

# BOUNTIFUL CITY COUNCIL

TUESDAY, November 28, 2023

7:00 p.m. - Regular Session

NOTICE IS HEREBY GIVEN on the Utah Public Notice Website, the Bountiful City Website and at Bountiful City Hall not less than 24 hours prior to the meeting that the City Council of Bountiful, Utah will hold its regular Council meeting at **City Hall, 795 South Main Street, Bountiful, Utah**, at the time and on the date given above. The public is invited to all meetings. Deliberations will occur in the meetings. Persons who are disabled as defined by the Americans With Disabilities Act may request an accommodation by contacting the Bountiful City Manager at 801.298.6140. Notification at least 24 hours prior to the meeting would be appreciated.

If you are not on the agenda, the Council will not be able to discuss your item of business until another meeting. For most items it is desirable for the Council to be informed of background information prior to consideration at a Council meeting. If you wish to have an item placed on the agenda, contact the Bountiful City Manager at 801.298.6140.

*The meeting is also available to view online, and the link will be available on the Bountiful City website homepage ([www.bountifulutah.gov](http://www.bountifulutah.gov)) approximately one hour prior to the start of the meeting.*

## AGENDA

### 7:00 p.m. – Regular Meeting

1. Welcome, Pledge of Allegiance and Thought/Prayer
2. Public Comment – If you wish to make a comment to the Council, please use the podium and clearly state your name and address, keeping your comments to a maximum of two minutes. Public comment is limited to no more than ten minutes per meeting. Please do not repeat positions already stated. Public comment is a time for the Council to receive new information and perspectives.
3. Council reports
4. Consider approval of expenditures greater than \$1,000 paid November 8 & 15, 2023 p. 3
5. Consider approval of Ordinance 2023-08 which updates Bountiful City’s subdivision code – Ms. Amber Corbridge p. 7
  - a. Public Hearing
  - b. Action
6. Consider approval of the preliminary and final architectural and site plan application for Arctic Circle located at 2071 South Orchard Drive – Ms. Amber Corbridge p. 37
7. Consider approval of the purchase of a 2024 Ford Explorer from Performance Ford Lincoln Bountiful in the amount of \$42,642 – Mr. Allen Johnson p. 61
8. Consider approval of the purchase of a single bucket truck from Altec Industries in the amount of \$233,873 – Mr. Allen Johnson p. 63
9. Consider approval of the purchase of a double bucket truck from Altec Industries in the amount of \$365,310 – Mr. Allen Johnson p. 65
10. Consider approval of the purchase of 75 butt treated poles from Stella-Jones in the amount of \$83,400 – Mr. Allen Johnson p. 67
11. Consider approval of Traffic Safety Committee recommendations – Mr. Lloyd Cheney p. 69
12. Adjourn

  
City Recorder



# City Council Staff Report

**Subject:** Expenditures for Invoices > \$1,000 paid  
November 8 and 15, 2023

**Author:** Tyson Beck, Finance Director

**Department:** Finance

**Date:** November 28, 2023



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## **Background**

This report is prepared following the weekly accounts payable run. It includes payments for invoices hitting expense accounts equaling or exceeding \$1,000.

Payments for invoices affecting only revenue or balance sheet accounts are not included. Such payments include: those to acquire additions to inventories, salaries and wages, the remittance of payroll withholdings and taxes, employee benefits, utility deposits, construction retention, customer credit balance refunds, and performance bond refunds. Credit memos or return amounts are also not included.

## **Analysis**

Unless otherwise noted and approved in advance, all expenditures are included in the current budget. Answers to questions or further research can be provided upon request.

## **Department Review**

This report was prepared and reviewed by the Finance Department.

## **Significant Impacts**

None

## **Recommendation**

Council should review the attached expenditures.

## **Attachments**

Weekly report of expenses/expenditures for invoices equaling or exceeding \$1,000, paid November 8 and 15, 2023

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00  
Paid November 8, 2023**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>FULL DESC</u>
14848	AE2S	Water	51.5100.431000.	Profess & Tech Services	16,132.68	236594	90434	Project # P13118-2023-001 / Dosing Pumps
7666	AMERICAN CHILLER MEC	Police	10.4210.426000.	Bldg & Grnd Suppl & Maint	2,454.63	236599	37095	Service Call, Parts & Labor for Bountiful PD
1140	AMERICAN WATER WORKS	Water	51.5100.421000.	Books Subscr & Mmbrshp	4,512.00	236600	7002149600	Renew Members #033047 Bountiful City Water
4806	CHEMTECH-FORD, INC	Water	51.5100.431000.	Profess & Tech Services	1,065.00	236609	23I0826	Lab Fees
9982	DIAMOND TREE EXPERTS	Light & Power	53.5300.448632.	Distribution	12,060.00	236615	76440	Tree Trimming
5281	DOMINION ENERGY UTAH	Police	10.4210.427000.	Utilities	2,690.52	236617	11012023D	Account # 3401140000
2008	DURA-CRETE INC	Water	51.5100.448400.	Dist Systm Repair & Maint	1,362.00	236618	174969	Meter Box - Acct # BOU3385
2164	FERGUSON ENTERPRISES	Water	51.5100.448400.	Dist Systm Repair & Maint	1,590.00	236623	1220533-1	Hydrant Meters - Cust # 48108
5458	HANSEN, ALLEN & LUCE	Water	51.5100.472130.	Wells	8,718.95	236634	50601	Project 374.02.200 Bountiful - Calder Well
6959	JANI-KING OF SALT LA	Light & Power	53.5300.424002.	Office & Warehouse	1,828.25	236644	SLC11230048	November 2023 Janitorial Cleaner - Cust # 065075
2719	JMR CONSTRUCTION INC	Streets	10.4410.473400.	Concrete Repairs	62,937.25	236645	11072023	Work Completed in October 2023
2719	JMR CONSTRUCTION INC	Water	51.5100.461300.	Street Opening Expense	6,199.00	236645	11072023	Work Completed in October 2023
2719	JMR CONSTRUCTION INC	Storm Water	49.4900.441250.	Storm Drain Maintenance	1,100.00	236645	11072023	Work Completed in October 2023
3924	JOHNSON CONTROLS	Police	45.4210.472100.	Buildings	13,411.70	236646	00046777997	Project Bountiful City Police work completed Oct.
4996	K&C CPAS	Finance	10.4140.431100.	Legal And Auditing Fees	15,485.90	236647	4710	1st interim billing for auditservice ending6/30/23
4996	K&C CPAS	Light & Power	53.5300.431100.	Legal And Auditing Fees	13,377.71	236647	4710	1st interim billing for auditservice ending6/30/23
4996	K&C CPAS	Water	51.5100.431100.	Legal And Auditing Fees	2,420.30	236647	4710	1st interim billing for auditservice ending6/30/23
4996	K&C CPAS	Landfill Operations	58.5820.431100.	Legal And Auditing Fees	1,235.05	236647	4710	1st interim billing for auditservice ending6/30/23
4996	K&C CPAS	Storm Water	49.4900.431100.	Legal And Auditing Fees	1,021.47	236647	4710	1st interim billing for auditservice ending6/30/23
4996	K&C CPAS	Redevelopment Agency	73.7300.431100.	Legal And Auditing Fees	1,009.30	236647	4710	1st interim billing for auditservice ending6/30/23
2886	LAKEVIEW ROCK PRODUC	Water	51.5100.461300.	Street Opening Expense	3,768.40	236649	419023	Road Base - Customer # BCTY07399
2886	LAKEVIEW ROCK PRODUC	Water	51.5100.461300.	Street Opening Expense	2,388.32	236649	418975	Road Base - Customer # BCTY07399
8635	LARSEN LARSEN NASH &	Legal	10.4120.431100.	Legal And Auditing Fees	3,675.00	236650	08312023	Legal Fees for 8/31/2023
8635	LARSEN LARSEN NASH &	Legal	10.4120.431100.	Legal And Auditing Fees	2,450.00	236650	09302023	Legal Fees for 9/30/23
2987	M.C. GREEN & SONS IN	Streets	45.4410.473600.	New Road Construction	133,295.88	236657	4958	Eagle Ridge Dr. Extension - App #12
2987	M.C. GREEN & SONS IN	Water	51.5100.473110.	Water Mains	84,316.66	236656	4960	2023 Waterline Project - Application #5
14745	MCT	Police	10.4210.425500.	Terminal Maint & Queries	1,485.00	236658	76044	Printer - Customer # C36721
13443	OAK HOLLOW ELECTRIC	Streets	10.4410.441300.	Street Signs	18,381.70	236669	17-734	Lighting & Electrical
6148	PLANT, CHRISTENSEN &	Liability Insurance	63.6300.431000.	Profess & Tech Services	2,454.00	236675	83879	Boulter v Bountiful City - Acct # 1415-22276
5553	PURCELL TIRE AND SER	Streets	10.4410.425000.	Equip Supplies & Maint	5,046.82	236676	280060456	Tires and Service - Acct # 2801867
5553	PURCELL TIRE AND SER	Recycle Collection Operations	58.5810.425000.	Equip Supplies & Maint	2,177.79	236676	280060457	Tires and Service - Acct # 2801867
3756	ROCKY MOUNTAIN TRANS	Engineering	45.4450.474500.	Machinery & Equipment	19,979.00	236682	154619	Misc. Parts & Supplies - Cust ID Bountiful City
3791	RUSH TRUCK CENTER-SA	Streets	10.4410.425000.	Equip Supplies & Maint	1,829.50	236684	3034760294	Parts & Air Tank - Customer # 187612
3869	SDI-ACCOUNTS RECEIVA	PSAP - E911	10.4219.414000.	Uniform Allowance	1,178.00	236685	OE20894	Work Uniform Clothing
3968	SNOW, CHRISTENSEN &	Liability Insurance	63.6300.431000.	Profess & Tech Services	1,813.00	236687	522560	Jensen v Bountiful - Matter # 15087.9
4026	STAKER & PARSONS	Streets	10.4410.441200.	Road Matl Patch/ Class C	4,995.36	236689	6230660	400 S. Main Water Dept Patch - Cust # 18108
4131	T-MOBILE	Police	10.4210.428000.	Telephone Expense	1,405.68	236694	10212023	Account # 992894616
4229	TOM RANDALL DIST. CO	Streets	10.4410.425000.	Equip Supplies & Maint	2,985.10	236697	0370592	DEF & Fluids - Acct # 000275
14941	TOTARO, DYLAN	Trails	10.4550.431000.	Profess & Tech Services	4,400.00	236698	1	Bountiful City Trails Video
4331	USA BLUE BOOK	Water	51.5100.448000.	Operating Supplies	1,026.97	236704	INV00161662	Spare Injectors - Cust # 228844
10811	UTOPIA FIBER	Fiber	50.5000.473150.	Fiber Network Lines/Conduit	744,397.24	236707	10182023	Construction for BountifulCity Fiber thruJuly-Sept
4535	WEBER RIVER WATER US	Light & Power	53.5300.448627.	Echo Hydro Operating Costs	94,626.00	236710	12-4876	50% Safety of Dams for Echo Hydro
14946	WIDDISON WELL SRVC	Water	51.5100.474500.	Machinery & Equipment	211,204.00	236712	5598	Project # 1862 / Calder Well Rebuild
7732	WINGFOOT CORP	Police	10.4210.426000.	Bldg & Grnd Suppl & Maint	2,295.00	236714	112587	Janitorial Services for November 2023
<b>TOTAL:</b>					<b><u>1,522,186.13</u></b>			

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00  
Paid November 15, 2023**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>FULL DESC</u>
8127	ADVANCED PAVING & CO	Streets	10.4410.473200.	Road Materials - Overlay	234,073.60	236717	4341	Work completed thru Nov. 2023
1078	ALL STAR STRIPING, L	Streets	10.4410.448000.	Operating Supplies	3,168.60	236718	6056	Streets Striping for Bountiful City
14976	BLACKBURN, APRIL	Liability Insurance	63.6300.451150.	Liability Claims/Deductible	1,500.00	236726	11132023	Reimbursement for damaged car from the farmers mkt
1473	BROKEN ARROW INC	Streets	10.4410.441100.	Special Highway Supplies	23,272.34	236727	45700	Road Salt - Customer # BOUNTIFUL
1473	BROKEN ARROW INC	Streets	10.4410.441100.	Special Highway Supplies	22,735.90	236727	45712	Road Salt - Customer # BOUNTIFUL
1555	CALLAWAY GOLF	Golf Course	55.5500.448240.	Items Purchased - Resale	1,202.43	236730	937242399	Clubs - Acct # 14853
1596	CATE RENTAL & SALES,	Golf Course	55.5500.426100.	Special Projects	1,675.80	236732	L93845	Misc. Parts & Supplies - Customer # 02308
9982	DIAMOND TREE EXPERTS	Light & Power	53.5300.448632.	Distribution	12,060.00	236745	76442	Tree Trimming for Bountiful City Power
9982	DIAMOND TREE EXPERTS	Light & Power	53.5300.448632.	Distribution	11,669.60	236745	76447	Tree Trimming for Bountiful City Power
2008	DURA-CRETE INC	Water	51.5100.448400.	Dist Systm Repair & Maint	1,362.00	236747	175328	Meter Box - Acct # BOU3385
2350	GREEN SOURCE, L.L.C.	Golf Course	55.5500.426000.	Bldg & Grnd Suppl & Maint	14,072.50	236758	23713	Fungicide
2350	GREEN SOURCE, L.L.C.	Golf Course	55.5500.426000.	Bldg & Grnd Suppl & Maint	1,060.00	236758	23170	Quick Silver
11418	HUMDINGER EQUIPMENT	Landfill Operations	58.5820.425000.	Equip Supplies & Maint	4,743.68	236768	33124	Misc. Parts & Supplies
2727	JOHNSON, ALLEN R	Light & Power	53.5300.423000.	Travel & Training	3,774.05	236775	11082023	Reimbursed for Travel & Training Expense
8137	LAKEVIEW ASPHALT PRO	Streets	10.4410.441200.	Road Matl Patch/ Class C	2,491.32	236779	10932	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	10.4410.441200.	Road Matl Patch/ Class C	1,459.12	236779	10961	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	10.4410.441200.	Road Matl Patch/ Class C	1,456.52	236779	10995	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	10.4410.441200.	Road Matl Patch/ Class C	1,453.40	236779	10948	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	10.4410.441200.	Road Matl Patch/ Class C	1,451.32	236779	10987	Patching - Cust # BOUN02610
13969	LAUNCH CONSTRUCTION	Redevelopment Agency	73.7300.426100.	Special Projects	3,400.00	236781	2308-1	Labor & Materials to install ADA Door
4791	POINT S TIRE & AUTO	Water	51.5100.425000.	Equip Supplies & Maint	1,321.75	236805	0147420	Service for Bountiful City
5553	PURCELL TIRE AND SER	Refuse Collection Operations	58.5800.425000.	Equip Supplies & Maint	6,461.27	236806	280061440	Tires and Service - Acct #2801867
5553	PURCELL TIRE AND SER	Streets	10.4410.425000.	Equip Supplies & Maint	5,990.40	236806	280061706	Tires and Service - Acct #2801867
5553	PURCELL TIRE AND SER	Streets	10.4410.425000.	Equip Supplies & Maint	2,493.54	236806	280061585	Tires and Service - Acct #2801867
14774	ROCK SOLID TRAIL	Trails	45.4550.473101.	Improv. Other Than Bldg-Bond	112,861.63	236811	1674	Project Set C Holbrook to Ward - App #4
10586	ROCKY MOUNTAIN RECYC	Recycle Collection Operations	58.5810.431550.	Recycling Processing Fees	9,329.76	236813	NP-136659	Recycling Fees for Bountiful City
3791	RUSH TRUCK CENTER-SA	Streets	10.4410.425000.	Equip Supplies & Maint	1,020.30	236819	3034608065	Misc. Parts/Supplies - Cust #187612
3812	SAFETY SUPPLY & SIGN	Storm Water	49.4900.441250.	Storm Drain Maintenance	5,000.00	236820	187394	Sandbags - Customer ID 00330
3875	SEMI SERVICE INC	Streets	10.4410.425000.	Equip Supplies & Maint	3,448.57	236822	S 189653	Hitch for Bountiful City
3933	SKAGGS COMPANIES, IN	Police	10.4210.445100.	Public Safety Supplies	1,329.00	236826	450_A_191849_	Armor Panel for Bountiful City PD
4217	TITLEIST	Golf Course	55.5500.448240.	Items Purchased - Resale	1,213.07	236836	916773031	Clubs - Acct # US000021802
4229	TOM RANDALL DIST. CO	Streets	10.4410.425000.	Equip Supplies & Maint	29,792.16	236838	0371064	Fuel - Acct # 000275
4229	TOM RANDALL DIST. CO	Streets	10.4410.425000.	Equip Supplies & Maint	1,733.60	236838	0371337	Bulk Oil - Acct # 000275
4229	TOM RANDALL DIST. CO	Golf Course	55.5500.425000.	Equip Supplies & Maint	1,299.06	236838	0370579	Fuel - Acct # 000276
4334	USDA-FOREST SERVICE	Light & Power	53.5300.448627.	Echo Hydro Operating Costs	8,761.03	236843	BF041901AE022	Special Use Permit - Payer Code 3293233
5334	WEST COAST CODE CONS	Engineering	10.4450.431000.	Profess & Tech Services	6,182.01	236849	UT23-545-012	Building Inspections Services for October 2023
4663	YESCO-YOUNG ELECTRIC	Parks	10.4510.426000.	Bldg & Grnd Suppl & Maint	2,362.00	236854	52090	50% Down Payment Invoice (Prefunding)
<b>TOTAL:</b>					<b>548,681.33</b>			



# City Council Staff Report



**Subject:** Land Use Code Text Amendment to the Subdivisions and Administration & Procedures Code  
**Author:** Amber Corbridge, Senior Planner  
**Department:** Planning  
**Date:** November 28, 2023

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## **Background**

Utah State Senate Bill 174 (2023) requires municipalities to update their subdivision ordinances to comply with a new review and approval process (Utah Code § [10-9a-604.1 Process for subdivision review and approval](#)). Subdivision application review must meet the following requirements:

- A. Subdivision provisions apply only to one (1) and two (2) family dwellings and townhomes/townhouses.
- B. City Council may not approve subdivision plat applications, for the above subdivision types.
- C. Planning Commission may not approve FINAL subdivision plat applications, for the above subdivision types.

Additionally, State Code requires the following (Utah Code § [10-9a-604.2 Review of subdivision land use applications and subdivision](#)):

### **Step 1: Preliminary Subdivision Application Review**

- 1. The administrative land use authority (Staff or Commission) must review the subdivision application within fifteen (15) business days of receiving a complete application.
- 2. The administrative land use authority *may* receive public comment and conduct one (1) public hearing.
- 3. If the application complies with applicable local regulations, it shall be approved and proceed to the next step (Final Subdivision Review).

### **Step 2: Final Subdivision Application Review**

- 1. Municipalities shall complete reviews at this stage within twenty (20) days (up to four (4) review cycles)

2. A review cycle is not complete until the applicant has adequately addressed all the identified redlines made by the municipality.
3. Municipalities may only add new corrections (redlines) after the first review cycle in response to changes made by the applicant or if a correction is necessary to protect public health or safety, or to enforce state or federal law.

Staff reviewed the existing Bountiful Land Use Code for Subdivisions and Administration and Procedures for compliance with the above requirements. There are necessary changes which need to be made to the Land Use Code to meet both the State requirements, as well as the City's goals and objectives.

During the November 7, 2023 Planning Commission meeting, the Commission reviewed this proposed amendment and held a public hearing. The Commission forwarded City a positive recommendation to City Council (6-0 vote) with the changes noted below.

### **Analysis**

The City will need to comply with the above requirements, where the proposed text (See attached Proposed Ordinance) meets items A-C as listed in the background section above. Regarding one-family and two-family dwellings, and townhome developments, the Commission recommends the Planning Commission be the land use authority for preliminary subdivision approval, and City Staff be the land use authority for approval of the Final Subdivision Plat. The other requirements for [10-9a-604.2 Review of subdivision land use applications and subdivision](#) will not need to be in the City code; however, Staff will still be required to follow these procedures for subdivision review.

As mentioned above, the State gives the administrative land use authority the option of receiving public comment through one (1) public hearing for preliminary subdivision applications, including one-family and two-family dwellings, and townhome developments. Currently, the Bountiful Land Use Code does not require the land use authority to hold a public hearing for subdivision applications. The Commission recommends the administrative land use authority (in this case, Planning Commission) hold one (1) public hearing, for the preliminary subdivision application types mentioned.

Staff recommends other sections of the Subdivisions and Administrative and Procedures Code be amended to meet the best interest of the public and meet City goals and objectives. The following are proposed changes:

1. The Planning Department shall accept the preliminary subdivision application if shown to be complete, as this is considered a land use application (14-20-202(A)).



2. The Planning Department will also be responsible for routing plans to other departments and place on the next available Planning Commission Agenda (14-20-203(B) and 14-20-203(C)).
3. City Staff will review subdivision plats and the City Engineering and Planning Departments will present the preliminary plat and recommendations to the Planning Commission (14-20-203(C)).
4. The City will require geotechnical reports for developments where the average slope exceeds fifteen percent (15%) (14-20-202(D)).
5. The Final mylar plat size will need to meet the County Recorder's requirements (14-20-204(B)(1)). This updates City code to match existing county requirements.
6. Subdivision Amendment applications will need to follow the new subdivision review and approval process (14-20-501(C)).
7. The final decision made for Site Plan Reviews will expire one (1) year from approval date unless a building permit is issued within that timeframe, unless an extension is granted (14-2-305 (B)). This language clarifies an existing requirement.

### **Department Review**

This staff report was written by the Senior Planner and was reviewed by the City Engineer, Planning Director, and City Manager.

### **Significant Impacts**

There are no negative impacts to amending the Land Use Code for Subdivisions and Administration and Procedures. The changes will meet the State Codes, as well as improve the City's review process for Subdivisions.

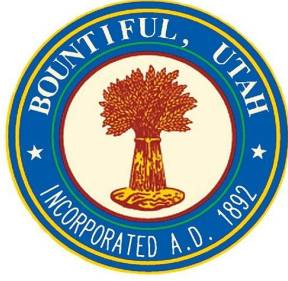
### **Recommendation**

The Planning Commission recommends the City Council review the proposed Land Use Code Text Amendment, hold a public hearing, and approve with the following modifications:

1. The City shall have two separate subdivision application review processes; where A) the City will meet the State Code requirements outlined above for one and two family dwellings, and townhomes, and B) all other subdivision applications follow the current review and approval process (See attached Proposed Ordinance).
2. The Planning Commission shall hold a public hearing for preliminary plat review for one-family and two-family dwellings, and townhomes.

**Attachments**

1. Proposed Ordinance



# BOUNTIFUL

**MAYOR**  
Kendalyn Harris

**CITY COUNCIL**  
Millie Segura Bahr  
Jesse Bell  
Kate Bradshaw  
Richard Higginson  
Cecilee Price-Huish

**CITY MANAGER**  
Gary R. Hill

**Bountiful City**  
**DRAFT Ordinance No. 2023-08**

**Amending Chapter 20 Subdivisions, and Sections 14-2-103, 14-2-111, and 14-2-305, related to Administration and Procedures of the Land Use Code of Bountiful City**

**It is the finding of the Bountiful City Council that:**

1. The City Council of Bountiful City is empowered to adopt and amend general laws and land use ordinances pursuant to Utah State law (§10-9a-101 et seq.) and under corresponding sections of the Bountiful City Code; and
2. After review and a public hearing of the proposed Land Use Code Text Amendment on November 7, 2023, the Bountiful City Planning Commission forwarded a positive recommendation to the City Council; and
3. The City Council of Bountiful City finds that these amendments are necessary and are in harmony with the objectives and purposes of the Bountiful City Land Use Code and the General Plan; and
4. The City Council of Bountiful City reviewed the proposed Land Use Code Text Amendment on November 28, 2023, and finds that the proposed amendments are in the best interest of the health, safety, and welfare of the City and the public.

**Be it ordained by the City Council of Bountiful, Utah:**

**SECTION 1.** Chapter 20 Subdivisions of the Land Use Code of Bountiful City, Title 14 of the Bountiful City Code, related to subdivision submittal, preliminary approval process, final subdivision approval process, and subdivision amendments is hereby adopted and enacted as shown on Exhibit A, which is attached hereto and incorporated by this reference.

**SECTION 4.** Sections 14-2-103, 14-2-111, and 14-2-305 of Chapter 2 of the Land Use Code of Bountiful City, Title 14 of the Bountiful City Code, related to Planning Commission power and duties and subdivision approval, Subdivision Approval/Review Bodies, and final decisions of

Architectural and Site plan Review is hereby adopted and enacted as shown on Exhibit B, which is attached hereto and incorporated by this reference.

**SECTION 3.** This ordinance shall take effect immediately upon approval.

**Adopted by the City Council of Bountiful, Utah, this 28th day of November 2023.**

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Kendalyn Harris, Mayor

ATTEST:

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Shawna Andrus, City Recorder

# Exhibit A

## CHAPTER 20

### SUBDIVISIONS

- PART 1 GENERAL PROVISIONS**
- PART 2 SUBDIVISION APPROVAL PROCEDURE**
- PART 3 SUBDIVISION IMPROVEMENT REQUIREMENTS**
- PART 4 AMENDING OR VACATING A SUBDIVISION PLAT**
- PART 5 COMMERCIAL, CONDOMINIUM, AND PUD PLATS**

#### **PART 1 GENERAL PROVISIONS**

- 14-20-101 GENERAL PROVISIONS**
- 14-20-102 APPLICABILITY OF THIS TITLE**
- 14-20-103 DEFINITIONS**

#### **14-20-101 GENERAL PROVISIONS**

- A. The underlying purpose and intent of this Subdivision Ordinance is to promote the health, safety, convenience, good order, aesthetics and general welfare of the present and future inhabitants of the City. Any proposed subdivision and its ultimate use shall be in the best interest of the public and shall be in harmony with good neighborhood development of the area concerned and of the City as a whole.
- B. In cases where unusual topographical or other exceptional conditions exist, variations from this Subdivision Ordinance may be made by the City Council, after recommendation from the City Planning Commission.
- C. The most recent copy of the Bountiful Street Master Plan, as approved by the Bountiful City Council, is hereby adopted by reference as a part of this ordinance. No subdivision that conflicts with the Bountiful Street Master Plan shall be approved by the City unless the subdivision or the Plan is amended in such a manner that they are brought into harmony.
- D. It is unlawful to:
  - 1. Record in the office of the Davis County Recorder a subdivision plat which includes land wholly or partially located within the city limits of Bountiful prior to its having obtained final approval from the City Council and being fully executed as required herein;
  - 2. Record a deed or other instrument dividing or subdividing, or purporting to divide or subdivide, land within Bountiful City when the division or subdivision of land has not been approved by Bountiful City in accordance with the Bountiful Land Use Ordinance.
  - 3. Sell lots contained within a subdivision prior to the time it is recorded in the office of the Davis County Recorder; or

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4. Represent to another that a subdivision is either recorded with the Davis County Recorder or approved by the Bountiful City Council when it is not recorded or approved; or
5. Violate any of the provisions of this Subdivision Ordinance.

### **14-20-102      APPLICABILITY OF THIS TITLE**

- A. Unless exempted from subdivision requirements by State law, this Subdivision Ordinance applies to any property that is divided or proposed to be divided into two or more lots which are located wholly or partially within the city limits of Bountiful, Utah.
- B. No person shall subdivide property except in compliance with this chapter, Bountiful City zoning ordinances, and any other applicable law.

### **14-20-103      DEFINITIONS**

- A. The definitions of terms set forth in the Utah Municipal Land Use Development and Management Act (§10-9a-101, et seq, of the Utah Code) are hereby adopted.
- B. See Chapter 3 of this Title for the following definitions:

SUBDIVIDER  
PROPERTY  
MASTER STREET PLAN  
MAJOR STREET  
COLLECTOR STREET  
MINOR STREET  
UTILITIES  
PUBLIC UTILITY EASEMENT  
TOWN-HOUSE  
AVERAGE SLOPE

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## PART 2 SUBDIVISION APPROVAL PROCEDURE

- 14-20-201 APPROVAL WITHIN THE RESIDENTIAL FOOTHILL SUBZONE
- 14-20-202 SUBMISSION OF A PRELIMINARY PLAT
- 14-20-203.1 SUBDIVISION ~~PLAT~~ APPROVAL PROCEDURE FOR ONE-FAMILY, TWO-FAMILY, AND TOWNHOME DEVELOPMENTS
- 14-20-203.2 SUBDIVISION PLAT APPROVAL PROCEDURE FOR ALL OTHER DEVELOPMENTS
- 14-20-204 SUBMISSION OF FINAL SUBDIVISION PLAT

### 14-20-201 APPROVAL WITHIN THE RESIDENTIAL FOOTHILL ZONE

Subdivisions which are proposed within the Residential Foothill Subzone of the City must comply with the approval requirements of the Bountiful Land Use Ordinance. Such subdivisions must also comply with other requirements stated therein for preliminary and final approval, in addition to the requirements set forth in this Subdivision Ordinance.

### 14-20-202 SUBMISSION OF A PRELIMINARY PLAT

- A. The subdivider of a proposed subdivision shall submit to the ~~Bountiful City Engineer Planning Department~~ a preliminary subdivision plan containing the following information:
1. The name and address of the subdivider and the engineer or surveyor preparing the plat.
  2. The proposed name of the subdivision.
  3. The legal description of the proposed subdivision.
  4. A scaled drawing (not smaller than one hundred (100) feet to one (1) inch) of the subdivision, illustrating the boundaries, lot lines, streets, easements, all areas to be dedicated to the public, and other important features to be contained within the subdivision, with sufficient information to locate accurately the property shown in the plan.
  5. The location, width, and other dimensions of all existing or platted streets, and other important features actually existing within the subdivision, such as water courses, buildings, power lines, storm drains, water and sewer lines, exceptional topography and any other notable features.
  6. Existing sanitary sewers, storm drains, water supply mains and culverts within the subdivision, if any, shall be shown on the plat.
  7. A north point and date.
  8. The plat shall show existing and proposed contours of the entire proposed development at two (2)-foot intervals for average slopes less than ten percent (10%) grade, and five (5)-foot intervals for averages slopes over ten percent (10%) grade.

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9. For developments in the Residential Foothill Subzone, the subdivider shall submit a plat or detail drawings of each lot, drawn at a scale no greater than 1"=10', with contours at two (2) foot intervals, showing precisely for each lot the following:
    - (i) The "usable land" as defined in this Title, and
    - (ii) The "minimum building pad" as defined in this Title.
  10. All information required by §10-9a-603 of the Utah State Code.
- B. The subdivision plat shall be furnished to the City ~~Engineer~~ by the subdivider in such a number of copies as the City Engineer shall reasonably require.
  - C. If the subdivision being submitted is only one phase of a larger development, then the entire intended subdivision shall be submitted to the City ~~Engineer~~. It shall illustrate the total subdivision intended, including the street system envisioned for the entire area.
  - D. ~~For subdivisions where the average slope of the existing predeveloped topography exceeds fifteen percent (15%), the applicant shall submit a geotechnical report which identifies any known, mapped, or potential natural hazards including, but not limited to: surface fault rupture, slope stability, liquefaction, debris flow, or rock fall.~~

### **14-20-203.1 SUBDIVISION PLAT ~~N~~-APPROVAL PROCEDURE FOR ONE-FAMILY, TWO-FAMILY, AND TOWNHOME DEVELOPMENTS**

- A. The approval process for subdivisions shall consist of ~~preliminary~~ review by the City ~~Staff Engineer, preliminary review by the~~ and the Planning Commission. ~~and preliminary approval by the City Council, and final~~ Final review and approval shall be made by ~~the Planning Commission City Staff. and final approval by the City Council.~~
- B. Upon receipt of a preliminary subdivision ~~application plan, the City Engineer Staff~~ shall review it for compliance with this ordinance. ~~City review process shall be subject to limitations outlined in State code.~~ When all requirements have been met, the ~~City Engineer Planning Department~~ shall ~~schedule~~ place the proposed subdivision for consideration of preliminary approval by the Planning Commission. ~~The Planning Commission shall hold a public hearing.~~ The City Engineer ~~and City Planner~~ shall make a recommendation to the Planning Commission for preliminary approval, for approval with stated conditions, or for disapproval for stated reasons.
- C. The ~~City Engineer Planner~~ shall distribute copies of the preliminary plan of the proposed subdivision to the ~~Planning, Fire, Power and Water~~ Departments of the City, ~~and other entities as required by State law~~ for their review and recommendations.
- D. The Planning Commission shall review the ~~preliminary~~ subdivision and ~~approve it, approve it with stated conditions, or disapprove it with stated reasons. make a recommendation to the City Council for preliminary approval, approval with stated conditions, or for disapproval for stated reasons.~~



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- E. ~~The City Council shall review the subdivision for preliminary approval and shall approve it, approve it with stated conditions, or disapprove it with stated reasons.~~

### **14-20-203.2 SUBDIVISION PLAT APPROVAL PROCEDURE FOR ALL OTHER DEVELOPMENTS**

- A. ~~The approval process for subdivisions shall consist of review by the City Staff, preliminary review by the Planning Commission, and preliminary approval by the City Council, and final review by the Planning Commission and final approval by the City Council.~~
- B. ~~Upon receipt of a preliminary subdivision application plan, the City Staff shall review it for compliance with this ordinance. The City review process shall be subject to limitations outlined in State code. When all requirements have been met, the Planning Department shall schedule the proposed subdivision for consideration of preliminary approval by the Planning Commission. The City Engineer and City Planner shall make a recommendation to the Planning Commission for preliminary approval, for approval with stated conditions, or for disapproval for stated reasons.~~
- C. ~~The City Planner shall distribute copies of the preliminary plan of the proposed subdivision to the Departments of the City, and other entities as required by State law for their review and recommendations.~~
- D. ~~The Planning Commission shall review the subdivision and make a recommendation to the City Council for preliminary approval, approval with stated conditions, or for disapproval for stated reasons.~~
- E. ~~The City Council shall review the subdivision for preliminary approval and shall approve it, approve it with stated conditions, or disapprove it with stated reasons.~~

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## 14-20-204 SUBMISSION OF FINAL SUBDIVISION PLAT

- A. After receiving preliminary approval, the subdivider shall prepare and submit to the City Engineer a final subdivision plat, and in such a number of copies **or document types (printed or electronic)** as the City Engineer shall reasonably require.
- B. A final subdivision plat shall meet the following requirements:
1. It shall consist of a sheet of approved tracing linen or Mylar, to the outside or trim line dimension of **twenty-four (24) ~~nineteen (19)~~ by thirty-six (36) ~~(30)~~ inches, or such dimensions as required by Davis County Recorder's Office.**
  2. The borderline of the plan shall be drawn in heavy lines, leaving a space of at least one-half inch margin on all four sides.
  3. The top of the drawing must face either north or west, whichever best accommodates the drawing.
  4. All lines, dimensions and markings shall be made on the tracing linen with approved waterproof black India drawing ink.
  5. The plat shall be made to a scale large enough to clearly show all detail, and in any case not smaller than one hundred feet to the inch.
  6. Workmanship on the drawings shall be neat, clean-cut and readable.
  7. The plat shall contain all of the information and signature blocks required in this ordinance.
- C. A final subdivision plat shall contain the following information:
1. The proposed name of the subdivision.
  2. The legal description of the proposed subdivision.
  3. A scaled drawing (not smaller than one hundred (100) feet to one inch) of the subdivision, illustrating the boundaries, lot lines, streets, easements, usable land and minimum building pad locations, when required, all areas to be dedicated to the public, and other important features to be contained within the subdivision, with sufficient information to locate accurately the property shown in the plat.
  4. A north point and date.
  5. Signature blocks for every owner of an interest in the property, utilities supervisors, the City Planning Director (who shall sign for the Planning

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Commission), the City Engineer, the City Attorney, and the Mayor and City Recorder. All signatures by owners or other holders of interest in the property shall be notarized, in the following or similar language: "This instrument was acknowledged before me this (date) by (person acknowledging, title or representative, capacity, if any)."

6. An owner's dedication to the public of all public ways and rights given in the subdivision, in the following or similar language: "We, the undersigned owners of the above-described land, having caused the same to be subdivided into lots and streets to be known as \_\_\_\_\_ subdivision, do hereby dedicate for the perpetual use of the public all parcels of land shown on this plat as intended for public use, and do warrant to the City that the same are free of all encumbrances that could interfere with their use as herein dedicated."
  7. A consent to dedication signed by all other holders of an interest in the property, including trust deed holders, in the following or similar language: "We, the undersigned holders of a trust deed on the above-described land, which is dated \_\_\_\_\_ and recorded at Book \_\_\_\_\_ on Page \_\_\_\_\_ of the records of Davis County, do hereby consent to the creation of this subdivision, and do hereby consent to the Owner's Dedication stated on this plat, and do hereby join in the dedication to the perpetual use of the public all parcels shown as intended for public use."
  8. A Certificate of Survey from a registered land surveyor.
  9. For subdivisions within the Residential Foothill Zone:
    - (i) A statement on the face of the plat by the subdivider certifying to the City and to the public that all lots within the subdivision contain a minimum building pad as defined in the Bountiful City Code, and
    - (ii) A statement on the face of the plat that slopes of thirty percent (30%) or greater are not usable and may not be disturbed, excavated or used for construction.
  10. A six (6) inch by three (3) inch space in the lower right corner of the drawing for recording information.
- D.** In order to obtain final approval, the subdivider must:
1. Submit a subdivision plat as described herein;
  2. Comply with any stated conditions attached to the preliminary approval;
  3. Submit to the City a reliable title report reflecting the exact **legal** description of the **proposed** subdivision, and stating all matters of record affecting title to that land;

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4. Submit finished engineering construction drawing for all site improvements including, but not limited to, streets, sewer, water, irrigation, storm drainage, erosion and landscaping.
  5. Pay all required fees as shall be required by resolution of the City Council.
- E. **Final Subdivision Plat Approval Process**
1. **For one-family, two-family, and townhome development plats:** After receiving from the subdivider the information necessary for final approval, the City ~~Engineer Staff~~ shall review it for compliance with this ordinance. When all requirements have been met, the City Engineer and City Planner shall approve the Final plans. ~~place the proposed subdivision for consideration of final approval by the Planning Commission. The City Engineer shall make a recommendation to the Planning Commission for final approval, for approval with stated conditions, or for disapproval for stated reasons.~~
  2. **For all other development plats:**
    - a. After receiving from the subdivider the information necessary for final approval, the City Staff shall review it for compliance with this ordinance. When all requirements have been met, the City shall schedule the proposed subdivision for consideration of final approval by the Planning Commission. The City Engineer shall make a recommendation to the Planning Commission for final approval, for approval with stated conditions, or for disapproval for stated reasons.
    - b. The Planning Commission shall review the subdivision and make a recommendation to the City Council for final approval, approval with stated conditions, or for disapproval for stated reasons. These are recommendations only to the City Council, which may adopt, reject, or modify any recommendation from the Planning Commission.
    - c. The City Council shall review the subdivision for final approval, and shall approve, approve with stated conditions, or disapprove with stated reasons.
- F. No conditionally approved subdivision shall be recorded at the office of the Davis County Recorder until all the conditions upon which approval was granted, which are intended to be accomplished prior to recording, have been fulfilled.
- G. Unless a subdivision shall receive final approval from the City ~~Council~~ within one (1) year after obtaining preliminary approval, the preliminary approval shall expire. The subdivision must thereafter be re-submitted as if it had never previously been considered.
- H. A subdivision which has been granted final approval by the City ~~Council~~ must be delivered to the office of the Davis County Recorder for recording within one (1) year of the date of approval unless extended by the ~~City Engineer and City Planner City Council~~, for good cause shown, for an additional period of time of up to one (1) year, ~~at the request of the applicant~~. If it is not so delivered within one (1) year or within any additional period of time approved by the City

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Engineer and City Planner ~~City Council~~, the approval shall expire. The subdivision must thereafter be re-submitted as if it had never previously been considered.

## **PART 3 SUBDIVISION IMPROVEMENT REQUIREMENTS**

- 14-20-301 RELATION TO ADJOINING STREET SYSTEM**
- 14-20-306 LENGTH AND WIDTH OF BLOCKS**
- 14-20-307 LOTS**
- 14-20-308 IMPROVEMENTS**
- 14-20-310 NATURAL HAZARDS**
- 14-20-311 NATURAL VEGETATION**
- 14-20-312 UTILITIES**

### **14-20-301 RELATION TO ADJOINING STREET SYSTEM**

- A. All subdivisions must be in compliance with the Master Street Plan.
- B. The arrangement of streets in new subdivisions shall provide for the continuation of the existing streets in adjoining areas (or their proper protection where adjoining land is not subdivided), and shall be constructed to the standards set forth in Title 6, Public Works and Property.

### **14-20-306 LENGTH AND WIDTH OF BLOCKS**

The maximum length of blocks shall be eight hundred (800) feet, and the width shall be sufficient to allow two tier lots where physically possible.

### **14-20-307 LOTS**

- A. The meaning of the term “Lot” is set forth in Chapter 3, *Definitions*, of this Title.
- B. Any lot, regardless of how it is created, shall meet all of the following:
  1. The arrangement, design and shape of a lot shall provide a satisfactory site for building a structure, shall be properly related to topography, and shall conform to the requirements of this Title.
  2. A lot shall be generally rectangular in shape and shall not contain peculiarly or irregularly shaped elongations, except where dictated by existing, physical constraints of the land.
  3. A lot shall conform to the minimum requirements of the Bountiful City Land Use Ordinance for the zone in which it is located.
  4. Each lot shall abut a public street meeting the minimum requirements of Bountiful City. Interior lots having frontage on two streets are prohibited. An approved planned unit development is exempt from these provisions.

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5. Any remnant of land remaining after subdividing shall be added to an approved, adjacent lot, rather than becoming an outstanding parcel of land.
6. A lot shall not be created by any means that does not meet the minimum requirements for a building lot according to the provisions of this Title.

### **14-20-308 IMPROVEMENTS**

- A. The owner of any land and his agent shall be required to install or guarantee the installation of all public improvements as set forth in Title 6 *Public Works and Property*.

### **14-20-310 NATURAL HAZARDS**

Construction of permanent structures shall not be permitted in areas subject to hazards such as floods, landslides, etc.

### **14-20-311 NATURAL VEGETATION AND GRADING**

No property shall be grubbed, cleared, or otherwise disturbed except in accordance with an approved landscaping permit, excavation permit, or building permit. Natural vegetation shall be removed only when absolutely necessary for the construction of buildings, streets, and filled areas. A landscaping permit, excavation permit, or building permit shall not be issued until the final plans for development are approved by the Land Use Authority.

### **14-20-312 UTILITIES**

All utilities shall be placed underground.

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### PART 4 AMENDING OR VACATING A SUBDIVISION PLAT

#### 14-20-501 AMENDING OR VACATING A RECORDED SUBDIVISION, PLANNED UNIT DEVELOPMENT, OR CONDOMINIUM PLAT

#### 14-20-502 NOTICE REQUIREMENTS

#### 14-20-501 AMENDING OR VACATING A RECORDED SUBDIVISION, PLANNED UNIT DEVELOPMENT, OR CONDOMINIUM PLAT

- A. No subdivision, planned unit development or condominium plat which has been recorded with the Davis County Recorder according to law may be altered, amended or vacated, in whole or in part, until the proposed alteration, amendment or vacation has been approved by the City ~~Council~~ and executed by the appropriate City officials.
- B. **Submittal Requirements:** Anyone proposing to amend or vacate a recorded subdivision, planned unit development or condominium shall submit **an application** to the City ~~Engineer~~ **including** the following:
1. A petition, which may be in letter form, stating that an amendment, vacation, or other alteration to an existing subdivision, planned unit development or condominium is being requested. The petition shall include the following information:
    - (i) The name and address of all owners of record of the land contained in the entire original plat;
    - (ii) The name and address of all owners of record of land adjacent to any street that is proposed to be vacated, altered or amended, whether in or out of the original subdivision;
    - (iii) The signature of each of those owners who consents to the petition; and
    - (iv) Any other information that may be required by State or City law.
  2. A plat showing the proposed amendment or vacation, which shall:
    - (i) Be titled as an amended plat of the original subdivision;
    - (ii) Describe and illustrate all proposed changes;
    - (iii) Show a tie in to the unchanged portion of the original plat;
    - (iv) Contain all necessary signature blocks, including one (1) for every owner of property who has any interest in the land being amended or vacated; and

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- (v) Such other information or items as shall reasonably be required by the City.
- 3. A reliable title report reflecting the exact description of the land being amended or vacated, and stating all matters of record affecting title to that land.
- C. ~~Prior to consideration by the City Council, Subdivision Plat Amendment Procedure shall follow the process for new subdivisions (See 14-20-203.1, 14-20-203.2, and 14-20-204). the proposed alteration, amendment or vacation shall be reviewed by the Bountiful Planning Commission for their recommendation of approval, approval with stated conditions, or disapproval for reasons stated.~~
- D. The hearing concerning the proposed amendment or vacation shall be considered upon the criteria set forth in the Utah Code and in City ordinances.

### **14-20-502 NOTICE REQUIREMENTS**

Notice of the proposed amendment or vacation shall be given as provided by State law



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### **PART 5 COMMERCIAL, CONDOMINIUM, AND PUD PLATS**

#### **14-20-601 MINIMUM NUMBER OF UNITS**

#### **14-20-602 ESTABLISHMENT OF PROPERTY OWNERS ASSOCIATION**

#### **14-20-603 CONDOMINIUM SUBDIVISION PLAT**

#### **14-20-604 PUD SUBDIVISION PLAT**

#### **14-20-605 COMMERCIAL SUBDIVISION PLAT**

#### **14-20-601 MINIMUM NUMBER OF UNITS**

Any condominium or planned unit development (PUD) subdivision shall have a minimum of four (4) legal units or lots.

#### **14-20-602 ESTABLISHMENT OF PROPERTY OWNERS ASSOCIATION**

It is the duty of the owners who sign a commercial, condominium, or PUD subdivision plat to establish a property owners association responsible for the maintenance and ownership of any common area and any shared easement area, and to record all necessary documents to effectuate such property owners association with the Davis County Recorder.

#### **14-20-603 CONDOMINIUM SUBDIVISION PLAT**

Any legally existing multi-family development that meets the minimum requirements of this Chapter may be platted as a condominium development. One (1) or more single-family detached dwellings shall not be platted as a condominium development.

#### **14-20-604 PUD SUBDIVISION PLAT**

- A. Any legally existing multi-family development that meets the minimum requirements of this Chapter and that does not have vertically stacked units may be platted as a PUD development regardless of whether or not it was developed under current or previous iterations of the Planned Development Overlay Zone.
- B. Any legally existing development, except for multi-family developments, located within a single-family, commercial, professional office, hospital, mixed-use, or downtown zone may be platted as a PUD development only if the development meets the minimum requirements of this Chapter and the minimum size requirements of the current iteration of the Planned Development Overlay Zone.

#### **14-20-605 COMMERCIAL SUBDIVISION PLAT**

Any legally existing, non-residential development may be subdivided in conformance with the requirements of the zone in which it is located. A lot within a development in a Commercial Zone (C), or within a Professional Office Zone (PO), may meet the minimum public street frontage requirement through a cross-access easement or dedicated common area, if all of the following criteria are met:

- A. Any proposed lot, and any cross-access easement or dedicated common area providing the minimum required frontage for said lot, shall be located within the same plat or within an

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existing, recorded plat from another phase of the same development. Furthermore, the proposed easement or access shall be recorded on the plat, shall specifically state that it is for the benefit of said lot, and shall be acknowledged by all signatories.

- B. The cross-access easement or dedicated common area shall be at least twenty-four feet wide, free of obstructions, and shall meet all the requirements of this Title regarding vehicle and pedestrian access.
- C. No cross-access agreement over or with a property outside of a development or subdivision can satisfy the minimum frontage requirements of this Title.
- D. Each lot within a meets and bounds subdivision shall be required to have the minimum frontage along a public street.

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### 14-2-103 PLANNING COMMISSION

- A. Established. A Planning Commission, consisting of seven (7) members is hereby established to exercise the powers and duties specified herein.
- B. Appointment and Terms of Office.
1. Planning Commission members shall be residents of Bountiful City and shall be appointed by the Mayor with the advice and consent of the City Council.
  2. The terms of Planning Commission members shall be staggered. Each member of the Planning Commission shall serve for a term of four (4) years and until a successor is appointed, provided that members may be appointed for terms shorter than three (3) years when necessary to provide staggered terms.
  3. Terms of Planning Commission members shall begin on July 1<sup>st</sup> of each year.
  4. Planning Commission members may be reappointed for successive terms.
  5. The Mayor, with the advice and consent of the City Council, may remove any member of the Planning Commission at any time with or without cause.
  6. A vacancy occurring on the Planning Commission by reason of death, resignation, removal, disqualification or any other reason shall be promptly filled by a replacement appointed in the same manner as the original appointment for the remainder of the unexpired term of the replaced member.
  7. The Mayor may appoint one person from the City Council as a full member of the Planning Commission.
- C. Organization and Procedure. The Planning Commission shall be organized and exercise its powers and duties as follows:
1. Members of the Planning Commission shall select one (1) of its members as chair to oversee the proceedings and activities of the Planning Commission.
    - a. The chairperson shall serve for a term of one (1) year.
    - b. Members of the Planning Commission shall select one (1) of its members as vice-chair to act in the absence of the chair. The chair and vice-chair may be re-elected for successive terms.
  2. The Planning Commission may adopt policies and procedures, consistent with the provisions of this Title and applicable law, to govern the conduct of its meetings, the processing of applications, and for any other purposes considered necessary for the functioning of the Planning Commission. All such policies and procedures shall be submitted to the City Council for review and approval.

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3. The Planning Commission shall meet on a regular basis, as determined by a vote of the Commission members, and at such other times as the Commission members may determine. All meetings shall be properly noticed as required by law, and held in accordance with the open meetings law set forth in Utah Code Ann. ' 52-4-1, et seq., as amended. At the beginning of each calendar year the Bountiful City Planning Department shall create and post in its office a schedule of Planning Commission meetings and application deadlines.
4. No official business shall be conducted by the Planning Commission unless a quorum of its members is present. Four (4) members of the Planning Commission shall constitute a quorum. Any action taken shall require a minimum of four (4) yes votes from members of the Planning Commission, unless otherwise prescribed by law.
5. Any person desiring to appear before the Planning Commission shall complete an application and submit all required materials and fees to the Planning Department. An application that does not include all of the required signatures, materials, fees, or other necessary information shall be deemed incomplete and returned to the applicant.
6. After an applicant has submitted a completed application to the Planning Department, the item shall be placed on the next available Planning Commission agenda, unless the applicant and the Commission Chair agree to postpone placing the item on the agenda or agree to continue the item to a subsequent meeting.
7. An applicant may request that an item be postponed or continued a maximum of one (1) meeting (i.e. once) or for forty five (45) days from the date of application, whichever is longer. If the matter is not heard within this deadline, the application is deemed to have expired or been withdrawn, and must be resubmitted if the applicant desires the Commission to act on the item. This shall not apply to completed applications that have been placed on an agenda, reviewed and discussed by the Planning Commission, and then continued for reasons determined by the Commission.
8. The Planning Commission shall not reconsider a previous action or change a recorded vote, and once an action is taken, the matter shall not be considered again for twelve (12) months from the date of decision.
9. Decisions of the Planning Commission shall take effect on the date of the meeting or hearing where the decision is made, unless a different date is designated in the Commission's rules or at the time the decision is made. The approval of written findings shall relate back to the date of decision.
10. The Planning Commission shall keep written minutes of its proceedings, showing the vote upon each question, or if absent or failing to vote, indicating that fact, and keep records of all its official actions. The Planning Commission may, but is not required to, have its proceedings transcribed by a secretary, a court reporter, a tape recorder, or other recording device.
  - a. The Planning Commission shall report, either verbally or in writing, its official acts and recommendations to the City Council. Any member of the Planning

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Commission may also make a concurring or dissenting report or recommendation to the City Council.

- b. The minutes of all meetings of the Planning Commission shall be prepared and filed in the office of the Planning Director, under the direction of the City Recorder. All such records are public records and shall be available for public review and access in accordance with the Government Records and Access Management Act, Utah Code Ann., 63-2-101, et seq., as amended.
- D. Powers and Duties. The Planning Commission shall have all the powers and duties, explicit or implied, given planning commissions by Utah State law and the Bountiful City Land Use Ordinance, including but not limited to the following. Each of such powers and duties shall be exercised pursuant to the procedural and other provisions of this Title and of State law.
1. Prepare and recommend a general plan and amendments to the general plan to the City Council;
  2. Recommend Land Use Ordinances and maps, and/or amendments to Land Use Ordinances and maps, to the City Council;
  3. Administer applicable provisions of this Title and of State law;
  4. ~~Recommend approval or denial~~ Approve or deny of preliminary subdivision applications for one-family, two-family, and townhome developments; Recommend approval or denial of all other subdivision applications;
  5. Advise the City Council on matters requested by the City Council;
  6. Hear and decide the approval or denial of conditional use permits;
  7. Hear and decide variances from this title;
  8. Hear and/or decide any other matter that the City Council designates;
  9. Exercise any other powers that are necessary to enable the Planning Commission to perform its function or that are delegated to it by the City Council; and
  10. Perform any other power or duty set forth in this Land Use Ordinance or in State law relating to Planning Commissions.
- E. Appeals. Any person adversely affected by a final decision of the Planning Commission may appeal that decision as set forth in Section 14-2-108 of this Title. Any recommendation of the Planning Commission to another approval body is not a final decision and therefore cannot be appealed.
- F. Examinations and Surveys. The Planning Commission and its authorized agents may enter upon any land at reasonable times to make examinations and surveys as necessary to enable it to

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perform its function to promote City planning, development, and enforcement of the provisions of this Title.

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## 14-2-111 APPROVAL/REVIEW BODIES

Item	Subcategory	Approval/Review Bodies			
		Staff	AC	PC	CC
Conditional Use Permit	Home Occupation	No	Final	No	No
	Commercial Operation	No	Final	No	No
	Structure/Land-use improvements	No	No	Final	No
Subdivisions	One-Family, Two-Family, and Townhomes Plat	No Final Approval	No	Recommend Preliminary Approval	Final-No
Subdivisions	All Other Developments	No	No	Recommend	Final
Re-Zone	All	No	No	Recommend	Final
Land Use Code Text Amendment	All	No	No	Recommend	Final
Combine Lots/Lot Line Adjustment	All	No	Final	No	No
Land Use Code/Map Interpretation	All	Planning Director	No	No	No
General Plan	All	No	No	Recommend	Final
Site Plan	Residential SFD	Final	No	Appeal	No
	Res SFD 200+ feet from street	No	Final	No	No
	All other Residential	No	No	Recommend	Final
	Res. SFD Accessory Structure	Final	No	No	No
	All other Res. Accessory Structure	Final	No	No	No
	Non-Residential	No	No	Recommend	Final
	Non-Residential Accessory Structure	Final	No	No	No
	All Non-SFD Residential Amend	No	No	Recommend	Final
	All Non-Residential Amend	No	No	Recommend	Final
Expansion of Non-Complying Site or Structure	Residential SFD	As Designated	All Others	No	No
	All Others	No	As Designated	All Others	No
Expansion of Non-Conforming Use	All	No	As Designated	All Others	No

## Exhibit B

### 14-2-111 APPROVAL/REVIEW BODIES (CONTINUED)

Item	Subcategory	Approval/Review Bodies			
		Staff	AC	PC	CC
Easement Release	All	No	No	No	Final
Variance	Slopes > 30%	No	Final	No	No
	Cuts and Fills (includes retaining walls) > 10 feet	No	Final	No	No
	Setbacks	No	No	Final	No
	All others	No	No	Final	No
Drive Approach	Residential SFD	Final	No	No	No
	All Non-SFD (without site plan review)	Final	No	No	No
	All Non-SFD (with site plan review)	No	No	Recommend	Final
Interior Remodel	All	Final	No	No	No
Retaining Wall	All	Final	No	No	No
Signs	Commercial Pole/Monument – New Developments	No	No	Recommend	Final
	All Others	Final	No	No	No
Utility Connections	All	Final	No	No	No
Vacate/Abandon Public Property	All	No	No	Recommend	Final
Improve Public Property	All	No	No	Recommend	Final
ADA and FFHA Accommodations	All	Planning Director	No	No	No

**Staff** = The Planning, Engineering, and/or Building Department employees as assigned.

**AC** = Administrative Committee; As currently composed.

**PC** = Planning Commission; As currently composed.

**CC** = City Council; As currently composed.



## Exhibit B

### CHAPTER 2

#### ADMINISTRATION AND PROCEDURES

##### PART 3 - ARCHITECTURAL AND SITE PLAN APPROVAL

- 14-2-301 PURPOSE**
- 14-2-302 APPROVAL REQUIRED**
- 14-2-303 APPLICATION**
- 14-2-304 ACCOMPANYING MAPS AND DRAWINGS REQUIRED**
- 14-2-305 REVIEW AND APPROVAL**
- 14-2-306 CONSIDERATIONS IN REVIEW OF APPLICATIONS**
- 14-2-307 INSTALLATION OF IMPROVEMENTS**

#### **14-2-301 PURPOSE**

The purpose of the architectural and site plan review and approval process is:

- A. To determine compliance with this Ordinance;
- B. To promote the orderly and safe development of land in the City;
- C. To implement the policies and goals established in the Bountiful City General Plan; and
- D. To promote the orderly layout of buildings, landscaping, walkways, lighting, and other site improvements.

#### **14-2-302 APPROVAL REQUIRED**

- A. The following uses shall require site plan approval from the Planning Commission and the City Council:
  - 1. Any industrial use.
  - 2. Any commercial use.
  - 3. Any institutional use.
  - 4. Any multiple-family use, including apartments, condominiums, and two family units (duplexes).
  - 5. Any combination of residential and non-residential uses, except for home occupations.
  - 6. Any other non single-family residential use.

## Exhibit B

- B. The Bountiful City Planning and Engineering Departments are the bodies designated to review and approve single-family residential site plans.

### **14-2-303 APPLICATION**

The property owner or an authorized agent shall submit a completed application, including all required materials and fees, to the Planning Department. An application that does not include all of the required signatures, materials, fees, or other necessary information shall be deemed incomplete and returned to the applicant.

### **14-2-304 ACCOMPANYING MAPS AND DRAWINGS REQUIRED**

All maps, drawings, and illustrations shall conform to Chapter 15 - *Design Standards for Non-Single Family Development*, and to all other provisions of this title, and shall be prepared and drawn to a standard scale large enough to show details clearly with dimensions thereof. Said maps and drawings shall be stamped by a Registered Architect, Engineer, Landscape Architect, or Land Surveyor in accordance with the laws of the State of Utah and the provisions of this Title. The following shall be included:

- A. For Preliminary Review:
1. A vicinity map showing site orientation and location in relation to streets and arterial roads.
  2. Statement of building use, occupancy, area tabulations, parking, and landscaping tabulations.
  3. The location of all proposed and existing structures on the subject property and within fifty (50) feet on immediately adjoining properties to show that light and air are preserved, and to show that the development will not be detrimental to the orderly and harmonious development of the City.
  4. Location and types of landscaping and/or fencing and screening within yards and setback areas, including proposed sprinkling and irrigation systems.
  5. Location of existing and proposed utilities (i.e., power, water, sewer, gas, telephone, storm drains) and other public infrastructure improvements (i.e., curb, gutter, sidewalk, streets) together with existing easements and rights-of-way.
  6. Design of ingress and egress to provide a functional on-site traffic flow and to prevent interference with traffic on adjacent streets.
  7. Off-street parking and loading facilities in compliance with the off-street parking and loading standards as set forth in Chapter 18 of this Ordinance, including provisions for pedestrians and the disabled.
  8. Existing and proposed contours and spot elevations.

## Exhibit B

9. Preliminary drainage plan.
  10. Preliminary building elevations and sections.
  11. Architectural drawings, sketches, or perspective drawings of the exterior elevations of proposed buildings, structures, signs, including types, textures, and colors of materials to be used.
  12. Other pertinent building features.
- B. For Final Review:
1. Detailed development of all items required for Preliminary Review.
  2. Modifications required by conditions of the Planning Commission for Preliminary Approval and further optional modifications by owner/developer.
  3. Landscape plan including plant materials list and details of installation prepared by a landscape architect or licensed landscape installer.
- C. For Building Permit:
1. All final construction documents including detailed development of all items required for Preliminary and Final Review.
  2. Documentation showing compliance with County Flood Control requirements.
  3. Surface and subsurface drainage, including catch basins, piping and detention basins.
  4. Landscaping and sprinkler plans and details of installation prepared by a landscape architect or licensed landscape installer.

### 14-2-305 REVIEW AND APPROVAL

- A. The Planning Commission shall determine if the proposed architectural and site development plans submitted are consistent with this Chapter and with the purpose and objectives of this Ordinance. Upon a finding that the application meets the intent of this Chapter, the Planning Commission shall recommend to the City Council to approve, approve with conditions, or deny the architectural and site development plans as submitted. The Planning Commission recommendation shall expire within six months from the time of recommendation.
- B. The final decision by the City ~~Council~~ shall expire within one (1) year of the final decision. ~~If a building permit is not obtained within one (1) year of the final approval, the application shall expire and become void, and any vested rights thereunder shall be lost. If an entire project is not to be built simultaneously, a phasing plan must be approved at the time of final approval, and construction commenced within one year of the approved phasing dates.~~ One extension of up to six (6) months may be approved by the City ~~Council~~. ~~Once the application has expired, in~~

## Exhibit B

order to reintroduce the proposed development, the owner must submit a new application with all applicable fees and comply with regulations in effect at the time of resubmittal.

# City Council Staff Report



**Subject:** Preliminary/Final Architectural and Site Plan  
for Arctic Circle at 2071 South Orchard Drive

**Author:** Amber Corbridge, Senior Planner

**Department:** Planning

**Date:** November 28, 2023

---

## **Background**

The applicant, Josh Baer (project manager), requests Preliminary/Final Architectural Site Plan Approval for a new Arctic Circle fast food restaurant building, with a drive-through window, at 2071 South Orchard Drive. This property is in the General Commercial (C-G) Zone.

During the November 7, 2023 Planning Commission meeting, the Commission reviewed the application and forwarded a positive recommendation to the City Council with conditions listed below, unanimously 6-0.

## **Analysis**

The City Council shall determine if the proposed architectural and site development plans submitted are consistent with the purpose and objectives of the Code (14-2-301). The purpose of the architectural and site plan review and approval process is:

1. To determine compliance with the Land Use Code
2. To promote the orderly and safe development of land in the City
3. To implement the policies and goals established in the Bountiful City General Plan
4. To promote the orderly layout of buildings, landscaping, walkways, lighting, and other site improvements.

This proposal includes new plans for the main building, parking lot, landscaping, and dumpster. There are eleven (11) parking spaces provided, of which nine (9) are required. The exterior architectural elements include varying rooflines, projections, overhangs, and materials (stucco, brick, and prefinished metal) which are shown in the attached elevation drawings. The site plan shows the site meeting landscaping area, parking, walkway connections, and setbacks, as shown in the attached site plan.

The architectural and site plans have been reviewed by staff, where setbacks, height, landscaping, screening, parking, stacking and all other applicable standards are reviewed for compliance. There are minor comments on the site plan from Building and Engineering,



The new structure and updated landscaping are also improvements to the site and surrounding area. This proposal meets the goals and objectives of the General Plan, where old commercial areas need to be redeveloped (Bountiful City 2009 General Plan – Land Use Master Plan pg.2)

### **Department Review**

This staff report was written by the Senior Planner and was reviewed by the City Manager and Planning Director.

### **Significant Impacts**

There are minimal impacts of this proposed development on the property and surrounding uses, as it is an upgrade of the existing land use, a fast-food restaurant. The existing infrastructure, such as water, sewer, culinary water, and transportation are in place to support this development.

### **Recommendation**

Staff recommends the City Council review the Preliminary/Final Architectural and Site Plan application for a new Arctic Circle development and approve, subject to meeting the following:

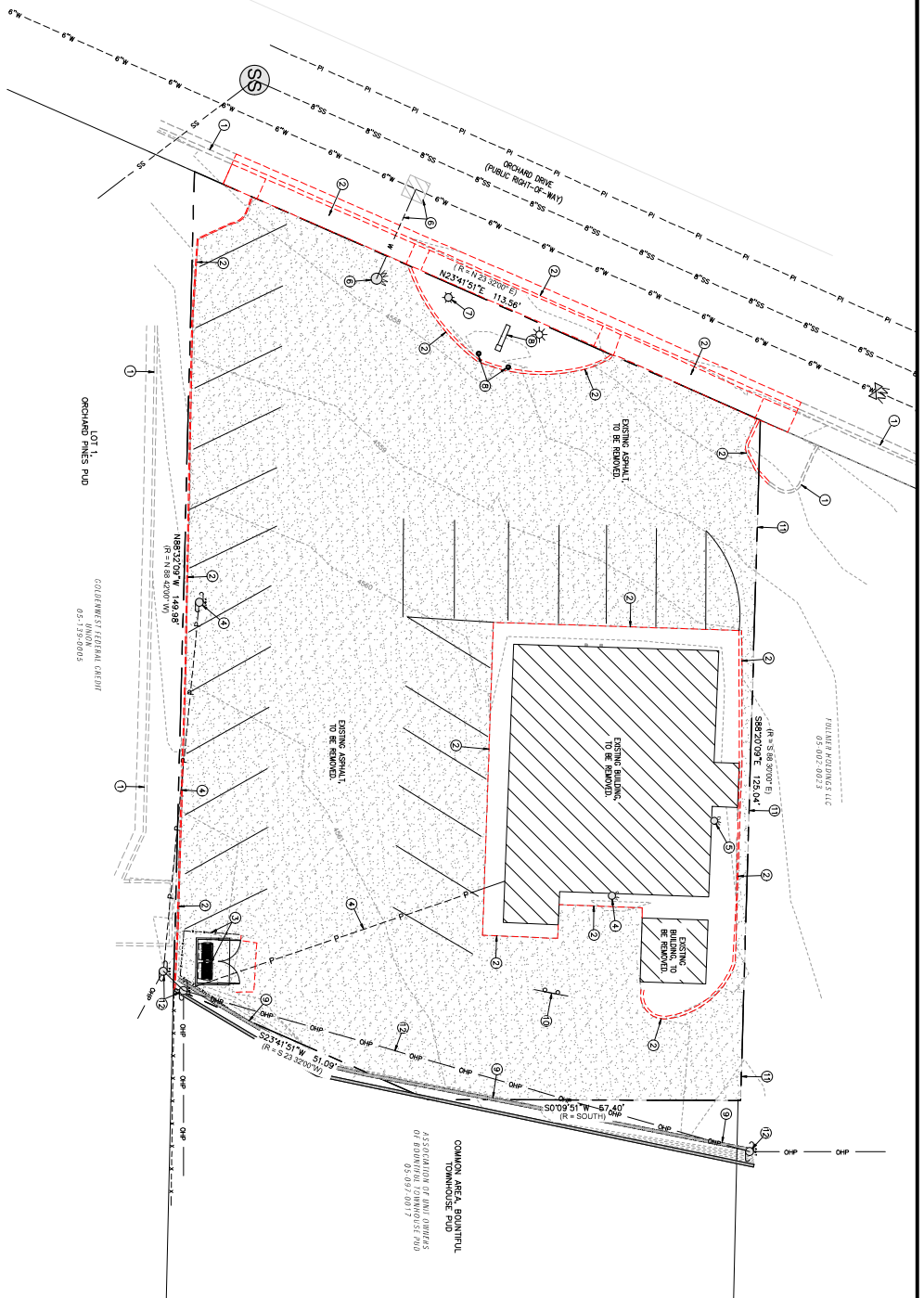
1. Include vehicle traffic arrow signage on the site plan showing flow from the drive-through to other areas of the site.
2. Meet all staff review comments.

### **Attachments**

1. Final Site Plan
2. Landscape Plan
3. Building Elevations







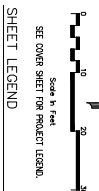
COMMON AREA ROUNDABOUT  
TOWNHOUSE PAD  
ASSOCIATION OF TOWN HOMES  
OF BOUNTIFUL TOWNHOUSE PAD  
03-097-0017

LOT 11  
ORCHARD WINDS PAD  
COLORADO STATE ENGINEER  
03-139-0083

TRILAYER ENGINEERING LLC  
03-002-0023

- EXISTING SITE/DEMOLITION PLAN NOTES:**
- 1 EXISTING CURB & GUTTER, SEWER, AND DRIVE APPROACHES, TO BE REMOVED.
  - 2 EXISTING FENCE AND TRASH ENCLOSURE, TO BE REMOVED.
  - 3 EXISTING POWER POLE AND OVERHEAD POWER LINE TO BE REMOVED. CONTRACTOR TO COORDINATE WITH BOUNTIFUL CITY.
  - 4 EXISTING GAS METERS TO BE REMOVED AND RELOCATED. CONTRACTOR TO COORDINATE WITH DOMINION ENERGY, PRIOR TO ANY RELOCATION.
  - 5 EXISTING WATER METER AND WATER LATERAL, TO BE REMOVED AND RELOCATED AT THE MAIN. ALL WORK TO BE DONE BY BOUNTIFUL WATER UTILITY.
  - 6 EXISTING STREET LIGHT TO BE RELOCATED OUTSIDE OF PROPOSED CONSTRUCTION. EXISTING BOLLARDS SURROUNDING MONUMENT SIGN, TO BE REMOVED.
  - 7 EXISTING RETAINING WALL, TO REMAIN.
  - 8 EXISTING DRIVE, DRIVE MONUMENT, TO BE REMOVED. SEE SHEET C10 FOR PROPOSED DRIVE MONUMENT.
  - 9 EXISTING POWER POLES AND OVERHEAD POWER LINES, TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.

1. BUILDING TO BE DEMOLISHED  
2. EXISTING BUILDING  
3. EXISTING ASPHALT  
4. TO BE REMOVED



**SHEET LEGEND**

**NOTES:**  
CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL NECESSARY PERMITS, UTILITIES AND STRUCTURES PRIOR TO PROVIDING BID NUMBERS. CONTRACTOR TO COORDINATE WITH BOUNTIFUL CITY PRIOR TO ANY RELOCATION OF EXISTING GAS, POWER AND OVERHEAD POWER LINES AND STRUCTURES.

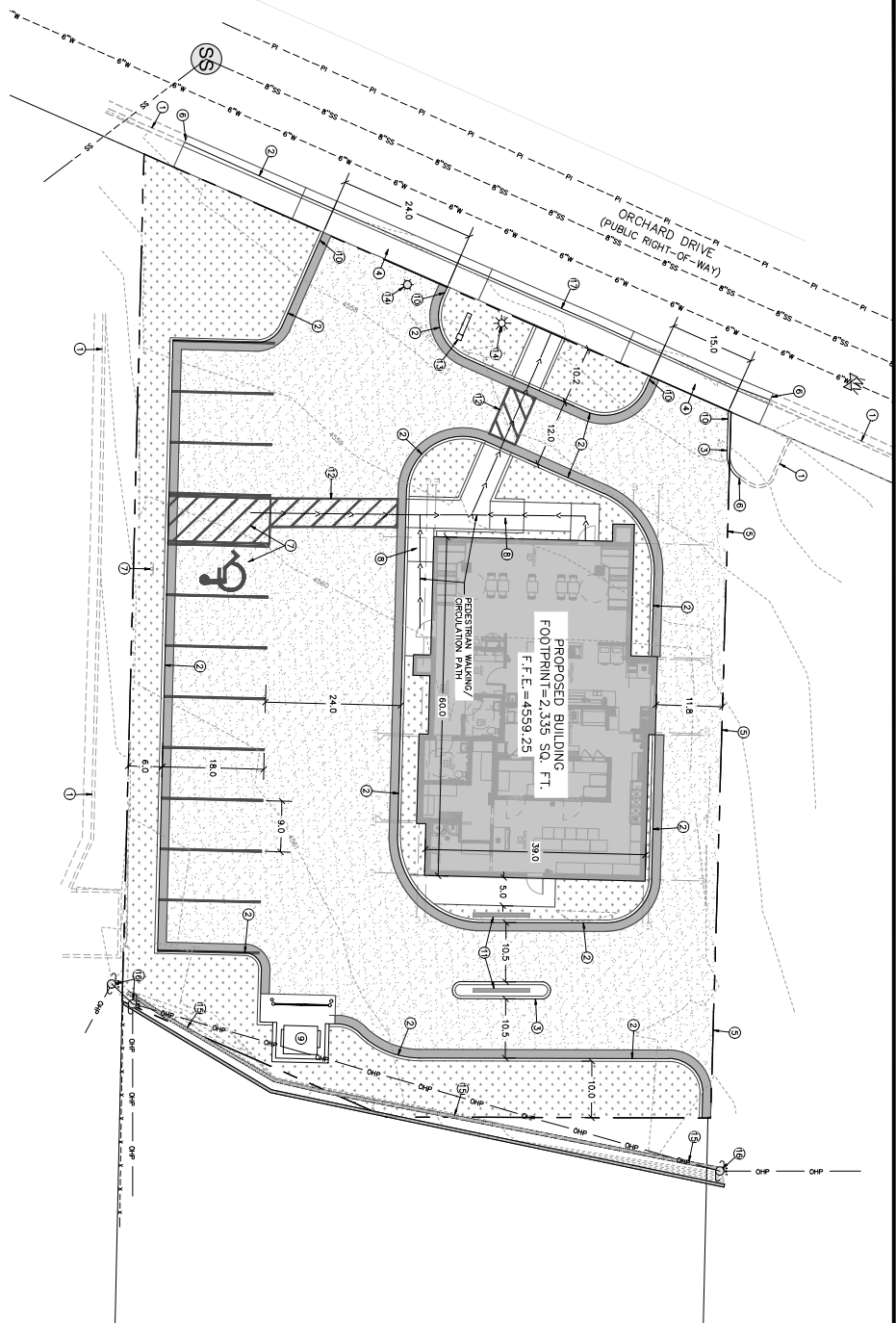


ORCHARD DRIVE ARCTIC CIRCLE  
2071 SOUTH ORCHARD DRIVE, BOUNTIFUL, UTAH  
EXISTING SITE / DEMOLITION PLAN

**CIR CIVIL ENGINEERING + SURVEYING**  
10718 SOUTH BECKSTEAD LANE, STE. 102  
SOUTH JORDAN, UT 84095 - 385-202-0776

1	CITY COMMENTS	NJR	09/26/23
2	CITY COMMENTS	NJR	10/18/23
41			
NO.	REVISIONS	BY	DATE

PROJECT NO. **C0.1**  
PROJECT @ DATE: **E22-082 05/29/23**  
FILE NAME: **152403**  
SCALE: **AS SHOWN**



**SEE PLAN NOTES.**

- 1 EXISTING CURB & GUTTER. SEE DETAIL 1/C&G.
- 2 PROPOSED 24" HIG. PAN CURB & GUTTER. SEE DETAIL 2/C&G.
- 3 PROPOSED 6" CURB WALL. SEE DETAIL 2/C&G.
- 4 PROPOSED 8" DRIVE APPROACH. SEE SHEET C&G FOR DETAIL.
- 5 SANICUT EXISTING ASPHALT TO PROVIDE A SMOOTH EDGE FOR PROPOSED ASPHALT TO MATCH INTO.
- 6 SANICUT EXISTING CURB & GUTTER TO PROVIDE A SMOOTH EDGE FOR PROPOSED CURB & GUTTER TO MATCH INTO.
- 7 ALL HANDICAP SPACES SHALL HAVE CORNERS OF LESS THAN 24" IN ALL DIRECTIONS.
- 8 ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAILS 3/C&G.
- 9 CONTRACTOR TO TAPE CURB AND GUTTER TO MATCH FLUSH WITH ADJACENT ASPHALT/SIDEWALK AT DRIVE APPROACH.
- 10 PROPOSED DRIVE-THRU WASH BOUND.
- 11 PROPOSED PAINTED PEDESTRIAN WALKING PATH.
- 12 EXISTING DRIVEWAY TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- 13 EXISTING STREET LIGHT TO BE RELOCATED OUTSIDE OF PROPOSED DRIVE APPROACH. STREET LIGHT TO BE INSTALLED PER BOUNTIFUL CITY STANDARDS.
- 14 EXISTING RETAINING WALL.
- 15 EXISTING POWER POLES.
- 16 PROPOSED 24" AFWA TYPE "T" CURB & GUTTER. SEE SHEET C&G FOR DETAILS.

**RIGHT-OF-WAY NOTES:**

ANY WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERMITTED THROUGH THE BOUNTIFUL CITY ENGINEERING DEPARTMENT. PRE-FIELD INSPECTIONS ARE REQUIRED FOR PUBLIC RIGHT-OF-WAY MEASUREMENTS IN THE PUBLIC RIGHT-OF-WAY.



**LOT AREAS:**

LOT	SO. FT.	ACRES.
BUILDING FOOTPRINT	2,335	0.045
ASPHALT	2,631	0.175
LANDSCAPING	3,275	0.075
CONCRETE	1,775	0.041

NOTE: ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**LOT LANDSCAPING AREAS:**

TOTAL LANDSCAPING PROVIDED	SO. FT.	CITY REQ'T
	3,275	15.3% REQUIRED
	21,813	PROVIDED

**NOTES:**

1. LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS/WALKWAYS, BIKE RACKS CURB & GUTTERS).
2. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**LOT PARKING REQUIREMENTS:**

	SO. FT.	CITY REQ'T
FAST 5000 (EXCL. KITCHEN)	900	9 (1/100 SO. FT.)
TOTAL REQUIRED	1	
TOTAL PROVIDED	1	
VAN ACCESSIBLE SPACES	1	(1 REQ'D 1 TO 25)

NOTE: ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.



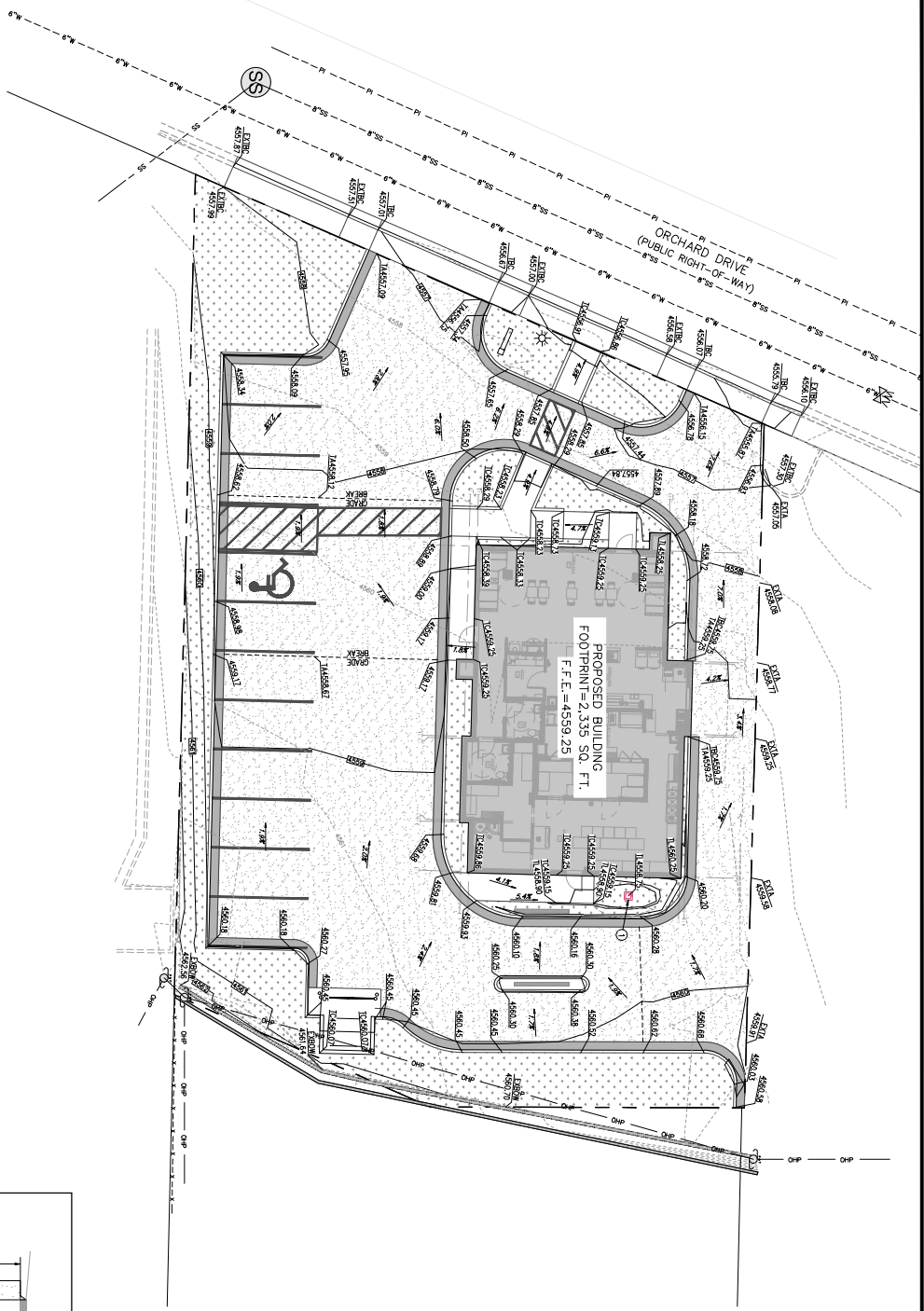
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 PROJECT #100 DATE: 02/27/23

**ORCHARD DRIVE ARCTIC CIRCLE**  
 2071 SOUTH ORCHARD DRIVE, BOUNTIFUL, UTAH

**SITE PLAN**

**CIR CIVIL ENGINEERING + SURVEYING**  
 10718 SOUTH BECKSTEAD LANE, STE. 102  
 SOUTH JORDAN, UT 84095 - 385-202-0776

NO.	REVISIONS	BY	DATE
1	CITY COMMENTS		NR 09/26/23
2	CITY COMMENTS		NR 10/18/23
42			
DESIGNER:	PROJECT ENGINEER:		



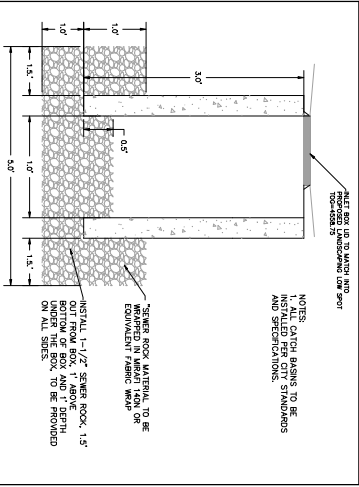
**DRAINAGE PLAN NOTES:**

① PROPOSED 1x1' INLET BOX WITH OPEN BOTTOM AND GRAVEL SWAMP.  
 TOO=4528.75, IE=4525.75. SEE DETAIL 1/THIS SHEET.

**DRAINAGE DESIGN NOTE:**  
 THE DRAINAGE DESIGN FOR THE EXISTING SITE INCLUDES ALL STORM WATER RUNOFF EAST TO WEST) AND DISCHARGING INTO ORCHARD DRIVE. THIS DRAINAGE DESIGN WILL REQUIRE MORE LANDSCAPING AND LARGER ON-SITE. THIS RESULTS IN MORE LANDSCAPE/LESS IMPROVED THE EXISTING RUNOFF VOLUME LEAVING THE SITE.

SEE OVER SHEET FOR PROJECT LEGEND.

Scale: 1/8" = 1'-0"



PROJECT NO: C2.0

PROJECT @ DATE: E22-082 10/29/23

DATE: 10/29/23

SCALE: 1/8" = 1'-0"



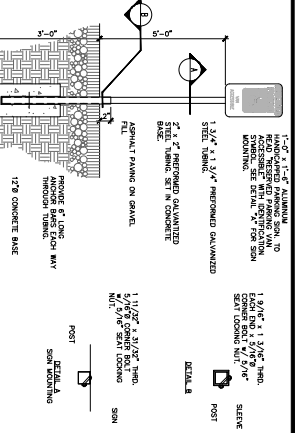
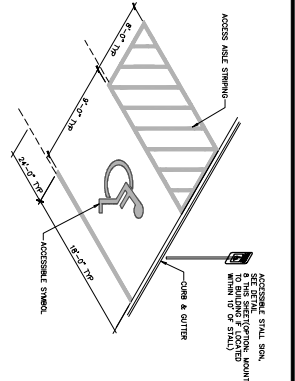
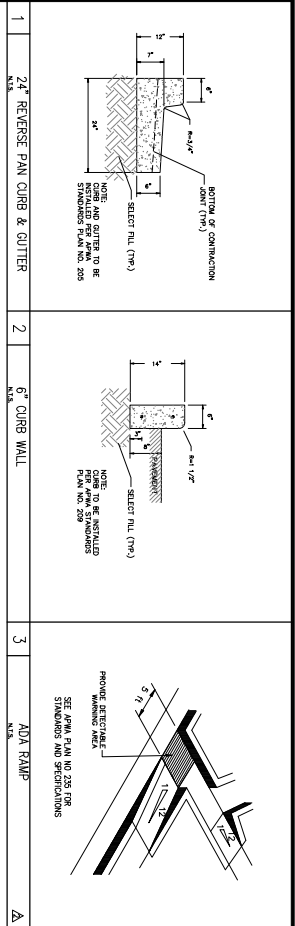
ORCHARD DRIVE ARCTIC CIRCLE  
 2071 SOUTH ORCHARD DRIVE, BOUNTIFUL, UTAH  
 GRADING & DRAINAGE PLAN

**CIR CIVIL ENGINEERING + SURVEYING**

10718 SOUTH BECKSTEAD LANE, STE. 102  
 SOUTH JORDAN, UT 84095 - 385-202-0776

NO.	REVISIONS	BY	DATE
1	CITY COMMENTS		NJR 10/26/23
2	CITY COMMENTS		NJR 10/18/23
43			
DESIGNER:	PROJECT ENGINEER:		





1	24" REVERSE PAN CURB & GUTTER N/A	2	6" CURB WALL N/A	3	ADA RAMP N/A	4	ACCESSIBLE PARKING STALL N/A	5	HANDICAPPED PARKING SIGN N/A
---	--------------------------------------	---	---------------------	---	-----------------	---	---------------------------------	---	---------------------------------



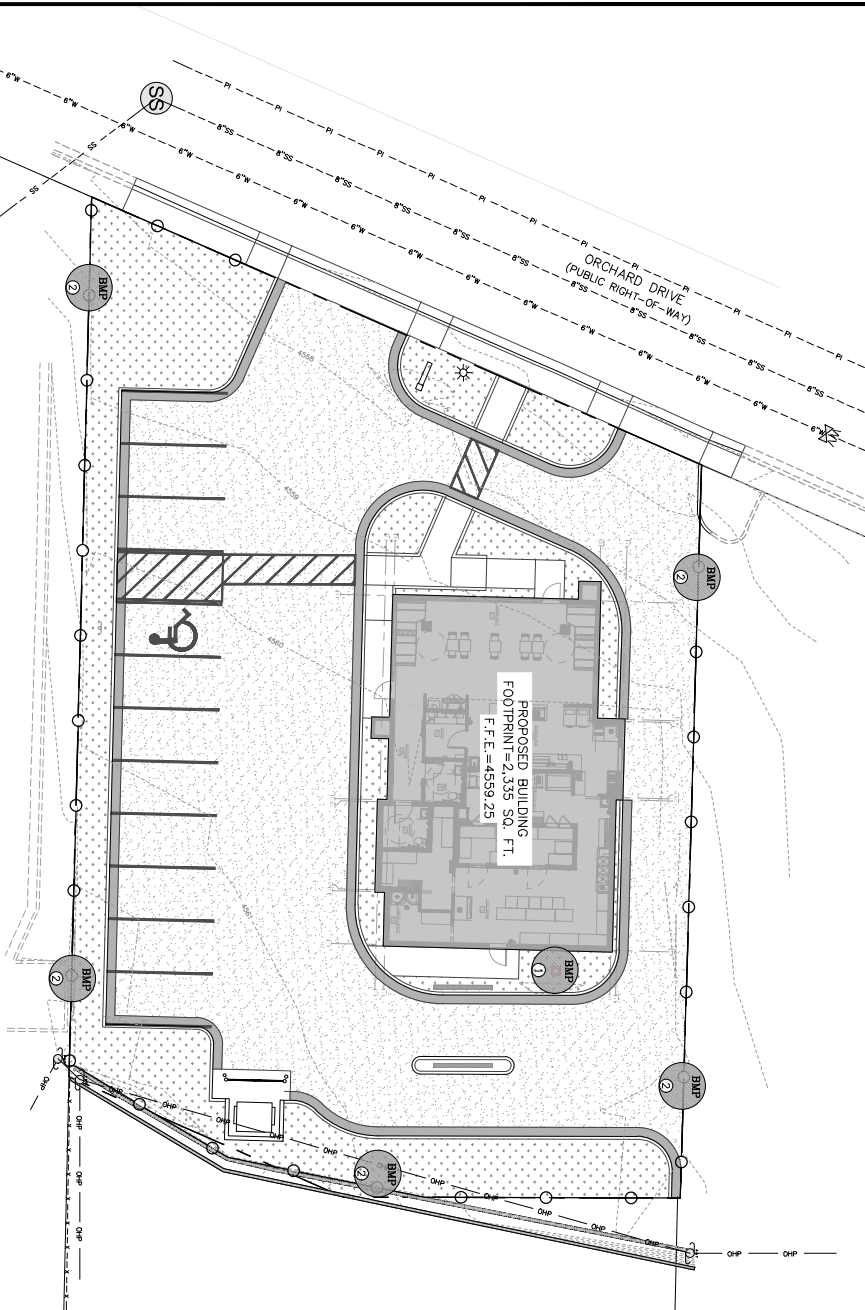
ORCHARD DRIVE ARCTIC CIRCLE  
2071 SOUTH ORCHARD DRIVE, BOUNTIFUL, UTAH  
DETAIL SHEET

**CIR** CIVIL ENGINEERING + SURVEYING  
10718 SOUTH BECKSTEAD LANE, STE. 102  
SOUTH JORDAN, UT 84095 - 385-202-0776

1	CITY COMMENTS	N/A	09/26/23
2	CITY COMMENTS	N/A	10/18/23
45		BY	DATE
NO.	REVISIONS	BY	DATE
DESIGNER:		PROJECT ENGINEER:	

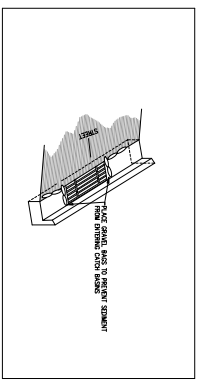
SHEET NO.  
C4.0  
PROJECT ID: 22-082  
DATE: 05/21/23  
FILE NAME: SCALE:





**GRAVEL BAG BARRIER**

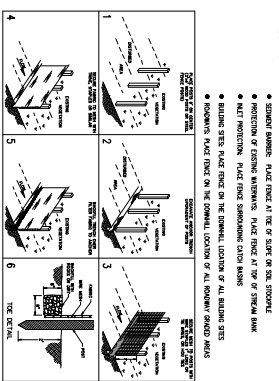
**DEFINITION:**  
TEMPORARY STORM DRAINAGE CONSISTING OF A ROW OF GRAVEL BAGS.  
**PURPOSE:**  
TO FILTER STORM WATER BEFORE IT REACHES EXISTING DRAINAGE AND TO PREVENT SOIL EROSION.



- MAINTENANCE:**
- INSPECT IMMEDIATELY AFTER ANY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
  - LOOK FOR SIGNIFICANT EVIDENCE OF WEAR OR UNDESIRABLE DAMAGE.
  - REMOVE OR REPLACE DAMAGED BAGS OF THE BARRIER AND REPAIR ACCUMULATED SEDIMENT.
  - REMOVE BAGS OF SEDIMENT TO PREVENT CHANNELING AND TIE TIPS.

**SILT FENCE**

**DEFINITION:**  
A TEMPORARY STORM DRAINAGE CONSISTING OF FLEXIBLE FILTERED FABRIC AND STAPLES TO SPANNING POSTS AND STAPLES.  
**PURPOSE:**  
TO FILTER STORM WATER BEFORE IT REACHES EXISTING DRAINAGE AND TO PREVENT SOIL EROSION.



- APPLICATION:**
- PERIMETER CONTROL: PLACE FENCE AT DISCONTINUOUS LINES OF DISTURBANCE.
  - STANDARD BARRIERS: PLACE FENCE AT THE EDGE OF SOIL STORAGE.
  - WATER DIVERSION: PLACE FENCE TO DIVERT FLOW AWAY FROM SENSITIVE AREAS.
  - WATER DIVERSION: PLACE FENCE TO DIVERT FLOW AWAY FROM SENSITIVE AREAS.
  - STAPLING: STAPLES MUST BE PLACED AT THE CORNER LOCATIONS OF ALL SQUARES AND RECTANGLES.
- INSTALLATION:**
- PLACE POSTS AT 10' TO 15' ON CENTER ALONG PERIMETER (OR USE PRE-ASSEMBLED UNIT).
  - STAPLES MUST BE PLACED AT CORNER LOCATIONS OF ALL SQUARES AND RECTANGLES.
  - STAPLES MUST BE PLACED AT CORNER LOCATIONS OF ALL SQUARES AND RECTANGLES.
  - STAPLES MUST BE PLACED AT CORNER LOCATIONS OF ALL SQUARES AND RECTANGLES.
  - STAPLES MUST BE PLACED AT CORNER LOCATIONS OF ALL SQUARES AND RECTANGLES.
- MAINTENANCE:**
- INSPECT IMMEDIATELY AFTER ANY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
  - LOOK FOR SIGNIFICANT EVIDENCE OF WEAR OR UNDESIRABLE DAMAGE.
  - REMOVE OR REPLACE DAMAGED BAGS OF THE BARRIER AND REPAIR ACCUMULATED SEDIMENT.
  - REMOVE BAGS OF SEDIMENT TO PREVENT CHANNELING AND TIE TIPS.

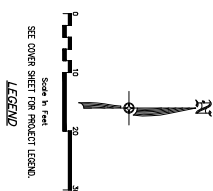
- BIAP CALLOUTS:**
- PLACE A SILT FENCE AROUND THE PERIMETER OF THE PAVED AREA. GRAVEL BAGS TO BE USED ON PAVED OR CONCRETE SURFACES AND SILT FENCE TO BE USED ON UNPAVED AREAS. IN HIGH TRAFFIC AREAS, CONTRACTORS TO USE THE FILTER FABRIC AS TO BE EXTENDED UP TO EDGES OF PAVED AREAS TO PREVENT FLOW OF WATER OFF PAVED AREAS AGAINST CURB WALL.
  - INSTALL TYPICAL SILT FENCE. SILT FENCE TO BE INSTALLED PERPENDICULAR TO STORM WATER FLOW FROM LEAVING THE SITE. TO PREVENT FLOWING OFF-SITE DURING OF HIGH FLOW RATE RAINFALL.

**DURING CONSTRUCTION**

- ALL EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSPECTED AND MAINTAINED REGULARLY (MINIMUM ONCE A WEEK) AND AFTER EVERY STORM EVENT.
- CONTRACTOR TO KEEP LAND DISTURBANCE TO A MINIMUM TO CONTROL RUNOFF FROM THE SITE.
- STAGED SEEDING TO RE-VEGETATE CUT AND FILL SLOPES AS THE WORK IS IN PROGRESS.
- CONTRACTOR TO MAINTAIN SLOPES TO PREVENT EROSION. EROSION DUE TO WIND AND OTHER EROSION CONTROLLING MEASURES SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND OTHER EROSION.
- MAINTENANCE OF STREET SHEETS TO BE KEPT CLEAN AND FREE FROM DEBRIS.
- CONTRACTOR TO HAVE WATER TRUCK AVAILABLE AS WATER SOURCE FOR WHEEL WASH AREA, OR ALTERNATE WATER SOURCE TO BE KEPT AVAILABLE FOR WHEEL WASH AREA.
- CONTRACTOR TO HAVE WATER TRUCK AVAILABLE AS WATER SOURCE FOR WHEEL WASH AREA, OR ALTERNATE WATER SOURCE TO BE KEPT AVAILABLE FOR WHEEL WASH AREA.
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**POST CONSTRUCTION**

- EROSION CONTROL STRUCTURES MAY BE REMOVED ONCE FINAL LANDSCAPING IS IN PLACE.
- EROSION CONTROL STRUCTURES BELOW SEEDING PAVED AREAS SHALL REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS BEEN FULLY VEGETATED.
- THE FOLLOWING PRECAUTIONS SHALL BE FULFILLED:
  - SEEDING SHALL BE COMPLETED AND CLEANING WHEN THE SEASON IS MORE THAN 1/4 FULL. INSPECTION SHALL BE DONE AFTER EVERY MAJOR RAINFALL AND EVERY 6 MONTHS AS A MINIMUM. DISPOSAL OF ANY GRASS OR SOIL MUST BE DONE IN ACCORDANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
  - SEEDING SHALL BE COMPLETED AND CLEANING WHEN THE SEASON IS MORE THAN 1/4 FULL. INSPECTION SHALL BE DONE AFTER EVERY MAJOR RAINFALL AND EVERY 6 MONTHS AS A MINIMUM. DISPOSAL OF ANY GRASS OR SOIL MUST BE DONE IN ACCORDANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
  - SEEDING SHALL BE COMPLETED AND CLEANING WHEN THE SEASON IS MORE THAN 1/4 FULL. INSPECTION SHALL BE DONE AFTER EVERY MAJOR RAINFALL AND EVERY 6 MONTHS AS A MINIMUM. DISPOSAL OF ANY GRASS OR SOIL MUST BE DONE IN ACCORDANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- PAVING AREAS SHALL BE KEPT FREE FROM AUTOMOBILE FLUIDS THAT COULD WASH INTO THE STORM DRAIN SYSTEM.



- LEGEND**
- SILT FENCE
  - WHEEL WASH AREA
  - BIAP AREA

1	CITY COMMENTS	NJR	09/26/23
2	CITY COMMENTS	NJR	10/18/23
47			
NO.	REVISIONS	BY	DATE
DESIGNER:		PROJECT ENGINEER:	

ORCHARD DRIVE ARCTIC CIRCLE  
2071 SOUTH ORCHARD DRIVE, BOUNTIFUL, UTAH  
EROSION CONTROL PLAN (SWPPP)

**CIR CIVIL ENGINEERING + SURVEYING**  
10718 SOUTH BECKSTEAD LANE, STE. 102  
SOUTH JORDAN, UT 84095 - 385-202-0776

**SCOTT W. HARRIS**  
REGISTERED PROFESSIONAL ENGINEER  
No. 10000  
EXPIRES 12/31/25

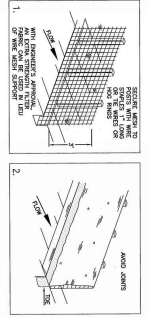
**PROJECT #**  
C8.0

**DATE**  
09/26/23

**SHEET NO.**  
1 OF 1

**Slopes**

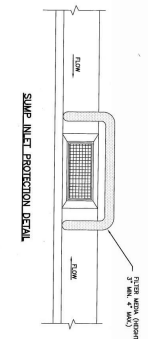
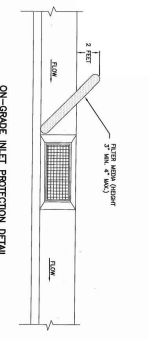
- GENERAL**
  - A. Temporary sediment control and maintenance.
  - B. Application. Used at slopes greater than up gradient areas to be disturbed by construction activities.
  - C. Product. (Not used)
- PRODUCTS**
  - A. Temporary sediment control and maintenance.
  - B. Application. Used at slopes greater than up gradient areas to be disturbed by construction activities.
  - C. Product. (Not used)
- EXECUTION**
  - A. Clear and grade area and grade to provide maximum slope of 7 percent away from the structure.
  - B. Compact substrate.
  - C. Measure and install in level of mud flow the public right-of-way.
  - D. Maintain minimum 3' minimum.
  - E. Maintain minimum 3' minimum.
  - F. Maintain minimum 3' minimum.
  - G. Maintain minimum 3' minimum.
  - H. Maintain minimum 3' minimum.
  - I. Maintain minimum 3' minimum.
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  - T. Maintain minimum 3' minimum.
  - U. Maintain minimum 3' minimum.
  - V. Maintain minimum 3' minimum.
  - W. Maintain minimum 3' minimum.
  - X. Maintain minimum 3' minimum.
  - Y. Maintain minimum 3' minimum.
  - Z. Maintain minimum 3' minimum.



February 2008  
Silt fence  
122  
Sheet 1 of 3

**Inlet protection - gravel sock**

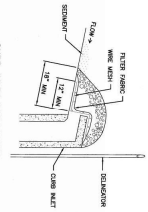
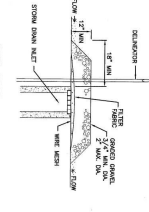
- GENERAL**
  - A. Description. Placement of gravel sock on grade.
  - B. Application. Used at slopes greater than up gradient areas to be disturbed by construction activities.
  - C. Product. (Not used)
- PRODUCTS**
  - A. Description. Placement of gravel sock on grade.
  - B. Application. Used at slopes greater than up gradient areas to be disturbed by construction activities.
  - C. Product. (Not used)
- EXECUTION**
  - A. Description. Placement of gravel sock on grade.
  - B. Application. Used at slopes greater than up gradient areas to be disturbed by construction activities.
  - C. Product. (Not used)



September 2008  
Inlet protection - gravel sock  
124  
Sheet 1 of 3

**Inlet protection - gravel**

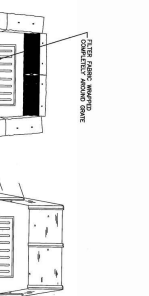
- GENERAL**
  - A. Description. Placement of gravel filter over storm drain inlet to filter water runoff.
  - B. Application. Used at slopes greater than up gradient areas to be disturbed by construction activities.
  - C. Product. (Not used)
- PRODUCTS**
  - A. Description. Placement of gravel filter over storm drain inlet to filter water runoff.
  - B. Application. Used at slopes greater than up gradient areas to be disturbed by construction activities.
  - C. Product. (Not used)
- EXECUTION**
  - A. Description. Placement of gravel filter over storm drain inlet to filter water runoff.
  - B. Application. Used at slopes greater than up gradient areas to be disturbed by construction activities.
  - C. Product. (Not used)



February 2008  
Inlet protection - gravel  
124  
Sheet 2 of 3

**Inlet protection - fence or straw bale**

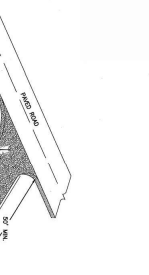
- GENERAL**
  - A. Description. Temporary sediment barrier around storm drain inlet.
  - B. Application. Used at slopes greater than up gradient areas to be disturbed by construction activities.
  - C. Product. (Not used)
- PRODUCTS**
  - A. Description. Temporary sediment barrier around storm drain inlet.
  - B. Application. Used at slopes greater than up gradient areas to be disturbed by construction activities.
  - C. Product. (Not used)
- EXECUTION**
  - A. Description. Temporary sediment barrier around storm drain inlet.
  - B. Application. Used at slopes greater than up gradient areas to be disturbed by construction activities.
  - C. Product. (Not used)



February 2008  
Inlet protection - fence or straw bale  
124  
Sheet 3 of 3

**Stabilized roadway entrance**

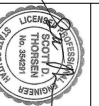
- GENERAL**
  - A. Description. Temporary stabilized part of gravel for controlling equipment and materials.
  - B. Application. Used at slopes greater than up gradient areas to be disturbed by construction activities.
  - C. Product. (Not used)
- PRODUCTS**
  - A. Description. Temporary stabilized part of gravel for controlling equipment and materials.
  - B. Application. Used at slopes greater than up gradient areas to be disturbed by construction activities.
  - C. Product. (Not used)
- EXECUTION**
  - A. Description. Temporary stabilized part of gravel for controlling equipment and materials.
  - B. Application. Used at slopes greater than up gradient areas to be disturbed by construction activities.
  - C. Product. (Not used)



February 2008  
Stabilized roadway entrance  
126  
Sheet 1 of 1



PROJECT @ DATE:  
E22-082 05/21/23  
SHEET NO. 06.1  
SCALE:



ORCHARD DRIVE ARCTIC CIRCLE  
2071 SOUTH ORCHARD DRIVE, BOUNTIFUL, UTAH  
EROSION CONTROL DETAIL SHEET

**CIR CIVIL ENGINEERING + SURVEYING**  
10718 SOUTH BECKSTEAD LANE, STE. 102  
SOUTH JORDAN, UT 84095 - 385-202-0776

NO.	REVISIONS	BY	DATE
1	CITY COMMENTS		NR 09/26/23
2	CITY COMMENTS		NR 10/18/23
			48

DESIGNER: PROJECT ENGINEER:





# LANDSCAPE PLAN SPECIFICATIONS

## PLANT SPECIFICATIONS

A. The project includes landscape provisions for the Project including all above, on-site, and landscape necessary. The project includes:

1. Site Construction
2. Construction
3. Maintenance
4. Landscaping
5. Tree Removal
6. Planting and Landmarking
7. Irrigation
8. Fertilization
9. Mulch
10. Planting
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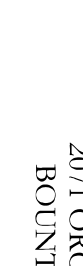
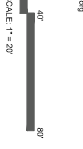
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NO.	9/26/2023	UT2207
REGION	XXXX	XXXX
DATE	XXXXXX	XXXXXX
PROJECT	XXXXXX	XXXXXX
CLIENT	XXXXXX	XXXXXX
DESIGNER	XXXXXX	XXXXXX
CONTRACTOR	XXXXXX	XXXXXX
DATE	XXXXXX	XXXXXX
NO.	XXXXXX	XXXXXX
REGION	XXXXXX	XXXXXX
DATE	XXXXXX	XXXXXX
PROJECT	XXXXXX	XXXXXX
CLIENT	XXXXXX	XXXXXX
DESIGNER	XXXXXX	XXXXXX
CONTRACTOR	XXXXXX	XXXXXX
DATE	XXXXXX	XXXXXX



ARCTIC CIRCLE  
2071 ORCHARD DRIVE  
BOUNTIFUL, UTAH

AE URBIA  
490 W. SOUTH JORDAN PARKWAY  
SOUTH JORDAN, UT 84095  
801-575-4455

GIR CIVIL ENGINEERING  
3023 SOUTH 1050 WEST, SUITE 202  
SALT LAKE CITY, UT 84119  
801-599-6296

DESIGN GROUP  
3450 N. TRIMBLE BLVD. SUITE 102  
LEHI, UTAH 84043 (801) 733-5664  
www.pjdesigngroup.com

LANDSCAPE ARCHITECT / PLANNER

PLANNING / DESIGN / CONSTRUCTION

LANDSCAPE ARCHITECT / PLANNER

DESIGN / CONSTRUCTION

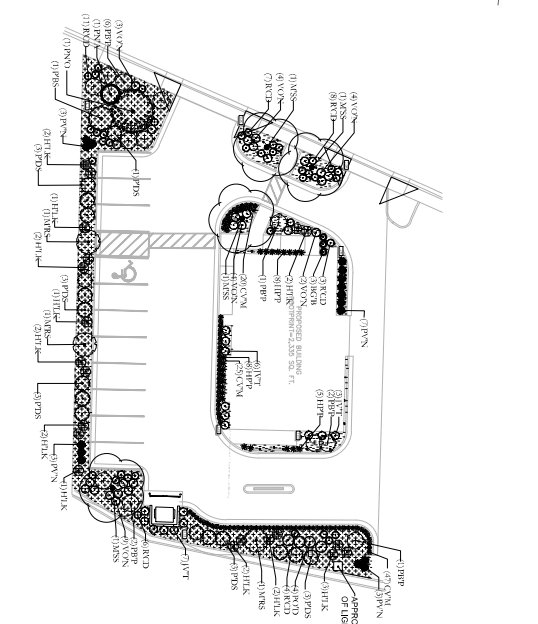
LANDSCAPE ARCHITECT / PLANNER

PLANNING / DESIGN / CONSTRUCTION

LP-101

## LANDSCAPE NOTES

1. All plantings shall be installed in accordance with the specifications and drawings.
2. All plantings shall be installed in accordance with the specifications and drawings.
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## PLANT LEGEND

CODE	SYM	PLANT NAME	PLANT CODE	PLANT SIZE
01R1	01R1	Redwood	01R1	12"
01R2	01R2	Redwood	01R2	18"
01R3	01R3	Redwood	01R3	24"
01R4	01R4	Redwood	01R4	30"
01R5	01R5	Redwood	01R5	36"
01R6	01R6	Redwood	01R6	42"
01R7	01R7	Redwood	01R7	48"
01R8	01R8	Redwood	01R8	54"
01R9	01R9	Redwood	01R9	60"
01R10	01R10	Redwood	01R10	66"
01R11	01R11	Redwood	01R11	72"
01R12	01R12	Redwood	01R12	78"
01R13	01R13	Redwood	01R13	84"
01R14	01R14	Redwood	01R14	90"
01R15	01R15	Redwood	01R15	96"
01R16	01R16	Redwood	01R16	102"
01R17	01R17	Redwood	01R17	108"
01R18	01R18	Redwood	01R18	114"
01R19	01R19	Redwood	01R19	120"
01R20	01R20	Redwood	01R20	126"
01R21	01R21	Redwood	01R21	132"
01R22	01R22	Redwood	01R22	138"
01R23	01R23	Redwood	01R23	144"
01R24	01R24	Redwood	01R24	150"
01R25	01R25	Redwood	01R25	156"
01R26	01R26	Redwood	01R26	162"
01R27	01R27	Redwood	01R27	168"
01R28	01R28	Redwood	01R28	174"
01R29	01R29	Redwood	01R29	180"
01R30	01R30	Redwood	01R30	186"
01R31	01R31	Redwood	01R31	192"
01R32	01R32	Redwood	01R32	198"
01R33	01R33	Redwood	01R33	204"
01R34	01R34	Redwood	01R34	210"
01R35	01R35	Redwood	01R35	216"
01R36	01R36	Redwood	01R36	222"
01R37	01R37	Redwood	01R37	228"
01R38	01R38	Redwood	01R38	234"
01R39	01R39	Redwood	01R39	240"
01R40	01R40	Redwood	01R40	246"
01R41	01R41	Redwood	01R41	252"
01R42	01R42	Redwood	01R42	258"
01R43	01R43	Redwood	01R43	264"
01R44	01R44	Redwood	01R44	270"
01R45	01R45	Redwood	01R45	276"
01R46	01R46	Redwood	01R46	282"
01R47	01R47	Redwood	01R47	288"
01R48	01R48	Redwood	01R48	294"
01R49	01R49	Redwood	01R49	300"
01R50	01R50	Redwood	01R50	306"

## SITE MATERIALS LEGEND

CODE	SYM	MATERIAL NAME	PLANT CODE	PLANT SIZE
01R1	01R1	Redwood	01R1	12"
01R2	01R2	Redwood	01R2	18"
01R3	01R3	Redwood	01R3	24"
01R4	01R4	Redwood	01R4	30"
01R5	01R5	Redwood	01R5	36"
01R6	01R6	Redwood	01R6	42"
01R7	01R7	Redwood	01R7	48"
01R8	01R8	Redwood	01R8	54"
01R9	01R9	Redwood	01R9	60"
01R10	01R10	Redwood	01R10	66"
01R11	01R11	Redwood	01R11	72"
01R12	01R12	Redwood	01R12	78"
01R13	01R13	Redwood	01R13	84"
01R14	01R14	Redwood	01R14	90"
01R15	01R15	Redwood	01R15	96"
01R16	01R16	Redwood	01R16	102"
01R17	01R17	Redwood	01R17	108"
01R18	01R18	Redwood	01R18	114"
01R19	01R19	Redwood	01R19	120"
01R20	01R20	Redwood	01R20	126"
01R21	01R21	Redwood	01R21	132"
01R22	01R22	Redwood	01R22	138"
01R23	01R23	Redwood	01R23	144"
01R24	01R24	Redwood	01R24	150"
01R25	01R25	Redwood	01R25	156"
01R26	01R26	Redwood	01R26	162"
01R27	01R27	Redwood	01R27	168"
01R28	01R28	Redwood	01R28	174"
01R29	01R29	Redwood	01R29	180"
01R30	01R30	Redwood	01R30	186"
01R31	01R31	Redwood	01R31	192"
01R32	01R32	Redwood	01R32	198"
01R33	01R33	Redwood	01R33	204"
01R34	01R34	Redwood	01R34	210"
01R35	01R35	Redwood	01R35	216"
01R36	01R36	Redwood	01R36	222"
01R37	01R37	Redwood	01R37	228"
01R38	01R38	Redwood	01R38	234"
01R39	01R39	Redwood	01R39	240"
01R40	01R40	Redwood	01R40	246"
01R41	01R41	Redwood	01R41	252"
01R42	01R42	Redwood	01R42	258"
01R43	01R43	Redwood	01R43	264"
01R44	01R44	Redwood	01R44	270"
01R45	01R45	Redwood	01R45	276"
01R46	01R46	Redwood	01R46	282"
01R47	01R47	Redwood	01R47	288"
01R48	01R48	Redwood	01R48	294"
01R49	01R49	Redwood	01R49	300"
01R50	01R50	Redwood	01R50	306"

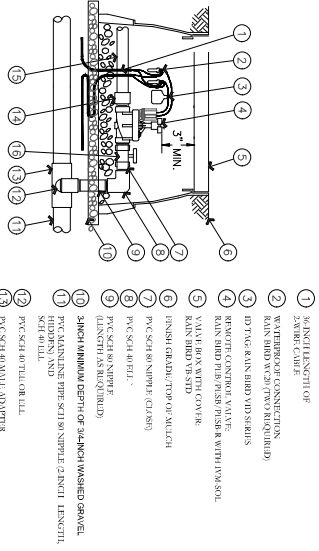
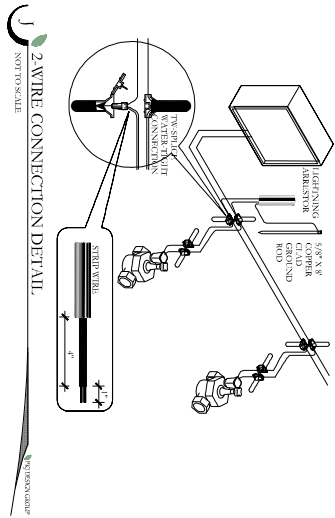
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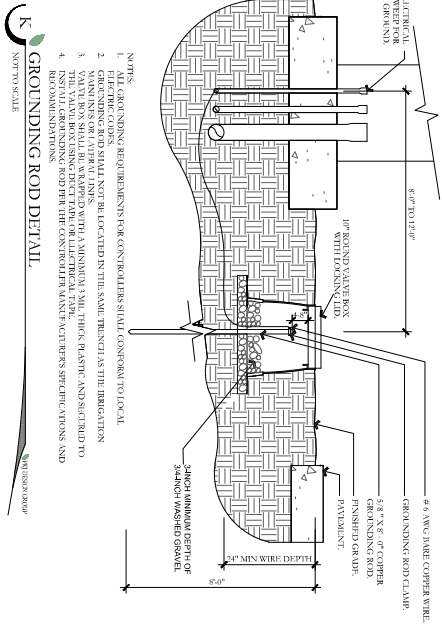




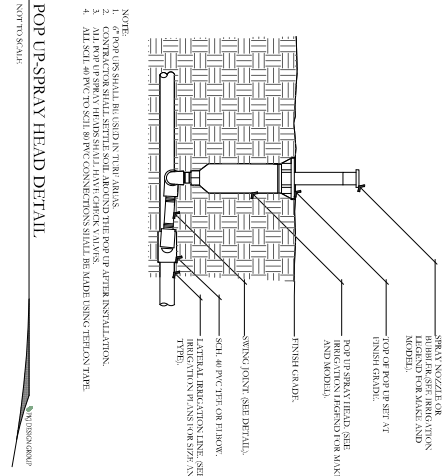
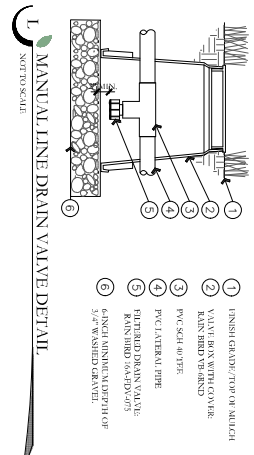




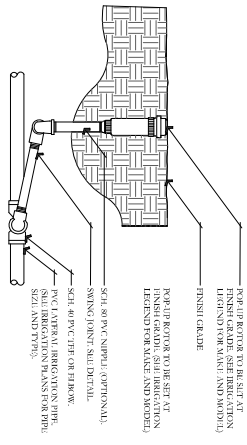
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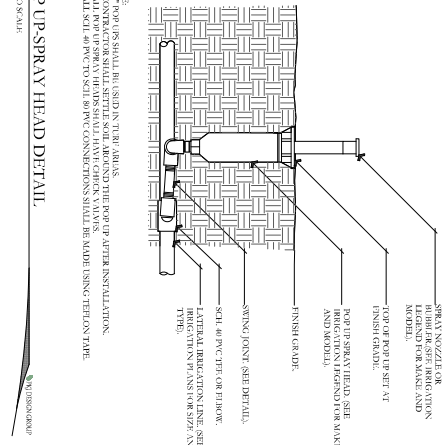
**K. GROUNDING ROD DETAIL**  
NOT TO SCALE



**L. MANUAL LINE DRAIN VALVE DETAIL**  
NOT TO SCALE



**N. ROTOR HEAD DETAIL**  
NOT TO SCALE



**O. POP UP SPRAY HEAD DETAIL**  
NOT TO SCALE

**M. ELECTRIC REMOTE-CONTROL VALVE PEB OR PEBS SERIES WITH IVM SOL.**  
NOT TO SCALE

NO.	DATE	PROJECT NUMBER	PROJECT DESCRIPTION
1	9/26/2023	UT22A077	ARCTIC CIRCLE BOUNTIFUL, UTAH
2	XXXX	XXXXXX	
3			
4			
5			
6			
7			

BLUE STAGES OF UTAH  
1-800-682-4111  
www.bluestages.com

# ARCTIC CIRCLE BOUNTIFUL, UTAH

AE URBIA  
409 W. SOUTH JORDAN PARKWAY  
SOUTH JORDAN, UT 84095  
801-575-6455

CIR CIVIL ENGINEERING  
3032 SOUTH 1030 WEST, SUITE 202  
SALT LAKE CITY, UT 84119  
801-549-4596



DESIGN GROUP  
IRRIGATION DETAILS  
PERMIT SET  
IR-502





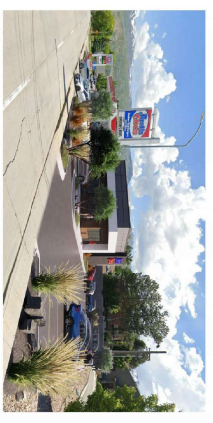


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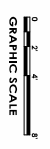


SOUTH ELEVATION  
1/8" = 1'-0"

- 
 ERS  
 MFR: DRYVIT  
 PRODUCT: OUTSULATION  
 COLOR: GRAY
- 
 ERS  
 MFR: DRYVIT  
 PRODUCT: OUTSULATION  
 COLOR: WHITE
- 
 BRICK  
 MFR: INTERSTATE BRICK  
 COLOR: MIDNIGHT BLACK
- 
 FIBER CEMENT LAP SIDING  
 MFR: ALLURA  
 PRODUCT: ARMORSHHELL TIMBER SERIES  
 FINISH: MAHOGANY

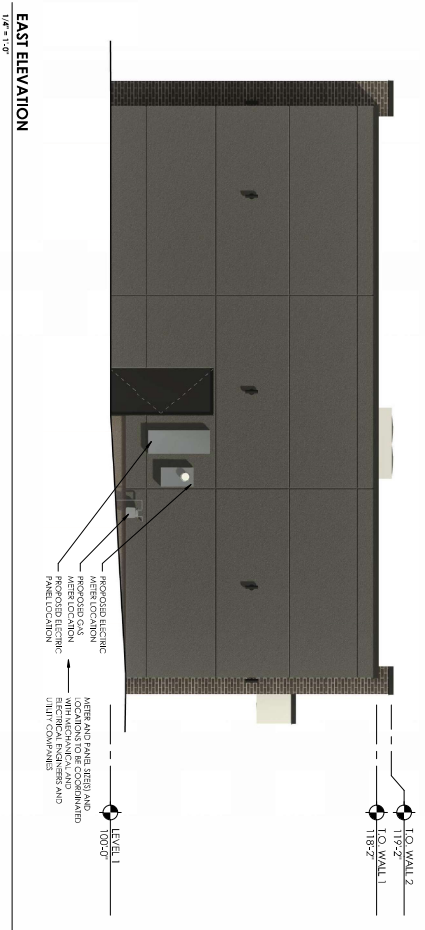


PERSPECTIVE

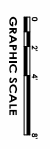
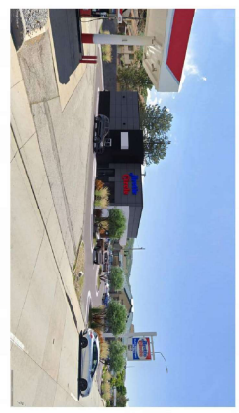


GRAPHIC SCALE

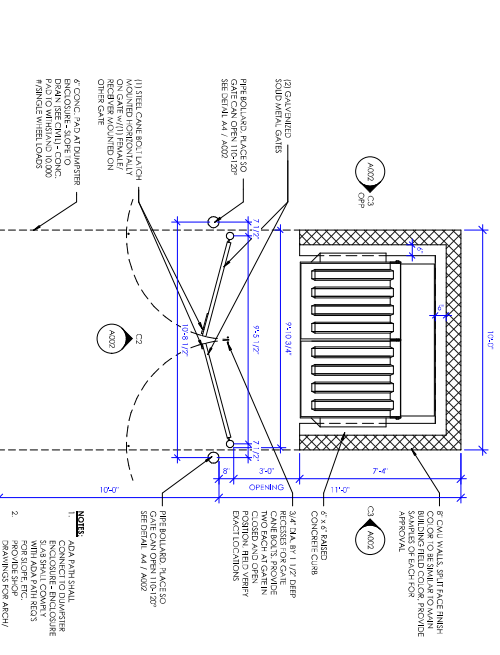
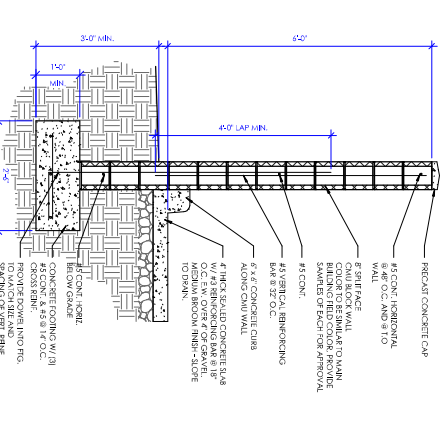
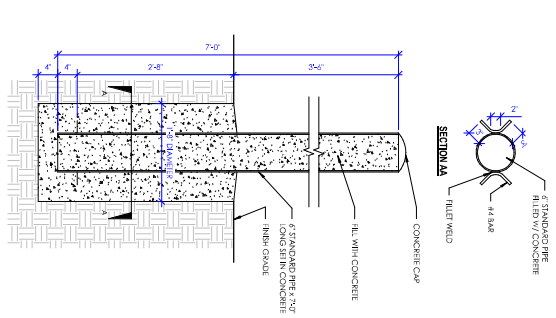
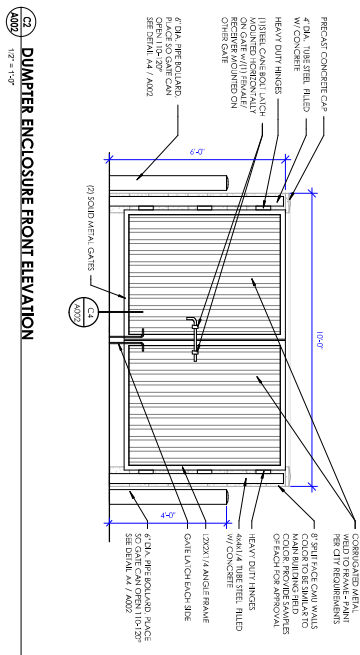
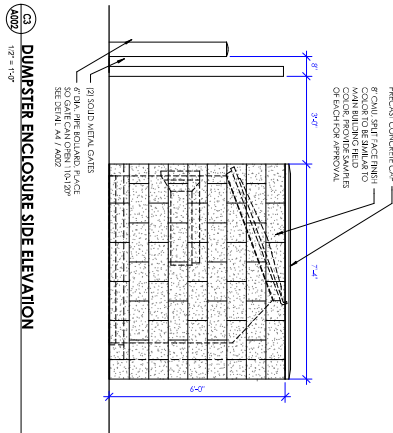
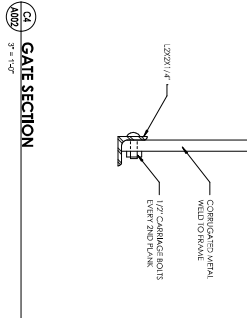
BOUNTIFUL ARCTIC CIRCLE  
ELEVATIONS



- ERS  
MFR: DRYVIT  
PRODUCT: OUTSULATION  
COLOR: GRAY
- ERS  
MFR: DRYVIT  
PRODUCT: OUTSULATION  
COLOR: WHITE
- BRICK  
MFR: INTERSTATE BRICK  
COLOR: MIDNIGHT BLACK
- FIBER CEMENT LAP SIDING  
MFR: ALLURA  
PRODUCT: ARMORSHHELL TIMBER SERIES  
FINISH: MAHOGANY



**BOUNTIFUL ARCTIC CIRCLE  
ELEVATIONS**



A002 PIPE BOLLARD DETAIL

A003 DUMPISTER ENCLOSURE WALL SECTION - CMU

A004 CONC. DUMPISTER ENCLOSURE DETAILS

PERMIT SET

DATE: 2023.07.26

SHEET #: **A002**

COMPONENT: ATURBIA, LLC

**BOUNTIFUL ARCTIC CIRCLE**

**BOUNTIFUL, UTAH**

2071 SOUTH ORCHARD DRIVE

**aeurbia**  
architects and engineers

909 West South Jordan Parkway  
South Jordan, UT 84095  
phone: 801.746.0456 fax: 801.746.6456  
www.aeurbia.com

Revision	Description	Revision Date

PRELIMINARY  
NOT FOR  
CONSTRUCTION

10/18/2023 8:27:23 PM



# City Council Staff Report



**Subject:** Ford Explorer Approval  
**Author:** Allen Ray Johnson, Director  
**Department:** Light & Power  
**Date:** November 28, 2023

**Background**

The Light & Power Department’s 2023-24 budget includes the purchase of a 2024 Ford Explorer, XLT, 4X4, suv. This vehicle will replace unit #5039, a 2000 Jeep Cherokee. This unit will be used as a management vehicle, primarily used for maintaining and operating our generation and substation facilities.

**Analysis**

We have requested bids for a new Explorer from two suppliers, Performance Ford Lincoln Bountiful and Larry H. Miller Ford Lincoln Draper, which has the state bid. The results for bids are as follows:

Supplier/Manufacturer	Office Location	Total Price	Schedule
Performance Ford Lincoln	Bountiful, Utah	\$42,641.52	4 to 6 months
Larry H. Miller Ford Lincoln	Draper, Utah	\$43,719.01	4 to 5 months

We have reviewed the bids and believe the low bid from Performance Ford Lincoln Bountiful for the 2024 Ford Explorer will meet our needs.

**Department Review**

This has been reviewed by the Staff, City Manager and Power Commission.

**Significant Impacts**

The Explorer is included in the 2023-24 fiscal budget, in the Capital Vehicles account 535300-474600. The overall budget for this vehicle is \$50,000.

**Recommendation**

Staff recommends approval of the low bid for the purchase of a new 2024 Ford Explorer, XLT, 4X4, suv from Performance Ford Lincoln Bountiful at a total price of \$42,641.52.

**Attachments**

None.



# City Council Staff Report



**Subject:** Altec Single Bucket Truck Purchase  
**Author:** Allen Ray Johnson, Director  
**Department:** Light & Power  
**Date:** November 28, 2023

## **Background**

The Light & Power Department is looking to replace our existing single bucket truck unit #5054, a 2010 Terex 43-foot single bucket truck. Altec Industries has the state bid contract for single bucket trucks. Altec currently has a 29 to 32 month lead time to take delivery for a new AT48M single bucket truck. The new unit will have an extended reach of 48 feet, with an incorporated telescopic boom. This will give us the capability of working on our distribution systems more easily. The unit will have a material handling device for setting equipment and added storage space for tools and safety equipment. This unit will be mounted on a 2025 Ford 600, 4X4, diesel Cab and chassis provided by Altec.

Altec will require a purchase order now when placing the order for the vehicle. There will not be any payments required until we take delivery of the truck. We would have to include this purchase in our fiscal year 2025-26 budget to purchase of a new single bucket truck.

## **Analysis**

We have requested a bid from Altec Industries Inc. which has the state bid contract:

<b>Supplier/Manufacturer</b>	<b>Office Location</b>	<b>Total Price</b>	<b>Schedule</b>
Altec Industries Inc.	Salt Lake City, Utah	\$ 233,873	29-32 Months

The unit is a stock Altec unit with no additional customized options. Staff believes that this unit will meet all our needs.

Since we plan on using this unit for approximately the next fifteen years our staff would like to recommend the single source state bid from Altec Industries Inc. for the following reasons:

A bucket truck is a specialized piece of equipment that must be fully functional to allow our employees to work on energized lines up to 46,000 volts. Operators need to be very comfortable with the controls and functions of the unit. This is very important when working with overhead primary conductors because the personnel are in tight spaces and often holding energized lines while maneuvering the equipment.

Currently most of our equipment is Altec. Our employees understand how they work and are comfortable with the functionality of the overall unit.

Altec has a service center located in Salt Lake City and has eight mobile service trucks throughout the state. We have used their mobile service department many times now and have been very impressed. They typically respond to problems within a day or so.

Altec has the capabilities to perform our annual truck maintenance and testing. This annual testing tests boom strength, overall condition of the unit, and the dielectric tests to insure it will meet the standards for working with the voltages that we have on our system.

Altec Industries is a viable growing company that will be around well into the future.

#### **Department Review**

This has been reviewed by the City Manager, Power Commission, and Staff.

#### **Significant Impacts**

This single bucket unit would be need to be included in the 2025-26 fiscal budget, in the Capital Vehicles account 535300-474600.

#### **Recommendation**

Staff recommends approval of the state bid from Altec Industries Inc. for a AT48M single bucket truck at a total price of \$233,873 with a lead time of 29 to 32 months.

#### **Attachments**

None.



# City Council Staff Report



**Subject:** Altec Double Bucket Truck Purchase  
**Author:** Allen Ray Johnson, Director  
**Department:** Light & Power  
**Date:** November 28, 2023

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## **Background**

The Light & Power Department is looking to replace unit #5046, a 2005 Altec AM55 double bucket truck. Currently with the state bid contract from Altec Industries Inc. there is a 5-year lead time on a new TA60 double bucket truck. We have requested to include in the fiscal year 2028-29 budget the purchase of a new double bucket truck. The new unit will have an extended 65-foot reach with an incorporated telescopic boom. This will give us the capability of working on our transmission and distribution systems more easily. Also included is a material handling device for setting equipment and added storage space for tools and safety equipment. This unit will be mounted on a 2028 freightliner M2 106 2X4 Cab and chassis provided by Altec.

Altec will require a purchase order now when placing the order for the vehicle. There will not be any payments required until we take delivery of the truck. We would have to include this purchase in our fiscal year 2028-29 budget to purchase of a double bucket truck.

## **Analysis**

We have requested a bid from Altec Industries Inc. which has the state bid contract:

<b>Supplier/Manufacturer</b>	<b>Office Location</b>	<b>Total Price</b>	<b>Schedule</b>
Altec Industries Inc.	Salt Lake City, Utah	\$ 365,310	5 years

Upon reviewing the bid from Altec Industries, we feel confident that this unit will meet all our needs.

Since we plan on using this unit for approximately the next fifteen years our staff would like to recommend the single source state bid from Altec Industries Inc. for the following reasons:

A bucket truck is a specialized piece of equipment that must be fully functional to allow our employees to work on energized lines up to 46,000 volts. Operators need to be very comfortable with the controls and functions of the unit. This is very important when working with overhead primary conductors because the personnel are in tight spaces and often holding energized lines while maneuvering the equipment.

Currently most of our equipment is Altec. Our employees understand how they work and are comfortable with the functionality of the overall unit.

Altec has a service center located in Salt Lake City and has eight mobile service trucks throughout the state. We have used their mobile service department many times now and have been very impressed. They typically respond to problems within a day or so.

Altec has the capabilities to perform our annual truck maintenance and testing. This annual testing tests boom strength, overall condition of the unit, and the dielectric tests to insure it will meet the standards for working with the voltages that we have on our system.

Altec Industries is a viable growing company that will be around well into the future.

**Department Review**

This has been reviewed by the City Manager, Power Commission, and Staff.

**Significant Impacts**

This unit would be included in the 2028-29 fiscal budget, in the Capital Vehicles account 535300-474600.

**Recommendation**

Staff recommends approval of the state bid from Altec Industries Inc. for a New TA60 double bucket truck at a total price of \$365,310 and lead time of 5 years.

**Attachments**

None.

# City Council Staff Report



**Subject:** Power Pole Purchase  
**Author:** Allen Ray Johnson  
**Department:** Light & Power  
**Date:** November 28, 2023

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## **Background**

Our inventory of power poles is running low, and we need to purchase some to replenish it. The poles will be used for maintenance and future construction projects throughout the city. Delivery on the poles will be 8-10 weeks.

## **Analysis**

The pole bid specifications require that they should be Western red or yellow cedar and butt treated. We use the butt treated poles because they hold up very well in our area and are safer for the linemen to climb. The quotation is for the following quantities:

25 (ea.) 35' class 3 Poles, Western Red Cedar  
50 (ea.) 40' class 3 Poles, Western Red Cedar

This is a single source bid, as Stella-Jones, Tacoma, Washington, is still the only vendor able to bid butt treated poles. We were not able to receive a bid from the other power pole vendors because they no longer supply butt treated poles.

## **Department Review**

This has been reviewed by the Power Commission, City Manager, and Staff.

## **Significant Impacts**

These poles will be purchased and placed into inventory until they are installed on the system.

## **Recommendation**

Staff recommends the approval of the quote for 75 butt treated poles from Stella Jones for the total sum of \$83,400.

## **Attachments**

None



# City Council Staff Report

**Subject:** Request for Stop Sign Installation at 1000 E / Center St Intersection  
**Author:** City Engineer, Lloyd Cheney  
**Department:** Engineering  
**Date:** Nov. 28, 2023



## Background

Tracie Atkinson, 13 N 1000 E, requests the installation of stop signs for northbound and southbound traffic at the intersection of 1000 E and Center St. An afternoon accident on 22 Jan., 2023, where a vehicle came to rest in the front yard of the Atkinson residence, has been the event which has brought interest to the intersection. Mrs. Atkinson’s request also expresses concern for children using the crosswalk on the east side of the intersection with the volume and speed of vehicles using Center St.

This item was discussed by the Traffic Safety Committee on November 8, 2023. Several area residents along with Tara Best, Principal of Holbrook Elementary attended the meeting and provided comments. The following information was discussed by the committee:

## Analysis

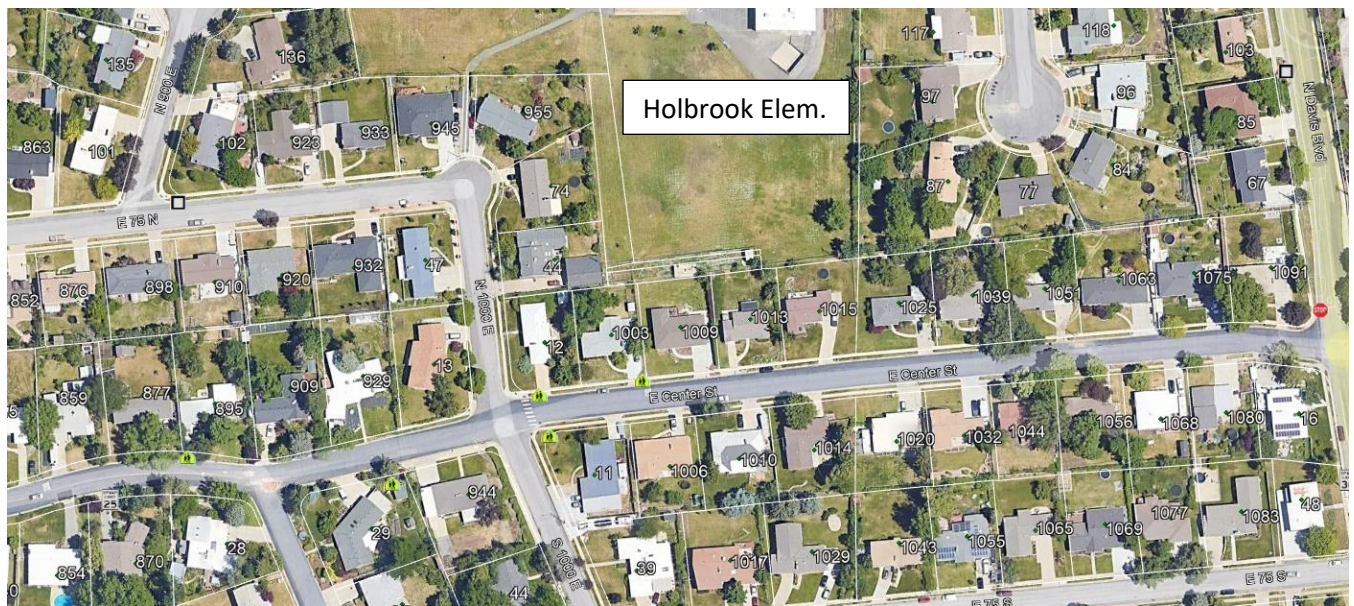


Figure 1 Center St. (from approx. 850 E to Davis Blvd) With existing signage

## Accident History

A five-year review of accidents at intersection (2022-2018) identifies 1 accident in addition to the Jan. 2023 accident. A ten-year review of accidents identifies 2 accidents which occurred in 2016, for a total of 4 accidents in the ten-year period. Three of the four accidents are of the “Failure to Yield” (FTY) type, with the fourth accident being a single car crash which failed to negotiate a turn due to excessive speeds. In 2 of the 3 FTY accidents, drivers reported seeing

the other vehicle in or approaching the intersection before the crash occurred.

### Traffic Volume

This intersection is not a location where the Engineering Dept. collects traffic volume information. The next closest intersection where data is collected is the Center St and Davis Blvd. intersection where traffic volume data is collected every 3 years. The latest volume (2022) for Center St was 863 cars. The volume from 2019 was 976 vehicles. These volumes are similar to streets in other residential neighborhoods and are not considered as “high volume”. Traffic in the morning and evening peak travel times would constitute the majority of those count volumes.

### Intersection Geometry, Signage and Visibility

The intersection of Center St. and 1000 E is a standard 4 leg, perpendicular intersection. 1000 E St. on either side of the intersection slopes slightly to the North, with Center Street sloping down from East to West at approximately 8%. This configuration is similar to many intersections in the residential neighborhoods east of 400 E and Orchard Dr. Currently, there are no traffic control signs or devices in place to regulate traffic. Advance crossing signs and signs located at the crosswalk on the east side of Center St. are appropriately placed and are visible to the oncoming traffic on Center St. A 25 mph speed limit sign (for eastbound traffic) is installed at 854 E Center St, approximately 600 feet prior to the 1000 E intersection.

A field inspection of the intersection, conducted on the morning of 31 October, 2023 identified 2 issues that need to be addressed or the intersection to comply with 14-16-108 (C) of the Land Use Code related to Clear-View Areas:

1. 944 E Center St (SW corner of the intersection) has an overgrown Pfitzer hedge which is approximately 3 ft tall, as measured at the back of the sidewalk. This growth interferes with the identification of vehicles travelling eastbound on Center St. as shown in the photo, below:



Figure 2 Northbound View from 1000 E of Eastbound Traffic on Center St (Toyota 4 Runner, circled)

2. 13 N 1000 E (NW corner of the intersection) A 3 ft tall solid fence along the Center St frontage has been constructed in the clear view area. Approximately one section of the fence encroaches. (see Figure 3)



Figure 3 Southbound View from 1000 E of Eastbound Traffic on Center St.

### School Crossing

While at the intersection, I observed the routes and number of school-age children which used the intersection from approximately 8:20 am to 9:00 am. Three children (as individuals) and a pair of adults with 2 children in a wagon crossed from South to North. The majority of children

observed used the north sidewalk on Center St and the east sidewalk on 1000 E to access the kiddie walk to the Elementary. There were a significant number of vehicles dropping off children at the “bulb” in the intersection of 75 N and 1000 E. At times vehicles were double parked, with vehicles parked on both sides of the street in that area. It is assumed that the volume of demands (by school age children) to cross Center St is not sufficient to meet the warrant (requirement) for a reduced-speed school zone and crossing guard.

Several residents stated that the observation of children using the crosswalk was not representative of the actual use.

### MUTCD Requirements for Regulatory Signs

The Manual on Uniform Traffic Control Devices (MUTCD) is the national standard which outlines the standards and conditions for regulatory signs such as Stop and Yield signs.

The following guidance is listed for these types of signs:

- Stop signs should be used if engineering judgement indicates that one or more of the following conditions exist:
  - A. Intersection of a less important road with a main road where application of the normal right-of-way rule would not be expected to provide reasonable compliance with the law;
  - B. Street entering a through highway or street; (not applicable to this location)
  - C. Unsignalized intersection in a signalized area (not applicable to this location); and/or
  - D. High speeds, restricted view, or crash records indicate a need for control by the Stop sign. (not applicable to this location)
- Yield or Stop signs should be considered where crash records indicate that 5 or more crashes that involve the failure to yield the right-of-way at the intersection under the normal right-of-way rule have been reported within a 3 year period, or that 3 or more such crashes have been reported within a 2 year period.
- Stop signs should not be used for speed control.
- Stop signs should be installed in a manner that minimizes the numbers of vehicles having to stop. At intersections where a full stop is not necessary at all times, consideration should be given to using less restrictive measures such as Yield signs.
- Once the decision has been made to install two-way stop control, the decision regarding the appropriate street to stop should be based on engineering judgement. In most cases, the street carrying the lowest volume of traffic should be stopped.

The original recommendation of the City Engineer to the TSC was the installation of Yield signs for traffic approaching the intersection on 1000 E. After considerable deliberation, an alternate motion was made to recommend the installation of Stop signs. This motion was passed by 3 votes in favor and 2 votes opposing. After the outcome was determined, all members of the committee agreed to support the outcome.

### Department Review

This report has been reviewed by the City Engineer/Public Works Director, Police Chief and Street Department Director.



### **Recommendation**

The Committee forwards the following recommendations to the City Council for their approval:

1. Resolve the clear vision issues with adjacent property owners.
2. Install STOP signs for northbound and southbound traffic on 1000 E streets.
3. The Engineering Dept. to conduct a school crossing study at this location prior to the end of the school year, as personnel resources allow.

### **Significant Impacts**

Installation of 2 regulatory signs (approx. \$127 ea) would be charged to the Street Dept.'s Street Sign Budget.

### **Attachments**

Traffic Accident reports from 2023, 2019 and 2016

## Accident Comments / Notes

V1 (Ford) was traveling north bound on 1000 East and entered the intersection of Center Street. V2 (Honda) was traveling west bound on Center Street and entered the intersection of 1000 East. Upon entering the intersection V1 was struck by V2, front end of V2 collided into the front passenger side of V1.

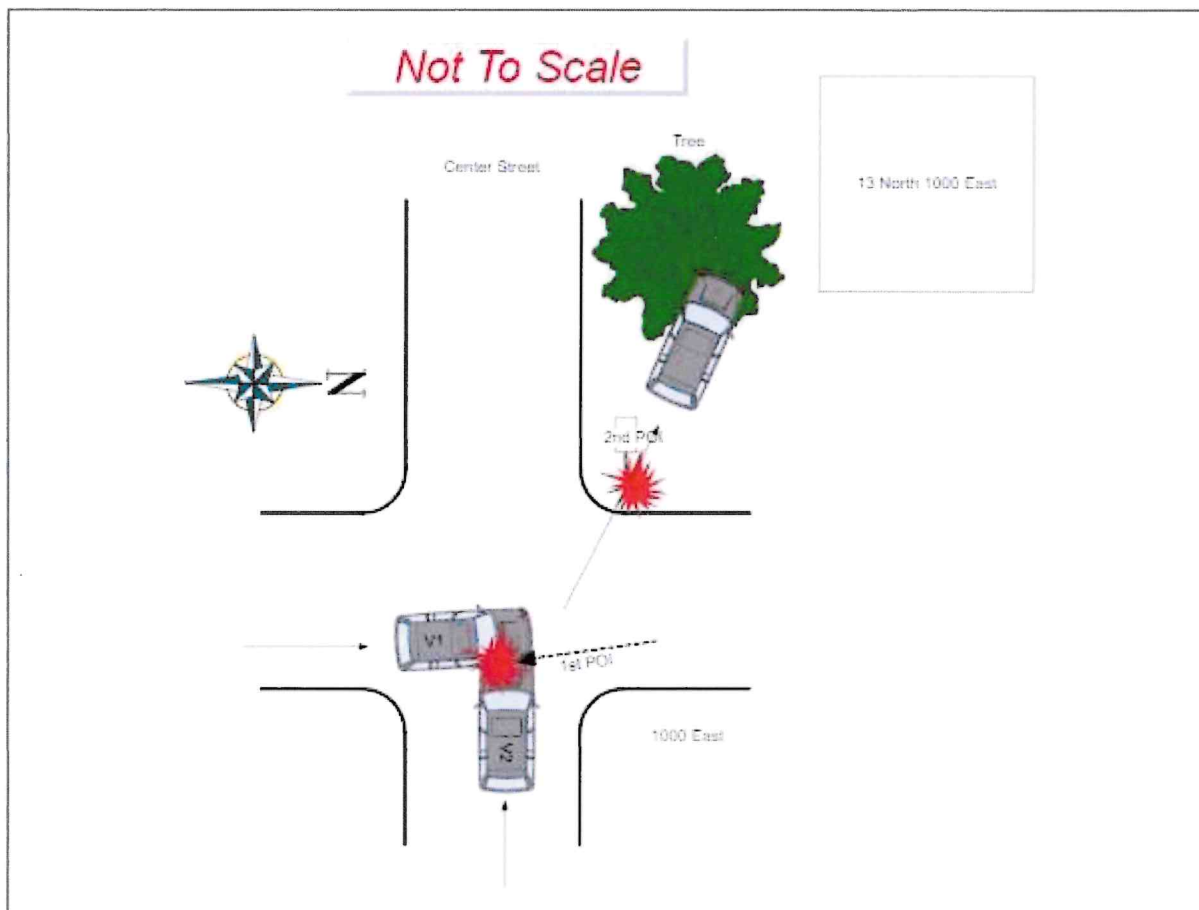
The collision caused V2 to travel off the roadway and over a city street sign and end up in a yard located at 13 North 1000 East. The collision caused major damage to both vehicles, both vehicles were disabled and towed.

The occupants of V1 were not injured, the driver of V2 sustained minor injury to her right shoulder and left hand area. Medical personal arrived and evaluated the driver of V2, she was not transported to a hospital.

The driver of V1 stated she saw V2 traveling west bound on Center street and entered the intersection. The driver of V2 state she did not see V1 enter the intersection.

The intersection where the accident occurred is not regulated with traffic control devices. However, it appeared both vehicles intersection at about the same time. Utah law requires the vehicle on the left, V1, to yield the right of way to V2 which approached from the right. The operator of V1 was issued a citation for failing to yield the right of way.

It should be noted that V2 traveled over a city street sign (damaged) and at least two sprinklers (damaged) belonging to the property owner of 13 North 1000 East. The remaining portion of the sign was collected and returned to the Streets Department.

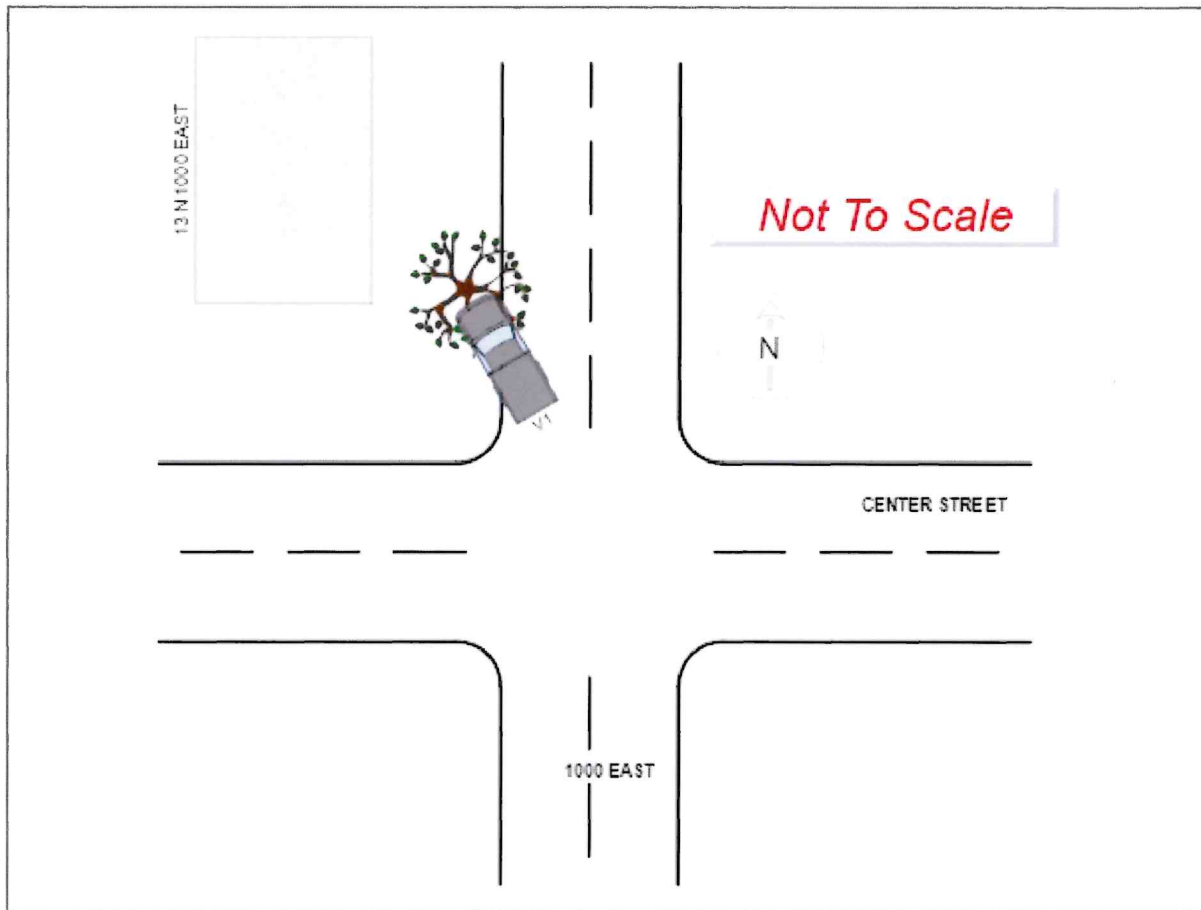


Crash Diagram

*1/22/2023 - Accident Date*

## Accident Comments / Notes

V1, a white Chevrolet Silverado, UT/W037VK, was traveling Westbound on Center Street, approaching 1000 East. V1 attempted to make a right hand turn onto 1000 East for Northbound travel. V1 was traveling too fast to safely maneuver the vehicle while conducting this turn. Witness [REDACTED] estimated V1 to be traveling about 30 mph while conducting this turn. Driver of V1 reported she was driving too fast and lost control of the vehicle. V1 ran off the roadway on the West side of the roadway and collided head on with a tree in the front yard of residence 13 N 1000 East. Driver of V1 reported injury to her knee. EMS responded to provide care for driver of V1. Driver was not transported to the hospital. Driver was the only occupant of this vehicle. Driver was released to parent, [REDACTED]. V1 received severe damages to the front end of the vehicle. With driver side airbag deployment. V1 was towed by Dewaal & Sons Towing. Driver of V1 received Citation #MV0005461



Crash Diagram

*3/23/2019 - ACCIDENT DATE*

<b>FRONT</b> 	<b>SEATING POSITION</b>			<b>INJURY</b>		
	11 - Motorcycle Driver	50 - Sleeper Section of Cab (Truck)	57 - Right Side Driver			
	21 - Motorcycle Passenger	51 - Enclosed Cargo Area	60 - Non-Motorist			
	16 - Front Row Other	52 - Unenclosed Cargo Area	97 - Other*			
26 - Second Row Other	54 - Trailing Unit	98 - Unknown				
36 - Third Row Other	55 - Riding on Vehicle Exterior					
46 - Fourth Row Other	56 - Seating Position 11, Not Driver					

EMS Time Called: \_\_\_\_\_ EMS Time Arrived: \_\_\_\_\_

Disposition of Vehicle # 1: 02 TOWED BY: Zac's Towing

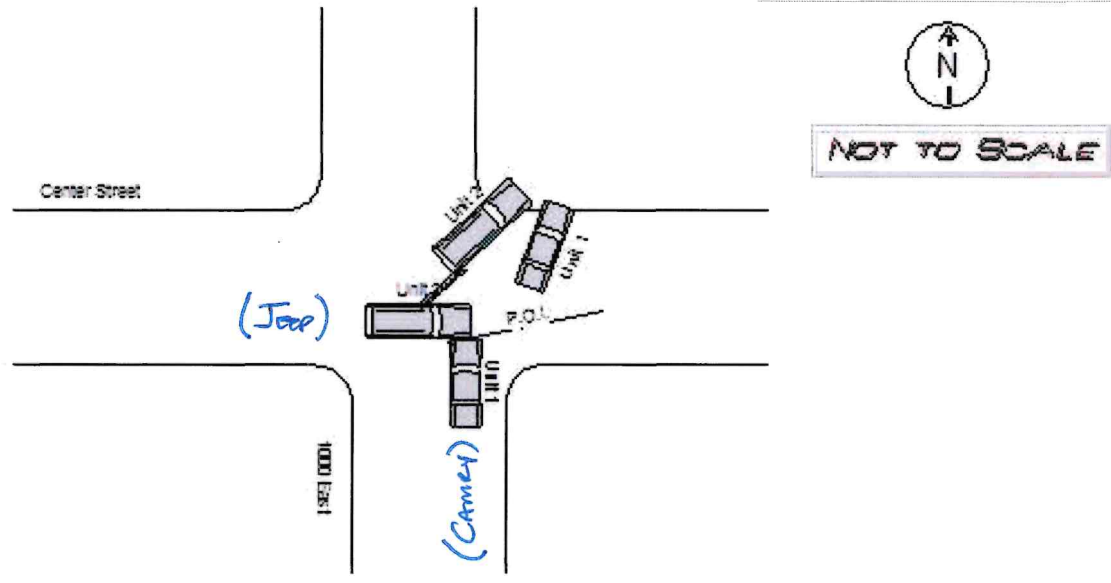
Disposition of Vehicle # 2: 02 TOWED BY: Intermountain Towing

PERSON(S) INVOLVED	VEH #	DRIVER	Transported to: _	BAC	Person Type	Seating Position	Sex	Level	Area	Cause	Transported By	Safety Equipment	Used Properly	Air Bag	Ejection	Ejection Path	Extrication
VEH #2	DRIVER	Transported to: _	BAC	01	11	F	01	96	96	96	01	01	01	00	96	01	
VEH #	Name	DOB	Age	Transported to:													
VEH #	Address	Phone															
VEH #	Name	DOB	Age	Transported to:													
VEH #	Address	Phone															
VEH #	Name	DOB	Age	Transported to:													
VEH #	Address	Phone															
VEH #	Name	DOB	Age	Transported to:													
VEH #	Address	Phone															

DIAGRAM of CRASH  NO DIAGRAM - Reason: \_\_\_\_\_

1. Officer not at scene 2. Vehicles moved 3. Other \_\_\_\_\_

DLD# \_\_\_\_\_

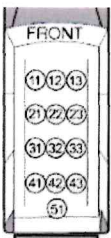


**DESCRIBE WHAT HAPPENED**  
(Refer to Vehicle by Number)

V1 (RED TOYOTA) WAS NORTHBOUND ON 1000 EAST APPROACHING THE INTERSECTION OF CENTER STREET. V2 (BLACK JEEP) WAS EASTBOUND ON CENTER STREET APPROACHING THE INTERSECTION OF 1000 EAST. BOTH VEHICLES ENTERED THE INTERSECTION AT APPROXIMATELY THE SAME TIME. AFTER IMPACT BOTH VEHICLES COLLIDED AS THEY WENT TO THE LEFT AND ENDING ON THE NORTH SIDE OF THE INTERSECTION UP AGAINST THE CURB. V1 STATED SHE WAS NORTHBOUND ON 1000 EAST AND APPROACHING THE INTERSECTION AND DID NOT SEE V2. DRIVER OF V1 STATED THERE WAS NO STOP SIGN AT THE INTERSECTION. DAMAGE TO V1 WAS TO THE FRONT BUMPER, HOOD, ENGINE COMPARTMENT AND TO THE REAR DRIVER'S SIDE PASSENGER DOOR FROM A SECOND IMPACT WITH V2. DRIVER OF V2 STATED SHE WAS EASTBOUND ON CENTER APPROACHING THE INTERSECTION OF 1000 EAST AND DID NOT SEE V1. SHE STATED IT WAS TOO LATE TO STOP BEFORE IMPACT. DAMAGE TO V2 WAS TO THE FRONT PASSENGER SIDE CORNER WITH DENTS, AND A DAMAGED WHEEL. ALL PARTIES STATED THEY WERE OK AND DID NOT NEED MEDICAL ATTENTION. FROM THE POINT OF IMPACT AND DAMAGE ON THE VEHICLES IT APPEARED AS IF V2 WAS PROBABLY THE FIRST IN THE INTERSECTION, BUT SINCE BOTH PARTIES STATED THEY DID NOT SEE EACH OTHER IT WAS UNKNOWN WHO ENTERED THE INTERSECTION FIRST, THERE WERE NO CITATIONS ISSUED.

OFFICER'S NAME	I.D. #	DEPARTMENT	CASE NUMBER	SUPERVISOR'S APPROVAL	DATE OF REPORT
PRINT Brett Scofield	3464	Bountiful	2016-003177		09/22/2016

*9/22/2016 - ACCIDENT DATE*



- SEATING POSITION**
- 11 - Motorcycle Driver
  - 21 - Motorcycle Passenger
  - 18 - Front Row Other
  - 28 - Second Row Other
  - 38 - Third Row Other
  - 48 - Fourth Row Other
  - 50 - Sleeper Section of Cab (Truck)
  - 51 - Enclosed Cargo Area
  - 52 - Unenclosed Cargo Area
  - 54 - Trailing Unit
  - 55 - Riding on Vehicle Exterior
  - 56 - Seating Position 11, Not Driver
  - 57 - Right Side Driver
  - 60 - Non-Motorist
  - 97 - Other\*
  - 99 - Unknown

EMS Time Called: 20:05      EMS Time Arrived: 20:15

Disposition of Vehicle # 1: 01 TOWED BY:

Disposition of Vehicle # 2: 01 TOWED BY:

Person Type	Seating Position	Sex	INJURY			Transported By	Safety Equipment	Used Properly	Air Bag	Ejection	Ejection Path	Extrication
			Level	Area	Cause							

**PERSON(S) INVOLVED**

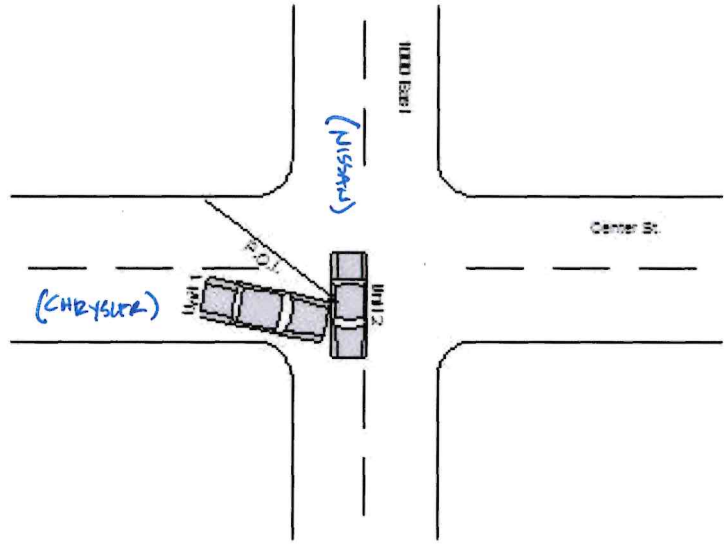
VEH #	DRIVER	Transported to:	BAC	Person Type	Seating Position	Sex	Level	Area	Cause	Transported By	Safety Equipment	Used Properly	Air Bag	Ejection	Ejection Path	Extrication
VEH # 1	DRIVER	Transported to: Not Transported	BAC	01	11	M	02	96	96	01	01	01	01	00	96	01
VEH # 2	DRIVER	Transported to: -	BAC	01	11	F	01	96	96	96	01	01	01	00	96	01
VEH # 2		Transported to: -	BAC	02	13	M	01	96	96	96	01	01	01	00	96	01
VEH #	Name	DOB	Age	Transported to:			BAC									
VEH #	Address	Phone														
VEH #	Name	DOB	Age	Transported to:			BAC									
VEH #	Address	Phone														
VEH #	Name	DOB	Age	Transported to:			BAC									
VEH #	Address	Phone														

DIAGRAM of CRASH  NO DIAGRAM - Reason:   
 1. Officer not at scene    2. Vehicles moved  
 3. Other \_\_\_\_\_

DLD# \_\_\_\_\_



NOT TO SCALE



**DESCRIBE WHAT HAPPENED**  
 (Refer to Vehicle by Number)

V1 (RED CHRYSLER) WAS EASTBOUND ON CENTER ST. ENTERING THE INTERSECTION OF 1000 E, WHEN V1 HIT V2 (NISSAN) AS V2 WAS EXITING THE INTERSECTION. V1 SUSTAINED DAMAGE TO THE DRIVER'S FRONT CORNER OF THE VEHICLE. V1 WAS DRIVEABLE AND RETAINED BY OWNER.

V2 WAS SOUTHBOUND ON 1000 E AND WHILE V2 WAS EXITING THE INTERSECTION WITH CENTER STREET V2 WAS STRUCK ON THE PASSENGER SIDE IN THE MIDDLE OF BOTH PASSENGER DOORS. V2 WAS DRIVEABLE AND RETAINED BY OWNER.

V1 WAS FOUND AT FAULT OF THIS CRASH. 1000 E CENTER ST. IS AN UNREGULATED INTERSECTION, V2 WAS ALREADY OCCUPYING THE INTERSECTION AND WAS ALMOST CLEAR FROM IT WHEN V1 HIT V2. THE DAMAGE AND THE DIAGRAM WILL DEPICT THE LOCATION.

OFFICER'S NAME	I.D. #	DEPARTMENT	CASE NUMBER	SUPERVISOR'S APPROVAL	DATE OF REPORT
PRINT Ryan Newbold	4086	Bountiful	2016-003692		11/06/2016

11/06/2016 - ACCIDENT DATE