955 PATCHING
4025	STAKER & PARSON COMP	Golf Course	55.426100	Special Projects	1,876.91	185287	3836975 PATCHING
4025	STAKER & PARSON COMP	Streets	10.441200	Road Matl Patch/ Class C	3,081.32	185287	3866849 PATCHING
4025	STAKER & PARSON COMP	Streets	10.473200	Road Materials - Overlay	4,320.36	185287	3858955 PATCHING
4025	STAKER & PARSON COMP	Streets	10.473200	Road Materials - Overlay	9,800.56	185287	3858964 PATCHING
4025	STAKER & PARSON COMP	Streets	45.473200	Road Materials - Overlay	16,018.64	185287	3856821 PAVING
4025	STAKER & PARSON COMP	Streets	45.473200	Road Materials - Overlay	17,902.72	185287	3865720 PAVING
4025	STAKER & PARSON COMP	Streets	45.473200	Road Materials - Overlay	32,700.36	185287	3865211 PAVING
6769	TEAMVIEWER GMBH	Information Systems	10.429200	Computer Software	1,424.05	185290	1225704410 TEAM VIEWER REMOTE ACCESS SUBSCRIPTION
4229	TOM RANDALL DIST. CO	Streets	10.425000	Equip Supplies & Maint	1,338.70	185294	233241 DIESEL EXHAUST FLUID,OIL
4357	UTAH COMMUNICATIONS	Police	10.425200	Communication Equip Maint	2,444.75	185301	56079 MONTHLY RADIO SERVICE,ANNUAL RADIO SERVICE
5594	UTAH DIVISION OF AIR	Landfill	57.431300	Environmental Monitoring	1,979.01	185302	3453 LANDFILL EMISSIONS FEES
4567	WESTERN REFUSE & REC	Sanitation	58.425000	Equip Supplies & Maint	1,533.42	185311	139901 GRIP CYLINDERS FOR GARBAGE TRUCKS
TOTAL:					<u>\$ 720,291.16</u>		

City Council Staff Report

Subject: Golf Course Work Truck
Author: Brock Hill/Tom Rhoades
Department: Golf
Date: 22 September 2015



Background

Bountiful Ridge Golf Course carries a reputation as being one of the premier public courses throughout the State. The expectation of maintaining the golf course at peak conditions, consistency, and playability has always been a top priority for City Officials, the golf professional, and the course maintenance staff.

Analysis

Currently the golf course has two pickup trucks for use by staff. One is used for commuting, course business, and picking up course supplies and equipment. The other is used by course staff to run errands, pick up supplies, and general course maintenance. The older of the two was purchased in 1989 as a parks maintenance vehicle. It was handed down to the course from the parks department in 2006 to fill a need for an additional golf course vehicle. It has been well maintained which has extended its years and usefulness. However, it is well beyond its years and is no longer safe to use. Staff plans to sale this vehicle on the government surplus website as an "as is" item. The second vehicle is in good working condition and will be kept at the course to be used as the second vehicle by staff for general course maintenance operations.

Staff requested multiple price quotes for a 2015 model half ton 4X4 pickup. We received four responses from the dealerships contacted. They are as follows:

Young Ford (Morgan)	\$29,329.00
Ken Garff Ford (American Fork)	\$29,344.79 (State Contract - Ford)
Performance Ford Lincoln (Bountiful)	\$30,378.00
Larry H. Miller Dodge (West Bountiful)	\$31,529.00 (State Contract - Dodge)

Department Review

The review was completed by the Parks Department with the cooperation of the golf course superintendent and mechanic.

Significant Impacts

The work truck has been budgeted for and there are sufficient funds in the capital equipment budget to cover the costs associated with this purchase.

Recommendation

Staff recommends the Council approve the purchase of a 2015 Ford F150 4X4 truck from Young Ford as the low price bidder for the price of \$29,329.00.

Attachments

None (quotes available for review as requested)

City Council Staff Report

Subject: Final Site Plan Approval for 131 Unit Assisted Living Facility
Author: Chad Wilkinson, City Planner
Address: 430 W. 400 North
Date: September 22, 2015



Description of Request:

Craig Smith is requesting final site plan approval for 131 unit assisted living and memory care facility on an approximately 4.97 acre parcel. Conditional Use and preliminary site plan approval was received on February 17, 2015. The project was originally known as Stonebridge and the name has now been changed to Creekside Senior Living.

Background and Analysis:

The final site plan submitted substantially conforms to the preliminary plan approved by the Planning Commission. The proposed building is three stories with exterior materials consisting of brick and stone veneer combined with cementitious siding and EIFS materials. A number of issues have been addressed since the plan was reviewed by the Planning Commission. First, the applicant has obtained approval from the Utah Department of Transportation for the proposed access on 400 North. Second, approval has been granted for the proposed extension of sewer line on the School District property to the north along with approval from Davis County and the State for the extension across the creek.

Department Review

This proposal has been reviewed by the Engineering and Planning Departments.

Significant Impacts

This development will have some impact on the adjoining street network; however the impacts are expected to be mitigated by the lower traffic generation of assisted living developments.

Planning Commission

The Planning Commission reviewed the proposal for final site plan on May 5th and recommended approval of the final site plan with conditions. Many of the conditions recommended by the Planning Commission have been completed prior to submittal for final review by the Council.

Recommended Action

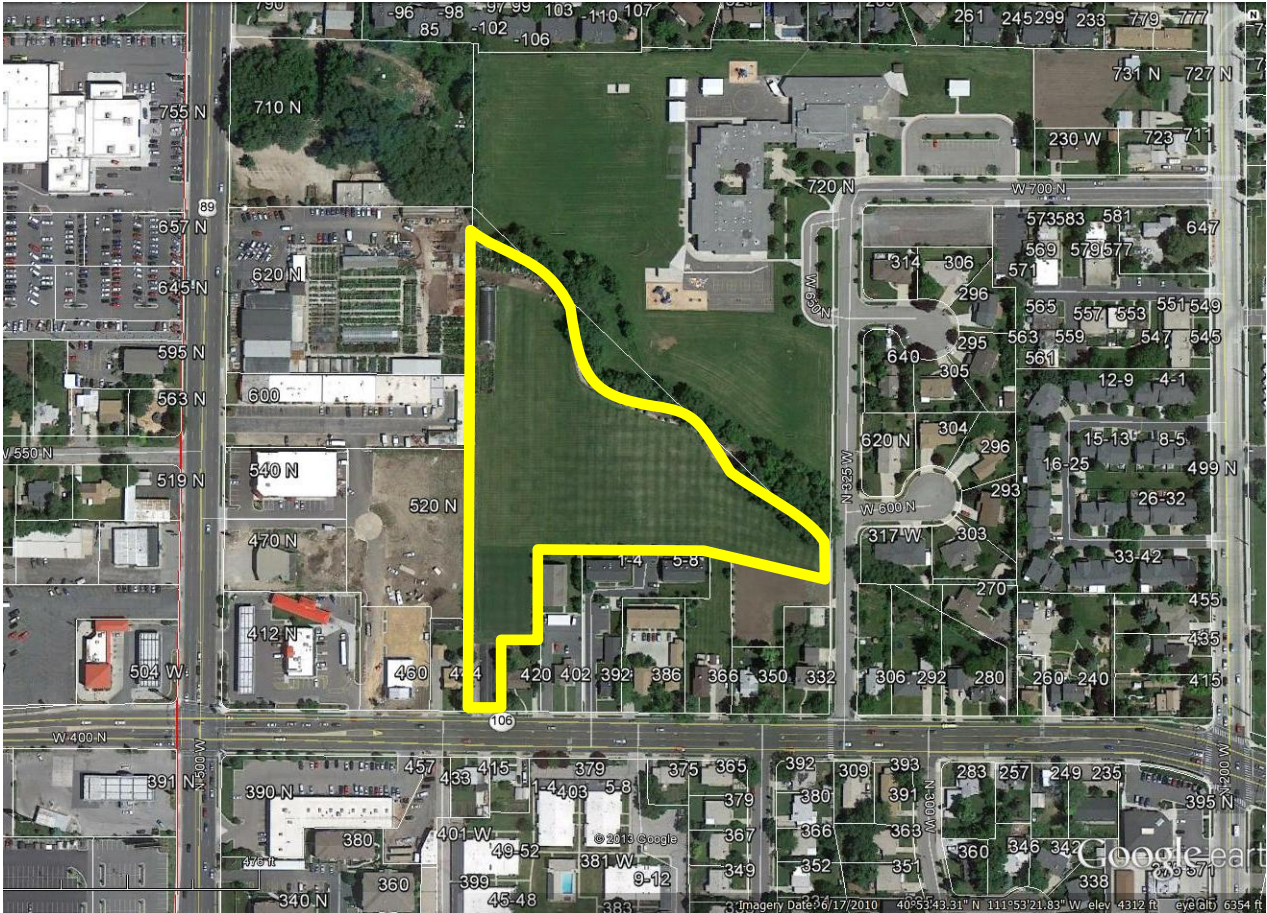
Approve the proposed final site plan with the following conditions:

1. The following shall be completed prior to building permit:
 - a. Complete any and all redline corrections.
 - b. Complete any and all modifications required by conditions of the Planning Commission for final approval.

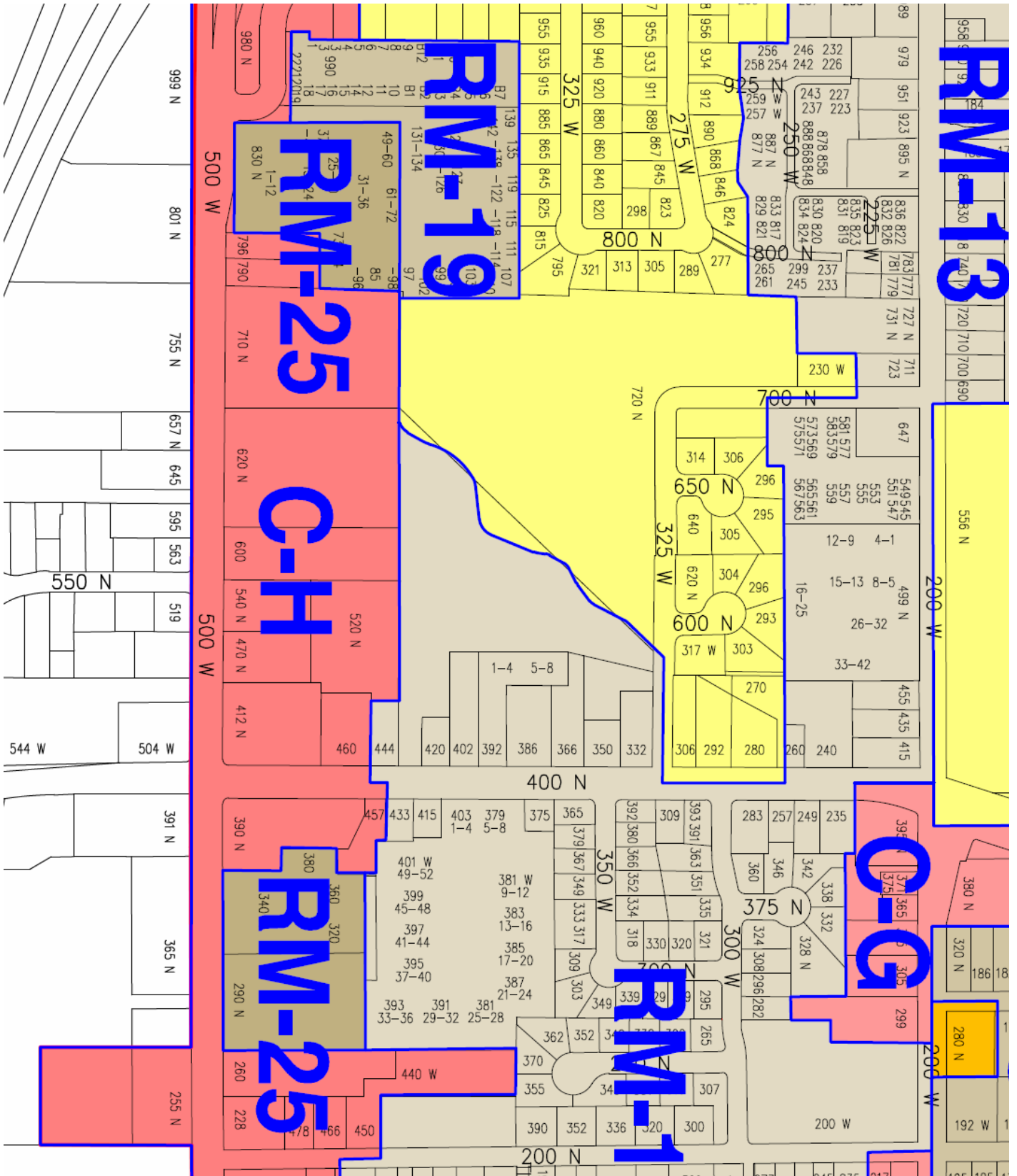
Attachments

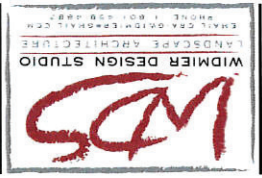
1. Aerial photo
2. Zoning map
3. Site plan
4. Building elevations
5. Floor plans

Aerial Photo



Zoning Map





UTAH
BOUNTIFUL
CREEKSIDE
SENIOR LIVING



NO.	DATE	DESCRIPTION
1	10/21/19	PRELIMINARY
2	11/15/19	FINAL

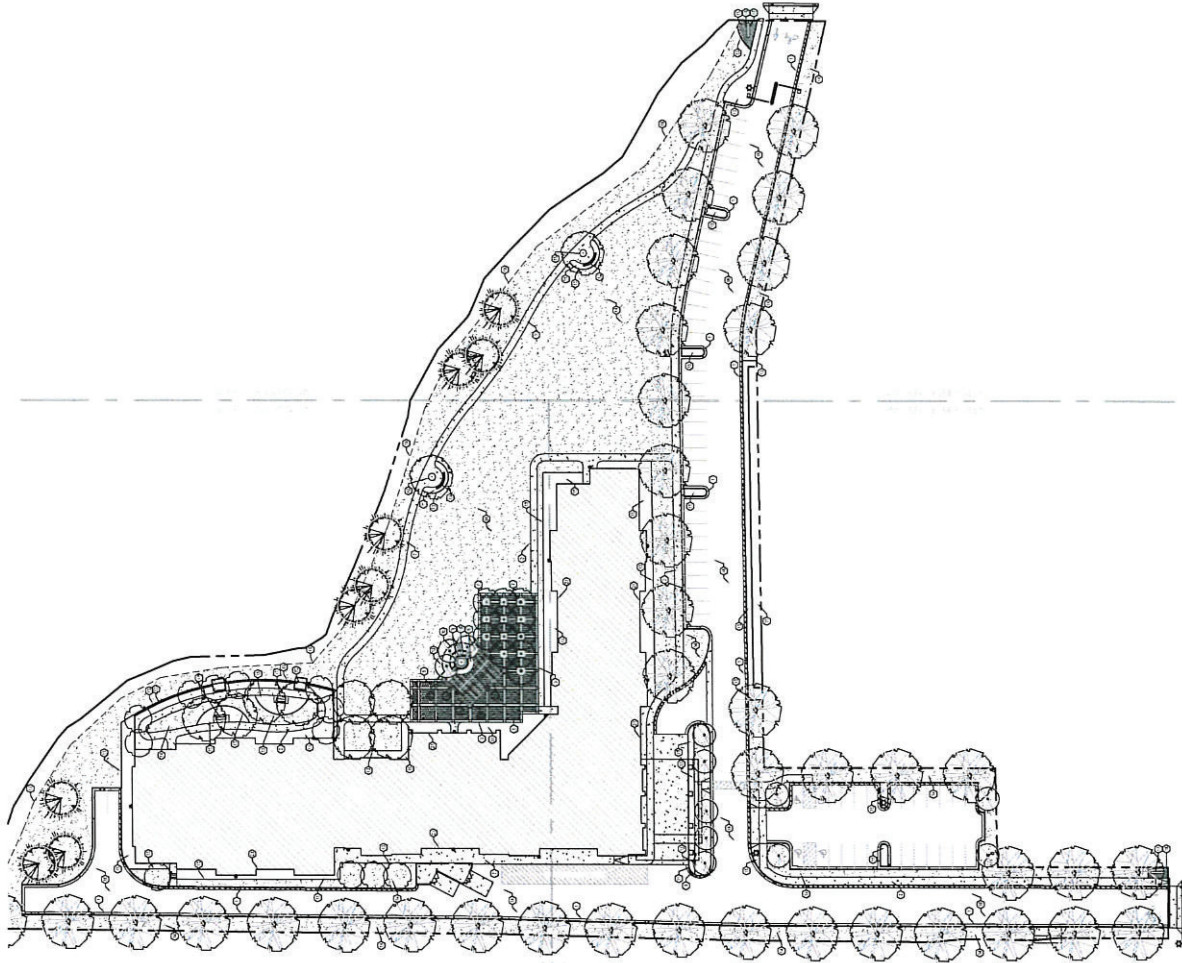
PLANTING PLAN
DESIGN DEVELOPMENT
LP100

GENERAL NOTES

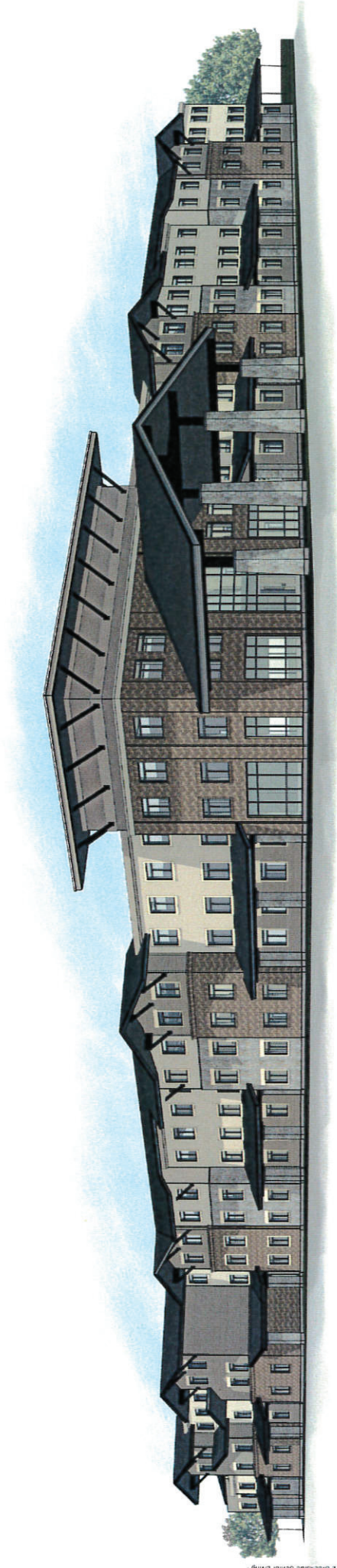
- CONSTRUCT ALL SCORE JOINTS FROM THE ARCHITECTURAL SITE PLAN. SCORE JOINTS SHOWN ON THE CIVIL DIVS. ARE FOR REFERENCE ONLY.
- CONTRACTOR SHALL REVIEW ALL EXPANSION JOINT LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION THROUGHOUT.
- INSTALL EXPANSION JOINTS @ 30'-0" O.C. MAX.
- SCORE JOINTS IN PAVING ARE TO MATCH THE PAVING WIDTH TYPICAL, UNLESS NOTED OR SHOWN OTHERWISE.
- CONTRACTOR SHALL STAKE THE LAYOUT OF THE MEANDERING SIDEWALK ALONG THE PERIMETER OF THE SITE FOR APPROVAL BY THE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL STAKE LIGHTING FIXTURE LOCATIONS WITH THE LANDSCAPE DRAWINGS. ALL SUCH LIGHTING SHALL BE STAKED FOR APPROVAL BY THE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIR AND SHALL BEAR THE COST OF REPAIR TO ORIGINAL CONDITION.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES NOT NOTED TO BE REMOVED AND REPAIR TO EXISTING CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL CONSTRUCTION OPERATIONS SHALL NOT INTERFERE WITH OPERATIONS OF OR ACCESS TO THE FACILITY NOR RESTRICT ACCESS ON THE PUBLIC ROW. TEMPORARY FENCING SHALL BE INSTALLED TO PROTECT ALL UTILITIES AND TO MAINTAIN CLEARANCE TO ALL UTILITIES. COORDINATE ALL DEMOLITION WORK AND TIMES WITH THE OWNER.
- STOCKPILE TOPSOIL FROM AFFECTED AREAS FOR RE-INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR STOCKPILING AN ADEQUATE AMOUNT OF TOPSOIL TO MAINTAIN THE EXISTING SOIL PROFILE AND PROVIDING THE SAME AS A PART OF THIS CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT EXISTING UTILITIES AND TO MAINTAIN AND LANDSCAPING NOT SHOWN TO BE REMOVED. INSTALL A TEMPORARY FENCE AROUND THE DRIP LINE OF ALL TREES WHEN REQUIRED.
- MAINTAIN AND PROTECT AS MUCH OF THE EXISTING IRRIGATION SYSTEM AS POSSIBLE AND FEASIBLE. AND STILL PROVIDE FOR FULL COVERAGE OF THE ENTIRE LANDSCAPE. IRRIGATION SYSTEMS ON A SEPARATE CIRCUIT FROM SHRUB AREAS HEADS.
- EXISTING IRRIGATION SYSTEM TO REMAIN IN USE SHALL BE MAINTAINED AND REPAIRED AS NECESSARY. MAINTAIN OPERATION OF THE EXISTING SYSTEM AS REQUIRED TO PROTECT EXISTING PLANT MATERIAL.

KEYNOTES

- CURB AND GUTTER TYP.
- CONCRETE WALK TYP.
- 18" CONCRETE BAND TYP.
- 12" CONCRETE BAND TYP.
- BRICK PAVERS TYP.
- PATIO TRELLIS
- 6" DIA. TREE GRATE TYP.
- EXTERIOR KITCHEN COUNTER TOP
- PAVED CONCRETE PLANTER
- RADIUS BENCH
- 6" DIA. METAL PICKET FENCE
- METAL LAWN EDGING
- SOD
- SHRUB PLANTING BED
- ASPHALT PAVING
- MONUMENT SIGN
- ANNUAL / PERENNIAL PLANTINGS
- TOP OF STEAM BANK
- TRELLIS COLUMNS TYP.
- BUILDING



PLANTING PLAN
0 20' 40' 80'
SCALE: 1" = 40'-0"



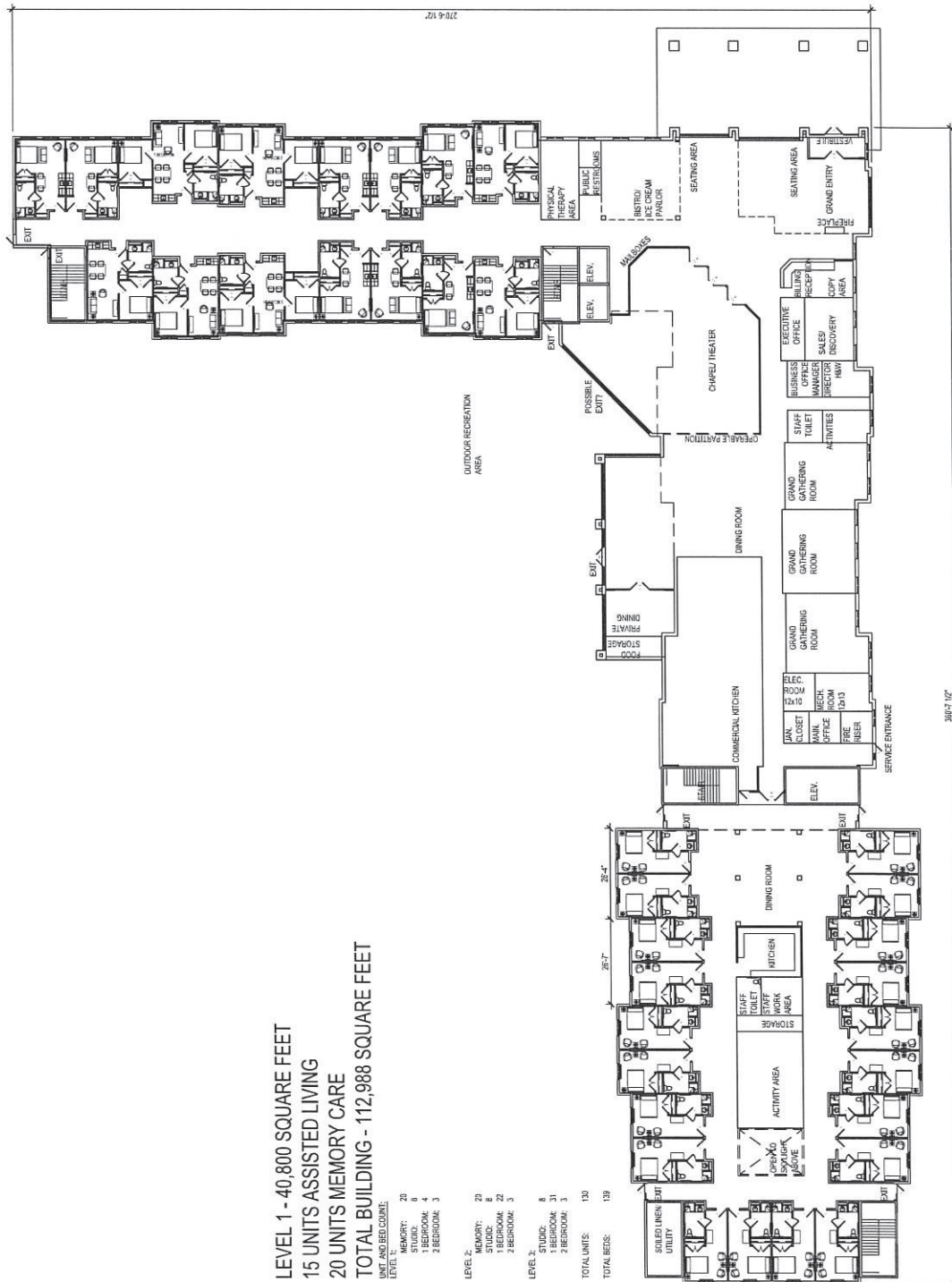
ENTRY PLANT CIVIL
SCALE

CRICKSIDE SENIOR LIVING
440 WEST 400 NORTH BOUNTIFUL
UTAH

27 APRIL 2015

OJA
CURTISINSUR
2730 W. HIGHLANDS (CORNER RT. 121)
BIRDAIR, UT 84002
PH: 801.988.1000
WWW.OJAINST.COM

RETAIN TO ALLOW STAIR
ACCESS TO PUBLIC WALK



LEVEL 1 - 40,800 SQUARE FEET
15 UNITS ASSISTED LIVING
20 UNITS MEMORY CARE
TOTAL BUILDING - 112,988 SQUARE FEET

UNIT AND BED COUNT:

LEVEL 1: MEMORY: 20
 15 ASSISTED LIVING
 1 BEDROOM: 4
 2 BEDROOM: 3

LEVEL 2: MEMORY: 20
 STUDIO: 8
 1 BEDROOM: 4
 2 BEDROOM: 3

LEVEL 3: STUDIO: 8
 1 BEDROOM: 31
 2 BEDROOM: 3

TOTAL UNITS: 130
 TOTAL BEDS: 139

CREEKSIDE SENIOR LIVING
 440 WEST 400 NORTH
 BOUNTIFUL, UTAH
 21 APRIL 2015

OMA
 CURTIS MINER
 ARCHITECTS
 333 SOUTH PLEASANT GROVE BLVD
 SUITE 100
 PLEASANT GROVE, UT 84062
 PHONE: (801) 799-1000
 FAX: (801) 799-1001
 oma@oma.com

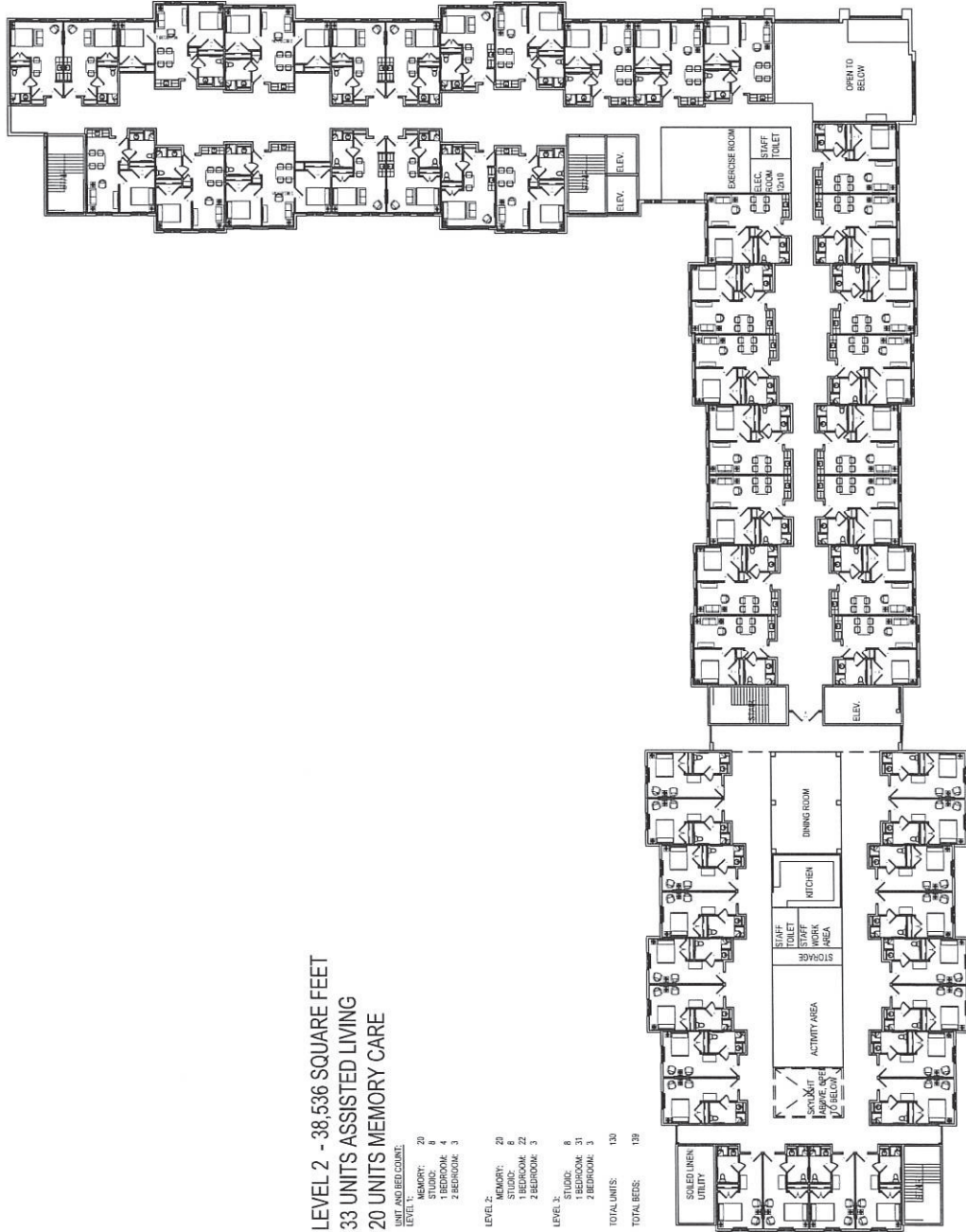


LEVEL 1 FLOOR PLAN
 SCALE: 1/8" = 1'-0"

21 APRIL 2015

OMA
 CURTIS MINER
 ARCHITECTS

232 SOUTH HALLAM ROAD SUITE 400
 BOUNTIFUL, UTAH 84002
 PHONE (801) 296-3344
 FAX (801) 296-3341
 oma@omains.com



LEVEL 2 - 38,536 SQUARE FEET
33 UNITS ASSISTED LIVING
20 UNITS MEMORY CARE

UNIT AND BED COUNT:
 LEVEL 2 MEMORY: 20
 STUDIO: 8
 1 BEDROOM: 8
 2 BEDROOM: 4

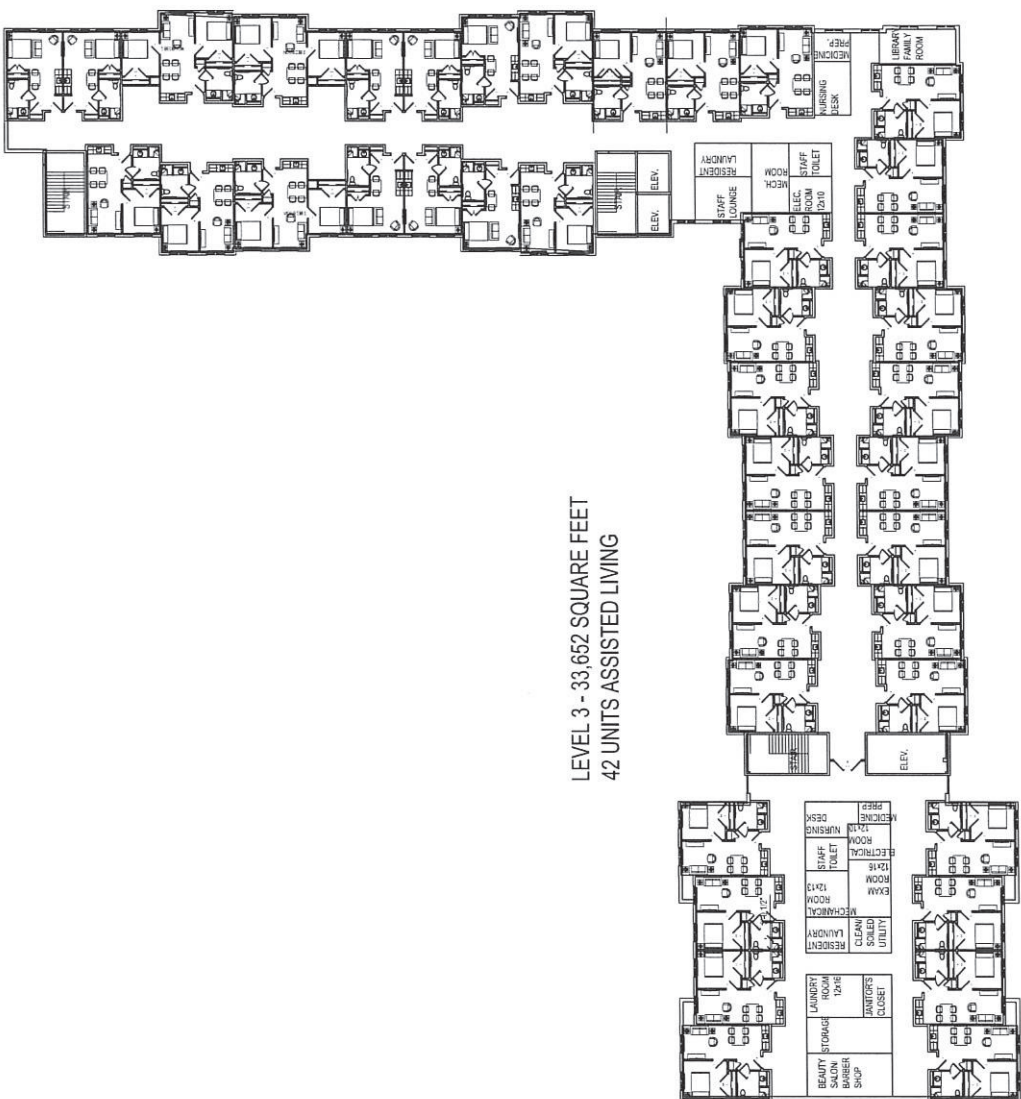
LEVEL 2 MEMORY: 20
 STUDIO: 8
 1 BEDROOM: 8
 2 BEDROOM: 4

LEVEL 2:
 STUDIO: 8
 1 BEDROOM: 8
 2 BEDROOM: 4

TOTAL UNITS: 130
 TOTAL BEDS: 138



ASB LEVEL 2 FLOOR PLAN
 SCALE 1/8" = 1'-0"

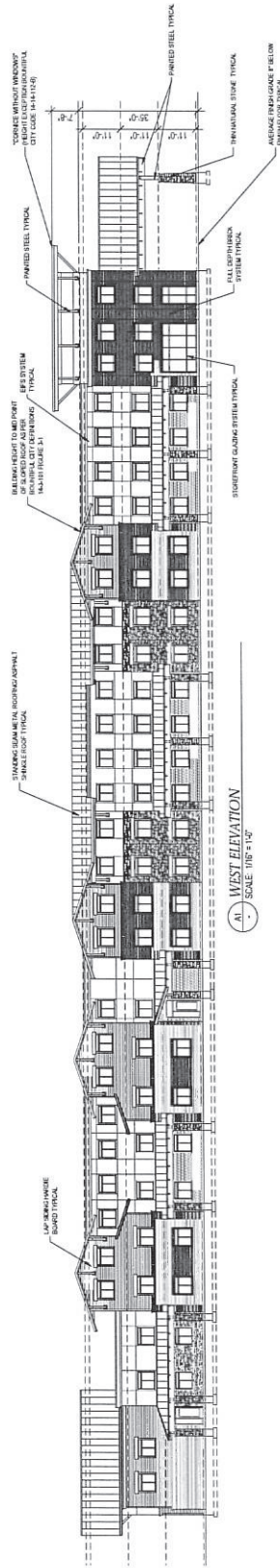


LEVEL 3 - 33,652 SQUARE FEET
 42 UNITS ASSISTED LIVING

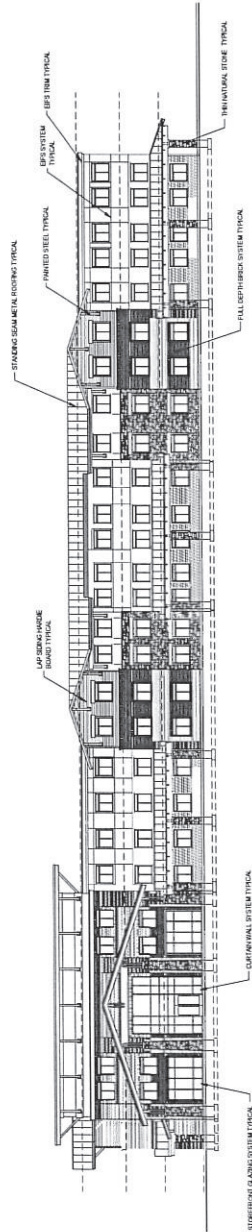
UNIT AND BED COUNT:	
LEVEL 1:	MEMORY: 20
	1 BLDG. SUITE
	1 BEDROOM: 4
	2 BEDROOM: 3
LEVEL 2:	MEMORY: 20
	1 BLDG. SUITE
	1 BEDROOM: 4
	2 BEDROOM: 3
LEVEL 3:	MEMORY: 8
	1 BLDG. SUITE
	1 BEDROOM: 31
	2 BEDROOM: 3
TOTAL UNITS:	130
TOTAL BEDS:	138



LEVEL 3 FLOOR PLAN
 SCALE: 1/8" = 1'-0"



11 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



12 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



W51 ELEVATION
401' SCALE NOT TO SCALE



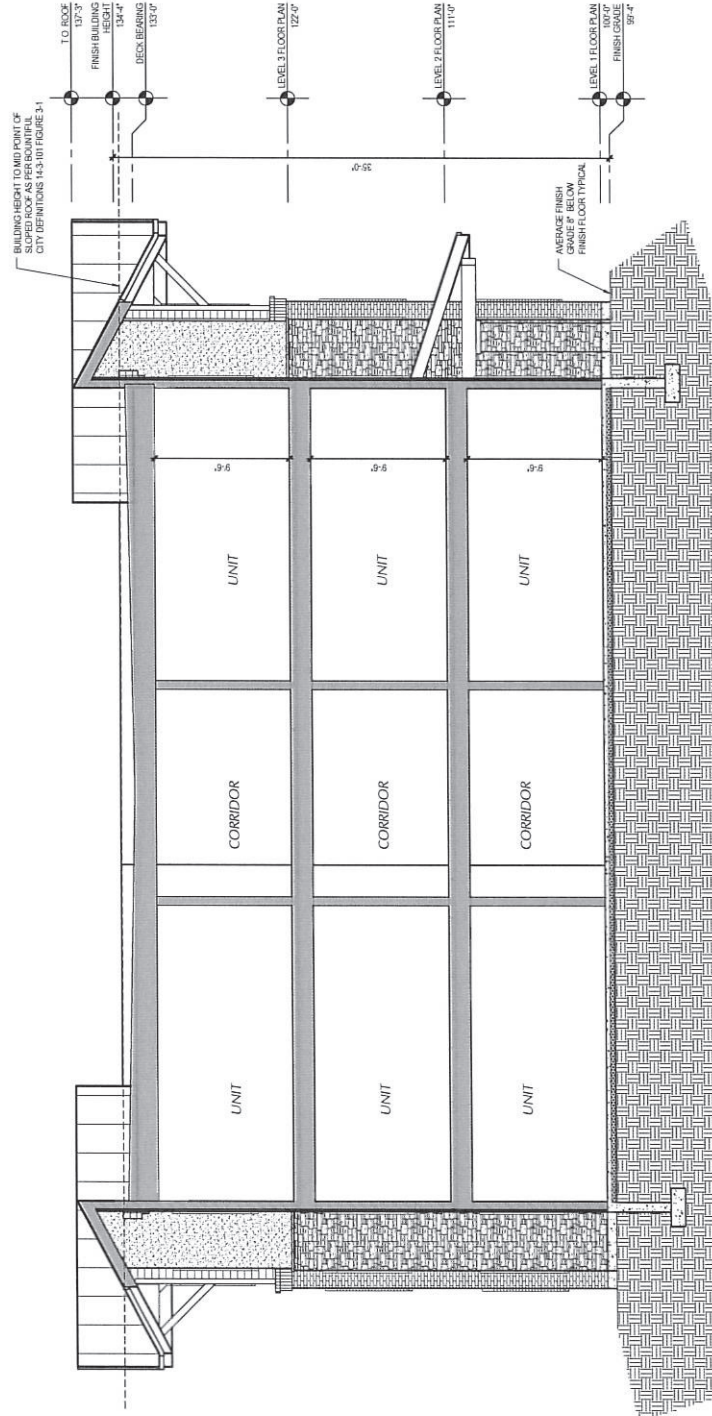
W52 SOUTH ELEVATION
401' SCALE NOT TO SCALE

CREEKSIDE SENIOR LIVING
440 WEST 400 NORTH BOULEVARD,
LEHI, UT

20 APRIL 2015
OIA
 CURTIS
 CURTIS
 CURTIS
 ARCHITECTS
 111 WEST 100 SOUTH (COURTNEY BLVD.)
 SUITE 200 LEHI, UT 84042
 PH: 801.734.1111 FAX: 801.734.1112
 WWW.CURTISARCHITECTS.COM
 CURTISARCHITECTS.COM

CREEKSIDE SENIOR LIVING
 440 WEST 400 NORTH BOUNTIFUL,
 UTAH

27 APRIL 2015



D1 BUILDING SECTION
 1/8" = 1'-0"

City Council Staff Report



Subject: Preliminary and Final Site Plan Approval for a Duplex in the RM-13 Zone.

Address: 1290 North 200 West

Author: Chad Wilkinson, Planning Director

Department: Planning and Engineering

Date: September 22, 2015

Background

The applicant, Robert Gibson, representing Andrea Hancock, is requesting approval of preliminary and final site plan approval for a duplex in the RM-13 zoning district. The property is located on the east side of 200 West near the northwest entrance to Viewmont High School. The site is currently occupied by an existing single family dwelling. Surrounding uses include Viewmont High School to the east and north, single family residential to the west and multifamily residential to the south.

Analysis

The lot is .41 acre in size and therefore has a maximum density of 7 units to the acre. Based on the size of the lot, the maximum number of units on the property is 2. The proposal includes removal of the existing home on the parcel and replacement with a new two-story duplex. The units will each contain 3 + bedrooms and the proposed structure meets the required setbacks for the zoning district.

The site is accessed from a single driveway on 200 West. Water is proposed to be provided to the site via an existing water line running through the school property to the east. Evidence of easement for this water line will be required prior to building permit. Sewer service and irrigation will be provided to the site from existing lines in 200 West. The site slopes from the southeast to the northwest and the applicant proposes to provide a detention facility on the northwest portion of the site with connection to the existing drainage facility to the north. An additional storm drain inlet will be required on the north side of the driveway.

The property meets the minimum percentage of landscape area, however additional details showing how landscaping will be provided on the site and how the landscaping will be integrated in the drainage area must be provided. Parking standards for multifamily development require a minimum of 2.5 spaces per unit with .25 guest spaces per unit. The proposed plan includes 3-car garages for both of the proposed unit along with a guest parking space on the west side of the property in front of the home. The parking as proposed meets the standards of the Land Use Ordinance. The guest parking space is setback 25 feet as required by ordinance.

Department Review

The application has been reviewed by the City Planner and City Engineer.

Planning Commission Review

The Planning Commission had concerns with the visual impact of the north elevation of the building on the surrounding properties and recommended that the applicant submit a plan showing either enhanced landscape screening along the north property line or showing additional architectural features on the north side. The applicant has proposed a row of evergreen trees planted with a spacing of 20 feet center to center. The proposed screening plan has been attached as an exhibit to this report.

Significant Impacts

The property is located in a developed area with access to adequate sewer and water. The proposal will replace one existing unit with two units, which will not create significant impacts to traffic or public facilities.

Recommendation

The Planning Commission reviewed the application on September 15, 2015 and forwards a recommendation of approval to the City Council for the preliminary and final site plan subject to the following conditions:

1. Complete any and all redline corrections, including modifications required for storm drainage on the site. Include the following:
 - a. Show an extra storm drain inlet on the northwest of the existing driveway.
2. Prior to building permit approval, submit a final landscape plan meeting the requirements of Chapter 16 of the Bountiful City Zoning Ordinance. The landscape plan should identify percentages of landscaping and open space as required by Code.
3. Provide detailed landscape plan prior to consideration by the City Council showing enhanced screening along north property line or an enhanced architectural detail on north side to break up the exterior elevation.

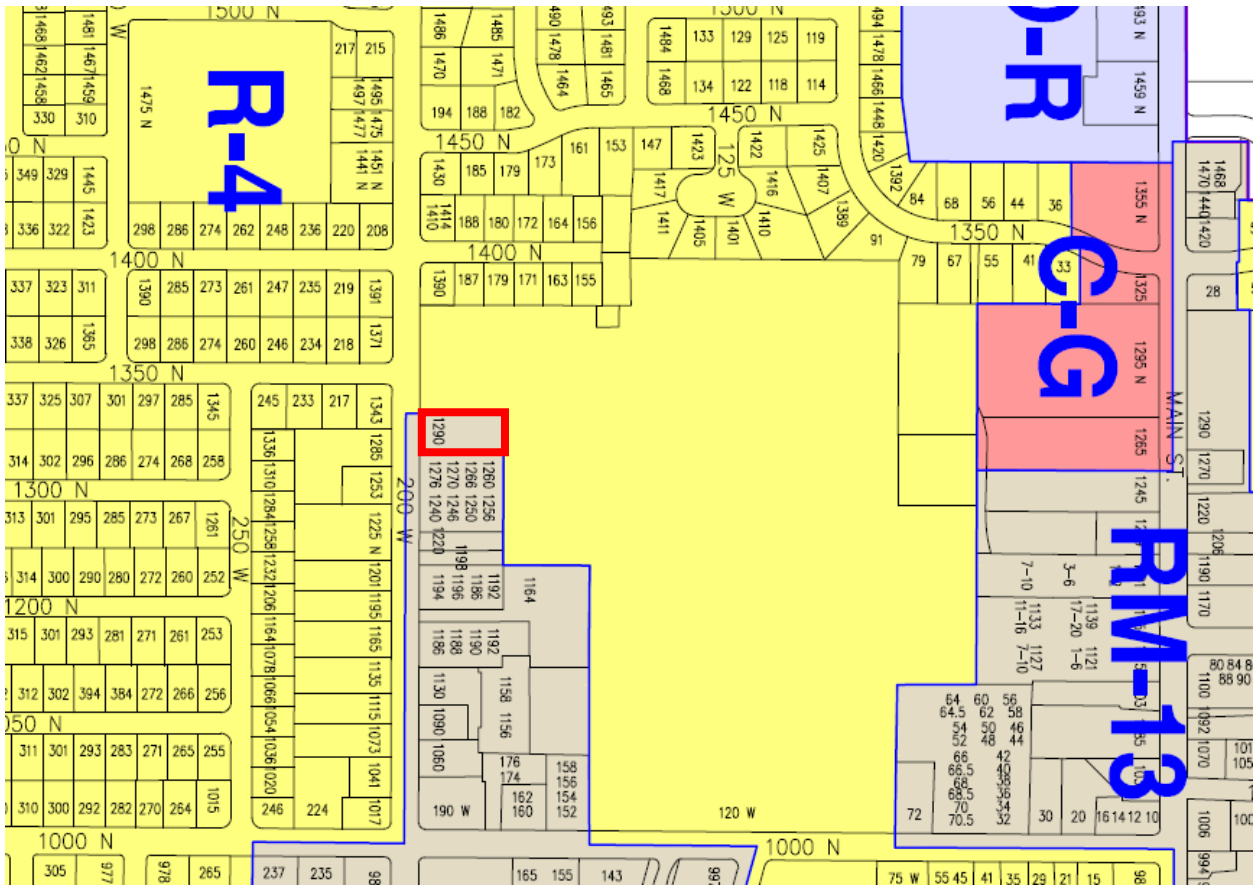
Attachments

1. Aerial photo
2. Zoning Map
3. Site plan
4. Building Elevations
5. Floor Plans
6. Enhanced Landscape screen plan

Aerial Photo



Zoning Map



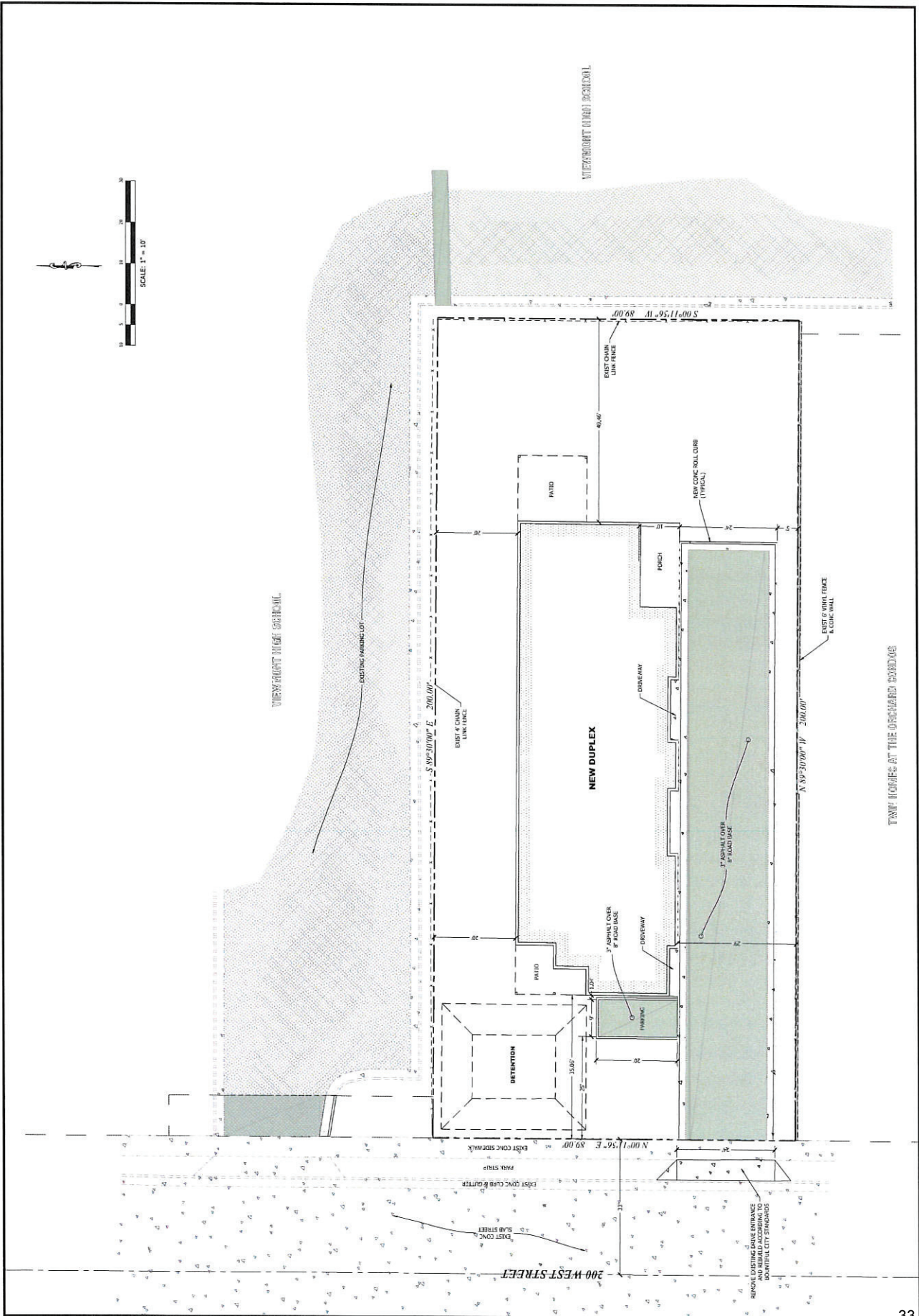
181 North 200 West, Suite #4
 Roundhill, Utah 84010
 Phone 801-298-2326
 Fax 801-298-5983



ROBERT GIBSON DUPLEX
 SITE PLAN
 1290 NORTH 200 WEST
 PARCEL # 01-001-002
 LOCATED IN THE 14 OF SECTION 16, T2N, R1E, S1R, 4M
 BOONVILLE CITY, DAVIS COUNTY, UTAH

NO.	DATE	BY	CHKD.
1	20.04.2015		
2			
3			
4			
5			
6			
7			
8			
9			
10			

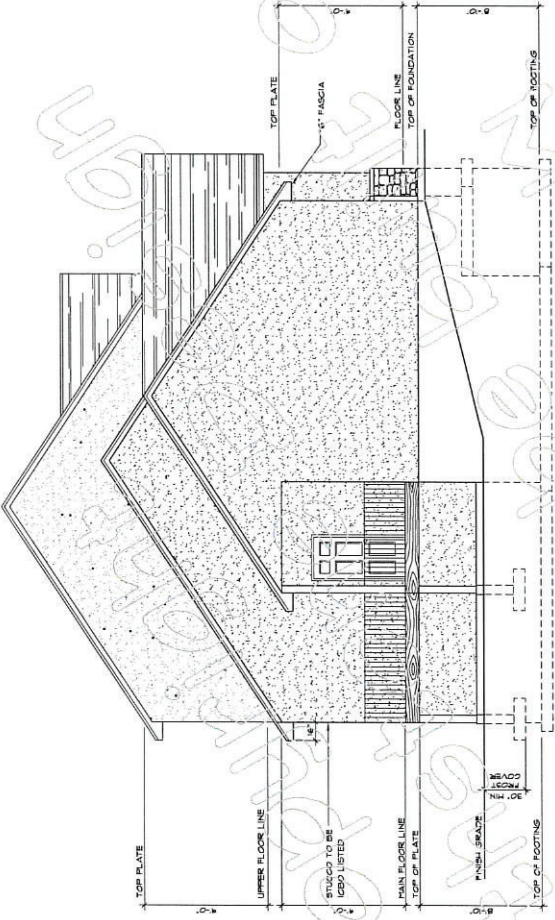
DRAWING NO. 15-0275-002
 PROJECT NO. 15-022
 SHEET C-04
 SITE PLAN



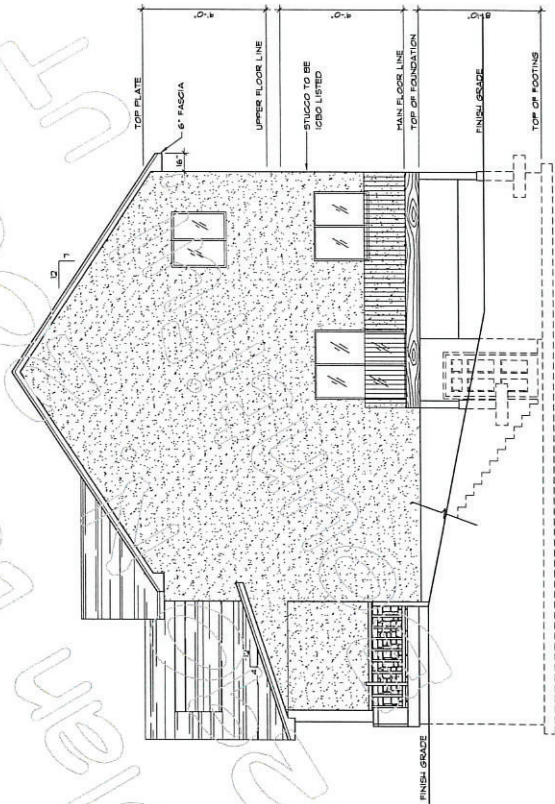
TWO LINES AT THE REAR CORNER

1. MASONRY SHALL BE INSTALLED IN SUCH A MANNER AS TO PREVENT POSSIBLE ROT IN THE WALL OR TO BE INSTALLED AT THE PERIPHERIES OF EXTERIOR DOORS AND WINDOWS. EXTERIOR MASONRY SHALL BE INSTALLED AT THE PERIPHERIES OF EXTERIOR DOORS AND WINDOWS AND SHALL BE PROTECTED FROM WEATHER BY BALCONIES AND OTHER PROTECTIONS AND AT BALCONIES SHALL BE INSTALLED ON BOTH SIDES AND THE TOP OF EXTERIOR WALLS. MASONRY SHALL BE INSTALLED AT THE PERIPHERIES OF EXTERIOR DOORS AND WINDOWS AND SHALL BE PROTECTED FROM WEATHER BY BALCONIES AND OTHER PROTECTIONS AND AT BALCONIES SHALL BE INSTALLED ON BOTH SIDES AND THE TOP OF EXTERIOR WALLS. MASONRY SHALL BE INSTALLED AT THE PERIPHERIES OF EXTERIOR DOORS AND WINDOWS AND SHALL BE PROTECTED FROM WEATHER BY BALCONIES AND OTHER PROTECTIONS AND AT BALCONIES SHALL BE INSTALLED ON BOTH SIDES AND THE TOP OF EXTERIOR WALLS.

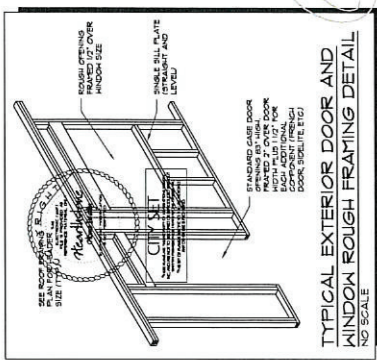
MASONRY NOTE:
 1. MASONRY VENEER SHALL HAVE CORROSION RESISTANT ANCHORS AND SHALL BE INSTALLED IN SUCH A MANNER AS TO PREVENT POSSIBLE ROT IN THE WALL OR TO BE INSTALLED AT THE PERIPHERIES OF EXTERIOR DOORS AND WINDOWS. EXTERIOR MASONRY SHALL BE INSTALLED AT THE PERIPHERIES OF EXTERIOR DOORS AND WINDOWS AND SHALL BE PROTECTED FROM WEATHER BY BALCONIES AND OTHER PROTECTIONS AND AT BALCONIES SHALL BE INSTALLED ON BOTH SIDES AND THE TOP OF EXTERIOR WALLS. MASONRY SHALL BE INSTALLED AT THE PERIPHERIES OF EXTERIOR DOORS AND WINDOWS AND SHALL BE PROTECTED FROM WEATHER BY BALCONIES AND OTHER PROTECTIONS AND AT BALCONIES SHALL BE INSTALLED ON BOTH SIDES AND THE TOP OF EXTERIOR WALLS.



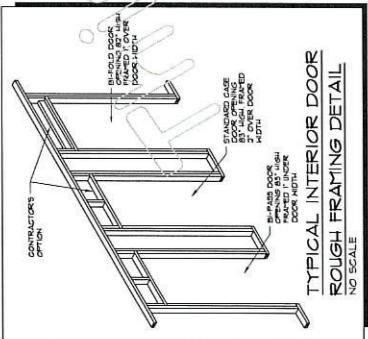
LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



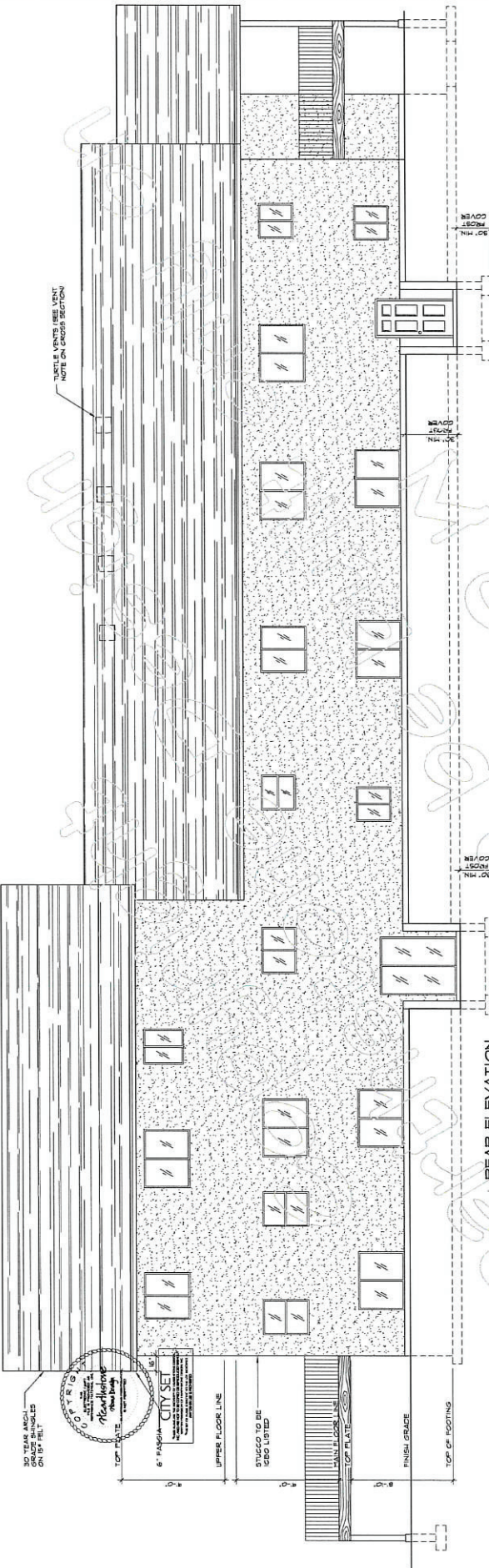
RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



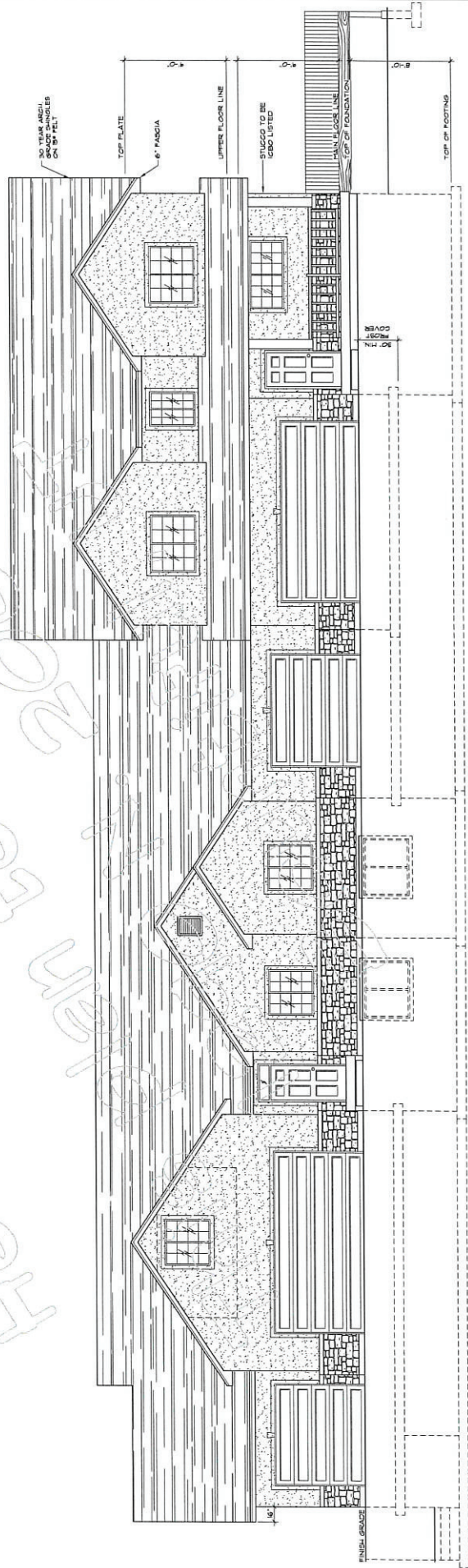
TYPICAL EXTERIOR DOOR AND WINDOW ROUGH FRAMING DETAIL
 NO SCALE



TYPICAL INTERIOR DOOR ROUGH FRAMING DETAIL
 NO SCALE



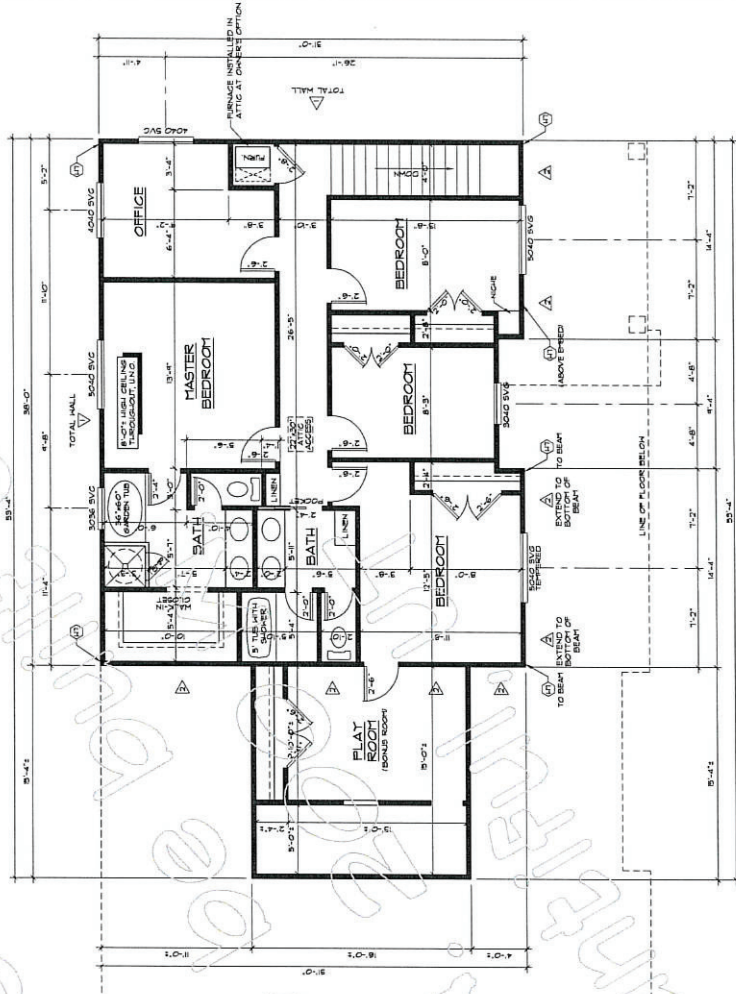
REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

HANCOCK, GREG AND ANDREA
 1202 N 200 W
 BOONVILLE, UTAH
 DATE: 8 JUNE 2015

Heartshome stowe Design
 1500 WEST 200 SOUTH
 SALT LAKE CITY, UTAH 84119
 801.487.2905
 www.heartshomedesign.com



CITY SET
 UTAH
 DEPARTMENT OF HERITAGE & ARTS
 DIVISION OF ARCHITECTURE
 160 WEST 200 SOUTH, SUITE 400
 SALT LAKE CITY, UTAH 84119
 801.487.3000
 www.cityofslc.gov

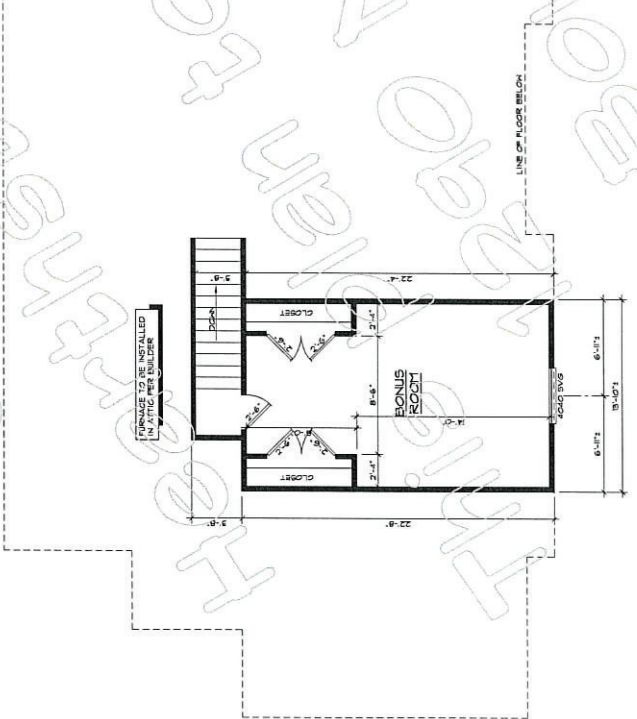
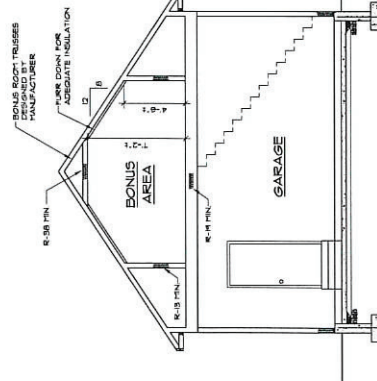
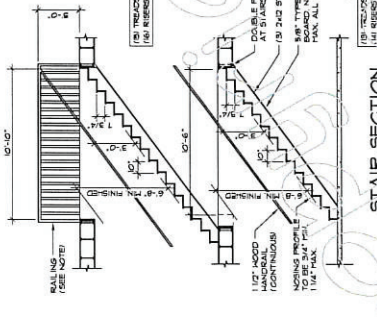
STAIRS TO BE INSTALLED IN ATTIC AT CONCRETE OPTION. FINISHES TO BE INSTALLED IN ATTIC PER BUILDER.

DOUBLE FLOOR JOISTS AT STAIRS. 15 X 10 STRINGERS. 1 1/2" X 12" MOULDING (CONTIGUOUS). WORKING PLATFORM TO BE 2' X 4" FLOOR JOIST. 1 1/2" X 12" FLOOR JOIST. MAX. ALL 15 STRINGERS.

16'-0" WIDE STAIRS (SEE NOTE) (18' INERTS @ 3'-0" ON-TOP)

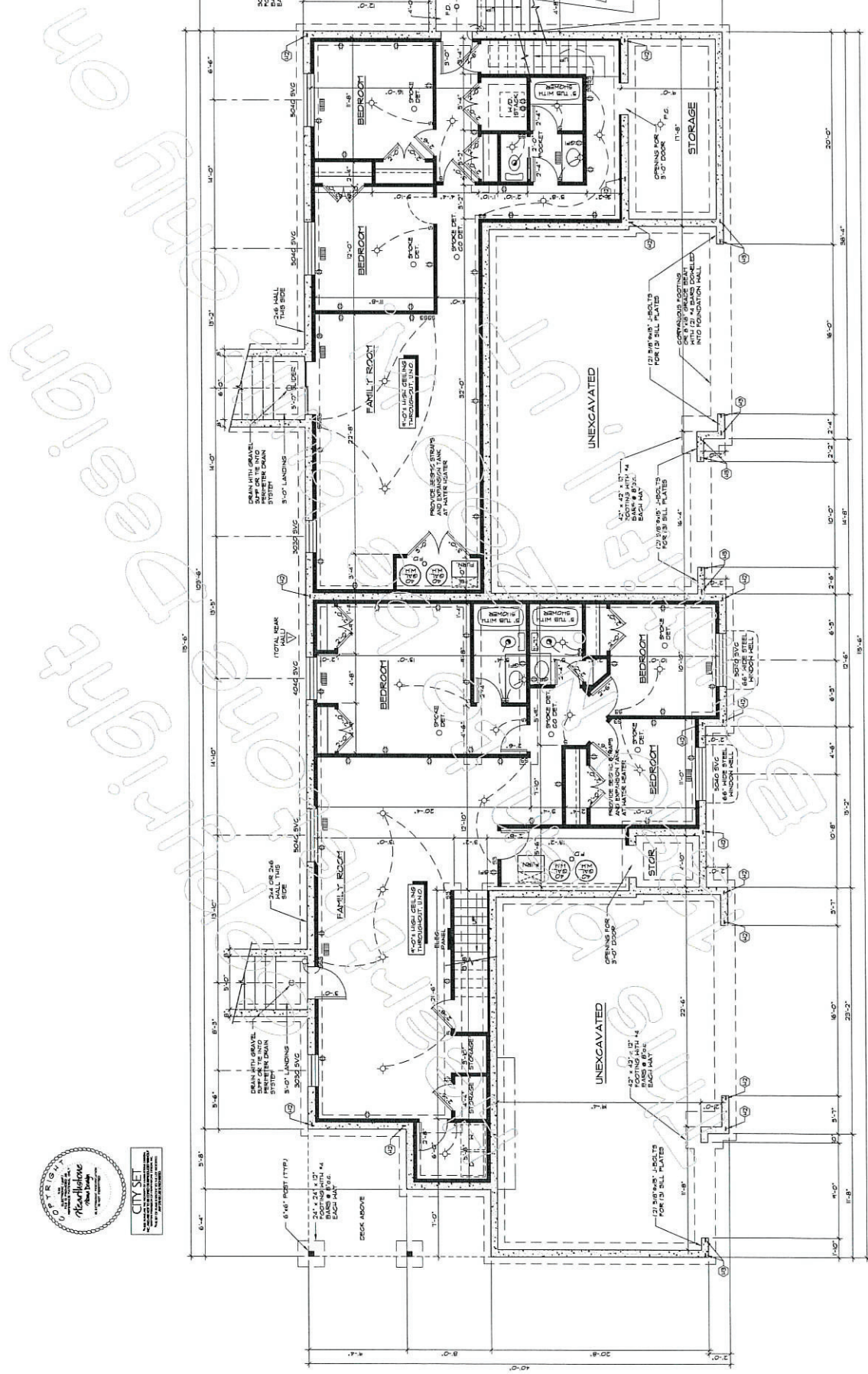
18" TREADS X 10" RISES (18' INERTS @ 3'-0" ON-TOP)

18" TREADS X 10" RISES (18' INERTS @ 3'-0" ON-TOP)



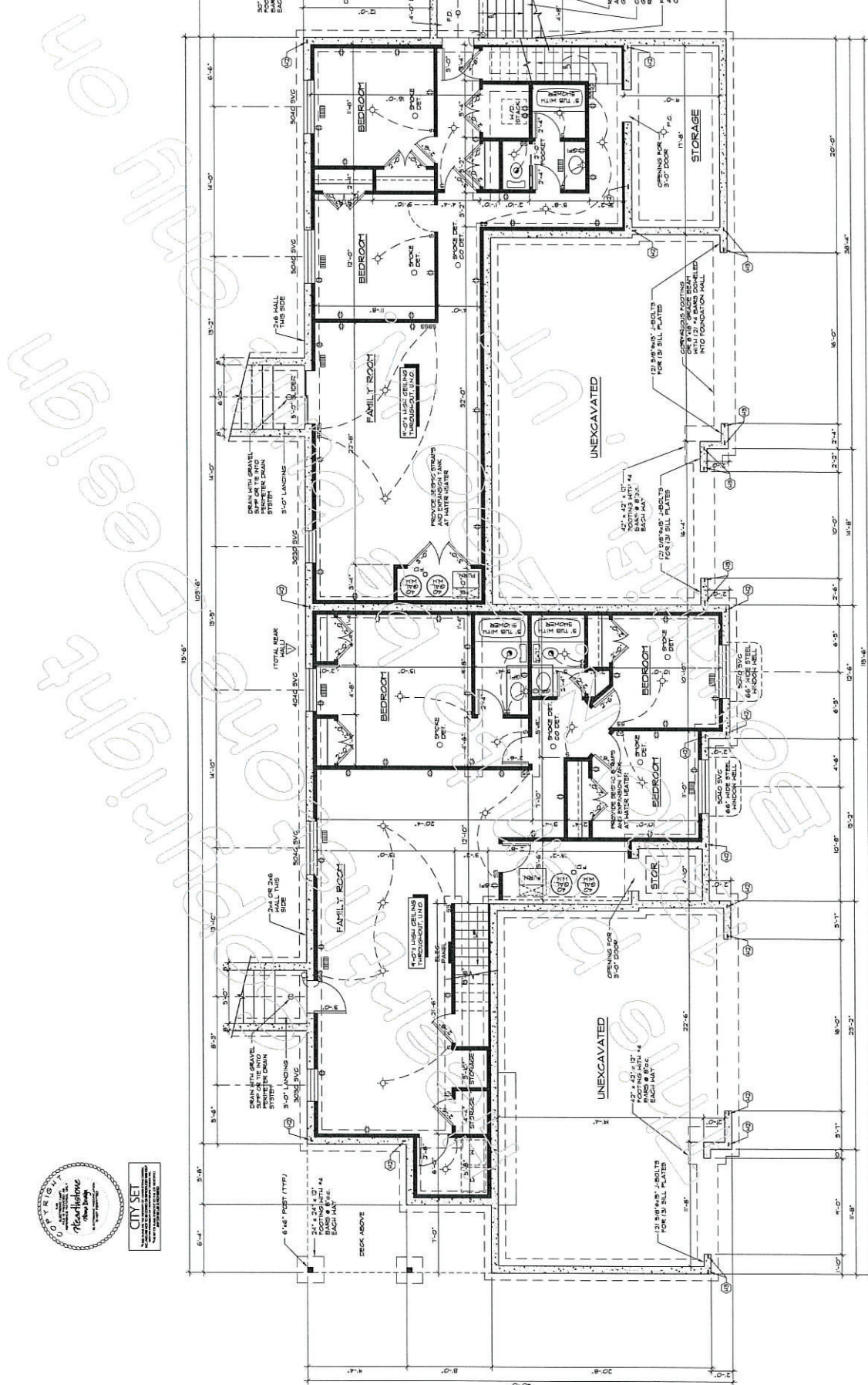
UPPER FLOOR PLAN
 SCALE: 1/8"=1'-0"
 BONUS 204 S.F.

BONUS ROOM PLAN
 SCALE: 1/4"=1'-0"
 3/4 S.F.



FOOTING AND FOUNDATION PLAN
 SCALE: 1/4"=1'-0"
 SEE PLAN 17 AND 18 FOR
 SBT TOTAL SP





FOOTING AND FOUNDATION PLAN
 SCALE 1/4"=1'-0"
 SEE SHEET 9 FOR FLOOR PLAN
 SEE SHEET 11 FOR ROOF PLAN
 SEE SHEET 12 FOR SECTION



CITY SET
 CITY OF BOZEMAN
 2015 JUNE 11
 1700 N 200 W
 BOZEMAN, MT 59717



MAIN FLOOR GENERAL NOTES:

1. ALL WALLS AND PARTIAL WALLS ARE SHOWN AS 4" UNLESS NOTED OTHERWISE.
2. DOOR PROFILES TO BE COORDINATED TO BE 2 1/2" OR ANY OTHER SIZE INTO A SLABING ROOM.
3. ALL PARTIAL WALLS TO BE PARALLEL TO THE RESURFACE AND ITS VERTICAL AREA NOT LESS THAN 1/2" TO THE FINISH SURFACE.
4. ALL PARTIAL WALLS SHALL BE VERTICAL UNLESS OTHERWISE NOTED.
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9. ALL PARTIAL WALLS SHALL BE VERTICAL UNLESS OTHERWISE NOTED.
10. ALL PARTIAL WALLS SHALL BE VERTICAL UNLESS OTHERWISE NOTED.

MISCELLANEOUS NOTES:

1. THE INDEX OF THE INSULATION AND UNVENTED CEILING CONCRETE SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND THE INSULATION.
2. HAND DRIP PORTION OF MANHOLE TO HAVE CIRCULAR CROSS SECTION AND IF GREATER THAN 6" IN DIAMETER, PROVIDE 1/2" THICKNESS IN A SLOTTED TRENCH AS RETURN TO WALLS. REED TO BE SLOTTED TRENCH AS RETURN TO WALLS.
3. FLOOR OF GARAGE TO BE SLOTTED TRENCH AS RETURN TO WALLS.
4. STRONG FLOOR FIN.
5. EACH COMPARTMENT AT ALL ENCLOSED AREAS SHALL BE PROVIDED WITH A DOOR OR OTHER MEANS OF EGRESS.
6. ALL DOORS SHALL BE PROVIDED WITH A DOOR OR OTHER MEANS OF EGRESS.
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GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BOUNTIFUL.
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GENERAL NOTES:

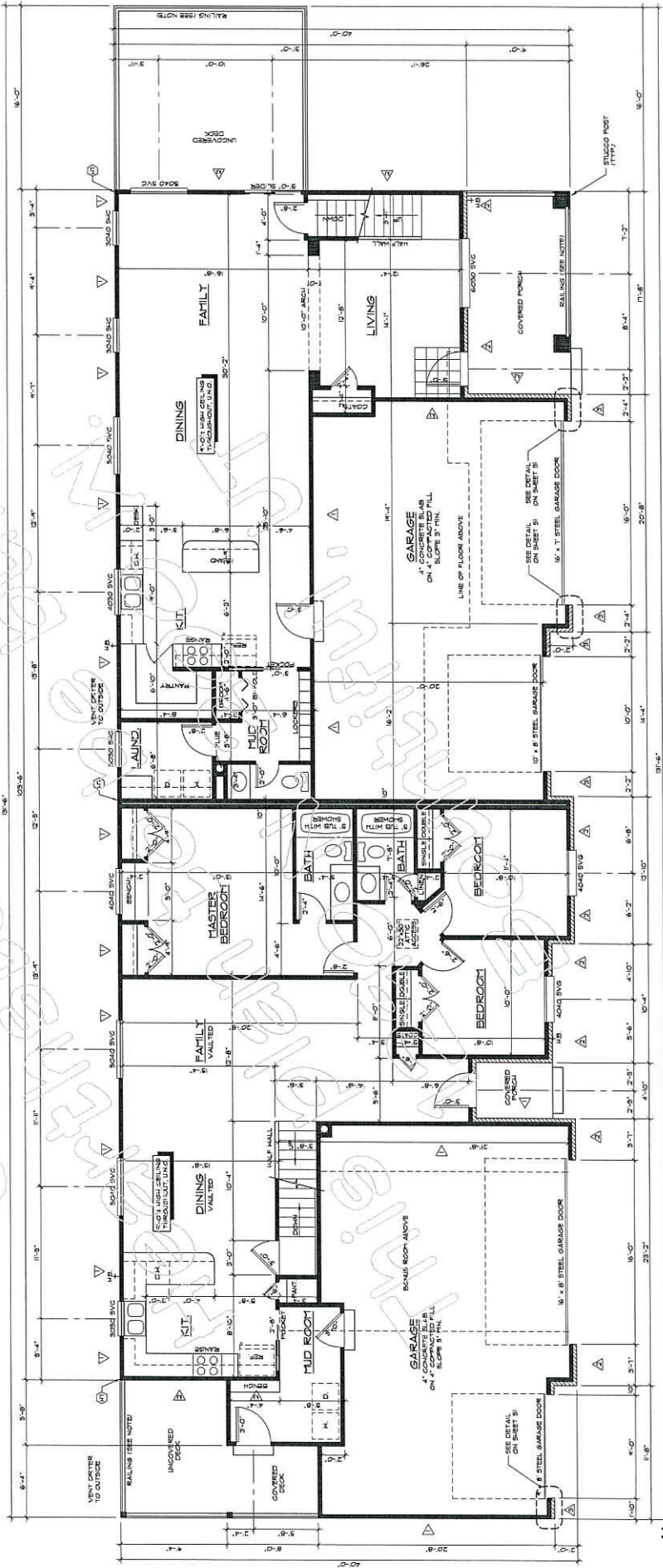
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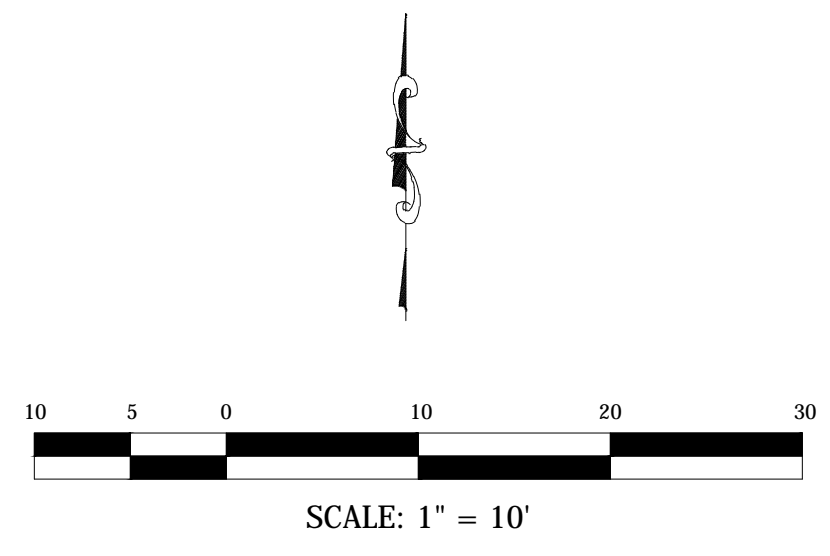
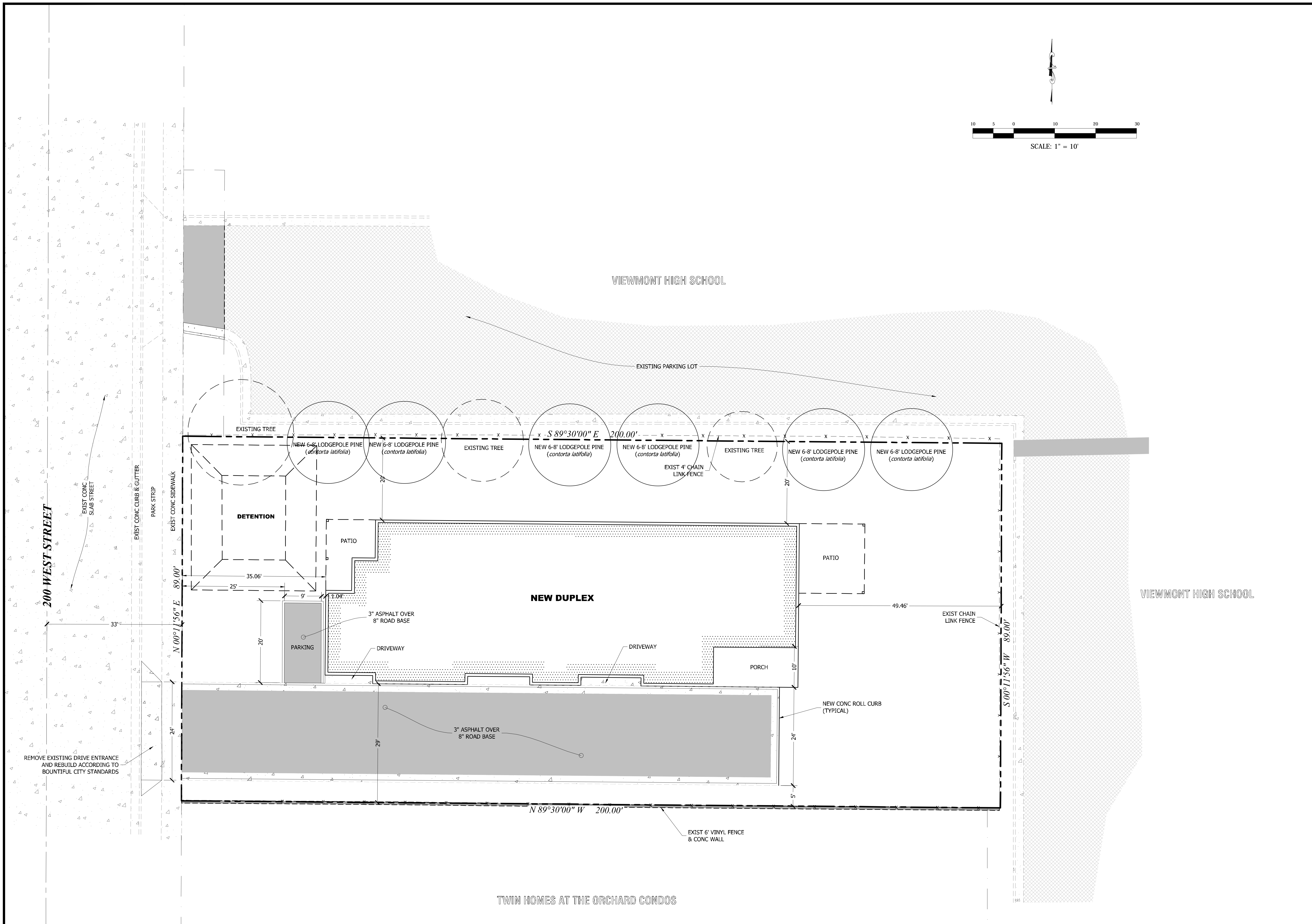
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MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 SEE SHEET 37 FOR GARAGE



181 North 200 West, Suite #4
 Bountiful, Utah 84010
 Phone 801-298-2236
 Fax 801-298-5983



SITE PLAN
ROBERT GIBSON DUPLEX
 1290 NORTH 200 WEST
 PARCEL # 03-003-0042
 LOCATED IN THE SW 1/4 OF SECTION 18, T.2N., R.1E., S.L.R.&M.
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DATE	BY	REVISION
28 AUG 2015	LEM	DATE
28 AUG 2015	STA	DATE
	BY	DATE
	BY	DATE
	BY	DATE

SHEET
C-04
 SHEET NAME
 SITE PLAN
 DRAWING NAME
 15-232-MAIN REV
 10SEPT15.dwg
 PROJECT NO.
 15-232

TWIN HOMES AT THE ORCHARD CONDOS



BOUNTIFUL

City of Beautiful Homes and Gardens

MAYOR
Randy C. Lewis
CITY COUNCIL
Kendalyn Harris
Richard Higginson
Beth Holbrook
John Marc Knight
John S. Pitt
CITY MANAGER
Gary R. Hill

Bountiful City Ordinance No. 2015-16

An ordinance amending the Bountiful City Code and Land Use Ordinance Related to Telecommunications Facilities in Commercial Zones.

It is the finding of the Bountiful City Council that:

1. The Bountiful City Council is empowered to adopt and amend general laws and land use ordinances pursuant to Utah State law (§10-9a-101 et seq) and under corresponding sections of the Bountiful City Code.
2. After a public hearing on August 18, 2015, the Bountiful City Planning Commission recommended that the City Council approve the proposed amendment.
3. The Bountiful City Council held a public hearing on this Ordinance on September 8, 2015.

Be it ordained by the City Council of Bountiful, Utah:

SECTION 1. The Bountiful City Land Use Ordinance (Title 14 of the Bountiful City Code) is hereby amended to add the following:

14-14-118 TELECOMMUNICATIONS TOWER SITES

A. It is the finding of the City Council that:

1. It is in the best interests of the citizens of the City to have quality cellular wireless telephone service available. This necessarily entails the erection of telecommunications towers within the City limits.
2. It is the right of private enterprise to do business within the City, subject only to reasonable regulation by the City. This includes the telecommunications business.
3. It is in the best interests of the citizens that the telecommunications towers which are constructed are:
 - a. as unobtrusive as possible in their location, size, and construction;
 - b. as few in number as possible;
 - c. subject to such reasonable restrictions as may best minimize the impact upon surrounding properties and the City as a whole; and
 - d. not placed in residential areas unless there is no other alternative.
4. It is in the best interests of telecommunications businesses to have access to towers which are of the appropriate height and location to serve their reasonable needs.

5. It is the policy of the City of Bountiful to make available to telecommunications companies such sites as the City owns and which can reasonably serve the needs of the companies, the citizens, and the City.

6. The visual burden of towers is borne by the public, and it would be appropriate for the revenues of those towers go to the public. Therefore, telecommunication towers shall be located on publicly owned sites (i.e. lands owned by governmental entities such as the City, schools, etc) where possible, and on private property only when public properties serving the same area are not available.

14-6-103 PERMITTED, CONDITIONAL, AND PROHIBITED USES

Subject to the provisions and restrictions of this Title, the following principal uses and structures, and no others, are allowed either as a permitted use (P) or by Conditional Use Permit (C) in the Commercial zone. Some uses may be expressly prohibited (N) in this zone. Any use not listed herein is also expressly prohibited.

Table 14-6-103

<u>Use</u>	<u>C-H</u>	<u>C-G</u>	<u>C-N</u>
Assisted Living Center	N	N	N
ATV and Snowmobile Sales w/o Outside Storage and/or Display	P	C	N
ATV and Snowmobile Sales with Outside Display	P	N	N
Bail Bonds	C	N	N
Banks, Credit Unions	P	P	N
Bar, Tavern, Drinking Establishment	C	N	N
Bottling, Canning, Food Production	P	C	N
Building/Construction Materials and Supplies w/ Outside Storage	C	C	N
Building/Construction Materials and Supplies w/o Outside Storage	P	C	N
Check Cashing, Title Loans	P	C	N
Construction Services w/ Outside Storage	C	N	N
Construction Services w/o Outside Storage	P	C	N
Convenience Stores	P	C	C
Dry Cleaner, Laundry Service	P	C	C
Fast Food Restaurant w/ or w/o Drive-up	P	C	N
Feed Lots, Animal Rendering, Animal Raising	N	N	N
Fire Arm/Shooting Range – Indoor	C	N	N
Fire Arm/Shooting Range – Outdoor	N	N	N
Food Preparation, Bakery	P	P	C
Funeral Parlor, Cemeteries, and Crematory Services	P	C	N
Gasoline Sales	P	P	C
General Retail w/ Outside Storage	C	C	N
General Retail w/o Outside Storage	P	P	C
Grocery Store	P	P	C

Use	C-H	C-G	C-N
Hotels (Interior room access)	P	C	N
Industrial Manufacturing	N	N	N
Kennels, Animal Boarding	N	N	N
Laundromat (Self-operated)	P	P	C
Mail Order/Online Distribution Office w/ Onsite Indoor Storage	P	C	N
Mail Order/Online Distribution Office w/ Onsite Outdoor Storage	C	N	N
Medical/Dental Laboratory	P	C	N
Medical/Dental Office	P	P	C
Millwork, Cabinetry	P	C	C
Motels (Drive-up/exterior room access)	N	N	N
Motorized Recreation	C	N	N
Municipal Facility	P	P	P
Non-motorized Recreation, Pool, Gymnasium – Public or Private	P	P	C
Pawnshop, Secondhand Merchandise,	C	N	N
Personal Services	P	P	C
Professional Services	P	P	C
Public/Private Assembly	P	P	C
Residential	N	N	N
Restaurant	P	P	C
Security Services	P	N	N
Self Storage Units or Warehouse w/o Office	N	N	N
Sexually Oriented Business, Escort Service	C	N	N
Small Engine/Appliance Repair	P	P	N
Tailor, Seamstress, Shoe Repair	P	P	C
Tattoo Parlor	C	N	N
<i>Telecommunication Facility not on City Property</i>	<i>C</i>	<i>C</i>	<i>C</i>
<i>Telecommunication Facility on City property</i>	<i>P</i>	<i>P</i>	<i>P</i>
Thrift Store	P	C	C
Tutoring, Dance, Preschool, Daycare	P	P	C
Vehicle Part Sales	P	P	N
Vehicle Repair	P	N	N
Vehicle Sales	P	N	N
Vehicle Salvage/Wrecking	N	N	N
Vehicle Service and Wash	P	C	N
Vehicle Storage – Indoor	P	P	C
Vehicle Storage – Outdoor	C	N	N
Warehouse w/ Office	P	N	N
Welding, Autobody, Machine Shop, Fiberglass, Painting – indoor	P	N	N
Welding, Autobody, Machine Shop, Fiberglass, Painting - Outdoor	C	N	N

SECTION 2. City ordinances in conflict with these provisions are hereby repealed. However, all provisions in force immediately prior to this ordinance shall continue in force hereafter for the purpose of any pending legal action, all rights acquired, and any liabilities already incurred.

SECTION 3. If any portion of this Ordinance is declared illegal or unconstitutional, the remainder shall remain in full force and effect.

SECTION 4. This ordinance shall take effect immediately upon first publication.

Adopted by the City Council of Bountiful, Utah, this 22nd day of September, 2015.

Randy C. Lewis, Mayor

ATTEST:

Shawna Andrus, City Recorder

City Council Staff Report



Subject: License to Occupy at 1500 South Main
Author: Russell Mahan
Department: City Attorney
Date: September 22, 2015

Background

Several weeks ago the City Council gave site plan approval to a medical building at the northwest corner of 1500 South and Main, owned by Eyelands LLC. Years ago the street configuration there was straight, and when it was modified a portion of what had been a street was brought into the yard of the adjacent building. This is illustrated in Exhibit B of the License to Occupy which accompanies this staff report. The approved site plan incorporates this City-owned land into the overall design. It is now proposed that Eyelands LLC be given a license (sort of like a temporary deed) to occupy this City land as long as the building stands. Should the building be removed in the future, the license would automatically expire.

Analysis

The granting of this License is an appropriate action for the parties involved. The City maintains ownership of the land but is relieved of having to maintain it in landscaping. The developers of the adjacent land maintain the land and gain open space for their site.

Department Review

This staff report was prepared by the City Attorney and reviewed by the City Manager.

Significant Impacts

There are no significant impacts.

Recommendation

It is recommended that the City Council approve the License to Occupy.

Attachments

1. Staff report.
2. License to Occupy.

**When Recorded Return To:
Shawna Andrus
City Recorder
Bountiful, Utah
790 South 100 East
Bountiful, Utah 84010**

LICENSE TO OCCUPY

BOUNTIFUL CITY, a Utah municipal corporation (hereinafter "City"), hereby grants to EYELANDS, LLC, a Utah limited liability company whose address is 214 West 1500 South, Bountiful, UT 84010 (hereinafter "Developer") and to its assignees and successors, a conditional **LICENSE** to occupy, upon the conditions stated herein, the following real property located in Bountiful, Davis County, Utah:

See Exhibit A.

RECITALS

1. Developer owns property located at approximately 214 West 1500 South, Bountiful, UT, and has received final site plan approval from the City to construct an office building and related site plan improvements.
2. The subject property owned by the City is immediately adjacent to Developer's property and is depicted in yellow on the map shown in Exhibit B. Developer has proposed to occupy City's property in conjunction with his development. The term "occupy" shall mean "to access, improve, maintain, and utilize the subject property to the extent shown on the approved final site plan and in any future amendments approved by City", which are attached hereto and incorporated herein by this reference.
3. This grant of occupancy is only for that period of time commencing with the recording of this **LICENSE** and for as long as the proposed building mentioned above shall stand. At such time as the building is demolished or is otherwise modified more than 50% than currently approved (excluding interior and tenant finish modifications), this license shall automatically expire without further notice.
4. By recording this **LICENSE**, Developer and its successors and assignees hereby agree to indemnify City for all liabilities whatsoever that may arise from the occupation of City's property by Developer or its assignees and successors, and to maintain the land licensed hereunder in an attractive manner with grass, sprinklers and other landscaping improvements as approved by the City. Failure to maintain landscaping shall be a breach of this License.

5. By recording this **LICENSE**, Developer and its assignees and successors agree that they shall not claim at any time any interest or estate of any kind or extent whatsoever in the described premises by virtue of this license or its occupancy or use hereunder, other than the rights granted in this **LICENSE**.

BOUNTIFUL CITY, a
Utah Municipal Corporation

By: _____
Randy C. Lewis, Mayor

ATTEST: _____
Shawna Andrus, City Recorder

STATE OF UTAH
COUNTY OF DAVIS

On the ____ day of September, 2015, personally appeared before me Mayor Randy C. Lewis and City Recorder Shawna Andrus, the signers of the foregoing instrument, who each duly acknowledged to me that he/she executed the same.

Notary Public

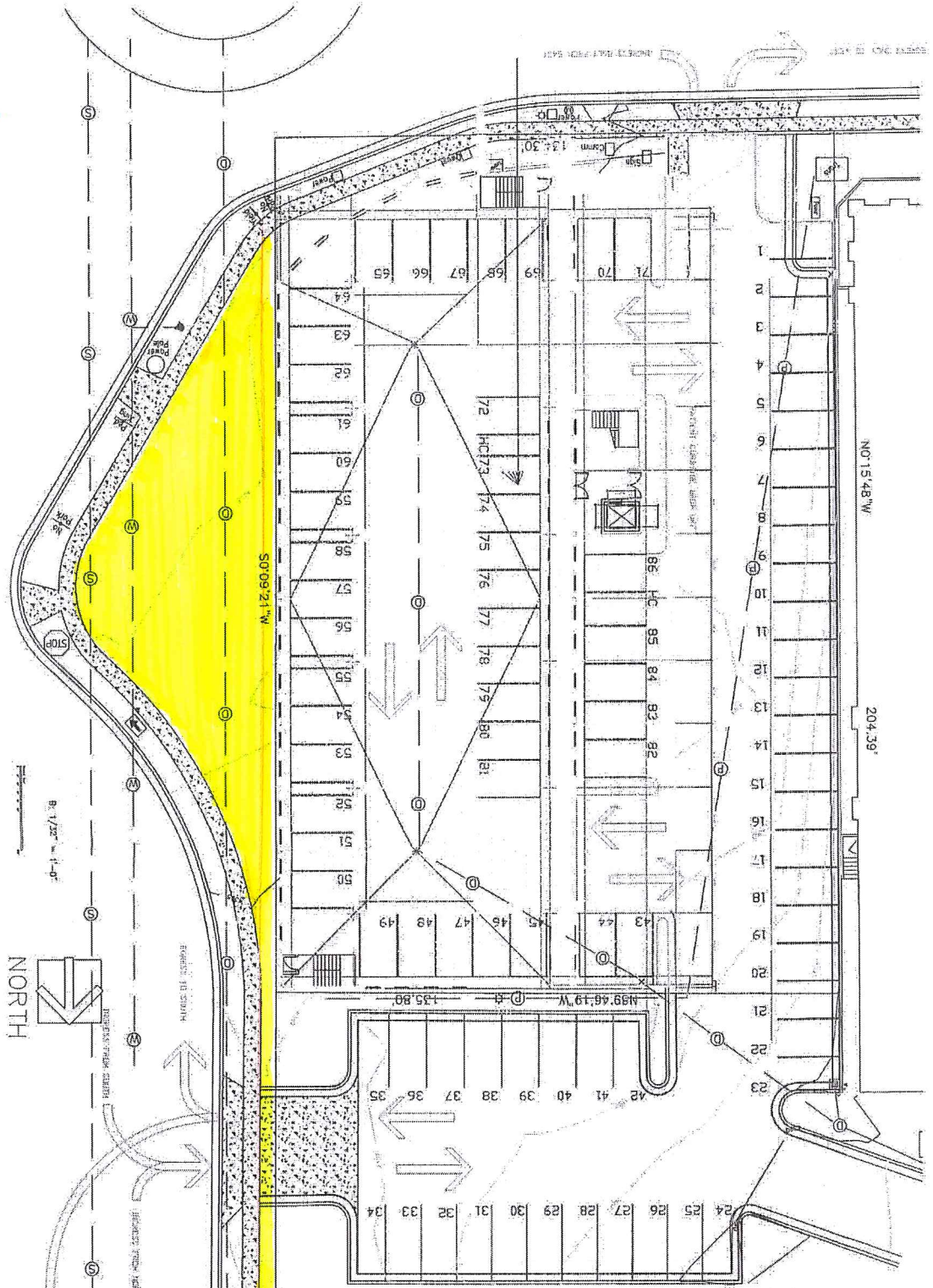
Exhibit A
Property Description

Beginning at a point on the back of the existing sidewalk of Main Street, which point is N 00-09-21 E 20.24 ft. from the southeast corner of lot 5 of the Renaissance Towne Center PUD Phase 2, said lot corner also being the Southeast corner of Lot 5, Block K, North Mill Creek Plat, located in the Southwest Quarter of Section 30, T.2N., R.1E., S.L.B.&M., and running thence;

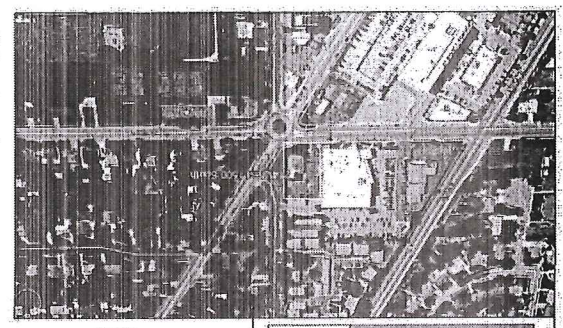
N 00-09-21 E 254.53 ft. along the west line of 200 West Street to the north line of said PUD; thence S 89-46-31 E 5.35 ft. to the back of sidewalk along 200 West Street; thence along the back of the existing sidewalk the following seven courses; S 00-08-02 W 76.95 ft. to the point of tangency with an 88.00 ft. radius curve to the left; thence along said curve 67.32 ft. through a central angle of 43-49'-43"; thence S43-41-41 E 29.89 ft. to the point of tangency with a 10.00 ft. curve to the right; thence along said curve 13.17 ft. through a central angle of 75-28'34"; thence S 31-46-53W 67.68 ft. to the point of tangency with a 20.00 ft. radius curve to the left; thence along said curve 7.05 ft. through a central angle of 20-11'-34" to the point of reverse curvature with a 27.58 ft. radius curve to the right; thence along said curve 24.11 ft. through a central angle of 50-04'-48" to the point of beginning.

Containing 4,959 sf.

Exhibit B



ALL AREAS WITHIN OF
DASHED BOUNDARY TO BE OPEN SPACES



Vicinity Map

AREA 3RD LEVEL:	413,911.55
AREA 2ND LEVEL:	413,911.55
AREA GROUND LEVEL:	422,587.00
BUILDING TOTAL AREA:	828,642.55

OCCUPANCY:	38 OFFICE
PARKING PROVIDED:	86
PARKING REQUIRED:	86
LANDSCAPING TOTAL AREA:	4,455.5
LANDSCAPING PERCENTAGE:	0.54%

AEURBIA
ARCHITECTS & ENGINEERS
2075 SOUTH BROADWAY, SUITE 275 - SALT LAKE CITY, UT 84119
PHONE 801.464.6465 FAX 801.464.6466

Date: 2/17/06
Scale: 1/8\"/>

Project Number: A1.1
Sheet Number: 1 of 1
Scale: 1/8\"/>

City Council Staff Report



Subject: Amendments to Policies Manual
Author: Russell Mahan
Department: City Attorney
Date: September 22, 2015

Background

Employees are governed in their conduct at work, and the way they do their work, by the Bountiful City Policies & Procedures Manual. In section 10-3-717 of the Utah State Code all City Councils are empowered to adopt resolutions “establishing personnel policies and guidelines.” It is necessary from time to time to amend the policies due to changes in the law or as new issues arise.

Analysis

The Utah State Retirement System requires that member cities have policies that conform with their eligibility provisions. Following an audit of Bountiful, they are requesting the amendments contained in Section 311(d).

Section 207 is also amended to provide that new hire employee probation ends when the City Manager and Department Head file a document with the Human Resources Director stating that probation has been successfully passed. The policies now provide that probation ends automatically at the end of one year, and this amendment makes it a conscious decision rather than the mere passing of a date.

Department Review

These policy amendments have been reviewed by the City Attorney, the Human Resources Manager and the City Manager.

Significant Impacts

These amendments will meet URS requirements. There is no financial impact.

Recommendation

It is recommended that the City Council approved Resolution 2015-11 amending the Bountiful City Policies & Procedures Manual.

Attachments

Resolution 2015-11.



BOUNTIFUL

City of Beautiful Homes and Gardens

BOUNTIFUL CITY COUNCIL RESOLUTION NO. 2015-11

MAYOR
Randy C. Lewis
CITY COUNCIL
Kendalyn Harris
Richard Higginson
Beth Holbrook
John Marc Knight
John S. Pitt

CITY MANAGER
Gary R. Hill

**A RESOLUTION REVISING THE BOUNTIFUL CITY PERSONNEL
POLICIES AND PROCEDURES MANUAL WITH RESPECT TO
ELIGIBILITY FOR THE UTAH STATE RETIREMENT SYSTEM
AND TO CLARIFY WHEN EMPLOYEE PROBATION ENDS.**

IT IS THE FINDING OF THE BOUNTIFUL CITY COUNCIL AS FOLLOWS:

1. The City Council is empowered and authorized to establish personnel policies and guidelines by resolution (§10-3-717 of the Utah Code); and
2. The City Council wishes to have its policies be in conformity with the requirements of the Utah State Retirement System for public employees.

THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF BOUNTIFUL, UTAH:

SECTION 1. The Bountiful City Personnel Policies and Procedures are hereby amended as follows:

311. Benefits

(d) Retirement Systems.

(1) Bountiful City is a member of the Utah State Retirement System. Eligible City employees participate in the Public Safety Retirement System and the Public Employees Retirement System, as appropriate, subject to the rules and regulations of the respective systems.

A. For purposes of Utah State Retirement (URS) coverage, the City classifies all elected officials as part time. Eligibility for retirement coverage under Utah Retirement Systems shall be administered in accordance with the statutory rules governing Utah Retirement Systems.

B. The elected Mayor and the appointed City Recorder, Treasurer and Finance Director are eligible for the Utah State Retirement System.

C. The elected members of the City Council, not including the Mayor, are not eligible for the Utah State Retirement System.

D. The appointed members of the City Power Commission and Planning Commission are part time positions that are not eligible for the Utah State Retirement System.

207. Probation

(a) New Employees.

(1) All regular City employees are subject to a probationary period of one year, **plus any extensions and subject to paragraph (4) below.** This probationary period is part of the selection process. Its purpose is to allow City management sufficient time to evaluate an employee's ability to perform the duties and responsibilities of the assigned position.

(2) It is the policy of the City that all new employees are to be carefully monitored and evaluated during their probationary period. Supervisors are to observe carefully the performance of each probationary employee. Where appropriate, weaknesses in performance, conduct, or attitude may be brought to the employee's attention for correction. Employees who successfully complete their probationary period may, with the approval of the Department Head and the City Manager, become regular employees of the City.

(3) Probationary employees may be terminated at any time, with or without cause, without appeal or process.

(4) Probation ends when the Department Head and City Manager sign and file with the Human Resources Director a personnel action notice stating that the probationary period has ended and that the employee is now a regular employee. Until that time employees are probationary and their employment is at-will, even if the period of time exceeds one year.

(5) At the conclusion of the probationary period, a Department Head may, with the consent of the City Manager, extend probation for a period of six additional months. ~~In such case the employee shall be so advised in writing and the employee must consent in writing to the extension of time, acknowledging that d~~ During such **time extension** the employee shall remain strictly probationary and will not be a regular employee.

SECTION 2. If any part of these policies is found to be invalid for any reason, the remainder shall remain in full force and effect.

SECTION 3. This resolution shall take effect immediately.

Adopted this 22nd day of September, 2015.

BOUNTIFUL CITY:

RANDY C. LEWIS, MAYOR

ATTEST:

SHAWNA ANDRUS, CITY RECORDER

City Council Staff Report



Subject: Cancellation of 2015 Bountiful Election
Author: Russell Mahan
Department: City Attorney
Date: September 22, 2015

Background

Under Utah law three City Council positions are up for election on November 3, 2015. Four citizens filed as candidates for office, but John Tebbs has now filed a withdrawal of his candidacy. The time for any other candidates to file for the election has passed. That leaves three candidates for three offices. The Utah Code allows a City Council to declare the remaining three candidates elected and cancel a municipal election in this situation.

Analysis

The facts of this situation meet the legal requirements to cancel the election. (Utah Code Section 20A-1-206) A Resolution needs to be passed to accomplish this. It is included, and recites the findings that support it.

Department Review

This staff report was prepared by the City Attorney and reviewed by the City Manager.

Significant Impacts

This action would cancel the 2015 Bountiful municipal election and declare the remaining candidates (Richard Higginson, Beth Holbrook, and John Marc Knight) elected. Most of the cost of the election will be saved.

Recommendation

It is recommended that the City Council approve the Resolution canceling the election and declaring the candidates elected.

Attachments

Resolution 2015-12.



BOUNTIFUL

City of Beautiful Homes and Gardens

MAYOR
Randy C. Lewis
CITY COUNCIL
Kendalyn Harris
Richard Higginson
Beth Holbrook
John Marc Knight
John S. Pitt

CITY MANAGER
Gary R. Hill

BOUNTIFUL CITY RESOLUTION No. 2015-12

A RESOLUTION CANCELING THE 2015 BOUNTIFUL CITY MUNICIPAL ELECTION BECAUSE THE NUMBER OF CANDIDATES FOR CITY COUNCIL DOES NOT EXCEED THE NUMBER OF COUNCIL OFFICES TO BE FILLED, AND DECLARING THE REMAINING CANDIDATES ELECTED TO THE BOUNTIFUL CITY COUNCIL.

The Bountiful City Council makes the following findings:

1. Bountiful City has under State law scheduled a municipal election for November 3, 2015, to elect three people to the Bountiful City Council for four year terms commencing in January 2016;
2. Four residents filed a declaration of candidacy for the Bountiful City Council for the 2015 election, namely, Richard Higginson, Beth Holbrook, John Marc Knight and John Tebbs, and the time for further candidate filings has expired;
3. On September 16, 2015, John Tebbs withdrew his candidacy and nomination for the Bountiful City Council under State law; and
4. (a) All municipal officers are elected in an at-large election under Utah Code §10-3-205.5(1); (b) the number of municipal officer candidates, including any eligible write-in candidates under §20A-9-601, for the at-large municipal offices does not exceed the number of open at-large municipal offices for which the candidates have filed; and (c) there are no municipal ballot propositions in the November 2015 election.
- (5) In such a situation the Bountiful City Council is authorized by §20A-1-206 of the Utah Code to cancel the 2015 Bountiful Municipal Election.

IT IS HEREBY RESOLVED BY THE CITY COUNCIL OF BOUNTIFUL, UTAH, AS FOLLOWS:

Section 1. Certification. The Bountiful City Council does hereby certify that each municipal officer candidate is a candidate for an at-large municipal office for which the number of candidates does not exceed the number of at-large offices.

Section 2. Candidates Declared Elected. The remaining three candidates are hereby declared elected to the Bountiful City Council for four year terms commencing in January 2016: Richard Higginson, Beth Holbrook and John Marc Knight.

Section 3. Cancellation of Election. The 2015 Bountiful City Municipal Election is hereby canceled.

Section 4. Effective Date. This Resolution shall become effective upon passage

ADOPTED BY THE BOUNTIFUL CITY COUNCIL THIS 22ND DAY OF SEPTEMBER, 2015.

RANDY C. LEWIS, MAYOR

ATTEST:

SHAWNA ANDRUS, CITY RECORDER