

BOUNTIFUL CITY COUNCIL MEETING

TUESDAY, October 23, 2018

Work Session – 6:00 p.m.

Regular Session - 7:00 p.m.

NOTICE IS HEREBY GIVEN that the City Council of Bountiful, Utah will hold its regular Council meeting at City Hall, 790 South 100 East, Bountiful, Utah, at the time and on the date given above. The public is invited to all meetings. Deliberations will occur in the meetings. Persons who are disabled as defined by the Americans With Disabilities Act may request an accommodation by contacting the Bountiful City Manager at 801.298.6140. Notification at least 24 hours prior to the meeting would be appreciated.

If you are not on the agenda, the Council will not be able to discuss your item of business until another meeting. For most items it is desirable for the Council to be informed of background information prior to consideration at a Council meeting. If you wish to have an item placed on the agenda, contact the Bountiful City Manager at 801.298.6140.

AGENDA

6:00 p.m. – Work Session

1. City Hall remodel update – Mr. Lloyd Cheney p. 3
2. Parks maintenance discussion – Mr. Brock Hill p. 7

7:00 p.m. – Regular Session

1. Welcome, Pledge of Allegiance and Thought/Prayer
2. Public Comment - If you wish to make a comment to the Council, please use the podium and clearly state your name and address, keeping your comments to a maximum of 2 minutes. Public comment is limited to no more than ten minutes per meeting. Please do not repeat positions already stated. Public comment is a time for the Council to receive new information and perspectives.
3. Approve minutes of previous meeting held on October 9, 2018 p. 11
4. Council Reports
5. Summer Concerts recap and Bar J Wranglers – Mr. Richard Watson
6. Recognition of Councilwoman Beth Holbrook
7. Consider approval of weekly expenditures > \$1,000 paid October 1, 8 & 15, 2018 p. 15
8. Consider approval of the purchase of an exhaust stack replacement for the #1 turbine in the total amount of \$236,541 – Mr. Allen Johnson p. 19
9. Consider approval of Resolution 2018-12 authorizing the execution and delivery of a Power Supply Agreement with the Utah Associated Municipal Power Systems and related matters – Mr. Allen Johnson p. 21
10. Consider approval of the Parking Easement Agreement with Town Center, LLC – Mr. Clinton Drake p. 25
11. Consider approval of the preliminary and final site plan for a proposed car wash business at 2566 South 500 West – Mr. Chad Wilkinson p. 37
12. Consider final plat approval of The Bristol Village PUD located at 1940 South 200 West – Mr. Lloyd Chemey p. 61
13. Adjourn


City Recorder

City Council Staff Report

Subject: City Hall Remodel Update
Author: Lloyd Cheney, City Engineer
Department: Engineering
Date: October 23, 2018



Background

The design effort for the remodel of City Hall has begun and is at a point where the staff would like to inform the City Council of the current progress and situation, and would request guidance from the Council on the overall direction of the remodel as well as a few specific items discussed below. Staff wants to make sure that if there are items of particular importance to the City Council that they are discussed at this point in the design process.

Analysis

Information Items:

1. Department Heads from City Hall have met with the architect to discuss the current situation (department function and organization), identify existing deficiencies, and to evaluate future needs.
2. Department Heads from City Hall toured the Bluffdale City Hall building to see firsthand examples of the design concepts which are being introduced by JRCA.
3. The Request for Proposals (RFP) has been issued for the Construction Manager/ General Contractor (CM/GC) selection. Proposals are due October 16, and it is anticipated that the final selection will be presented to the City Council on November 13.
4. The RFP contains a projection of project costs:

Owner's Project Budget	\$6,500,000
<u>A&E / Relocation / FFE</u>	<u>(\$1,128,000)</u>
Funds Avail. For Construction	\$5,372,000
Contingencies (10%) & Inflation (3.5%)	(\$725,220)
<u>ESTIMATED CM/GC Expense (12%)</u>	<u>(\$644,640)</u>
Preliminary Construction Budget	\$4,002,140

This budget translates to \$125/sqft for the building (both floors).

Council Discussion Items:

From this point on, the architect will begin to develop the layout of the building interior and consider limited modifications to the building exterior. Staff would like to have additional instruction or recommendations from the Council for the following items:

1. Public Use / Sharable Spaces: Staff has provided direction to the architect to develop spaces within the building which are useful spaces for City functions and which can be used by the public. Staff was able to see how this was incorporated at Bluffdale using moveable partitions which separated the overall Council Chamber space into multiple spaces. The Council Chambers were located such that they could be isolated from the other spaces available for public use, which offered protection for the AV and other systems associated with the Council Chambers. In creating these spaces, the architect was able to also isolate the other city departments from the lobby so that these spaces were not accessible to the public after hours.
2. Building Security: This item is closely related to the prior concept. The current level of building security would be appropriately evaluated as “low”. The public has easy access to the essential functions provided at City Hall such as the cashiers area, the Administrative offices (Mayor & City Manager) and the Planning & Zoning / Engineering area. These are generally open and personable spaces which serve the intended purposes, but also allow the public direct access to areas which are deserving of additional access management. Staff and the architect agree that an additional level of security is necessary to maintain public access to the appropriate spaces, and to limit the places where the public can access department offices and work areas by the configuration and location of doors, and the use of electronic key fobs or access cards.
3. Treatment of Building Entry(ies): The City Hall front-door / back door discussion has been a frequent topic of discussion, for multiple reasons: ADA access, way finding within the building, garbage can storage...etc. The remodel will provide a limited opportunity to define (or re-define) the face of City Hall. It may be possible to develop a primary access to City Hall on the South side of the building, or to further emphasize either the East or West side of the building as the primary entrance. The current direction staff has given to the design team is to make a recommendation based on their professional experience. This will likely mean designing a few options to be considered. If the City Council has a strong preference for one location, it would save time and resources to understand this at this point in time.
4. Other Priorities: The meeting on October 9 will also be an opportunity for members of the City Council to ask questions or provide input on any other aspect of the remodel. Staff would welcome a discussion on any item the Council deems important. Staff is anticipating on presenting a frequent update of the design process to the City Council, with an opportunity to present the final remodel plans as we reach the bidding process in the spring of 2019.

Department Review

This report has been reviewed by the City Manager and the City Engineer.

Significant Impacts

None

Recommendation

- Staff requests further guidance from the City Council for preferences on design concepts

Attachments

None

City Council Staff Report

Subject: Park Maintenance
Author: Brock Hill
Department: Parks
Date: 23 October 2018



Background

Bountiful City Parks Department is committed to providing beautiful and safe family recreational areas that enhance the quality of life for all the citizens of Bountiful. Our parks, trails and open spaces are designed, developed, and maintained using the industries best management practices and highest standards of care. As stewards of these lands we will serve the public with integrity, accountability, and transparency.

This mission statement is what drives our daily park maintenance programs and efforts. The Department is responsible for maintaining the City's 16 Parks (110 acres), selected Streetscapes (7 acres), Facility Landscapes (12 acres), Trailheads (2; Summerwood/Sessions), Open Space (35 acres), and Detention Basins (1 acre).

Maintenance of these properties is a high priority for the City and therefore, as requested by the Council, warrants a discussion about park maintenance standards, expected levels of service, and future projects. This report highlights several levels of service (some of which are new) the Parks Department works to achieve. Staff plans to share this at the Work Session on October 23rd and then would like the City Council to provide direction on their expectations.

Analysis

There are several issues that are of greatest concern which will be addressed during this discussion. They are parks and playgrounds, trees, pavilions, flowerbeds, restrooms, and procedures for responding to citizen's emails and phone calls.

Parks and Playgrounds

- In addition to the weekly maintenance activities of mowing, edging, trimming, and irrigation, all parks are inspected daily including bathrooms, playgrounds, pavilions, safety issues, and garbage collection.
- Sports courts, i.e. tennis, pickleball, basketball, volleyball, are inspected and cleaned weekly. Irrigation systems and controllers are checked and adjusted weekly.
- Trees, shrubs, and structures are inspected monthly.

Trees

- Trees are inspected monthly and dying, dead or diseased trees are reported to the Park Director.
- Dead or diseased trees will be removed within 1 week of being reported.

Pavilions

We have two types of pavilions in the parks; reservable and non-reservable. Each type is maintained at different levels.

Reservable: (400 North – large, 400 North Stage, Creekside, Eggett, North Canyon – large/small, Foss Lewis)

- Each is inspected the day of the reservation. All tables, seats or benches, and concrete are power washed.
- Trash is checked and emptied.
- Plugs are checked and breakers are reset.
- Water, if requested, is checked/made available.

Note: If no reservations in the pavilion, then maintenance is the same as non-reservable.

Non-reservable: (400 North – 2, Fire Fighters – 1, Washington – 1, Brickyard – 1, 1500 – 1, Mueller – 2, Rocket – 1, Cheese – 1, Creekside – 3, North Canyon – 1)

- Checked daily during regular maintenance activities. Garbage cans emptied, issues addressed.
- Tables cleaned/power washed weekly.
- Concrete cleaned/power washed as needed.

Flowerbeds

- Beds will be designed and planted for health and variety of height, color, and interest
- Beds will be checked weekly for plant health, irrigation issues, and weeds. Condition and or issues will be reported back to Parks Director.
- Maintenance actions are taken immediately or scheduled to be completed within 24 hours.

Restrooms

- Checked for cleanliness, paper goods, soap, and vandalism daily. Issues are addressed immediately.
- Vandalism issues are reported to Parks Director and corrective action is scheduled based on severity of damage and availability of replacement products.
- Safety or liability issues are addressed immediately and, if necessary, facility is taken out of service.
- After hour issues are taken on an “on call” number and addressed within 20 minutes.

Resident Response

- Calls and emails are returned or responded to within 24 hours.
- After hour calls are taken by an “on-call” number 24 hours per day. Pavilion reservation, restroom, irrigation, and serious safety/liability issues are addressed within 20 minutes. All other concerns are responded to within 24 hours, once issue has been clearly defined.
- Corrective actions are then taken as needed or required.

Projects

- FY2018-19: Turf at 500 South and I-15 (Sizzler)
Brickyard Bark Park (RAP tax funds)
2 Park Bathroom remodels (Eggett and Cheese)
Pickleball court repair
Creekside Park punch list repairs (Landscape, concrete, bridge, trail retaining)
- FY2019-20: Creekside Park fixes (dry creek bed, hand pumps, tree planting)
3 Bathroom remodels (Zesiger, Washington, Rocket)
Fire Fighter tennis court resurface
North Canyon Trailhead land purchase (RAP tax fund)
- FY2020-21: 3 Bathroom remodels (Mueller, Fire Fighters, 400 North)
Construct North Canyon Trailhead (RAP tax fund)
Replace Eggett Park playground
Rocket Park tennis court resurface

Department Review

This review was completed by the Parks Department and Gary Hill

Recommendation

Based on discussion points and deficiencies identified, staff is seeking Council input and/or adjustments to current maintenance procedures, expectations, and level of service.

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**Minutes of the
BOUNTIFUL CITY COUNCIL**

October 9, 2018 – 6:00 p.m.

Present: Mayor Randy Lewis
Councilmembers Kendalyn Harris, Richard Higginson, Beth Holbrook,
John Marc Knight, Chris Simonsen
City Manager Gary Hill
Assistant City Manager Galen Rasmussen
City Attorney Clinton Drake
City Planner Chad Wilkinson
City Engineer Lloyd Cheney
Finance Director Tyson Beck

Staff and Others Present:
Recording Secretary Nikki Dandurand
So. Davis Rec Center Director Tif Miller

Official notice of the City Council Meeting was given by posting an Agenda at City Hall and on the Bountiful City Website and the Utah Public Notice Website and by providing copies to the following newspapers of general circulation: Davis County Clipper and Standard Examiner.

Work Session – 6:03 p.m.
Planning Conference Room

Mayor Lewis welcomed those in attendance and called the session to order at 6:03p.m.

ICE RIBBON DISCUSSION CONTINUED – MR. GARY HILL

Mr. Gary Hill stated that a month ago, the possibility of a joint venture with the Recreation District for an ice ribbon in the new plaza was presented. Mr. Hill reviewed the goals of the Plaza and what the residents requested most. The City does not want to compete with the Recreation Center, but complement each other. An interlocal agreement is being drafted to provide infrastructure, operations and maintenance, staffing and other and needs to maintain the ice ribbon. Mr. Hill showed several different ice venues for examples. Mr. Tif Miller, Recreation Director, talked about supporting the ice ribbon and working with the City. Both entities hope to provide entertainment and family activities year round. Mr. Tyson Beck also provided a financial background for the funding of the ice ribbon, which includes RAP tax money. The Council agreed to move forward with drafting the interlocal agreement.

CITY HALL REMODEL UPDATE – MR. LLOYD CHENEY

Mr. Cheney stated the design process is starting for the remodel and the RFP is out to select a contractor. City staff recently toured other city hall buildings nearby to view construction ideas. Mr. Cheney stated a major concern is to make the new facility ADA compliant and better public access. Mayor Lewis asked for a more detailed update at the October 23rd Work Session.

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3 **Regular Meeting – 7:03 p.m.**
4 **City Council Chambers**
5

6 Mayor Lewis called the meeting to order at 7:03 p.m. and welcomed those in attendance.
7 Mayor Lewis led the Pledge of Allegiance.
8

9 **PUBLIC COMMENT**

- 10 • Tim Gregory – concerns about construction, dead trees, broken sprinklers in park
11

12 **APPROVE MINUTES OF PREVIOUS MEETING – SEPTEMBER 25, 2018**

13 Mayor Lewis presented the minutes from the previous meeting. Councilman Higginson
14 moved to approve the minutes and Councilman Simonsen seconded the motion. Voting was
15 unanimous with Councilpersons Harris, Higginson, Knight and Simonsen voting “aye”.
16

17 **COUNCIL REPORTS**

18 Councilwoman Harris reported for the BCYC. There will be a children’s Halloween activity
19 on October 26th, from 4-6 p.m. at North Canyon Park.
20

21 **CONSIDER APPROVAL OF:**

- 22 a. **WEEKLY EXPENDITURES > \$1,000 PAID SEPTEMBER 17 & 24, 2018**
23 b. **AUGUST 2018 FINANCIAL REPORT**

24 Mayor Lewis presented the expenditures/financial report and asked for a motion to approve.
25 Councilman Knight moved to approve the weekly expenditures/reports and Councilman Higginson
26 seconded the motion. Voting was unanimous with Councilpersons Harris, Higginson, Knight and
27 Simonsen voting “aye”.
28

29 Councilwoman Holbrook joined the meeting.
30

31 **CONSIDER FINAL SITE PLAN APPROVAL FOR ALPHAGRAPHS LOCATED AT 265 S**
32 **MAIN AND 295 S MAIN, SPENCER ANDERSON, APPLICANT – MR. CHAD WILKINSON**

33 Mr. Wilkinson stated that most of us have noticed the RV building is gone and the demo has
34 begun for the new addition to Alphagraphics. There were only minor changes to the site plan, to
35 include new utilities, combining land parcels, adding easements, etc. Mayor Lewis asked if the
36 Planning Commission gave a unanimous vote. That was confirmed. Councilman Higginson moved
37 to approve the final site plan and Councilwoman Harris seconded the motion. Voting was unanimous
38 with Councilpersons Harris, Higginson, Holbrook, Knight and Simonsen voting “aye”.
39

40 **CONSIDER APPROVAL OF A BEER/LIQUOR LICENSE FOR MANDARIN**
41 **RESTAURANT, 358 E 900 N, ANGEL MANFREDINI, APPLICANT – MR. CHAD**
42 **WILKINSON**

- 43 a. **PUBLIC HEARING**
44 b. **ACTION**

1 Mr. Wilkinson stated this is only a change of ownership. No public hearing is required.
2 Councilman Higginson moved to approve the license and Councilwoman Harris seconded the
3 motion. Voting was unanimous with Councilpersons Harris, Higginson, Holbrook, Knight and
4 Simonsen voting “aye”.

5
6 **ADJOURN TO AN RDA MEETING WITH A SEPARATE AGENDA**

7 Councilman Higginson made a motion to adjourn. A roll call vote is required. All City
8 Council members vote “aye” to adjourn to a closed RDA meeting in the Planning Conference room.
9 Councilwoman Holbrook seconded the motion. Voting was unanimous with Councilpersons Harris,
10 Higginson, Holbrook, Knight and Simonsen voting “aye”.

11
12 The regular session of the City Council was adjourned at 7:13 p.m.
13
14

Mayor Randy Lewis

City Recorder

City Council Staff Report

Subject: Expenditures for Invoices > \$1,000 paid
October 1, 8, & 15, 2018

Author: Tyson Beck, Finance Director

Department: Finance

Date: October 23, 2018



Background

This report is prepared following the weekly accounts payable run. It includes payments for invoices hitting expense accounts equaling or exceeding \$1,000.

Payments for invoices affecting only revenue or balance sheet accounts are not included. Such payments include: those to acquire additions to inventories, salaries and wages, the remittance of payroll withholdings and taxes, employee benefits, utility deposits, construction retention, customer credit balance refunds, and performance bond refunds. Credit memos or return amounts are also not included.

Analysis

Unless otherwise noted and approved in advance, all expenditures are included in the current budget. Answers to questions or further research can be provided upon request.

Department Review

This report was prepared and reviewed by the Finance Department.

Significant Impacts

None

Recommendation

Council should review the attached expenditures.

Attachments

Weekly report of expenses/expenditures for invoices equaling or exceeding \$1,000 paid October 1, 8, & 15, 2018.

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00
Paid October 1, 2018**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
10301	3V LANDSCAPE LLC	Golf Course	55.5500.426100.	Special Projects	3,920.00	205201	BRGC1	Green's Repair Project
8666	ACCUSHAPE INC	Police	10.4210.445100.	Public Safety Supplies	1,450.00	205203	3654	Officer Comfort Fit Vests
1212	ASPLUNDH TREE EXPERT	Light & Power	53.5300.448632.	Distribution	5,268.80	205209	77X10218	Tree Trimming
1212	ASPLUNDH TREE EXPERT	Light & Power	53.5300.448632.	Distribution	5,268.80	205209	77X10318	Tree Trimming
1212	ASPLUNDH TREE EXPERT	Light & Power	53.5300.448632.	Distribution	5,268.80	205209	78P17218	Tree Trimming
1212	ASPLUNDH TREE EXPERT	Light & Power	53.5300.448632.	Distribution	5,268.80	205209	78P17318	Tree Trimming
1230	AUTOMATED ACCOUNTING	Light & Power	53.5300.431000.	Profess & Tech Services	1,500.00	205210	16698	Professional Services for FYE Updates & Changes
1615	CENTURYLINK	Enhanced 911	10.4219.428000.	Telephone Expense	3,522.28	205224	09222018	Acct # 801-578-0401 452B
1889	DAVIS COUNTY GOVERNMENT	Police	10.4210.431600.	Animal Control Services	7,960.87	205231	90300	Aug. 2018 Animal Control
5351	DEERE CREDIT, INC.	Landfill	57.5700.425000.	Equip Supplies & Maint	1,729.85	205232	2054948	Front End Loader Lease
10270	DOUBLE H TRUCK LLC	Sanitation	58.5800.425000.	Equip Supplies & Maint	3,500.00	205234	2	Sanitation Truck Motor Repair
2003	DUNCAN ELECTRIC SUPP	Light & Power	53.0000.151110.	Trans & Distr Inventory	1,992.90	205235	110209-1	Street Light Jct Box
2055	ELECTRICAL CONSULTAN	Light & Power	53.5300.474870.	CIP 17 Dist SysFeeder-Intr-Tie	1,024.66	205237	77697	Proj #BCP-014 // Prepare Easements Part 2
2055	ELECTRICAL CONSULTAN	Light & Power	53.5300.474870.	CIP 17 Dist SysFeeder-Intr-Tie	4,262.09	205237	77696	Capital Project #17 Acquire Easements
6375	FLOWTECH P.C.S. LLC	Golf Course	55.5500.474500.	Machinery & Equipment	14,705.00	205242	1279	Construction Deposit
2329	GORDON'S COPYPRINT	Legislative	10.4110.422000.	Public Notices	1,786.80	205246	029098	Newsletter for August 2018
2649	IPSA-INTERMOUNTAIN P	Light & Power	53.5300.423000.	Travel & Training	1,250.00	205263	2167	Hotline School
6959	JANI-KING OF SALT LA	Light & Power	53.5300.424002.	Office & Warehouse	1,775.00	205265	SLC10180075	October 2018 Custodial Service
2727	JOHNSON, ALLEN R	Light & Power	53.5300.423000.	Travel & Training	1,084.32	205269	10012018	Trvl & Train for Fall Deed Mtg
4996	KEDDINGTON & CHRISTE	Water	51.5100.431100.	Legal And Auditing Fees	1,241.29	205270	3132	Second Interim Bill for audit for yr end 06/2018
4996	KEDDINGTON & CHRISTE	Finance	10.4140.431100.	Legal And Auditing Fees	3,508.40	205270	3132	Second Interim Bill for audit for yr end 06/2018
4996	KEDDINGTON & CHRISTE	Light & Power	53.5300.431100.	Legal And Auditing Fees	4,601.91	205270	3132	Second Interim Bill for audit for yr end 06/2018
8137	LAKEVIEW ASPHALT PRO	Streets	10.4410.441200.	Road Matl Patch/ Class C	1,078.00	205273	3100	Patching
8137	LAKEVIEW ASPHALT PRO	Streets	10.4410.441200.	Road Matl Patch/ Class C	3,244.01	205273	3129	Patching
8137	LAKEVIEW ASPHALT PRO	Streets	45.4410.473200.	Road Materials - Overlay	6,237.39	205273	3126	Overlay
8137	LAKEVIEW ASPHALT PRO	Streets	45.4410.473200.	Road Materials - Overlay	12,937.16	205273	3120	Overlay
8137	LAKEVIEW ASPHALT PRO	Streets	45.4410.473200.	Road Materials - Overlay	21,548.45	205273	3085	Overlay
8404	MAIN STREET INVESTME	Legislative	45.4110.472100.	Buildings	8,779.50	205282	10012018	Rent for November 2018
4764	MCNEILUS TRUCK & MAN	Sanitation	58.5800.425000.	Equip Supplies & Maint	1,718.72	205284	4142713	Parts
3195	MOUNTAINLAND SUPPLY	Water	51.5100.448400.	Dist Systm Repair & Maint	2,162.43	205287	S102801866.001	Check Valves
3195	MOUNTAINLAND SUPPLY	Water	51.5100.448400.	Dist Systm Repair & Maint	2,329.49	205287	S102801472.001	Parts
3321	NORTHERN POWER EQUIP	Light & Power	53.0000.151110.	Trans & Distr Inventory	1,131.00	205294	51339	1/0 Elbow
3972	SOLAR TURBINES, INC.	Light & Power	53.5300.448614.	Plant Equipment Repairs	1,508.00	205316	AFS10004657	#3 Emmissions Tuning
3972	SOLAR TURBINES, INC.	Light & Power	53.0000.151170.	Plant Inventory	3,207.05	205316	11545384544	Thermocouple Type N
9984	SPADE EXCAVATING INC	Light & Power	53.5300.474850.	CIP 15 Dist Sys Feeder#37?East	4,312.62	205318	40543	Project: Bountiful Waterline Project
9984	SPADE EXCAVATING INC	Water	51.5100.473110.	Water Mains	110,066.16	205318	40543	Project: Bountiful Waterline Project
4171	THATCHER COMPANY	Water	51.5100.448000.	Operating Supplies	1,752.13	205327	1452481	Fluoride
4171	THATCHER COMPANY	Water	51.5100.448000.	Operating Supplies	1,752.13	205327	1452482	Fluoride
4229	TOM RANDALL DIST. CO	Streets	10.4410.425000.	Equip Supplies & Maint	20,902.88	205329	0280630	Fuel
6545	TRISTAR RISK MANAGE	Workers' Comp Insurance	64.0000.111564.	Cash In Bank-Workers Comp	10,556.44	205332	105060	Workers Compensation
4574	WHEELER MACHINERY CO	Landfill	57.5700.425000.	Equip Supplies & Maint	1,067.10	205349	PS000709011	Motor Parts
7732	WINGFOOT CORP	Police	10.4210.426000.	Bldg & Grnd Suppl & Maint	1,895.00	205352	101857	Sept. 2018 Cleaning Services
10269	YAMAHA MOTOR FINANCE	Golf Course	55.5500.425100.	Special Equip Maintenance	41,937.73	205354	649097	2018 Yearly Payment Golf Cart Lease
TOTAL:					\$ 342,013.96			

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00
Paid October 8, 2018**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT_DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
VENDOR	VENDOR NAME	ORG DESC	ACCOUNT	ACCOUNT_DESC	AMOUNT	CHECK NO	INVOICE	FULL DESC
7666	AMERICAN CHILLER MEC	Police	10.4210.426000.	Bldg & Grnd Suppl & Maint	5,011.77	205359	14187	A/C maintenance and repairs
1142	AMERICOM TECHNOLOGY	Light & Power	53.5300.474910.	CIP 21 Dist Sys 1940 S 200 W	10,551.98	205360	55115	Boring distribution system project
1142	AMERICOM TECHNOLOGY	Light & Power	53.5300.474870.	CIP 17 Dist SysFeeder-Intr-Tie	87,842.46	205360	55110	Boring for distribution system feeder
1395	BODY WORKS UNLIMITED	Liability Insurance	63.6300.451150.	Liability Claims/Deductible	1,985.55	205365	07302018	Auto Body work from Police Accident
1395	BODY WORKS UNLIMITED	Liability Insurance	63.6300.451150.	Liability Claims/Deductible	2,563.64	205365	10032018	Auto Body work from Police Accident
1720	CODALE ELECTRIC SUPP	Light & Power	53.0000.151110.	Trans & Distr Inventory	1,617.00	205366	S6487221.001	3-PT JUNCTIONS
1767	CONTEMPORARY IMAGE P	Light & Power	53.5300.445202.	Uniforms	1,194.00	205368	35514	WORK HATS
2144	FATPOT TECHNOLOGIES,	Police	10.4210.425500.	Terminal Maint & Queries	9,000.00	205372	FPIMV180169	CAD CONNECTION, RMS MIGRATION
8635	LARSEN LARSEN NASH &	Legal	10.4120.431100.	Legal And Auditing Fees	1,350.00	205381	09302018	Attorney Fees
3875	SEMI SERVICE INC	Streets	10.4410.425000.	Equip Supplies & Maint	3,530.88	205391	W123026	LASER GUIDE FOR PLOW TRUCK
4229	TOM RANDALL DIST. CO	Golf Course	55.5500.425000.	Equip Supplies & Maint	3,120.42	205393	0278988	Fuel
4450	VERIZON WIRELESS	Police	10.4210.428000.	Telephone Expense	1,051.50	205396	9815157117	JETPACK, EQUIPMENT
4450	VERIZON WIRELESS	Police	10.4210.445100.	Public Safety Supplies	1,259.98	205396	9815157117	JETPACK, EQUIPMENT
4450	VERIZON WIRELESS	Police	10.4210.425200.	Communication Equip Maint	1,480.67	205396	9815157117	JETPACK, EQUIPMENT
TOTAL:					<u>\$ 131,559.85</u>			

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00
Paid October 15, 2018**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
5368	ACE DISPOSAL INCORPO	Recycling	48.4800.431550.	Recycling Collectn Service	33,811.28	205398	10012018	Recycling Fees for Sept. 2018
1212	ASPLUNDH TREE EXPERT	Light & Power	53.5300.448632.	Distribution	4,197.60	205407	791175518	Tree Trimming
1212	ASPLUNDH TREE EXPERT	Light & Power	53.5300.448632.	Distribution	5,268.80	205407	79175418	Tree Trimming
1395	BODY WORKS UNLIMITED	Parks	10.4510.425000.	Equip Supplies & Maint	2,481.77	205413	605	Autobody Work, & Airbags ect. Quote ID 36742059
1447	BP ENERGY COMPANY	Light & Power	53.5300.448611.	Natural Gas	179,602.17	205415	1479777	Natural Gas
4874	BUGNAPPERS (THE)	Cemetery	59.5900.426000.	Bldg & Grnd Suppl & Maint	3,750.00	205418	371831	Fertilizer and misc treatment
4806	CHEMTECH-FORD, INC	Water	51.5100.431000.	Profess & Tech Services	3,680.00	205428	1810839	Lab Fees
9982	DIAMOND TREE EXPERTS	Landfill	57.5700.462400.	Contract Equipment	48,081.00	205443	7155500.2	Landfill Greenwaste Grinding
5281	DOMINION ENERGY UTAH	Light & Power	53.5300.448611.	Natural Gas	20,081.03	205446	10032018E	Acct # 6056810000
9275	ENVIRONMENTAL PLANN	Legislative	45.4110.473100.	Improv Other Than Bldgs	86,010.91	205450	9060	Project #3 DOWNTOWN PLAZA FOR SEPT. 2018
2164	FERGUSON ENTERPRISES	Water	51.5100.448400.	Dist Systm Repair & Maint	1,756.30	205456	1064785	Misc. Parts
2164	FERGUSON ENTERPRISES	Water	51.5100.448400.	Dist Systm Repair & Maint	2,059.09	205456	1067570	Misc. Parts
2164	FERGUSON ENTERPRISES	Water	51.5100.448400.	Dist Systm Repair & Maint	5,886.75	205456	1067573	Misc. Parts
10342	FRUIT HEIGHTS CITY	Storm Water	49.4900.422000.	Public Notices	8,122.00	205460	09302018	Davis County Storm Water Coaliton Annual Dues
2719	JMR CONSTRUCTION INC	Light & Power	53.5300.448632.	Distribution	2,118.95	205481	10082018	Work completed in Septmeber 2018
2719	JMR CONSTRUCTION INC	Parks	10.4510.426000.	Bldg & Grnd Suppl & Maint	2,940.70	205481	10082018	Work completed in Septmeber 2018
2719	JMR CONSTRUCTION INC	Storm Water	49.4900.441250.	Storm Drain Maintenance	12,458.50	205481	10082018	Work completed in Septmeber 2018
2719	JMR CONSTRUCTION INC	Water	51.5100.461300.	Street Opening Expense	14,171.86	205481	10082018	Work completed in Septmeber 2018
2719	JMR CONSTRUCTION INC	Streets	10.4410.473400.	Concrete Repairs	34,346.68	205481	10082018	Work completed in Septmeber 2018
8137	LAKEVIEW ASPHALT PRO	Streets	10.4410.441200.	Road Matl Patch/ Class C	1,076.85	205487	3167	Patching
8137	LAKEVIEW ASPHALT PRO	Streets	10.4410.441200.	Road Matl Patch/ Class C	2,157.93	205487	3137	Patching
8137	LAKEVIEW ASPHALT PRO	Streets	10.4410.441200.	Road Matl Patch/ Class C	3,543.16	205487	3158	Patching
8137	LAKEVIEW ASPHALT PRO	Streets	10.4410.441200.	Road Matl Patch/ Class C	4,316.62	205487	3174	Patching
8137	LAKEVIEW ASPHALT PRO	Streets	10.4410.441200.	Road Matl Patch/ Class C	4,615.38	205487	3180	Patching
8137	LAKEVIEW ASPHALT PRO	Streets	10.4410.441200.	Road Matl Patch/ Class C	7,008.16	205487	3152	Patching
2886	LAKEVIEW ROCK PRODUC	Water	51.5100.461300.	Street Opening Expense	3,168.53	205488	363194	Road Base
2987	M.C. GREEN & SONS IN	Storm Water	49.4900.473106.	New Storm Drains > 400'	212,997.69	205500	3842	Applicaton 8 Storm Drain Projects #2721
3195	MOUNTAINLAND SUPPLY	Water	51.5100.448400.	Dist Systm Repair & Maint	1,642.62	205509	S102810524.001	Bronze Saddle
10309	PRECISION LANDWORKS	Golf Course	55.5500.426100.	Special Projects	21,445.00	205525	871	Hours worked on the course. Sod, Holes, demo ect
4026	STAKER & PARSONS	Streets	10.4410.441200.	Road Matl Patch/ Class C	2,204.85	205550	4757060	Asphalt // Customer # 18111
4026	STAKER & PARSONS	Streets	10.4410.441200.	Road Matl Patch/ Class C	10,435.40	205550	18111	Asphalt // Customer # 18111
4027	STANDARD & POOR'S FI	Light & Power	53.5300.484000.	Paying Agents Fees	2,000.00	205551	11357158	Public Power Annual Fee 10/01/2018 - 09/30/2019
5123	STORAGE BATTERY SYST	Light & Power	53.5300.448636.	Special Equipment	7,372.00	205558	707750	Battery Testing for the Power Plant
4229	TOM RANDALL DIST. CO	Streets	10.4410.425000.	Equip Supplies & Maint	2,064.03	205564	0281326	Fuel
4331	USA BLUE BOOK (DBA)	Water	51.5100.448000.	Operating Supplies	1,058.00	205575	694615	Pump
4344	UTAH BARRICADE COMPA	Streets	10.4410.441300.	Street Signs	4,970.50	205576	73842	Barricade Rentals
5095	UTAH DEPARTMENT OF H	Water	51.5100.431000.	Profess & Tech Services	3,680.00	205577	19L0000384	Lab Fees
4413	UTAH STATE TAX COMMI	Workers' Comp Insurance	64.6400.461200.	State Tax On Premium	4,000.00	205580	10152018	3RD QTR 2018 SELF INS PREM PMT
4450	VERIZON WIRELESS	Water	51.5100.428000.	Telephone Expense	1,027.93	205582	9815619933	Acct # 442080322-00001
4536	WEBER-BOX ELDER	Light & Power	53.5300.448628.	Pineview Hydro	9,853.32	205586	10082018	3rd Quarter Generation for PineView 2018
TOTAL:					\$ 781,463.36			

City Council Staff Report



Subject: Turbine Exhaust Stack Replacement
Author: Allen Ray Johnson
Department: Light & Power
Date: October 23, 2018

Background

We experienced our last major “east wind” event in December of 2011. Along with the extensive system damage we experienced, the 50 foot exhaust stack for the #1 turbine at the power plant was damaged. We promptly arranged for the replacement of the exhaust stack and had it repaired and back in service for the 2012 summer generation season.

Unfortunately the replacement stack is not as quiet as the stack that was damaged. Because our power plant is located adjacent to a residential area, we are planning to correct that problem by replacing the exhaust stack with a new quieter stack.

Analysis

The cost to complete the exhaust stack replacement is as follows.

New Exhaust Stack, Solar Turbine Inc.	\$179,346
Shipping of New Exhaust Stack	\$10,000
Remove old Stack/Install New Stack, CCI	\$41,995
Insulation of Exhaust Pipe, Miller Insulation	\$5,200

Total Project Cost **\$236,541**

Department Review

This has been reviewed by the Power Department Staff and the City Manager.

Significant Impacts

This project will be paid for out of account 535300-448613, Plant Equipment and Generation.

Recommendation

The Staff recommend the approval of the exhaust stack replacement for the #1 turbine for a total cost of \$236,541.

This item will be discussed at the Power Commission meeting Tuesday morning, October 23, 2018, and we will bring their recommendation to the City Council meeting that night.

Attachments

Photo of the 50 foot exhaust stack.

This is a picture of the existing 50 foot exhaust stack for the #1 turbine generator.



City Council Staff Report

Subject: UAMPS Firm Power Project. Resolution 2018-12
Author: Allen Ray Johnson, Director
Department: Light & Power
Date: October 23, 2018



Background

We have adopted a future power hedging policy to stabilize our power purchasing budget to meet our anticipated future power needs. We typically purchase power five years or more in advance through UAMPS. The UAMPS board recently approved a policy that requires purchases for a period of longer than a year to be made through the Firm project rather than the Pool project. This was passed because there is additional language to protect UAMPS and other members from any purchase from another member. In order to continue purchasing power for a period over one year through UAMPS, we need to rejoin the Firm Power Project. The City of Bountiful has been a member of the Firm in the past. We dropped out when our long-term contract expired through Idaho power in 2009 to avoid paying the board fees associated with the project.

Analysis

This project will allow us to purchase power through UAMPS to hedge our future power needs. It will cost the city a minimum of \$600 a year plus any power purchases for our share of the board expenses. This was anticipated and was included within the current budget to rejoin this project. We would like to begin the shopping for another five year or longer power purchase.

Department Review

This has been reviewed by the Power Department Staff, the City Attorney, and the City Manager.

Significant Impacts

The funds to join the project are included in the 2018-19 fiscal budget and will be paid for from power costs. Without rejoining the Firm Power Project we will be unable to buy power through UAMPS for more than one year at a time.

Recommendation

Staff recommend that we approve the Mayor to sign Resolution No. 2018-12 so that the City can become a member of the UAMPS Firm Power Supply Project.

This project will be discussed at the Power Commission meeting on Tuesday morning and we will bring their recommendation to the meeting.

Attachments

Resolution No. 2018-12

RESOLUTION NO. _____

A RESOLUTION AUTHORIZING THE EXECUTION AND DELIVERY OF A POWER SUPPLY AGREEMENT WITH UTAH ASSOCIATED MUNICIPAL POWER SYSTEMS; AND RELATED MATTERS.

***** ***** *****

WHEREAS, Bountiful City, Utah (the “*Member*”) owns and operates a utility system for the provision of electric energy to its residents and others (the “*System*”) and is a member of Utah Associated Municipal Power Systems (“*UAMPS*”) pursuant to the provisions of the Utah Associated Municipal Power Systems Amended and Restated Agreement for Joint and Cooperative Action dated as of March 20, 2009, as amended (the “*Joint Action Agreement*”);

WHEREAS, the Member desires to purchase all or a portion of its requirements for electric power and energy from or through UAMPS and has entered into a Power Pooling Agreement with UAMPS to provide for the efficient and economic utilization of its power supply resources;

WHEREAS, firm transactions may be advantageously utilized by the Member to manage costs of acquiring bulk supplies of electric power and energy to meet the requirements of the consumers served by the System and UAMPS has offered to enter into a Master Firm Power Supply Agreement (the “*Power Supply Agreement*”) with the Member pursuant to which UAMPS and the Member may from time to time enter into various firm transactions for the purchase and sale of firm supplies of electric power and energy; and

WHEREAS, the Member now desires to authorize and approve the Power Supply Agreement and to delegate authority to the Member’s Representative to UAMPS (the “*Member Representative*”) to enter into firm power supply transactions from time to time with UAMPS thereunder, subject to the parameters set forth in this Resolution;

NOW, THEREFORE, BE IT RESOLVED by the City Council of Bountiful City as follows:

Section 1. Execution, Delivery and Filing of the Power Supply Agreement. The Power Supply Agreement, in substantially the form presented at the meeting at which this resolution is adopted, is hereby authorized and approved, and the Mayor is hereby authorized, empowered and directed to execute and deliver the Power Supply Agreement on behalf of the Member, and the City Recorder is hereby authorized, empowered and directed to attest, countersign and affix the corporate seal of the Member to the Power Supply Agreement, with such changes to the Power Supply Agreement from the form attached hereto as are approved by the Mayor, his execution thereof to constitute conclusive evidence of such approval. Promptly upon its execution, the Power Supply Agreement shall be filed in the official records of the Member.

Section 2. Authorization of Transactions and Transaction Schedules. The Member Representative is hereby authorized to enter into one or more Transactions with UAMPS pursuant to the provisions of the Power Supply Agreement and to execute on behalf of the Member one or more Transaction Schedules reflecting such Transactions. This authorization shall extend to all Transactions which, in the aggregate, (i) provide a quantity of electric power energy that does not exceed the Member's anticipated requirements for the period covered by the Transaction or Transactions (such anticipated requirements being as determined by the Member Representative based upon the operating history of the System) and (ii) are reasonably anticipated to require payments by the Member in each year not exceeding the budgeted power supply costs of the System for the fiscal year in which such Transaction or Transactions are entered into by the Member. All other Transactions shall require the prior approval of the UAMPS Board.

Section 3. Other Actions with Respect to the Joint Action Agreement. The Mayor, City Recorder, the Member Representative and other officers and employees of the Member shall take all actions necessary or reasonably required to carry out, give effect to, and consummate the transactions contemplated hereby and shall take all actions necessary to carry out the execution and delivery of the Power Supply Agreement and the performance thereof.

Section 4. Miscellaneous; Effective Date. (a) All previous acts and resolutions in conflict with this resolution or any part hereof are hereby repealed to the extent of such conflict.

(b) In case any provision in this resolution shall be invalid, illegal or unenforceable, the validity, legality and enforceability of the remaining provisions shall not in any way be affected or impaired thereby.

(c) This resolution shall take effect immediately upon its adoption and approval.

ADOPTED AND APPROVED this _____ day of _____, 2018.

BOUNTIFUL CITY

Mayor

ATTEST AND COUNTERSIGN:

City Recorder

[SEAL].

City Council Staff Report



Subject: Renaissance Place Parking Easement Agreement
Author: Clinton Drake
Dept: Legal
Date: 23 October 2018

Background

On October 17, 2017, the Bountiful City Council approved a Development Agreement with the owner of Renaissance Place (Town Center, LLC). Section 5.4 of that Agreement states that the City shall grant a perpetual parking easement for the benefit of a new mixed use commercial/residential building (Project) at Renaissance Place. Pursuant to the Agreement, City staff and Town Center, LLC have negotiated the attached Parking Easement Agreement.

Analysis

Approving and granting the Parking Easement Agreement is required by the Development Agreement previously approved by the Council. The Parking Easement Agreement grants a perpetual easement for the use and occupancy of forty (40) undesignated parking stalls in the lower and middle levels of the parking structure located at Renaissance Place. The parking stalls will be utilized by residents, tenants, guests and invitees of the Project. Granting the easement is a necessary step in the development and construction of the Project. The Easement Agreement is be perpetual and will run with the land. This is necessary to provide assurances to the Owner that there is parking for the Project. The location of the stalls will be determined by the City and may be relocated from time to time in the City's discretion. The Parking Easement Agreement also contains limitations on how the parking stalls may be used. The Parking Easement Agreement prohibits the following: using the stalls for storage; the parking of trailers, boats and other recreational vehicles; trucks with a gross weight of over 12,000 pounds; acts or practices that may damage the parking structure or be a nuisance to other users of the parking garage.

Department Review

This Staff Report was prepared by the City Attorney and reviewed by the City Manager.

Significant Impacts

There are no significant impacts.

Recommendation

It is recommended that the City Council approve the Parking Easement Agreement with Town Center, LLC.

Attachments

Parking Easement Agreement

WHEN RECORDED RETURN TO:

Bountiful City Attorney
790 South 100 East
Bountiful, Utah 84010

PARKING EASEMENT AGREEMENT

THIS PARKING EASEMENT AGREEMENT (“Easement”) is executed as of the _____ day of October, 2018, by and between the CITY OF BOUNTIFUL, UTAH, as “Grantor”, and TOWN CENTER, LLC, a Utah limited liability company, and its successors and assigns, as “Grantee”.

1. GRANTOR OWNERSHIP; SUCCESSOR TO MUNICIPAL BUILDING AUTHORITY APPROVAL

The Grantor, as successor to the Municipal Building Authority of the City of Bountiful (the “Authority”) holds legal and equitable title to the approximately four hundred and ninety-three (493) public parking stalls located within that certain parking structure facility located at approximately 1551 South Main Street, Bountiful, Davis County, Utah and more particularly described on Exhibit “A” attached hereto and incorporated herein (the “Parking Structure”). Pursuant to that certain Development Agreement between Grantor and Grantee dated as of October 17, 2017 (the “Development Agreement”), Grantor agreed to grant and convey to Grantee, and its successors and assigns as developer of the “Project” described in Section 2 below, a perpetual parking easement with respect to certain parking stalls within the Parking Structure.

2. GRANT OF EASEMENT AND DESCRIPTION OF PROPERTY

As authorized by the Development Agreement, Grantor hereby grants and conveys to Grantee, its successors and assigns as owners of the “Project” described below, a perpetual easement for the use and occupancy of forty (40) undesignated parking stalls in the lower and middle levels of the Parking Structure (the “Easement Stalls”), for the benefit of Grantee’s adjacent property located in Bountiful City, Davis County, Utah, more particularly described on Exhibit “B” attached hereto and incorporated herein, and known as the “Renaissance Place” mixed use commercial and residential building (the “Project”). The location of the Easement Stalls shall be located as determined by Grantor’s designated manager of the Parking Structure, and may be relocated in whole or in part from time to time as determined by the manager. Grantee shall have the right to peacefully and quietly enjoy the Easement Stalls pursuant to this Easement. The use and occupation of the Easement Stalls by Grantee shall include the use in common with others entitled thereto of the access areas, entrances, exits, parking ramps, driveways, traffic lanes, walkways and other common areas of the Parking Structure. It is contemplated that Grantee will assign or license its rights under this Easement to an affiliated

single purpose entity which shall assume the obligations of the Grantee under this Easement, and which will develop and construct the Project. The right to use and occupy the Easement Stalls as set forth herein will run with the land and benefit all future owners of the Project.

3. **GRANTEE PAYMENT**

Pursuant to the “Supplemental Declaration To Declaration of Covenants, Conditions, Easements and Restrictions For Renaissance Towne Centre” recorded June 22, 2018 as Entry No. 3100681 in the Official Records of the Davis County, Utah Recorder’s Office (the “Supplemental Declaration”), and pursuant to the terms of the “Supplemental Plat” and the “Master Declaration” referenced therein, the real property described on Exhibit “B” hereto was incorporated into Renaissance Towne Centre (a Commercial Mixed Use Planned Unit Development) and thereby became liable to pay Assessments to the Renaissance Towne Centre Master Association (the “Master Association”), which Assessments include provision for payment of an equitable portion of the operating costs of the Parking Structure. Grantee’s obligation to pay Master Association Assessments is set forth in Section 4 of the above referenced Supplemental Declaration, and constitutes good and valuable consideration for this Easement.

4. **USE OF PROPERTY**

4.1. The Easement Stalls may be used only for the purpose of parking motor vehicles in connection with the ingress and egress to and from the Parking Structure, the use by residents, tenants, guests and invitees of the Project, and the conduct of business at the Project and for no other purpose or purposes without Grantor’s prior written consent. Grantee’s use of the Easement Stalls shall be subject to the following conditions:

(a) Grantee shall not do or permit anything to be done in or about the Easement Stalls, or bring or keep anything in the Easement Stalls that will in any way increase the premiums for or necessity of fire insurance upon the Parking Structure.

(b) Grantee will not perform any act or carry on any practices that may damage the Parking Structure or be a nuisance or menace to persons utilizing the Parking Structure.

(c) Grantee shall not cause, maintain or permit any outside storage on or about the Easement Stalls.

(d) Grantee shall not commit or suffer any waste upon or about the Easement Stalls, or any nuisance, or other act or thing which may disturb the quiet enjoyment of any other patrons or uses of the Parking Structure.

(e) Grantee shall not permit the parking of any trailer, boat, all-terrain vehicle, off road vehicle, or recreational vehicle on any of the Easement Stalls. Easement Stalls shall be used only for the parking of motor vehicles which for the purposes of this

agreement shall be limited to automobiles, personal trucks with a gross vehicle weight of less than 12,000 pounds and motorcycles licensed for operation on public streets.

4.2. Grantee hereby agrees and acknowledges that all parking stalls in the Parking Structure which are not subject to this Easement shall remain public parking stalls, specifically subject to the rights of the general public to use, access, enjoy and occupy any such non-reserved parking stalls on a non-exclusive, first-come, first-served basis unless otherwise designated by Grantor.

5. ACCEPTANCE OF PROPERTY

Grantee has inspected the Easement Stalls and accepts them “as is” with no representation or warranty by Grantor regarding the condition of the Easement Stalls or their suitability for Grantor’s use.

6. ALTERATIONS; MISUSE

6.1. Grantee agrees not to make or permit or suffer to be made any alterations, improvements or additions to the Easement Stalls or any part thereof without prior written consent of Grantor except such repairs, if any, as Grantee is required to make by the provisions of this Easement.

6.2. Throughout the period hereof, Grantee shall keep the Easement Stalls utilized by Grantee or the Project in good condition, and all appurtenances, fixtures, and equipment relating thereto, and shall not drill into, disfigure, or deface any part of the buildings, grounds, or any part or portion of the Parking Structure of which the Easement Stalls are a part, or suffer the same to be done. While Grantor and Grantee hereby agree and acknowledge that Grantee has no obligation for the maintenance and repair of the Easement Stalls or any other portion of the Parking Structure, Grantee shall repair any damage to an Easement Stall, its appurtenances, fixtures, and equipment, whenever needed as a result of the misuse or neglect of Grantee and/or its successors, assigns, licensees, and designees. In the event that Grantee fails to make or commence making any such repairs (which shall be diligently pursued until completion) within (30) days following notice from Grantor of the need for such repairs, Grantor may, at its option, perform such repairs for Grantee and bill Grantee for the cost thereof, which shall be payable to Grantor within thirty (30) days of delivery of Grantor’s statement setting forth such costs.

7. DESTRUCTION

If the whole or any material part (e.g., more than fifty percent) of the Easement Stalls shall be damaged or destroyed, and are not capable of being rebuilt from insurance proceeds or otherwise within twenty-four (24) months, this Easement and the rights granted herein shall terminate with respect to such damaged or destroyed portion as of the date of such damage or destruction, and any unusable stalls shall be relocated in the Parking Structure. Grantor shall be entitled to any and all proceeds of insurance payable on account of such damage or destruction, and Grantee shall have no right, title, or interest whatsoever therein.

8. INDEMNIFICATION BY GRANTEE

Grantee shall indemnify, defend and hold Grantor, Grantor's management company, and their respective officers, directors, members, managers, partners, agents and employees harmless from any and all loss, costs, damages, expenses and liability (including, without limitation, court costs and attorneys' fees) incurred in connection with or arising in any way from (a) the use of the Easement Stalls by Grantee or any of its employees, agents, subcontractors, licensees or invitees, (b) the exercise of Grantee's rights under this Easement, or (c) any breach by Grantee of the terms hereof, except if any such loss is caused or alleged to be caused by the negligence or fault of Grantor or its agents, or such loss arises from the gross negligence or willful misconduct of Grantor or its agents. If any proceeding is filed for which indemnity is required hereunder, Grantee agrees, upon request therefore, to defend the indemnified party in such proceeding at its sole cost with counsel satisfactory to the indemnified party or, at the option of Grantor, Grantee shall reimburse the indemnified party for any legal fees, costs, or other expenses incurred by the indemnified party in any such proceeding or action. Notwithstanding the foregoing, to the extent that the operating costs of the Parking Structure that are reimbursed by Grantee include the amounts paid by Grantor or its property manager as premiums for public liability insurance, casualty insurance, or other types of insurance, Grantee shall be named as an additional insured under such policies of insurance.

9. ENTRY BY GRANTOR

Grantee shall permit Grantor and Grantor's agents and property manager to inspect the Easement Stalls at any time for the purpose of inspecting or making repairs, alterations, or additions to any portion of the Parking Structure or the Easement Stalls so long as such entry does not unreasonably interfere with Grantee's, or its successors, assigns, licensees and designees, use, occupancy and enjoyment of the Easement Stalls.

10. ASSIGNMENT, SUBLETTING AND LICENSING

Grantee shall have the right to assign or license its rights under this Easement to an affiliate, a related party or successor-in-interest as owner of the Project, and to occupants, tenants, customers, invitees, and guests, of or on the Project, and to encumber or collaterally assign such rights as security, to a construction or long term lender to the Project without the consent of Grantor. Grantee shall not otherwise assign this Easement or any interest in this Easement. Grantee shall have the right to license the use of all or any portion of the Easement Stalls and permit the use of the Easement Stalls by any person or persons other than Grantee, who are occupants, tenants, customers, invitees, or guests of the Project.

11. BREACH BY GRANTEE AND REMEDIES

11.1. In the event Grantee breaches any of the terms, covenants, and conditions of this Easement, this Easement shall remain in full force and effect and Grantor may specifically enforce all its rights and remedies under this Easement by appropriate legal proceedings.

11.2. Grantee shall not be in default unless Grantee fails to perform obligations within a reasonable time. Grantor or its property manager shall give written notice of any failure by Grantee to perform any of its obligations under this Easement to Grantor and to any mortgagee or beneficiary under any deed of trust encumbering the adjacent property benefited by this Easement whose name and address have been furnished to Grantor in writing. Grantee shall not be in default under this Easement unless Grantee (or such mortgagee or beneficiary) fails to cure such non-performance within thirty (30) days after receipt of Grantor's notice of default. However, if such non-performance reasonably requires more than thirty (30) days to cure, Grantee shall not be in default if such cure is commenced within such 30-day period and thereafter diligently pursued to completion.

12. **DEFAULT BY GRANTOR AND REMEDIES**

Grantor shall not be in default unless Grantor fails to perform obligations required of Grantor within a reasonable time. Grantee shall give written notice of any failure by Grantor to perform any of its obligations under this Easement to Grantor and Grantor shall not be in default under this Easement unless Grantor fails to cure such non-performance within thirty (30) days after receipt of Grantee's notice. However, if such non-performance reasonably requires more than thirty (30) days to cure, Grantor shall not be in default if such cure is commenced within such 30-day period and thereafter diligently pursued to completion. Upon default by Grantor after such 30-day notice and opportunity to cure, Grantee shall have all remedies available at law or in equity, but in no event shall Grantee seek or obtain a monetary judgment against Grantor.

13. **NOTICES**

All notices shall be in writing and shall be sufficiently given and served upon the other party if sent by commercial overnight courier or certified mail, return receipt requested, postage prepaid, and addressed as follows:

To Grantee, addressed to: Town Center, LLC
1560 S. Renaissance Towne, Drive, Suite 104
Bountiful, Utah 84010

To Grantor, addressed to: City of Bountiful
790 South 100 East
Bountiful, Utah 84010
Attention: City Manager

or to such other place as Grantor or Grantee may from time to time designate by notice to the other party. Any notice, demand, or other communication under this Easement shall be in writing and shall be sufficient for all purposes if personally served, sent by commercial courier, sent by facsimile transmission with confirmation receipt, or if sent by certified or registered U.S. Mail, return receipt requested, postage prepaid, and address to the Grantor or to the Grantee as the case may be, at their respective addresses specified above. Notices, demands, and other

communications under this Easement shall be deemed to have been given and received if and when personally served, when transmitted electronically and reception is electronically confirmed, if sent via commercial courier upon receipt, and if and when deposited in the U.S. Mail.

14. **INSURANCE**

14.1. During the term of this Easement, the Grantor or its designated property manager shall maintain policies of insurance covering liability and loss of or damage to the Parking Structure in the full amount of its replacement value. Grantor agrees and acknowledges that Grantee shall be named as an additional insured on all liability insurance policies maintained by Grantor. Grantee agrees and acknowledges that Grantor shall be named as an additional insured on Grantee's commercial general liability policy, for ongoing and completed operations, with limits of not less than \$1 million for each occurrence. Grantee, at its sole expense, shall have the right to procure any additional liability insurance policies relating to the Easement Stalls that it shall determine are necessary in its sole and exclusive discretion. Nothing herein shall negate, or constitute a waiver or relinquishment of Grantor's "governmental immunity" pursuant to Utah Code 63G-7-604, et seq., or otherwise.

14.2. Grantor and Grantee, and their respective successors and assigns, each hereby waive any and all rights of recovery against the other, or against the officers, employees, agents or representatives of the other, for loss of or damage to it or the others under its control, if such loss or damage is covered under any insurance policy in force (whether or not described in this Easement) at the time of such loss or damage. If necessary, all property insurance policies required under this Easement shall be endorsed to so provide for such mutual waiver of subrogation.

15. **COMPLIANCE WITH LAWS**

Grantee shall not do anything nor suffer anything to be done in or about the Easement Stalls which will in any way conflict with any law, statute, ordinance or other governmental rule, regulation or requirement now in force or which may hereafter be enacted or promulgated (collectively, "Applicable Laws"). Grantee shall, at its sole cost and expense, promptly comply with any Applicable Laws which relate to Grantee's use of the Parking Structure. Should any standard or regulation now or hereafter be imposed on Grantee by any federal, state or local governmental body charged with the establishment, regulation and enforcement of occupational, health or safety standards, then Grantee agrees, at its sole cost and expense, to comply promptly with such standards or regulations.

16. **SEVERABILITY**

In the event any provision of this Easement is determined to be invalid or unenforceable, then the remainder of this Easement, and Grantee's right to use and occupancy of the Easement Stalls, shall not be affected thereby, and it is the intention of the parties that there shall be

substituted for such provision as is invalid or unenforceable a provision as similar to such provision as may be possible and yet be valid and enforceable.

17. BINDING EFFECT

The covenants, conditions, and terms of this Easement shall be binding upon and inure to the benefit of Grantor and Grantee and their respective successors, assigns, tenants, customers, invitees and guests.

18. GOVERNING LAW

This Easement shall be governed by and construed in accordance with the laws of the State of Utah.

19. ENFORCEMENT

In the event of a dispute resulting in legal proceedings as further described in Sections 11 and 12 of this Parking Easement Agreement, the prevailing party shall have the right to collect from the other party its reasonable costs and necessary disbursements and attorney's fees incurred in enforcing this Parking Easement Agreement.

20. RELATIONSHIP

Nothing in this Agreement shall create between the Parties, or be relied upon by others as creating, any relationship, partnership, association, joint venture or otherwise.

IN WITNESS WHEREOF, Grantor and Grantee have executed this Easement as of the day and year first above written. Individuals signing on behalf of a party represent and warrant that they have the authority to bind such party.

GRANTOR:

CITY OF BOUNTIFUL, UTAH, a Utah municipal corporation

By: _____
Randy Lewis
Mayor

ATTEST: _____
Shawna Andrus, City Recorder

STATE OF UTAH)

COUNTY OF DAVIS) : ss.

On the ____ day of October, 2018, personally appeared before me Randy Lewis, who acknowledged to me that he executed the foregoing instrument as the duly authorized Mayor of the City of Bountiful, Utah, a Utah municipal corporation.

SEAL

Notary Public

GRANTEE:

TOWN CENTER, LLC,
a Utah limited liability company

By: _____
Bruce V. Broadhead
Manager

STATE OF UTAH)
COUNTY OF DAVIS) : ss.

On the ____ day of October, 2018, personally appeared before me Bruce V. Broadhead, who acknowledged to me that he executed the foregoing instrument as the duly authorized Manager of Town Center, LLC, a Utah limited liability company.

SEAL

Notary Public

EXHIBIT "A"
To
Parking Easement Agreement

Legal Description of Parking Structure

Boundary Description of Lot #2
07-16-2018

Beginning at the most Northerly Corner of Lot #2 of Renaissance Towne Centre, a commercial mixed use Planned Unit Development, Phase 1, Plat 1 Amended which point is also N89°53'57"E 991.07 ft. along the Section Line and North 555.60 ft. from the Southwest Corner of Section 30, T.2N., R.1E., S.L.B.& M. and running thence S58°50'32"E 182.00 ft.; thence S31°09'28"W 324.50 ft.; thence N58°50'32"W 182.00 ft.; thence N31°09'28"E 324.50 ft. to the point of beginning.

**EXHIBIT “B”
To
Parking Easement Agreement**

Legal Description of Grantee’s Property

Boundary Description of Lot #9
07-16-2018

Beginning at the most Northerly Corner of Lot #2 of Renaissance Towne Centre, a commercial mixed use Planned Unit Development, Phase 1, Plat 1 Amended which point is also N89°53'57"E 991.07 ft. along the Section Line and North 555.60 ft. from the Southwest Corner of Section 30, T.2N., R.1E., S.L.B.& M. and running thence S31°09'28"W 61.50 ft. along the boundary of said Phase 1, Plat 1 Amended; thence N58°50'32"W 29.61 ft.; thence S31°09'28"W 5.76 ft.; thence N58°50'32"W 70.39 ft.; thence N31°09'28"E 75.47 ft.; thence N61°09'28"E 5.05 ft.; thence S28°50'16"E 6.14 ft.; thence N61°09'44"E 13.02 ft.; thence N28°50'16"W 6.14 ft.; thence N61°09'28"E 4.28 ft.; thence S88°50'15"E 119.39 ft.; thence S31°09'28"W 79.09 ft.; thence N58°50'32"W 14.57 ft.; thence S31°09'28"W 8.17 ft. to the point of beginning.

City Council Staff Report

Subject: Preliminary and Final Site Plan for Construction
of new Car Wash Business
Author: Chad Wilkinson, City Planner
Address: 2566 S. 500 West
Date: October 23, 2018

Description of Request:

The applicant, Quick QQ Utah LLC, requests preliminary and final site plan approval for the construction of a new Carwash facility at 2566 S 500 West. The property is located within the C-G (General Commercial) zone and the use is allowed subject to approval of a conditional use permit and site plan. The Planning Commission approved the conditional use permit at their meeting on October 16, 2018. The application includes the construction of an approximately 3,800 square foot building with an automated carwash and offices and around 20 vacuum stations along 2600 South.

Background and Analysis:

The property is bordered by commercial development (the Square at 2600) on the south, multi-family residential on the north, existing nursing/ assisted living center to the east, and a restaurant use to the west.

The proposed development is located on a 1.17 acre property consisting of two parcels. Prior to construction of the proposed carwash, the parcels will need to be consolidated. Access to the project will be via two driveways; one on 500 West and one located on 2600 South. The applicant will be required to close and properly abandon the existing approaches on both streets. The proposed driveway on 2600 South has been aligned with driveway for the Square to the south. The driveway on 500 West has been moved to the north of the property to minimize conflicts with the intersection of 500 West and 2600 South. The driveway on 500 West will need to be reduced to the maximum width of 35 feet allowed by Code. Provision will also need to be made for restriction of this driveway to right-in/right-out only. This may include signage, striping or construction of concrete structures or a combination of these measures to direct vehicles to right turns. The parking standards for carwashes are based on providing adequate queue length for cars waiting to enter the automated carwash. The Code requires at least 6 spaces of stacking space for the facility and the proposed plan demonstrates compliance with this standard.

The applicant has requested that the City Council consider reduced setbacks along the north property line as authorized in section 14-6-105 of the Land Use Ordinance. The applicant requests a reduction from the required 20 foot setback to a setback of 10 feet. The purpose of the 20 foot setback requirement is to provide a zoning buffer between commercial and residential development. In the case of the development to the north, the property borders on a series of carports serving the apartment development. In this case the 10 foot landscape buffer will provide adequate zone buffering since the residential structures on the lot are located almost 100 feet from the proposed carwash. In addition the carwash portion of the building is located more than 20 feet from the property line. The

property is long and narrow and some sort of relief needs to be considered in order to allow a reasonable development of the lot. The Planning Commission included a condition requiring a masonry wall along a portion of the site to provide additional buffering and mitigation of noise impacts from the proposed carwash. Another reason to consider the reduced setback is the landscaping proposed. The plan far exceeds the minimum 15 percent of landscape area and provides trees and shrubs meeting the minimum standards of the Code. The structures will still be required to meet applicable building and fire construction standards. It is recommended that the requested reduction in side yard setback be granted. The applicant proposes building materials consisting of stucco and block with trim elements. The carwash structure includes a number of windows. The vacuum stations and supporting equipment building meet the required 20 foot setback. Color renderings of the building and vacuum stations are attached to this report.

A sign shown at the intersection of 2600 South and 500 West will need to be moved outside of the vision clearance area. Signs for the site will be reviewed and approved under separate permit.

Storm water will be collected on site and conveyed to a sump on the west side of the property in an underground facility. Water and sewer will be provided from existing lines in 500 West and 2600 South. Plans have been reviewed by the City Engineer with redline changes required in order to meet City standards and obtain final approval.

Department Review

This proposal has been reviewed by the Engineering, Power, and Planning Departments and by the Fire Marshall.

Significant Impacts

The development is occurring in an area with urban levels of infrastructure already in place. Impacts from the development of this property have been anticipated in the design of the existing storm water, sewer, and water and transportation system. The application will require cutting into the road and there is a moratorium on excavations in the right of way starting on October 15 and lasting until April 15. The applicant will have to delay work in the right of way until after the moratorium has been lifted. The conditions of approval are designed to mitigate other impacts anticipated by the development.

Recommended Action

The Planning Commission reviewed the application at their October 16, 2018 meeting and approved the conditional use permit and recommended approval of the preliminary and final site plan for the proposed carwash subject to the following conditions:

1. Complete any and all redline corrections including but not limited to the following:
 - a. Revise the width of the driveway on 500 West to the maximum 35 foot allowed width
 - b. Show how the driveway on 500 West shall be limited to right-in/right-out only to the satisfaction of the City Engineer.
 - c. Relocate the sign at the intersection of 2600 South and 500 West outside of the vision clearance area.
 - d. Revise site grading for overflow drainage to 2600 South.
 - e. Any modifications required by conditions of the Planning Commission and City Council.
 - f. The plans shall be revised to show a minimum six-foot masonry screening wall located along the north property line extending from at least 4 east of the west end of the building to the west property line. The wall shall be constructed prior to occupancy of the carwash use. The remainder of the property shall be screened in accordance with section 14-16-111 E.
2. Prior to issuance of building permit, consolidate the two parcels.
3. All damaged curb and gutter and sidewalk along 2600 S. and 500 W. shall be replaced.
4. The setback along the north property line shall be reduced to 10 feet as authorized by Section 14-6-105 of the Land Use Ordinance.
5. Replace the existing drive approaches which are to be abandoned on 2600 S. and 500 W. with standard curb and gutter and sidewalk.
6. **Note:** Approval of signage is **not** included as part of the conditional use permit and site plan. A separate sign permit is required. The following comments are provided on the proposed signage for information purposes only:
 - a. The proposed monument sign exceeds the maximum height of 6 feet. The sign height will need to be reduced.
 - b. The building dimensions shown on the wall sign submittal are incorrect and will need to be corrected prior to sign permit submittal in order to allow for calculation of maximum sign area.

Attachments

1. Aerial photo
2. Site and utility plans
3. Building Renderings and Elevations

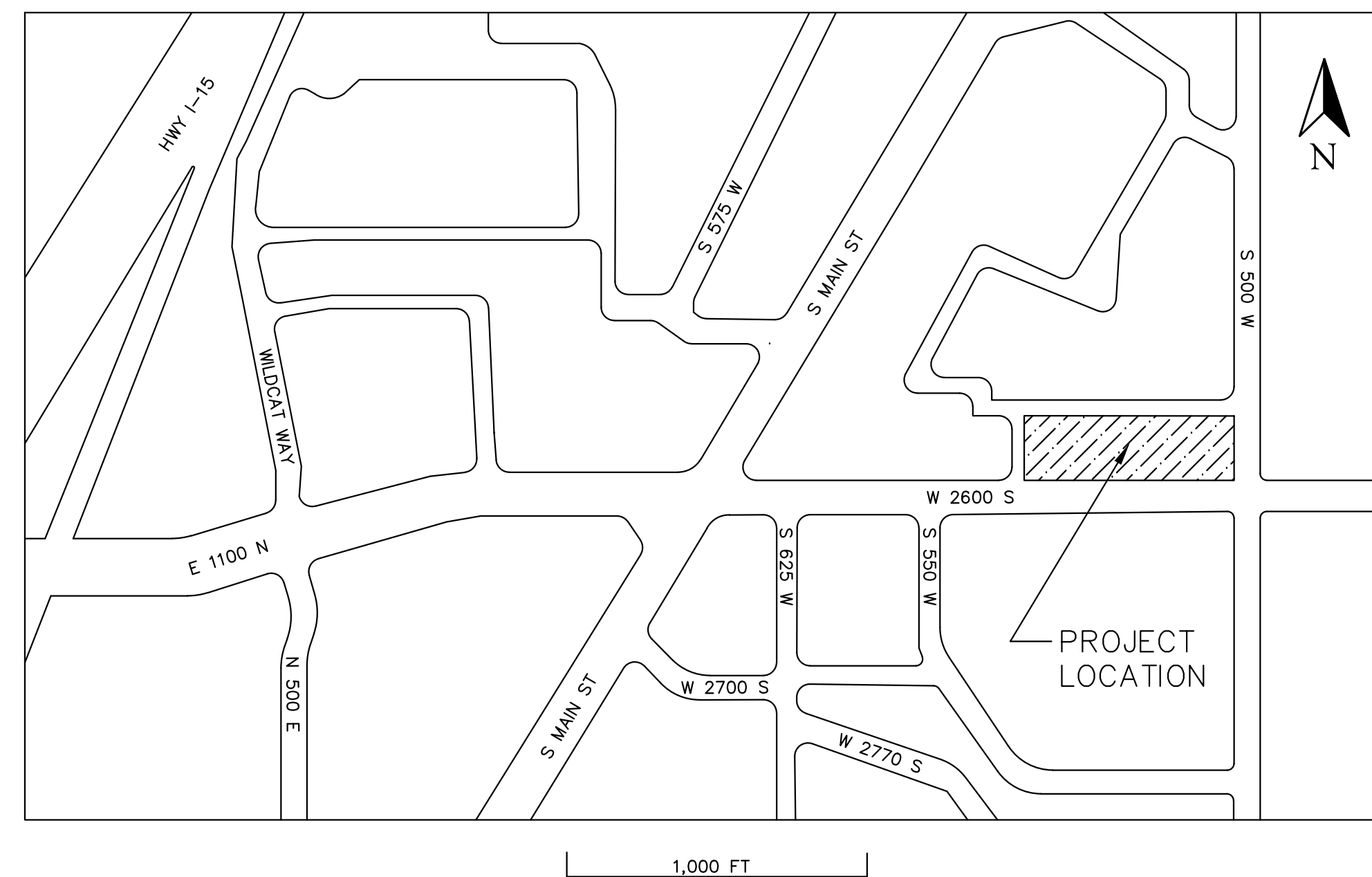
Aerial Photo



QUICK QUACK

Bountiful, UT

VICINITY MAP



INDEX

- C-0 Cover Sheet
- C-1 Site Plan
- C-2 Grading Plan
- C-2.1 Drainage Plan
- C-3 Utility Plan
- C-4 Details
- C-5 Utility Details
- C-6 Stormwater Pollution Prevention Plan
- C-7 SWPPP Details
- L-1 Landscape Plan
- A100 Dimension Floor Plan
- A200 Exterior Elevations
- A200 Exterior Color Elevations
- Photometric Plan
- Signage Plans

PROJECT ENGINEER:
 NAME: LARVIN POLLOCK
 ELEVATE ENGINEERING
 ADDRESS: 492 W 1200 N
 SPRINGVILLE, UT 84663
 (801) 718-5993
 LARVIN@ELEVATENG.COM

DEVELOPER:
 NAME: JOSEPH EARNEST
 LONESTAR BUILDERS
 ADDRESS: QQ UTAH COUNTY PO BOX 887
 SPRINGVILLE, UT 84663
 (801) 400-1944
 JOSEPH@LONESTARBUILDERSINC.COM

SURVEYOR:
 NAME: CORY NEERINGS
 LEGEND ENGINEERING
 ADDRESS: 52 WEST 100 NORTH
 HEBER CITY, UT 84032
 (435) 654-4828
 CORY@LEGENDENGINEERING.COM

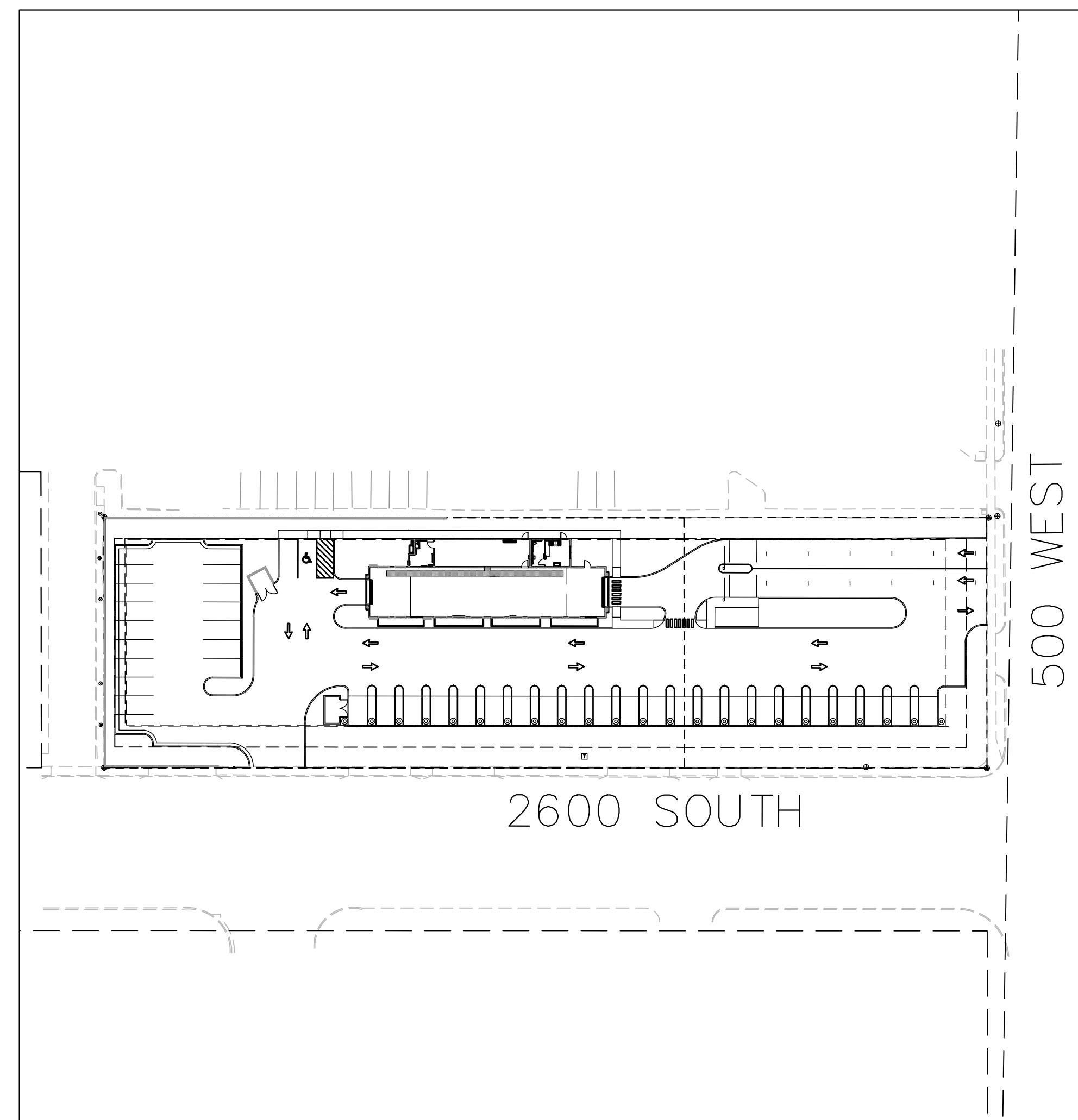
SITE DATA

LOT AREA QQ:	50,799	SF (1.17 ACRES)
BUILDING AREA:	3,829	SF± 7.5%
PAVEMENT AREA:	30,774	SF± 60.5%
LANDSCAPE AREA:	16,226	SF± 32.0%

ZONING: C-G (GENERAL COMMERCIAL)
 CONDITIONAL USE

LEGEND & ABBREVIATION TABLE

R.O.W./PROPERTY LINE	— — — — —	EXISTING CURB AND GUTTER	— — — — —
EASEMENT LINE	- - - - -	PROPOSED CURB AND GUTTER	=====
CENTER LINE	— — — — —	INVERT ELEVATION	I.E.
PROPOSED TRAIL	~~~~~	TOP BACK CURB	TBC
PROPOSED WATER LINE	— W — W — W —	TOP ASPHALT	TA
PROPOSED PRESSURIZED IRRIGATION	— PI — PI — PI —	TOP OF GRATE	TOG
PROPOSED GROUND WATER DRAIN	— GW — GW — GW —	FINISHED GRADE	FG
PROPOSED SEWER LINE	— SS — SS — SS —	TOP OF CONCRETE	TC
PROPOSED STORM DRAIN LINE	— SD — SD — SD —	HIGH WATER ELEVATION	HWE
EXISTING SEWER LINE	SS SS	CATCH BASIN	
EXISTING WATER LINE	W W	SURFACE FLOW DIRECTION	—>
EXISTING STORM DRAIN LINE	SD SD	PROPOSED STREET LIGHT	
EXISTING CONTOUR	42.47	STORM DRAIN MANHOLE	
FINISHED CONTOUR	47.00	SANITARY SEWER MANHOLE	
		PROPOSED WATER VALVE	



SITE MAP
 1"=50'

NO.	REVISIONS	BY	DATE

ELEVATE ENGINEERING
 492 WEST 1200 NORTH
 SPRINGVILLE, UT 84663
 PHONE: (801) 718-5993
 larvin@elevateng.com

**QUICK QUACK BOUNTIFUL
 COVER SHEET**
 2566 SOUTH 500 WEST, BOUNTIFUL, 84010



SHEET:
C-0

DATE:
 Sep 14, 2018

PROJECT ENGINEER:
LARVIN POLLOCK
ELEVATE ENGINEERING
492 W 1200 N
SPRINGVILLE, UT 84663
(801) 718-5993
LARVIN@ELEVATEENG.COM

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LEGEND

LOT LINES (PROPERTY)	---
EXISTING CURB AND GUTTER	=====
PROPOSED CURB AND GUTTER	=====
EXISTING FENCE	-X-
INVERT ELEVATION	IE
TOP OF ASPHALT	TA
TOP BACK OF CURB	TBC
PROPOSED	PROP
EXISTING	EX
FINISHED GRADE	FG
FINISHED FLOOR ELEVATION	FFE
LANDSCAPE AREA	[Pattern]
CONCRETE AREA	[Pattern]

SITE DATA

LOT AREA QQ:	50,799	SF (1.17 ACRES)
BUILDING AREA:	3,829	SF± 7.5%
PAVEMENT AREA:	30,744	SF± 60.5%
LANDSCAPE AREA:	16,226	SF± 32.0%

ZONING: C-G (GENERAL COMMERCIAL)
CONDITIONAL USE

BUILDING DATA

CONSTRUCTION TYPE: V-B
OCCUPANCY CLASSIFICATION: B
SPRINKLERS: NO

SETBACKS:
FRONT=20 FEET
SIDE=10 FEET
REAR=10 FEET

PARKING TABULATION

PROVIDED: 19 STALLS
1 ADA STALL

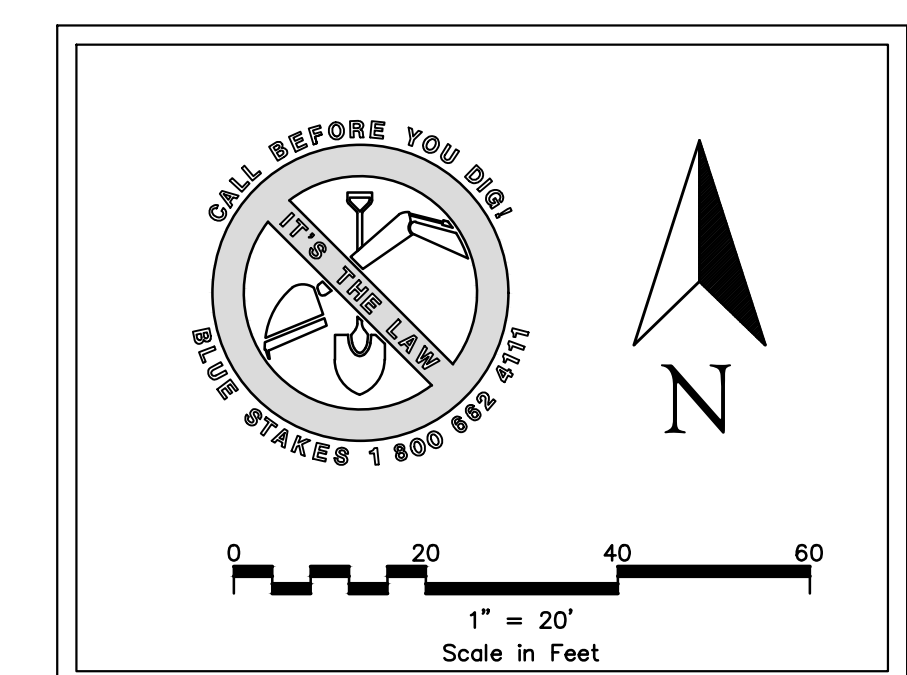
VACUUM STALLS: 22 STALLS
STACKING: 12 STALLS
TUNNEL LENGTH: 114 FEET

NOTES:

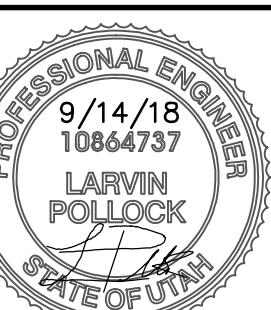
- 1 PROPOSED 5' SIDEWALK PER APWA PLAN 231. SEE SHEET C-4 FOR DETAILS.
- 2 ALL HANDICAP STALLS AND RAMPS TO BE INSTALLED PER ADA AND APWA STANDARDS. SEE SHEET C-4 FOR DETAILS.
- 3 PROPOSED CURB & GUTTER TYPE E PER APWA PLAN 205. SEE SHEET C-4 FOR DETAILS.
- 4 PROPOSED CURB TYPE P PER APWA PLAN 209. SEE SHEET C-4 FOR DETAILS.
- 5 CONSTRUCT VACUUM ENCLOSURE WITH CONCRETE PAD AND APRON. INSTALL OWNER PROVIDED VACUUM EQUIPMENT, UNDERGROUND TRUNK LINES, PIPING, ETC. COORDINATE WITH ARCHITECTURAL PLANS.
- 6 PAINT 4" SOLID YELLOW PAINT STRIPE AS SHOWN (TYPICAL).
- 7 INSTALL OWNER PROVIDED "TOMMY BALL" PLANTERS/GARBAGE RECEPTACLE (TYPICAL). COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILS.
- 8 INSTALL OWNER PROVIDED PAY STATIONS WITH CANOPIES. COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILS.
- 9 INSTALL OWNER PROVIDED GATES AND LOOP DETECTION SYSTEM. COORDINATE TIMING OF INSTALLATION PRIOR TO CONSTRUCTION OF PAVEMENT. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 10 PROPOSED DUMPSTER LOCATION. SEE SHEET C-4 FOR DETAILS.

GENERAL NOTES:

1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION
2. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION
3. ALL PROPOSED WATER LINES TO HAVE A MINIMUM OF 5' OF COVER
4. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
5. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
6. SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
7. ALL WORK TO BE ACCORDING TO CITY STANDARDS.



QUICK QUACK BOUNTIFUL
SITE PLAN
 2566 SOUTH 500 WEST, BOUNTIFUL, 84010

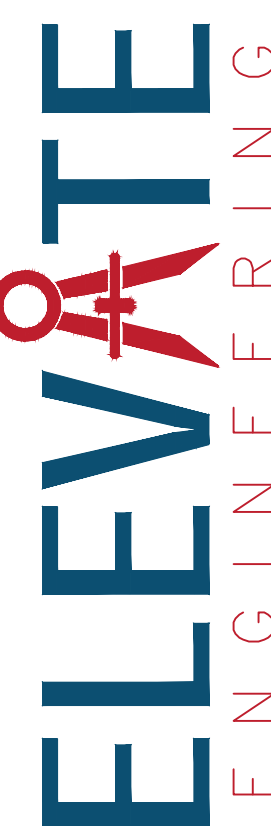


SHEET:
C-1

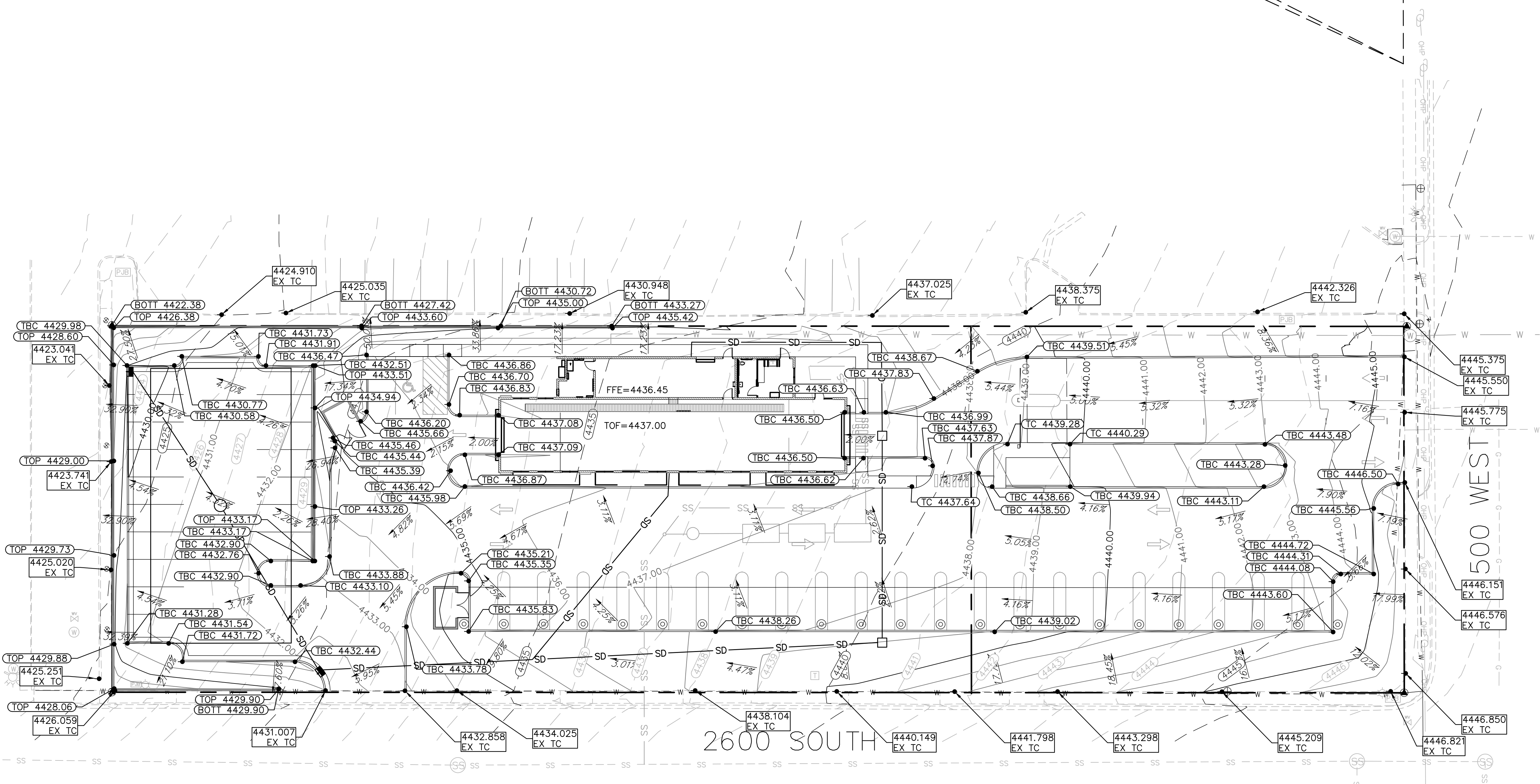
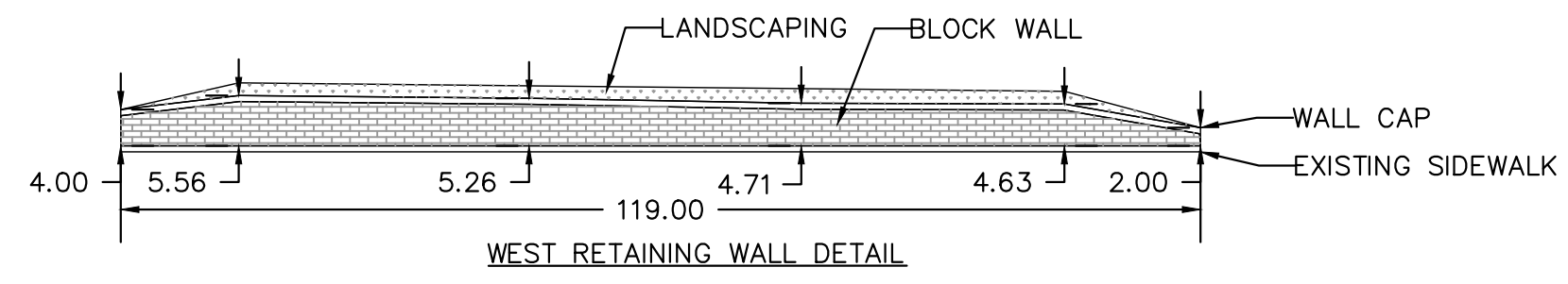
DATE:
Sep 14, 2018

NO.	REVISIONS	BY	DATE

ELEVATE ENGINEERING
 492 WEST 1200 NORTH
 SPRINGVILLE, UT 84663
 PHONE: (801) 718-5993
 larvin@elevateeng.com



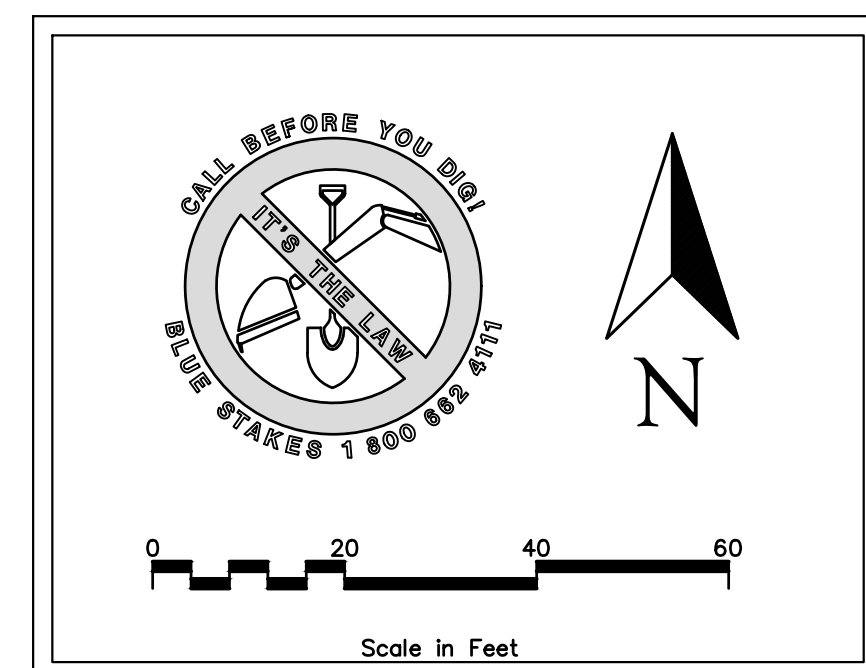
PROJECT ENGINEER: LP
 DESIGNER: DL



LEGEND

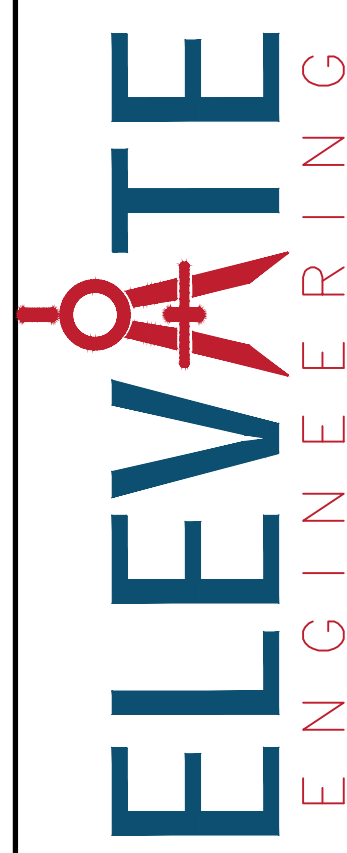
- LOT LINES (PROPERTY)
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED STORM DRAIN LINE
- EXISTING STORM DRAIN LINE
- EXISTING FENCE
- GRADE BREAK
- FINISH GRADE CONTOUR LINES
- EXISTING GRADE CONTOUR LINES
- FINISH GRADE SLOPE
- GRADE BREAK INVERT ELEVATION
- TOP OF GRATE
- TOP OF ASPHALT
- TOP BACK OF CURB
- PROPOSED
- EXISTING
- FINISHED GRADE
- FINISHED FLOOR ELEVATION
- BACK OF SIDEWALK

DESIGN NOTES:
OWNER IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA).

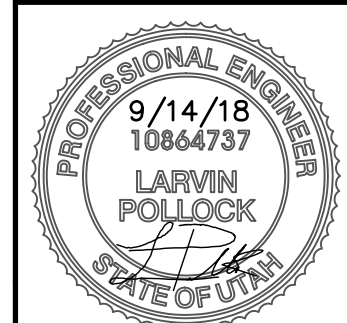


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ELEVATE ENGINEERING
492 WEST 1200 NORTH
SPRINGVILLE, UT 84663
PHONE: (801) 718-5993
larvin@elevateeng.com



QUICK QUACK BOUNTIFUL
GRADING PLAN
2566 SOUTH 500 WEST, BOUNTIFUL, 84010



SHEET:
C-2
DATE:
Sep 14, 2018

DRAINAGE CALCS FOR QUICK QUACK BOUNTIFUL
100 Year Flood Design

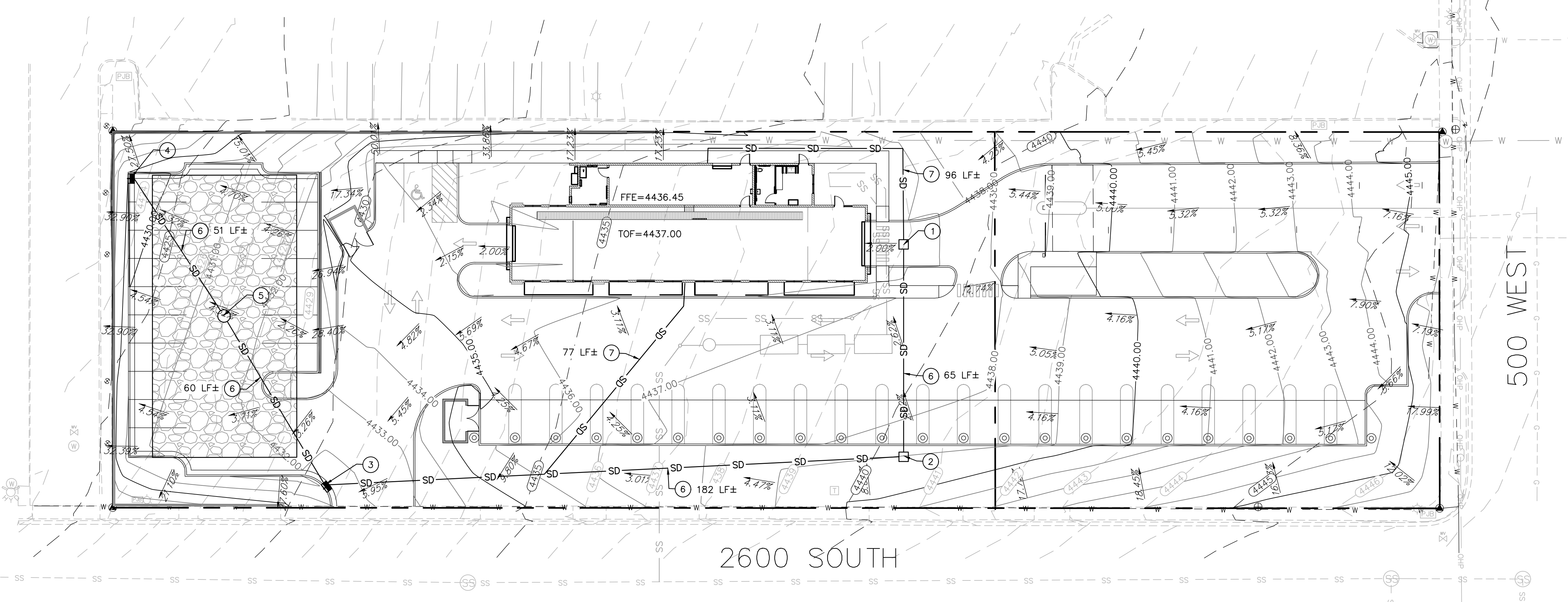
Release Rate= 0.00 CF/Second

POST-DEVELOPED			
Runoff Coefficient			
Roof Area	3829 ft ²	C _{roof}	0.90
Paved Area	39120 ft ²	C _{paved}	0.90
Landscaped	11858 ft ²	C _{landscaped}	0.15
Total Area	50739 ft ²	Weighted C	0.73
1.17 acres	CA:	36832 ft ²	

POST-DEVELOPED					
Lagend Time (min)	Accum Rainfall (in)	"CA" (ft ²)	Accum Flow (ft ³ /s)	Allowable Release (ft ³ /s)	Required Storage (ft ³)
5	0.05	36832	1697	0	1697
10	0.04	36832	2584	0	2584
15	1.04	36832	3192	0	3192
30	1.41	36832	4328	0	4328
60	1.74	36832	5341	0	5341
120	1.97	36832	6047	0	6047
180	2.04	36832	6261	0	6261
360	2.22	36832	6514	0	6514
720	2.49	36832	6756	0	6756
1440	3.17	36832	9730	0	9730

VOLUME PROVIDED IN SUMP

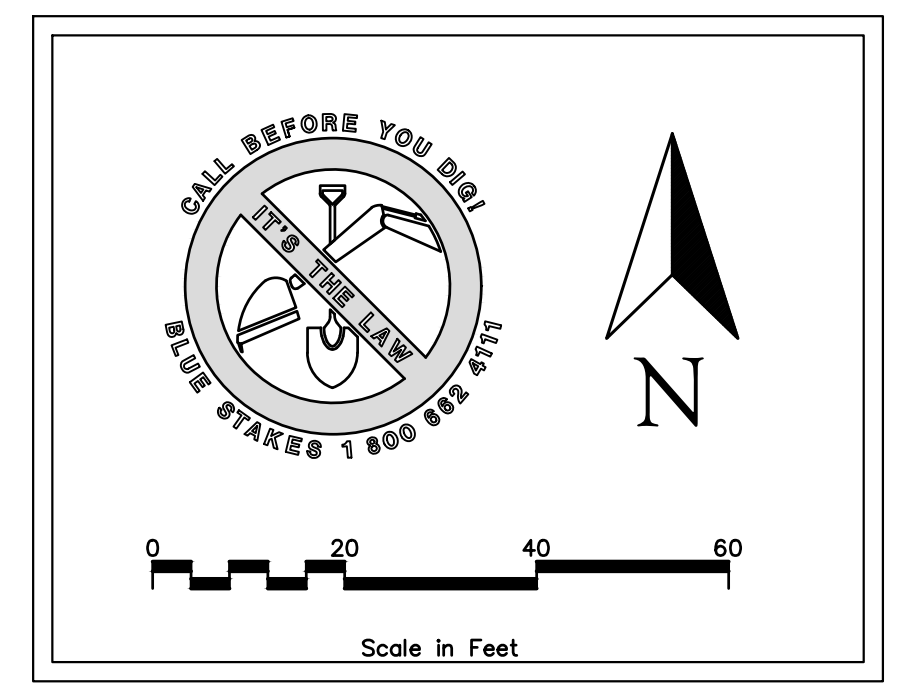
Rock Area (ft ²)	Void Ratio (%)	Depth (ft)	Volume/LF (ft ³ /LF)	Total Volume (ft ³)
4149	45%	6	1566.00	6536.00
Total Individual Sump Volume=			8636	CF
Number of Sumps			1	
Total Volume Provided Within Sumps			8636	CF



LEGEND

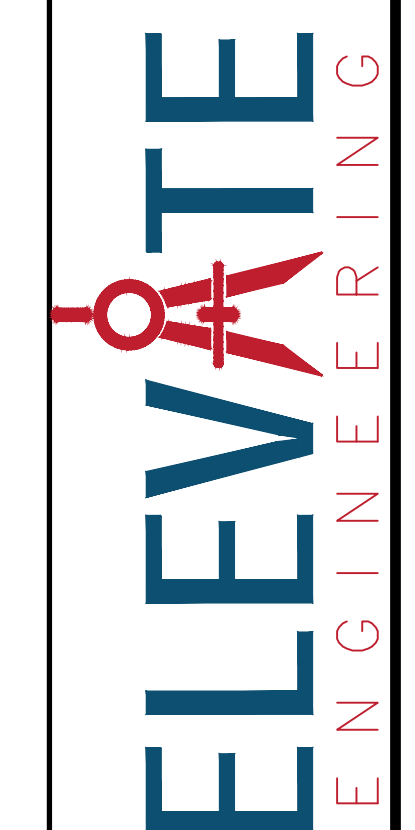
- LOT LINES (PROPERTY)
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- TOP OF ASPHALT
- TOP BACK OF CURB
- PROPOSED
- EXISTING
- FINISHED GRADE
- FINISHED FLOOR ELEVATION
- BACK OF SIDEWALK

- DESIGN NOTES:**
- INSTALL JUNCTION BOX WITH GRATE PER APWA PLAN 331. SEE SHEET C-5. RIM=4436.41 IE=4433.41
 - INSTALL JUNCTION BOX WITH LID PER APWA PLAN 331. SEE SHEET C-5. RIM=4439.00 IE=4433.08
 - INSTALL CURB INLET BOX PER APWA PLAN 315. SEE SHEET C-5 FOR DETAILS. RIM=4431.39 IE=4428.39
 - INSTALL CURB INLET BOX PER APWA PLAN 315. SEE SHEET C-5 FOR DETAILS. RIM=4429.48 IE=4426.48
 - INSTALL 90"x46" SUMP W/LID SEE SHEET C-5 FOR DETAILS. RIM=4431.42 IE IN=4426.22 SUMP DEPTH=6' BOTTOM OF ROCK=4423.42
 - INSTALL 12" ADS STORM PIPE @ 0.5% MINIMUM SLOPE.
 - INSTALL 6" ROOF DRAIN & CONNECT TO STORM DRAIN SYSTEM

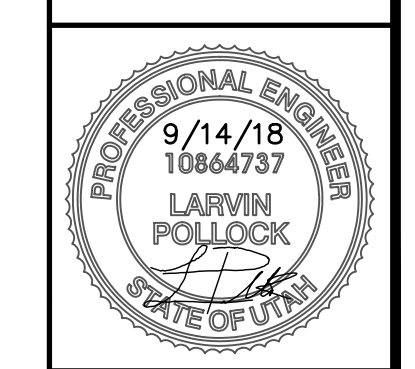


NO.	REVISIONS	BY	DATE

ELEVATE ENGINEERING
492 WEST 1200 NORTH
SPRINGVILLE, UT 84663
PHONE: (801) 718-5993
larvin@elevateeng.com



**QUICK QUACK BOUNTIFUL
DRAINAGE PLAN**
2566 SOUTH 500 WEST, BOUNTIFUL, 84010



SHEET:
C-2.1
DATE:
Sep 14, 2018

LEGEND

PROPERTY/ROW LINE	=====
EXISTING CURB AND GUTTER	=====
PROPOSED CURB AND GUTTER	=====
PROPOSED STORM DRAIN LINE	-----SD-----
EXISTING STORM DRAIN LINE	-----SD-----
PROPOSED SEWER LINE (BY OTHERS)	-----SWR-----
EXISTING SEWER LINE	-----SS-----
PROPOSED WATER LINE (BY OTHERS)	-----WTR-----
EXISTING WATER LINE	-----W-----
EXISTING FENCE	-----
INVERT ELEVATION	IE
PROPOSED	PROP
EXISTING	EX
FINISHED GRADE	FG
FINISHED FLOOR ELEVATION	FFE

DESIGN NOTES:

- ① CONNECT TO EXISTING WATER MAIN PER CITY STANDARDS.
- ② INSTALL 2" WATER METER PER SOUTH DAVIS WATER DRAWING 102A.
- ③ INSTALL 2" POLY WATER LINE PER CITY STANDARDS.
- ④ END ALL UTILITIES 5' FROM BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- ⑤ CONNECT TO EXISTING SEWER MAIN PER APWA PLAN 431. SEE SHEET C-5 FOR DETAILS. CONTRACTOR TO VERIFY LOCATION AND ELEVATION PRIOR TO ANY CONSTRUCTION.
- ⑥ INSTALL 6" PVC SDR-35 SEWER PIPE AT 1% MIN. SLOPE.
- ⑦ INSTALL 6" CLEANOUT PER APWA PLAN 311.
- ⑧ INSTALL 48" SANITARY SEWER SAMPLING MANHOLE PER SOUTH DAVIS SEWER DISTRICT 114-2. SEE SHEET C-5 FOR DETAILS.
RIM=4436.75
IE=4429.57
OUT=4429.49
- ⑨ INSTALL 1500 GAL. GREASE INTERCEPTOR/RECLAIM TANKS. INSTALL 3' OF 6" PVC SDR-35 SEWER PIPE AT 1% MIN. SLOPE BETWEEN TANKS. COORDINATE WITH PLUMBING PLANS FOR DETAILS.

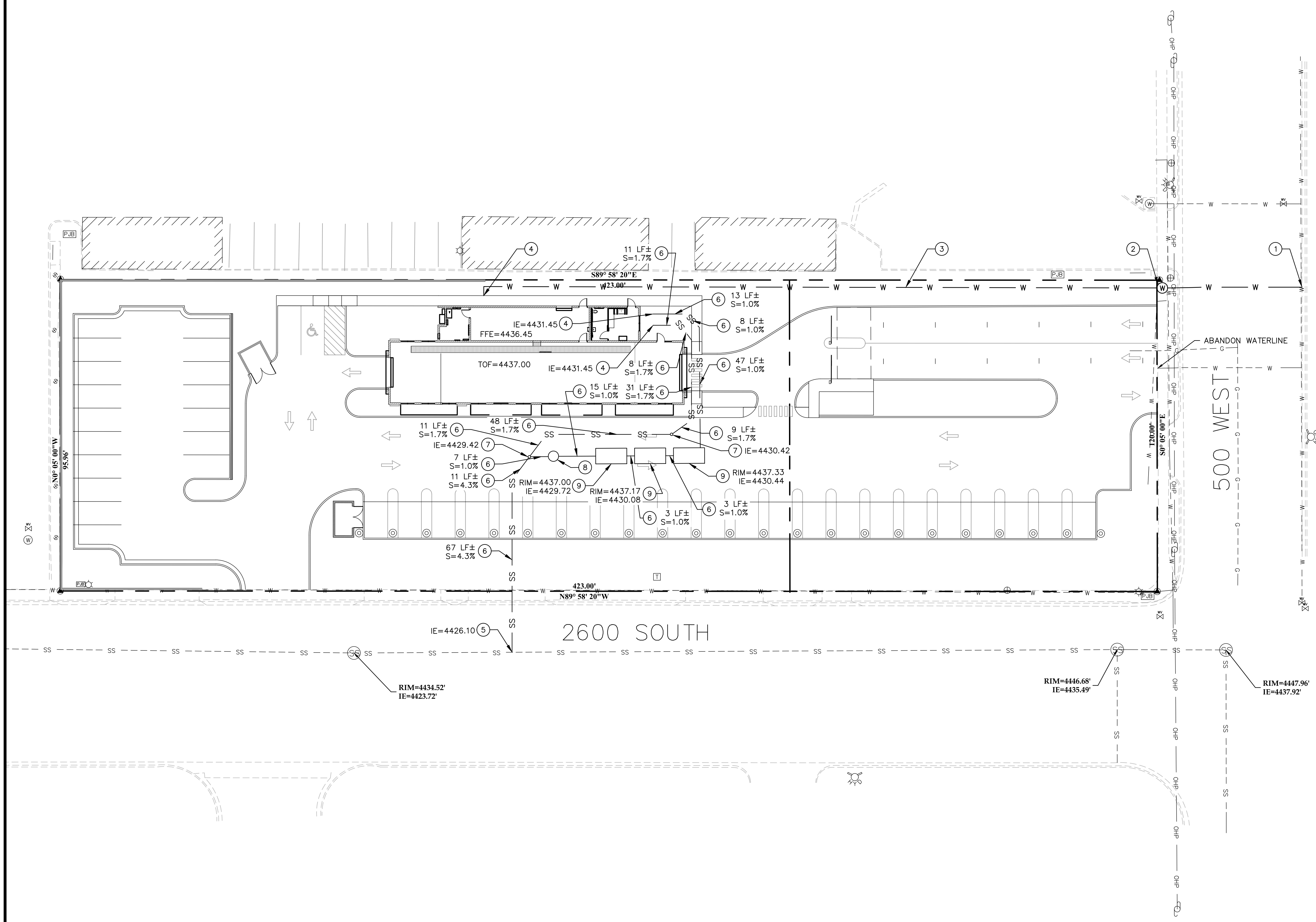
GENERAL NOTES:

1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION
2. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION
3. ALL PROPOSED WATER LINES TO HAVE A MINIMUM OF 5' OF COVER
4. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
5. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND
6. SEE GRADING AND DRAINAGE PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
7. ALL WORK TO BE ACCORDING TO CITY STANDARDS.

PRIVATE UTILITIES

CONTRACTOR TO CONTACT THE FOLLOWING COMPANIES PRIOR TO ANY CONSTRUCTION. EXACT LOCATION OF THESE UTILITIES TO BE DESIGNED AND COORDINATED BY THE FOLLOWING COMPANIES.

- QUESTAR GAS - 801-853-6597
- ROCKY MOUNTAIN POWER - 801-756-1310
- CENTURY LINK - 801-536-6975

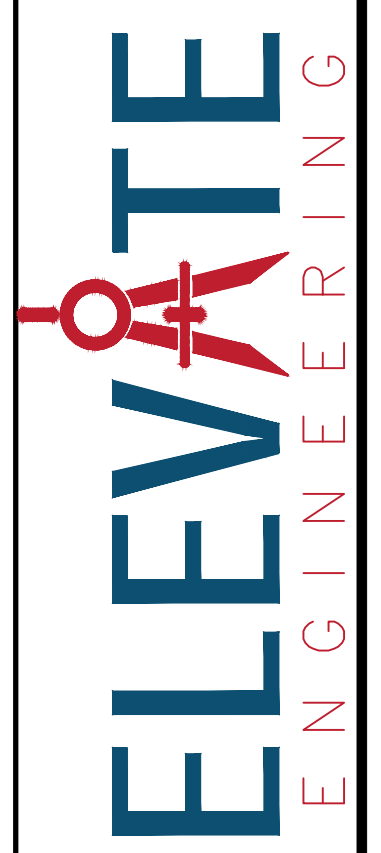


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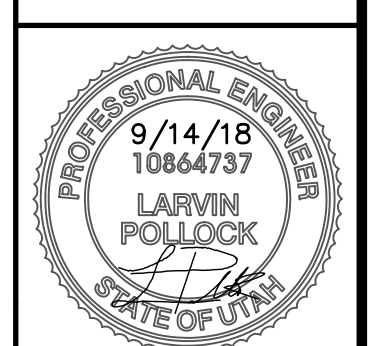
Scale in Feet

NO.	REVISIONS	BY	DATE

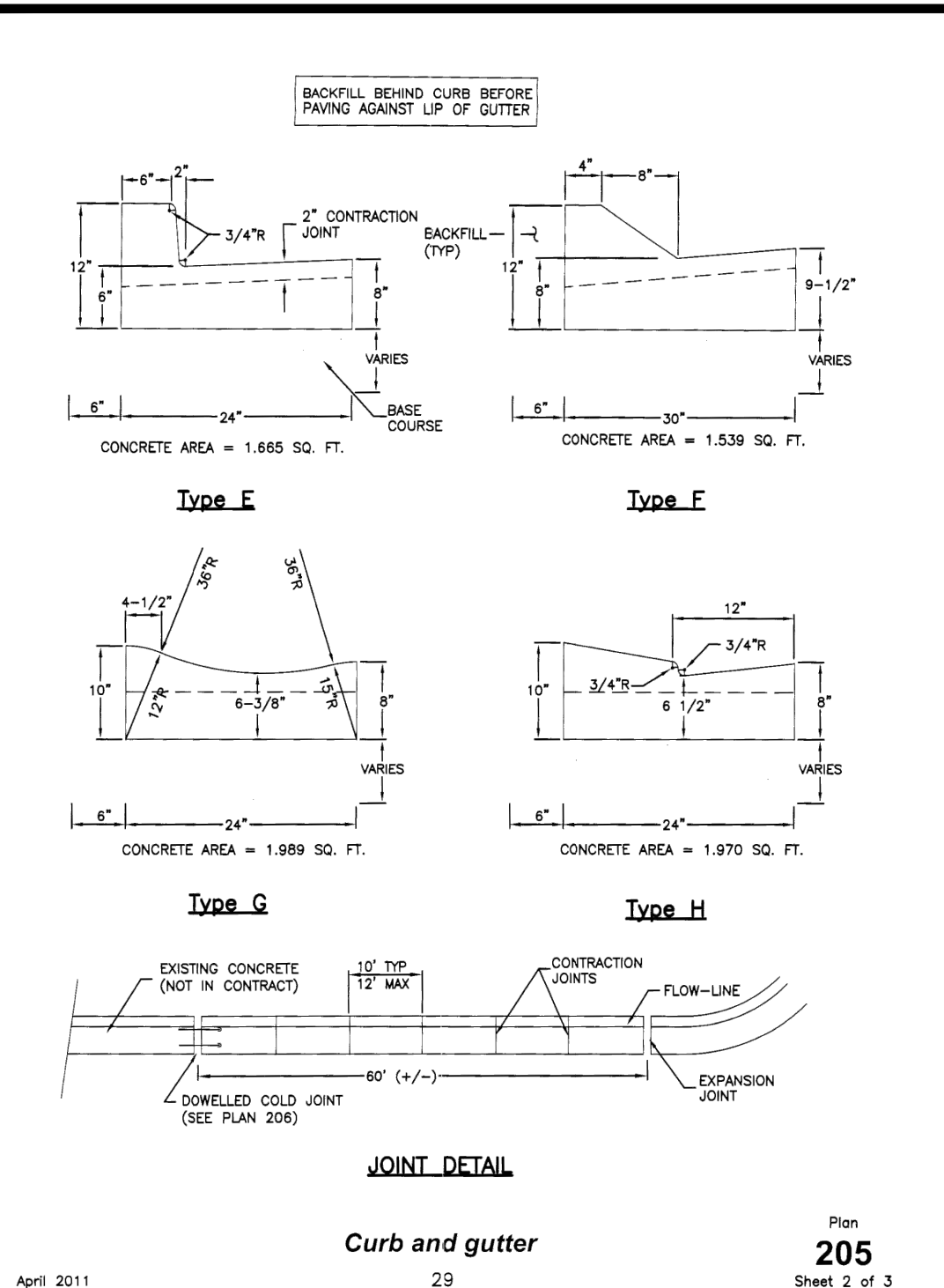
PROJECT ENGINEER: LP
 DESIGNER: DL
 ELEVATE ENGINEERING
 492 WEST 1200 NORTH
 SPRINGVILLE, UT 84663
 PHONE: (801) 718-5993
 larvin@elevateeng.com



QUICK QUACK BOUNTIFUL
UTILITY PLAN
 2566 SOUTH 500 WEST, BOUNTIFUL, 84010



SHEET:
C-1
 DATE:
 Sep 14, 2018

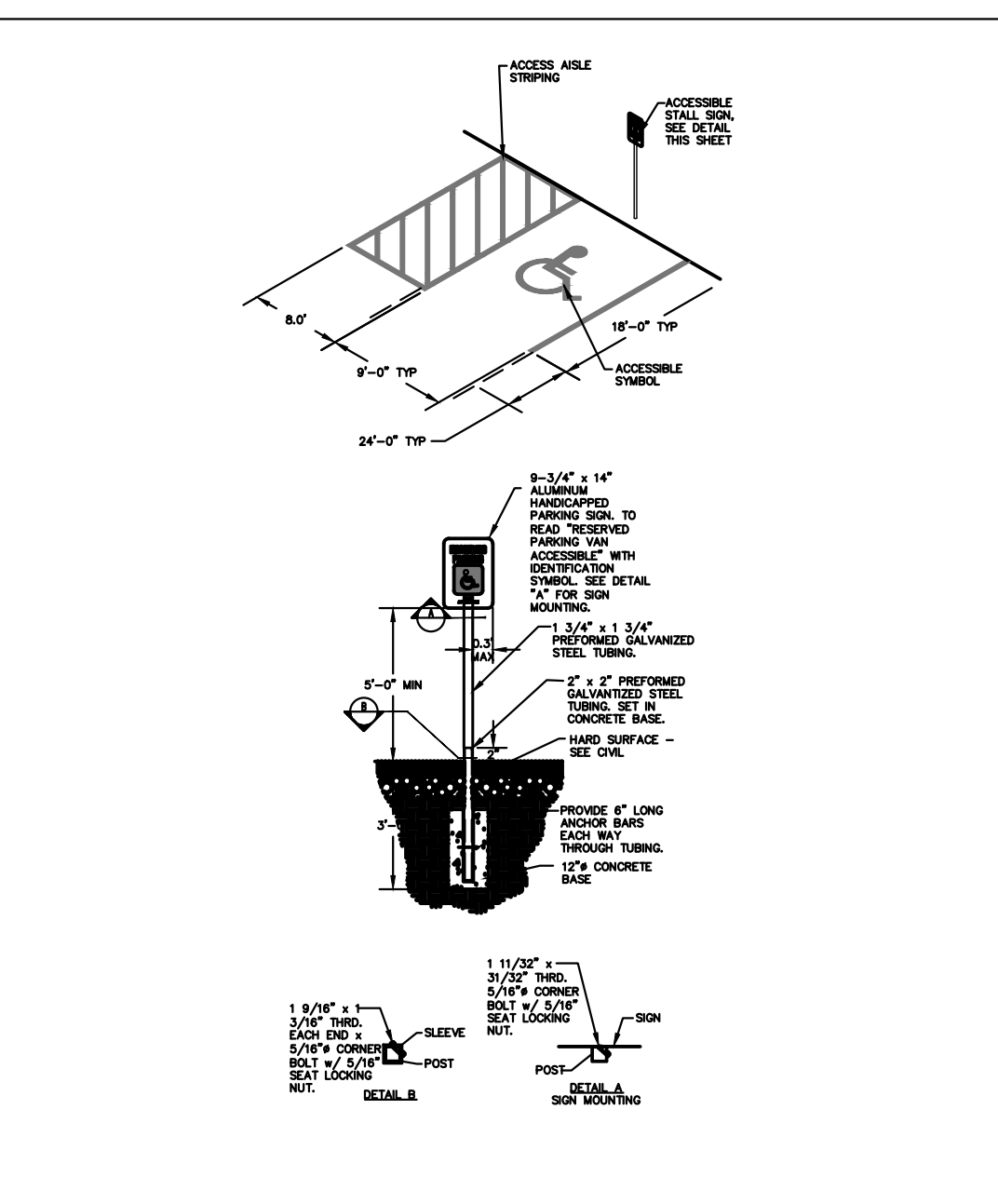


Curb and gutter
Plan
205
Sheet 2 of 3
April 2011 29

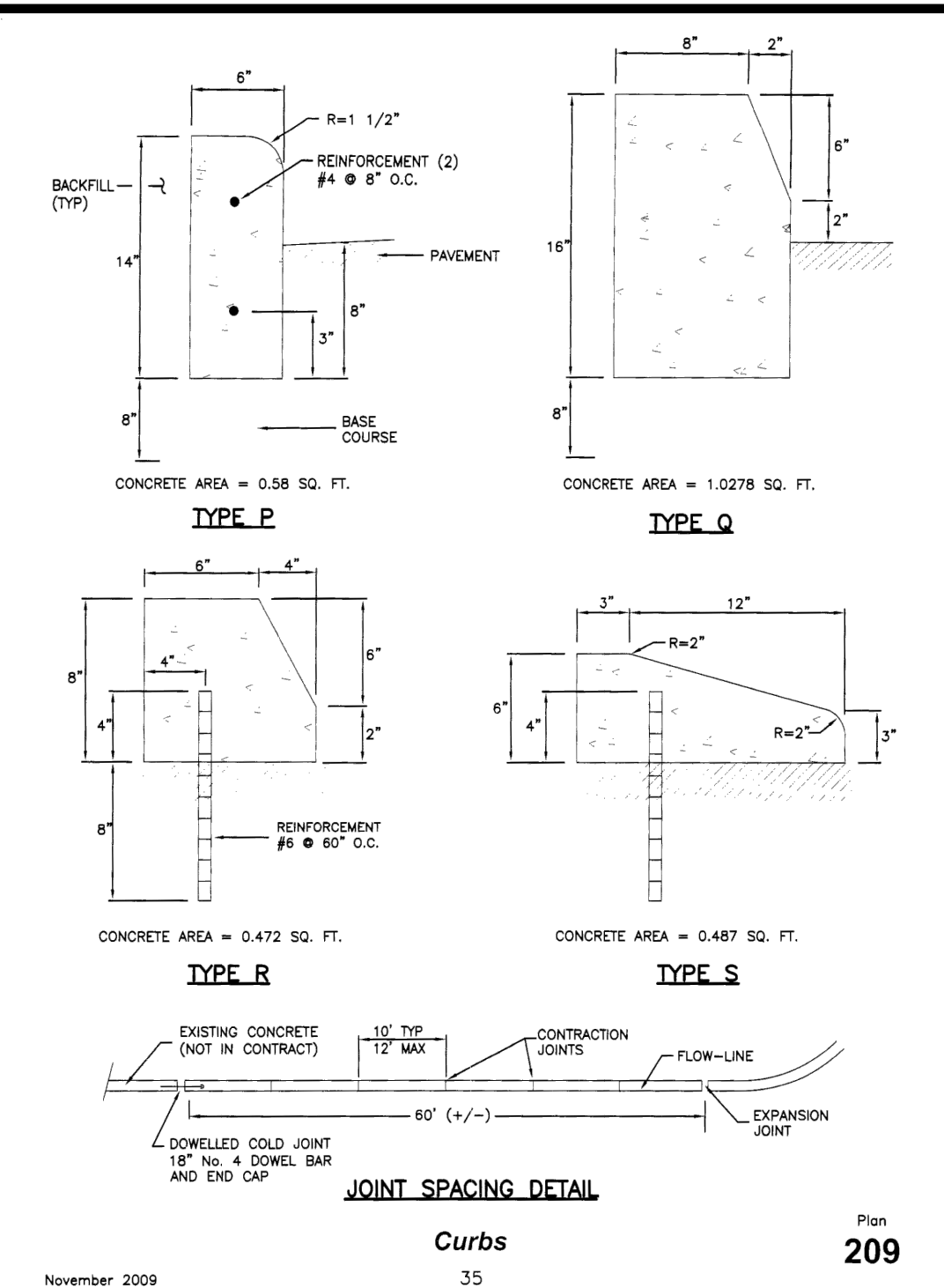
GENERAL
A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.
B. Additional requirements are specified in APWA Section 32 16 13.

PRODUCTS
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
C. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
D. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.

EXECUTION
A. Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent (±0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
B. Concrete Placement: APWA Section 03 30 10.
1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start or end of a street intersection curb return. Expansion joints are not required in concrete placement using slip-form construction.
2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement.
3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
C. Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.



RIGID PAVEMENT SECTION
6.0" PORTLAND CEMENT CONCRETE
5.0" BASE COURSE
PROPERLY PREPARED NATURAL SOILS, AND/OR STRUCTURAL SITE GRADING FILL EXTENDING TO SUITABLE STABILIZED NATURAL SOILS
PER GEOTECHNICAL INVESTIGATION PERFORMED BY EARTHTEC ENGINEERING, PROJECT NO. 188376
6
ADA SIGNAGE
SCALE: N.T.S.

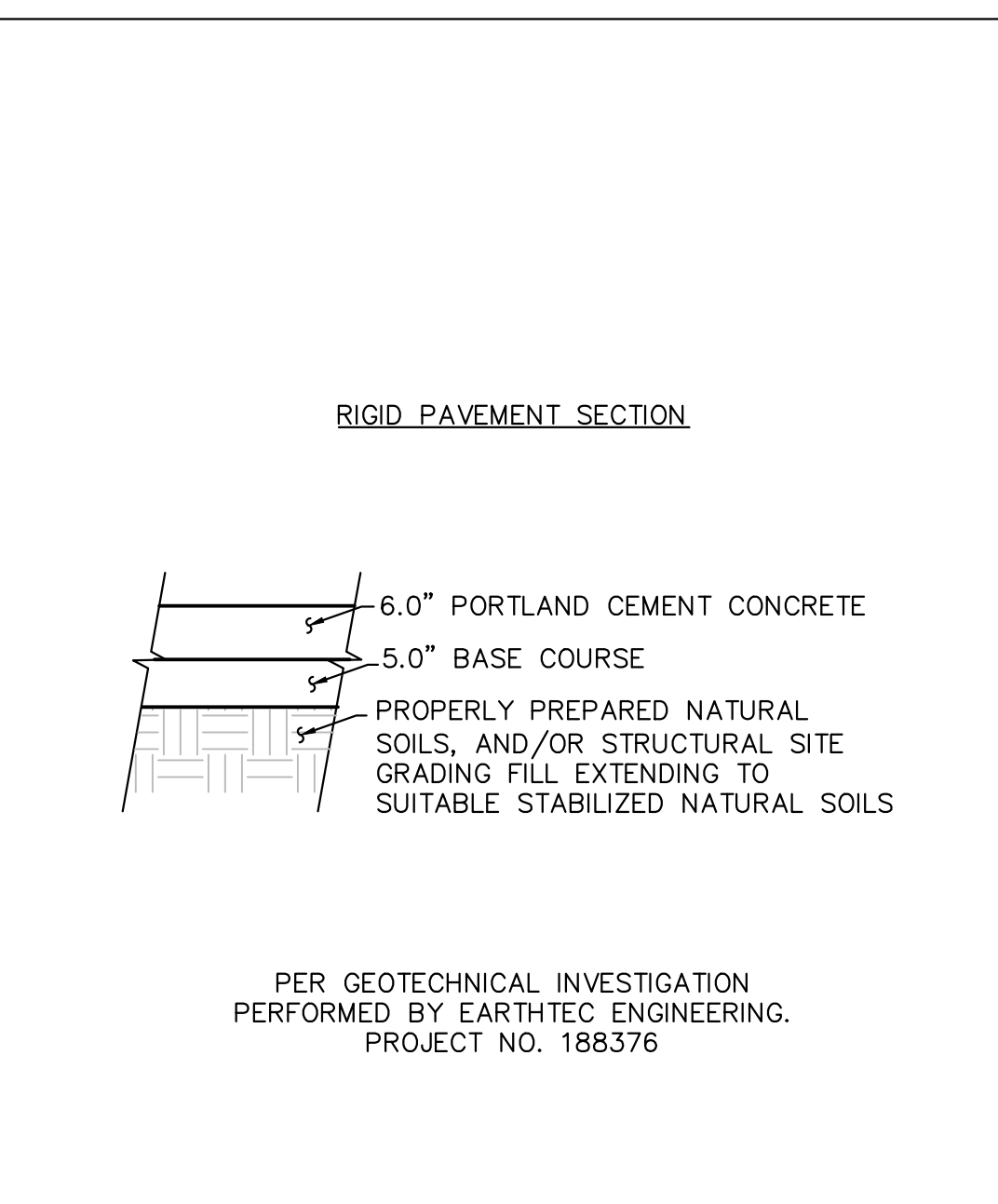


Curbs
Plan
209
November 2009 35

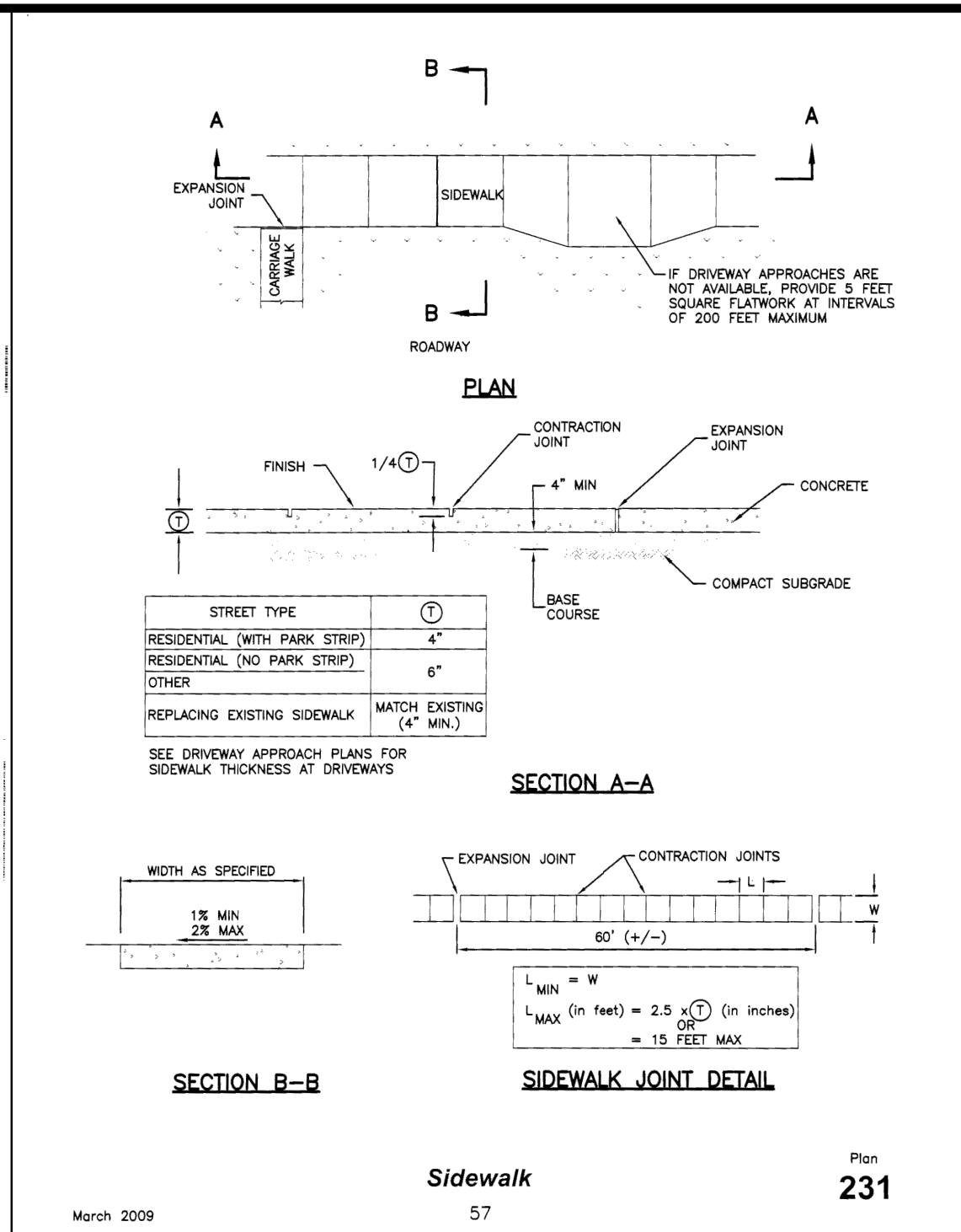
GENERAL
A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.
B. Additional requirements are specified in APWA Section 32 16 13.

PRODUCTS
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
C. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
D. Reinforcement: Galvanized or epoxy coated, deformed, 60 ksi yield grade steel, ASTM A 615.
E. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.

EXECUTION
A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
B. Concrete Placement: APWA Section 03 30 10.
1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start or end of a street intersection curb return. Expansion joints are not required in concrete placement using slip-form construction.
2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement.
3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
C. Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.



Sidewalk
Plan
231
March 2009 57

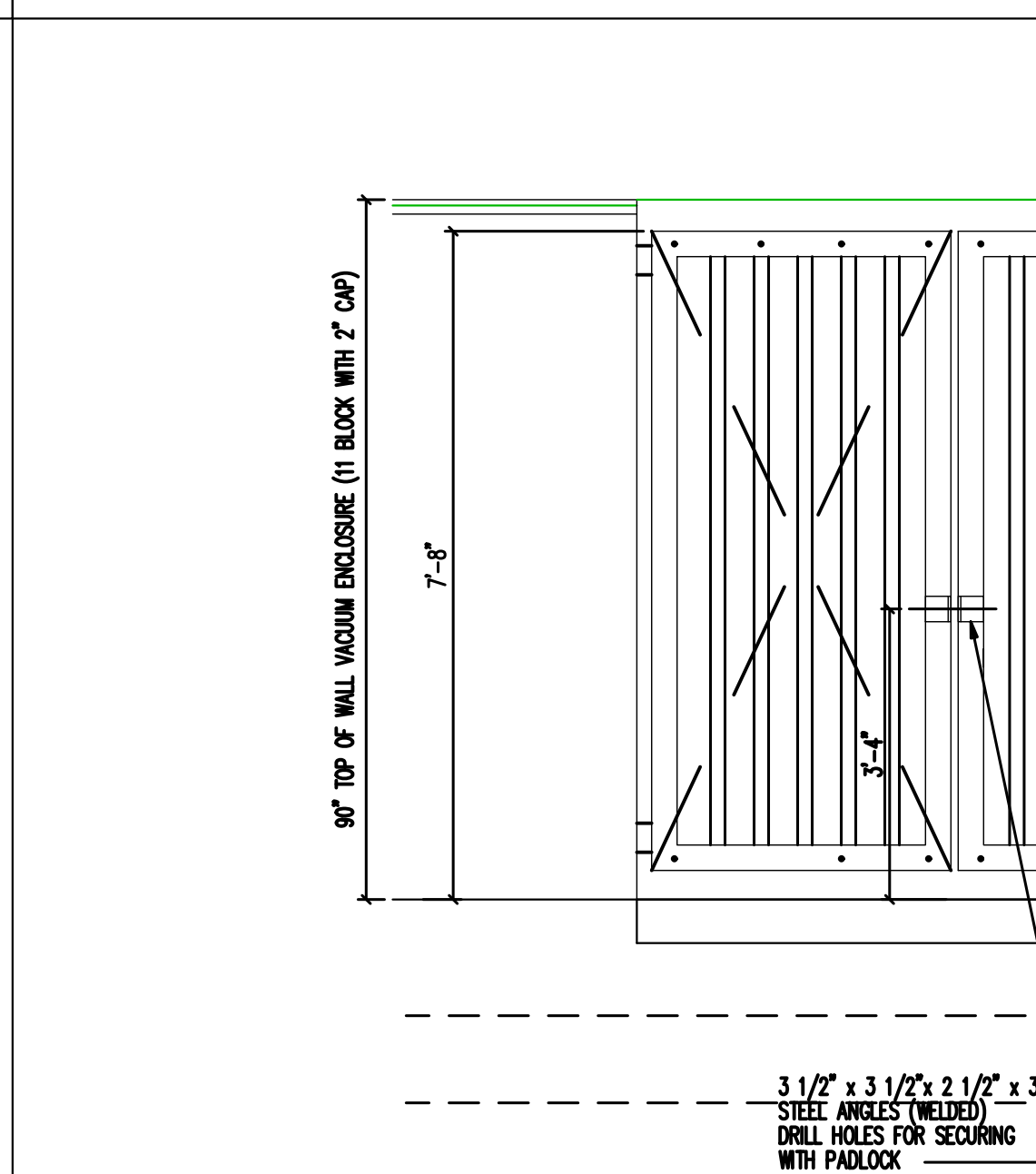


Midblock curb cut assembly
Plan
236
September 2011 75

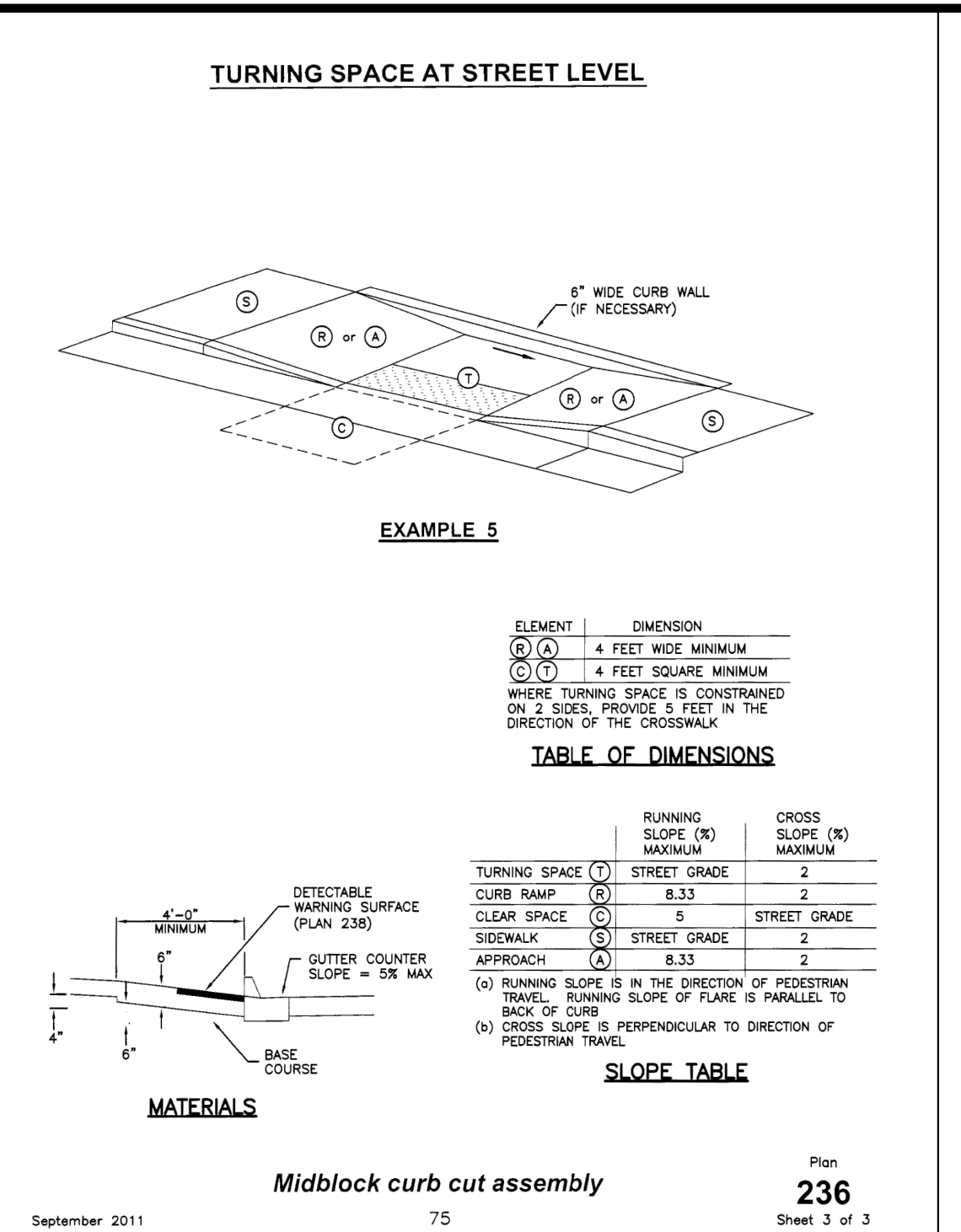
GENERAL
A. Where existing elements or spaces are altered to receive an assembly; slopes and dimensions shall comply with slopes and dimensions shown on the drawing, or to the maximum extent feasible permitted by the ENGINEER. Final configuration of the assembly may be different than shown.
B. Installation of a curb wall is ENGINEER'S choice.
C. Definitions and supplemental requirements are specified in APWA Section 32 16 14.

PRODUCTS
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
C. Detectable Warning Surface: Paver, ribbed composite panel, or tile. Provide a color that contrasts with adjacent walking surface, either light-on-dark or dark-on-light. ENGINEER to select type and color unless indicated otherwise.
D. Concrete: Class 4000, APWA Section 03 30 04.
E. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.

EXECUTION
A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
B. Concrete Placement: APWA Section 03 30 10.
1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface.
2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Maximum length to width ratio for non-square panels is 1.5 to 1. Maximum panel length (in feet) is 1.5 times the slab thickness (in inches).
3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.



Midblock curb cut assembly
Plan
236
September 2011 75

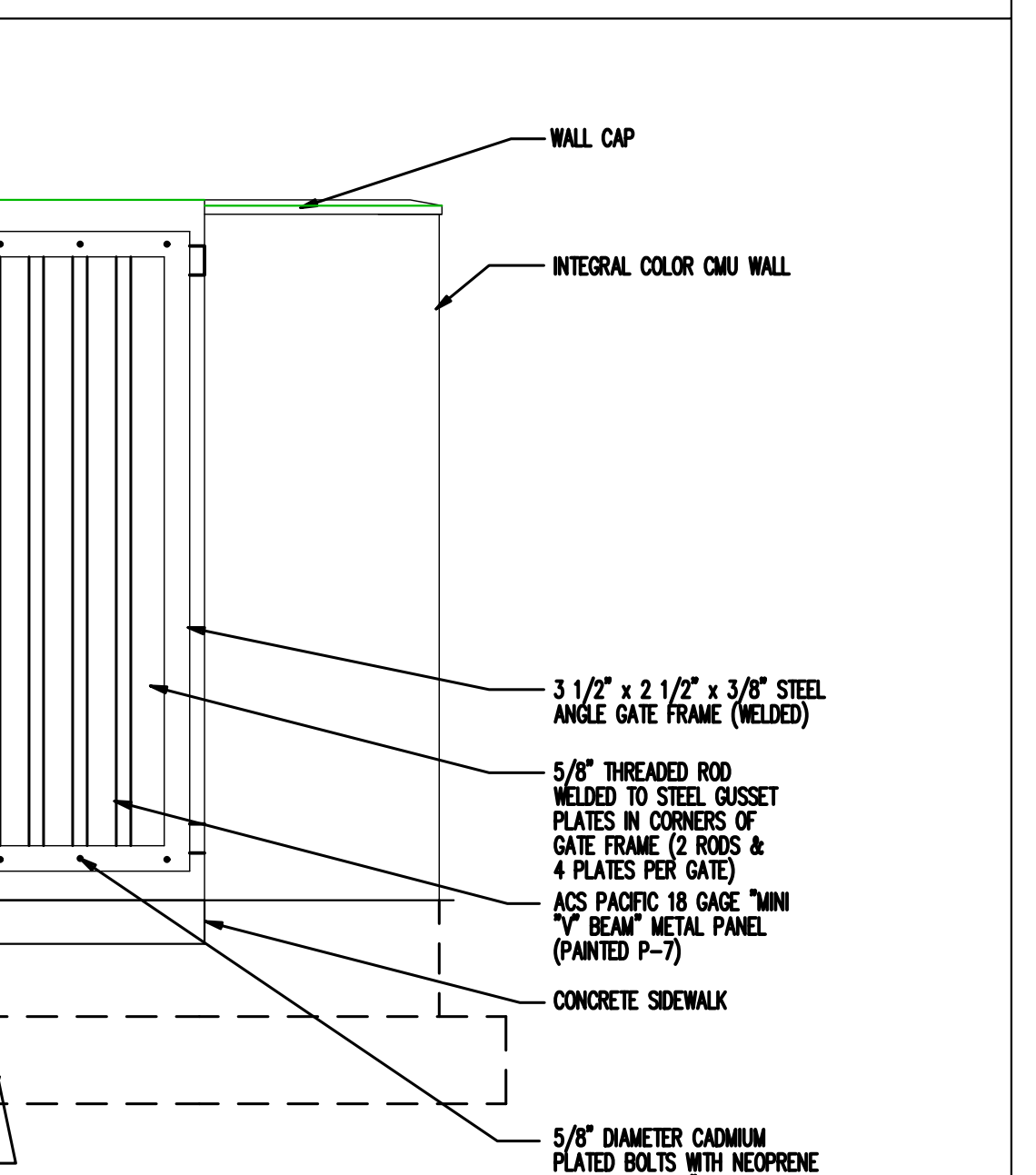


TURNING SPACE AT STREET LEVEL
Plan
236
September 2011 75

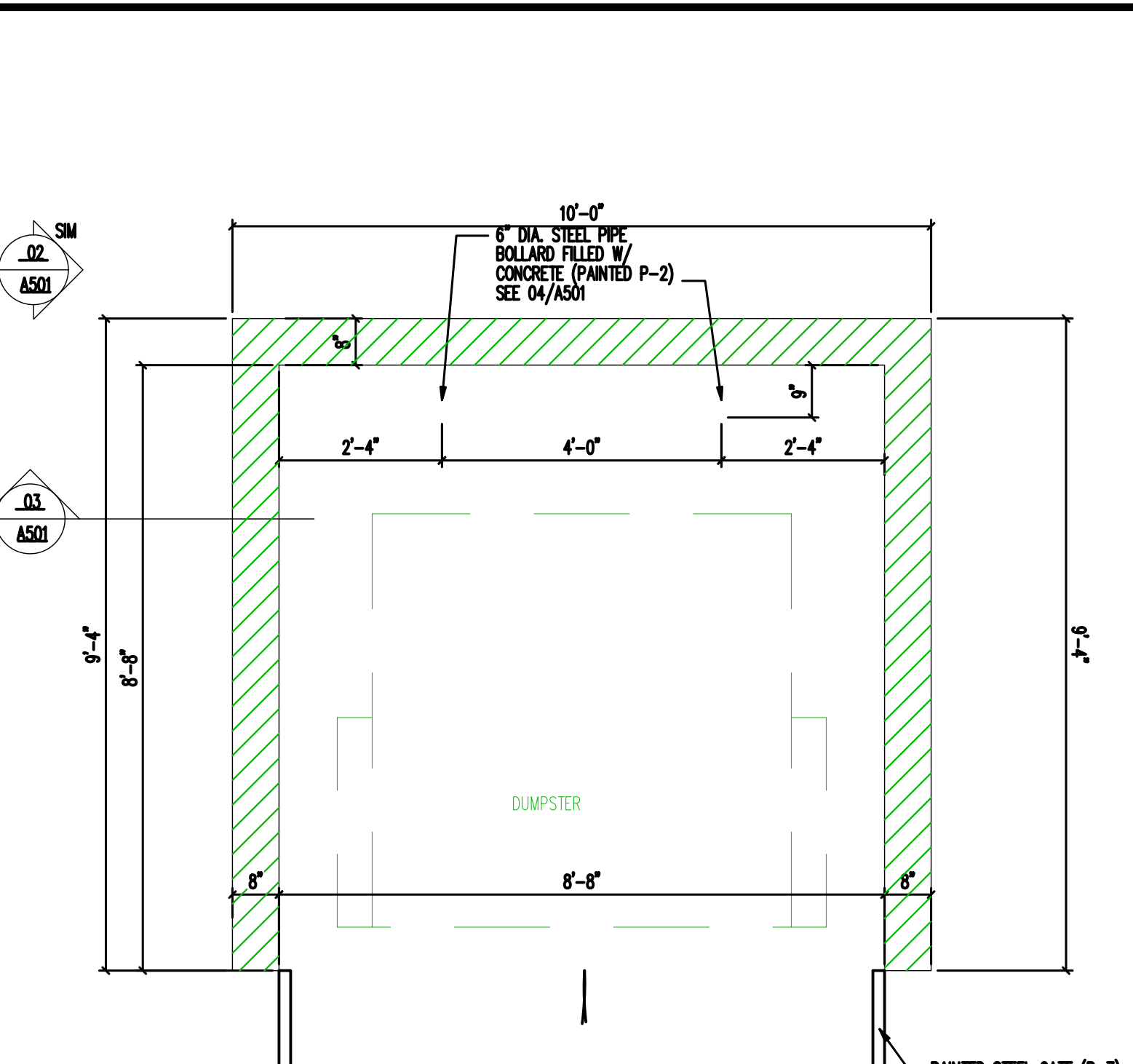
GENERAL
A. Where existing elements or spaces are altered to receive an assembly; slopes and dimensions shall comply with slopes and dimensions shown on the drawing, or to the maximum extent feasible permitted by the ENGINEER. Final configuration of the assembly may be different than shown.
B. Installation of a curb wall is ENGINEER'S choice.
C. Definitions and supplemental requirements are specified in APWA Section 32 16 14.

PRODUCTS
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
C. Detectable Warning Surface: Paver, ribbed composite panel, or tile. Provide a color that contrasts with adjacent walking surface, either light-on-dark or dark-on-light. ENGINEER to select type and color unless indicated otherwise.
D. Concrete: Class 4000, APWA Section 03 30 04.
E. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.

EXECUTION
A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
B. Concrete Placement: APWA Section 03 30 10.
1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface.
2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Maximum length to width ratio for non-square panels is 1.5 to 1. Maximum panel length (in feet) is 1.5 times the slab thickness (in inches).
3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.



TURNING SPACE AT STREET LEVEL
Plan
236
September 2011 75

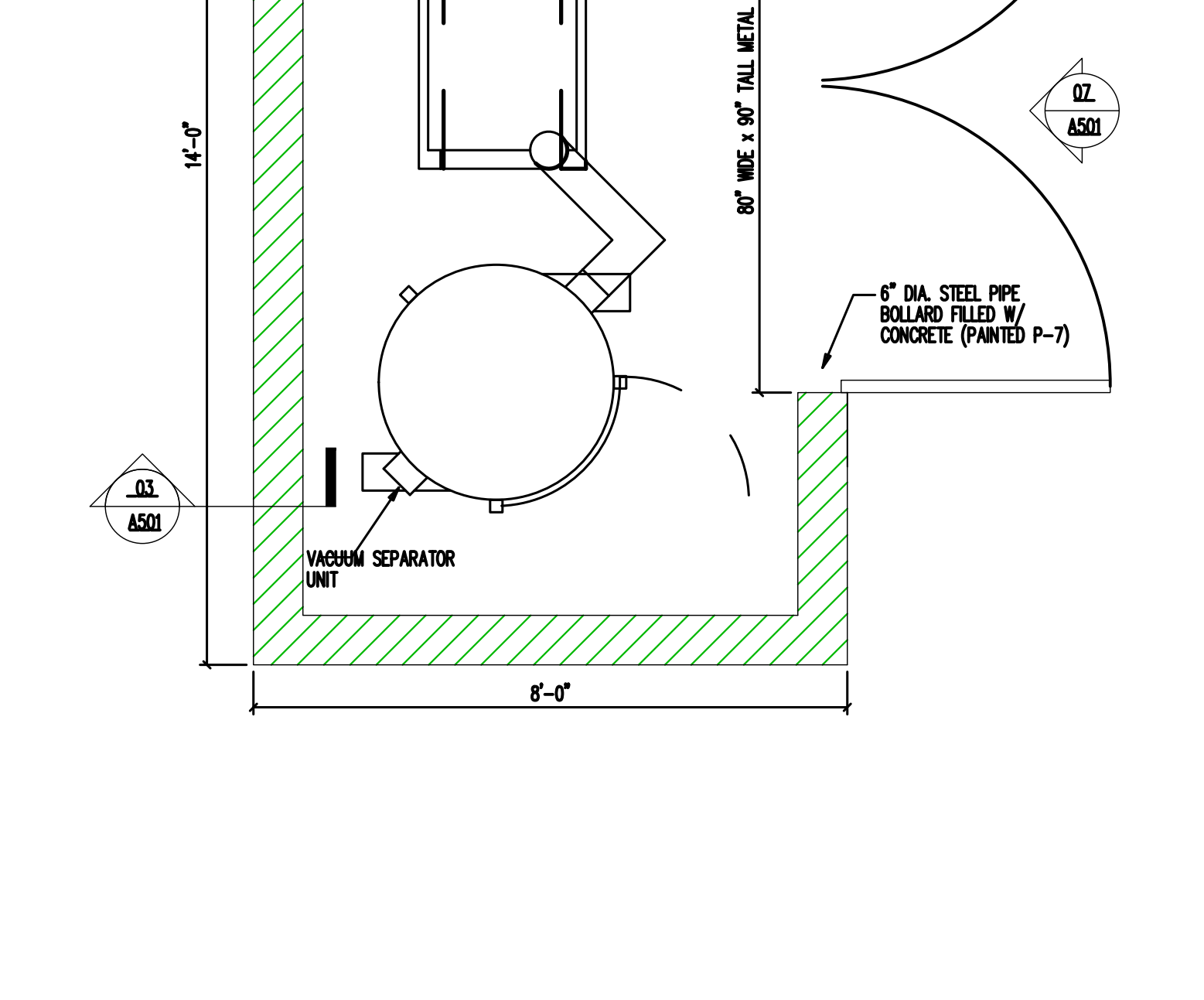


QUICK QUACK BOUNTIFUL DETAILS
Plan
236
September 2011 75

GENERAL
A. Where existing elements or spaces are altered to receive an assembly; slopes and dimensions shall comply with slopes and dimensions shown on the drawing, or to the maximum extent feasible permitted by the ENGINEER. Final configuration of the assembly may be different than shown.
B. Installation of a curb wall is ENGINEER'S choice.
C. Definitions and supplemental requirements are specified in APWA Section 32 16 14.

PRODUCTS
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
C. Detectable Warning Surface: Paver, ribbed composite panel, or tile. Provide a color that contrasts with adjacent walking surface, either light-on-dark or dark-on-light. ENGINEER to select type and color unless indicated otherwise.
D. Concrete: Class 4000, APWA Section 03 30 04.
E. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.

EXECUTION
A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
B. Concrete Placement: APWA Section 03 30 10.
1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface.
2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Maximum length to width ratio for non-square panels is 1.5 to 1. Maximum panel length (in feet) is 1.5 times the slab thickness (in inches).
3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.



QUICK QUACK BOUNTIFUL DETAILS
Plan
236
September 2011 75

ELEVATE ENGINEERING
492 WEST 1200 NORTH
SPRINGVILLE, UT 84663
PHONE: (801) 718-5993
larvin@elevateeng.com

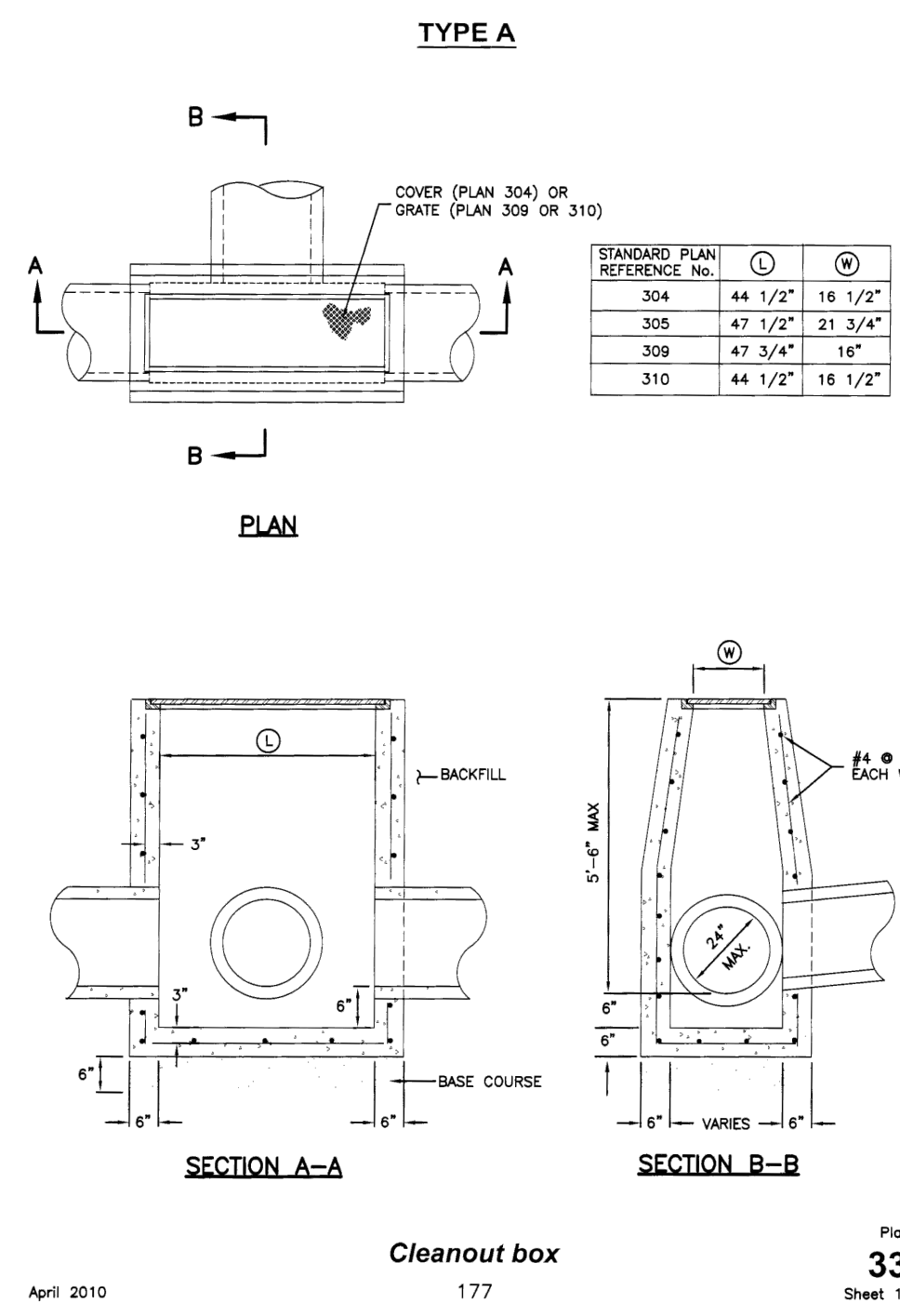
ELEVATE ENGINEERING

QUICK QUACK BOUNTIFUL DETAILS
2566 SOUTH 500 WEST, BOUNTIFUL, 84010

PROFESSIONAL ENGINEER
9/14/18
10864737
LARVIN POLLOCK
STATE OF UTAH

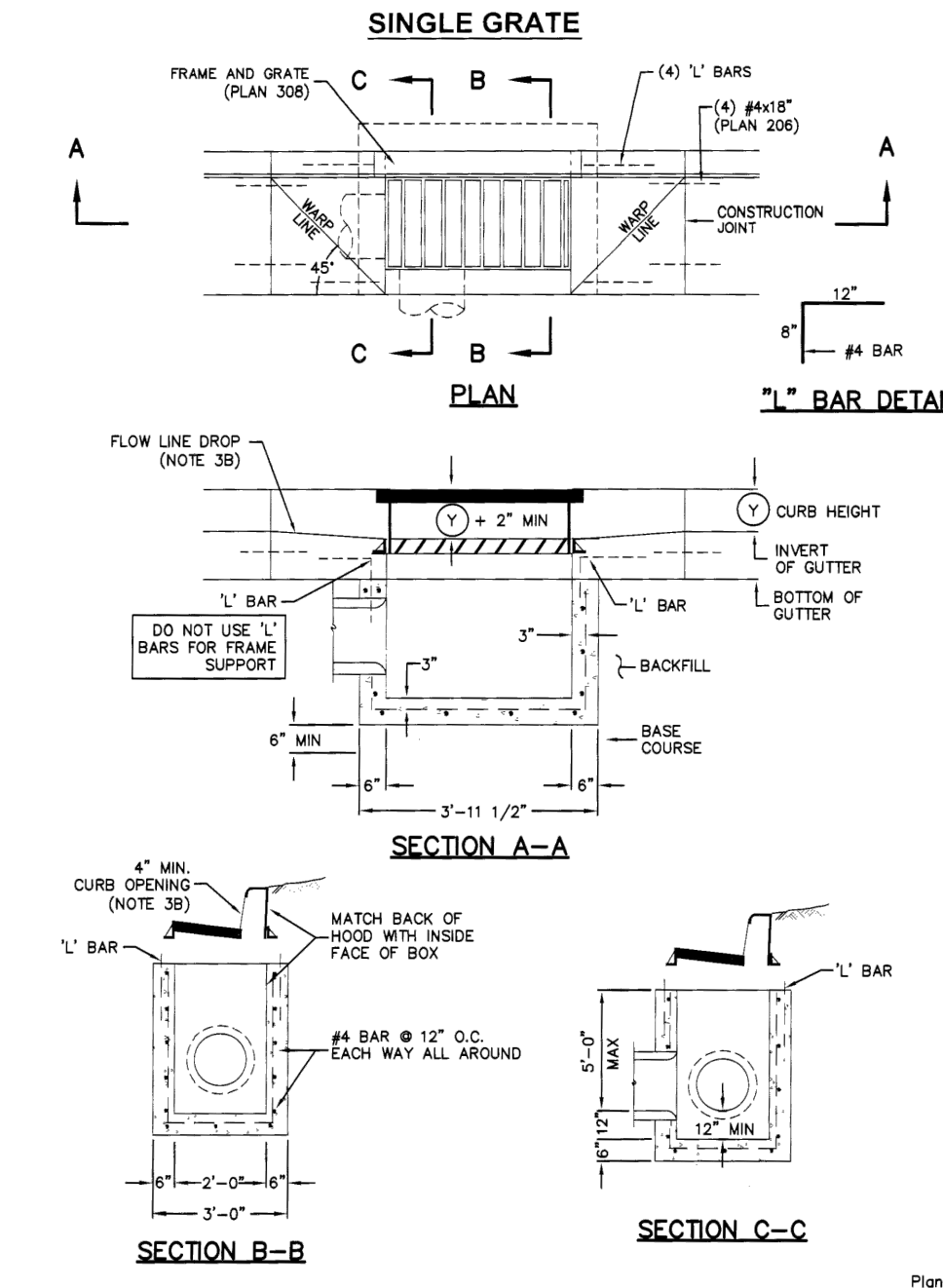
SHEET: C-4
DATE: Sep 14, 2018

BY: DATE: _____
REVISIONS: _____
NO. _____
PROJECT ENGINEER: LP



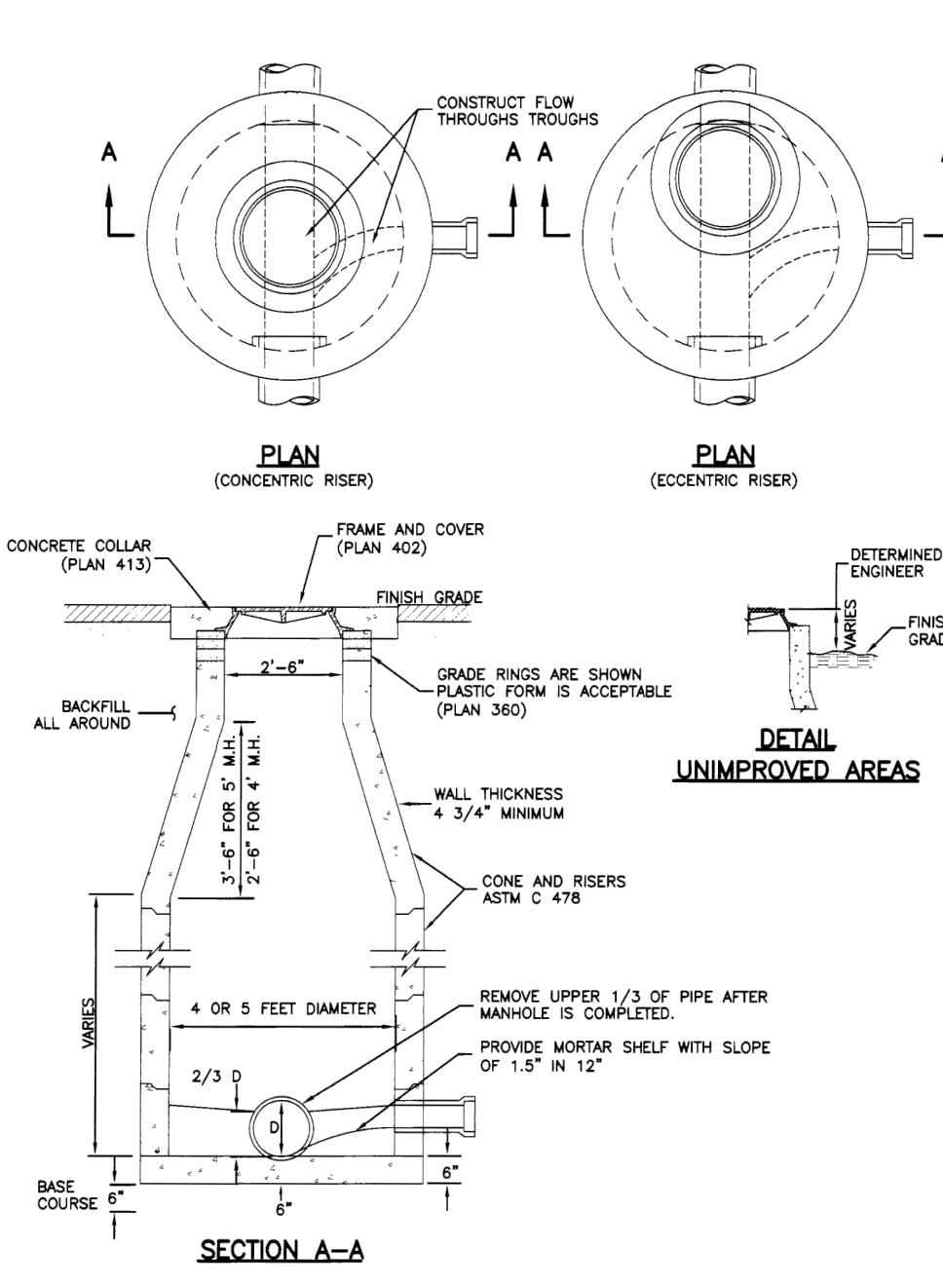
Cleanout box
177

331
Sheet 1 of 3



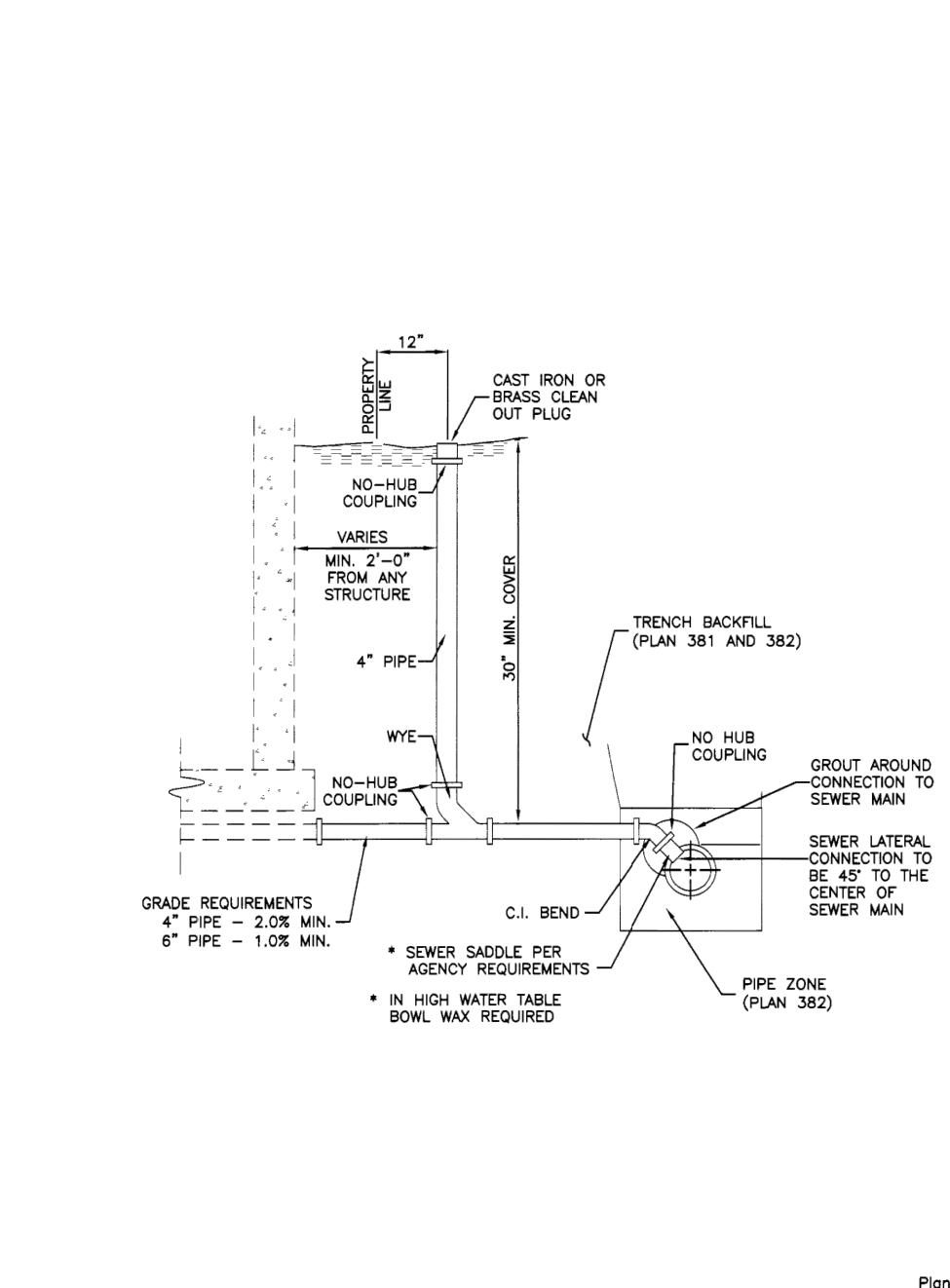
Catch basin
155

315
Sheet 1 of 2



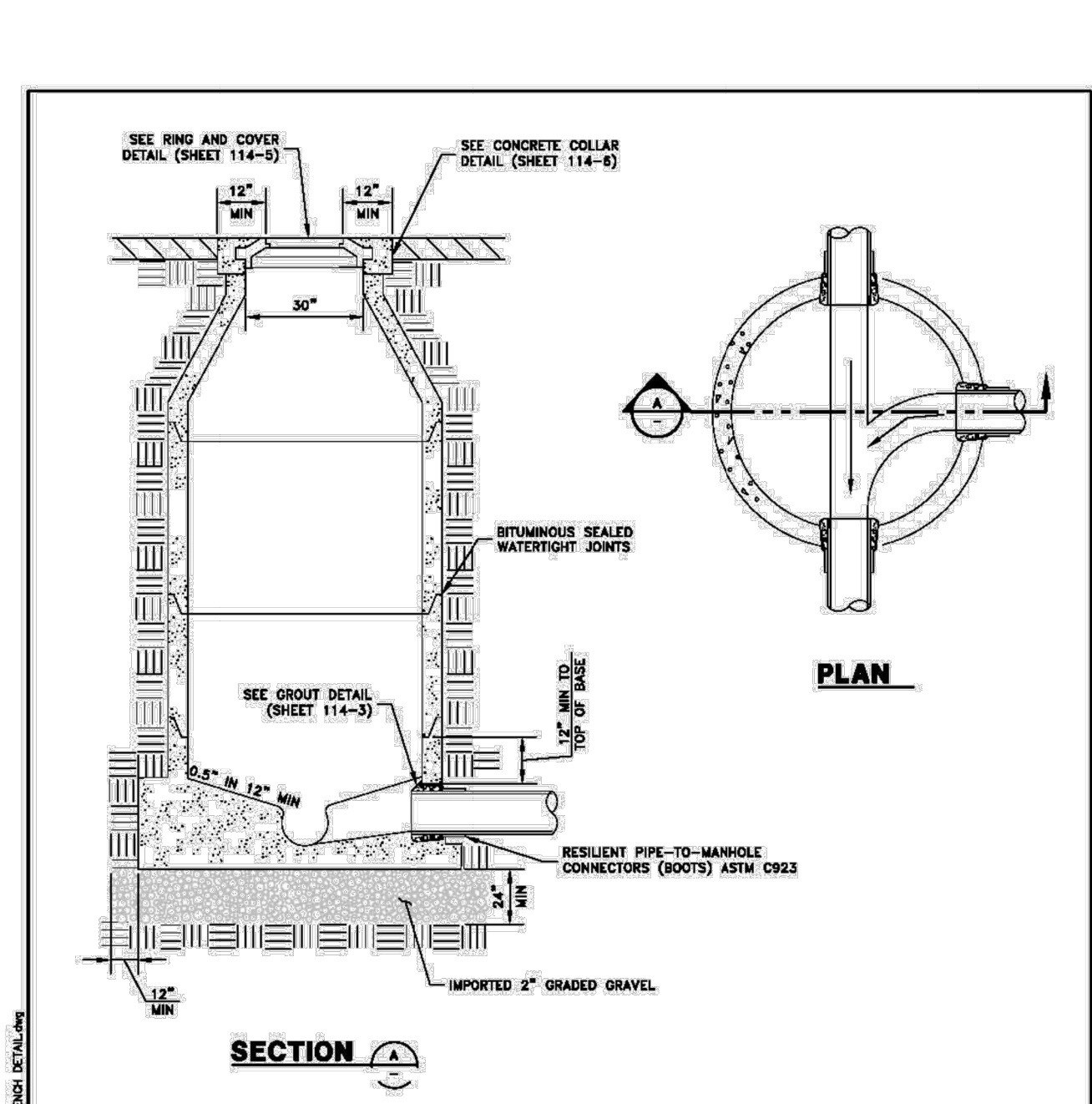
Sanitary sewer manhole
213

411



Sewer lateral connection
219

431



114-2

- GENERAL
 - The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the box.
- PRODUCTS
 - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
 - Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
 - Concrete: Class 4000, APWA Section 03 30 04.
 - Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A 615.
 - Stabilization-Separation Geotextile: High MARV, woven or non-woven, APWA Section 31 05 19.
 - Ladder Rungs: Plastic, or plastic coated steel typically 8-inches wide.
- EXECUTION
 - Foundation Stabilization: Get ENGINEER'S permission to use a sewer rock or a sewer rock in a geotextile wrap to stabilize an unstable foundation.
 - Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
 - Reinforcement: Center steel in walls and slabs with a minimum cover of 2-inches. Keep steel 2-inches clear around pipe and lid opening. Tie-bars required at all corners, vertical and horizontal. Tie-bars connecting two walls must match wall bar size and spacing. Tie-bars connecting walls to top and bottom slabs must match slab steel size and spacing.
 - Concrete Placement: APWA Section 03 30 10. Adjust concrete dimensions at frame accordingly. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
 - Eccentric access is shown. Before construction, verify if concentric access is required. Adjust reinforcement accordingly.
 - Ladder Rungs: Required in boxes greater than 6 feet deep with eccentric access. Align rungs with location of access opening. Rungs not required in boxes with concentric access.
 - Backfill: Provide backfill against all of the box walls. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jetting is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.

178

- GENERAL
 - The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the box.
- PRODUCTS
 - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
 - Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
 - Concrete: Class 4000, APWA Section 03 30 04.
 - Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A 615.
- EXECUTION
 - Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
 - Curb Face Opening: Make opening at least 4-inches high. Provide at least a 2-inch drop between the "warp line" in the gutter flow-line and the top of the grate at the curb face opening.
 - Concrete Placement: APWA Section 03 30 10. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
 - Backfill: Place backfill against the basin wall. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jetting is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.

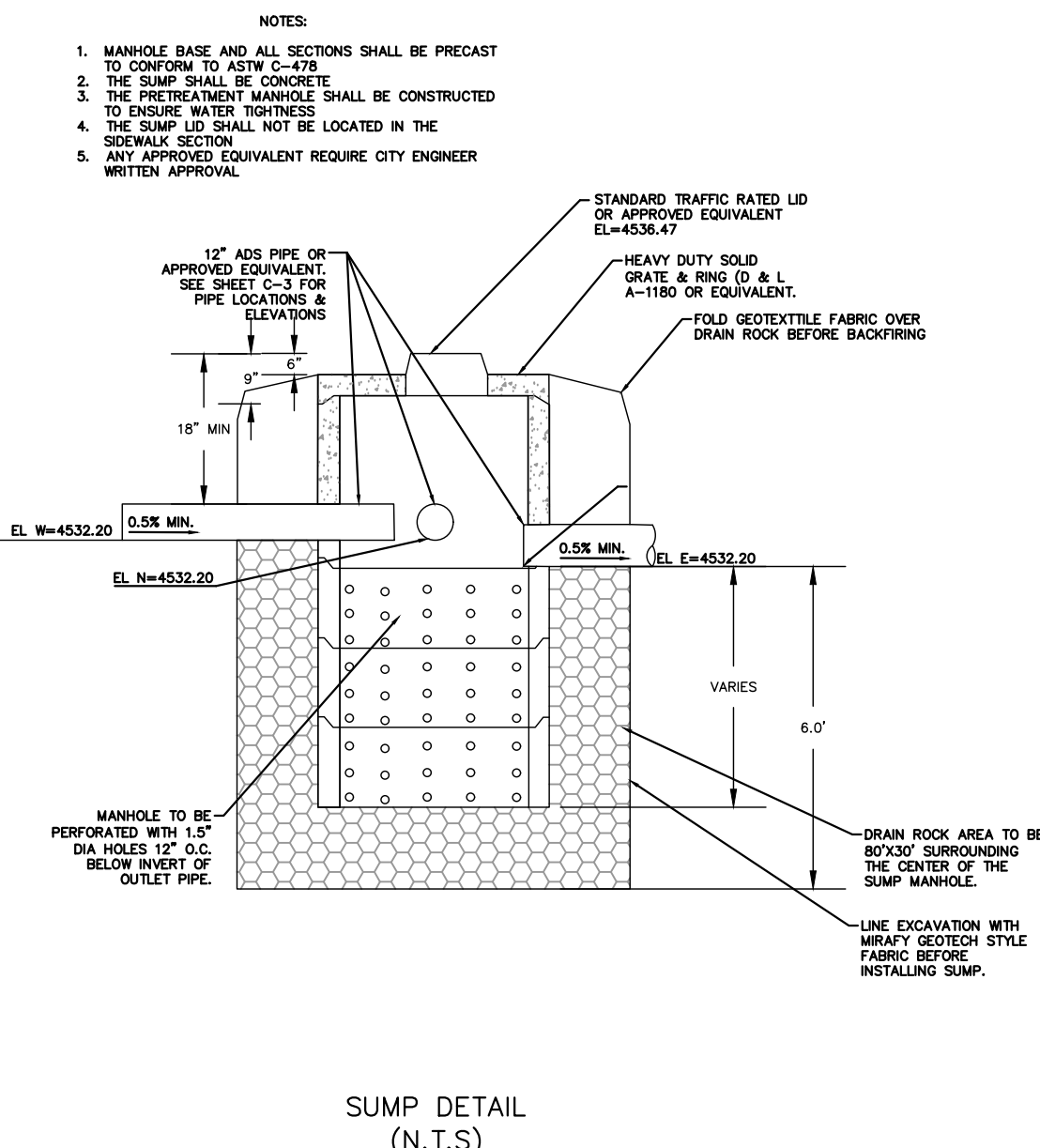
154

- GENERAL
 - The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the manhole.
- PRODUCTS
 - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
 - Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
 - Concrete: Class 4000, APWA Section 03 30 04.
 - Riser and Reducing Riser: ASTM C 478.
 - Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A 615.
 - Grout: 2 parts sand to 1 part cement mortar, ASTM C 1329.
 - Stabilization-Separation Geotextile: Moderate or high at CONTRACTOR'S choice, APWA Section 31 05 19.
- EXECUTION
 - Foundation Stabilization: Get ENGINEER'S permission to use a sewer rock or a granular backfill borrow in a geotextile wrap to stabilize an unstable foundation.
 - Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
 - Invert Cover: During construction, place invert covers over the top of pipe in manholes that currently convey sewerage. See Plan 412.
 - Pipe Connections: Grout around all pipe openings.
 - Pipe Seal: Install rubber-based pipe seals on all plastic pipes when connecting plastic pipes to manholes. Hold water-stop in place with stainless steel bands.
 - Joints: Place flexible gasket-type sealant in all riser joints. Finish with grout.
 - Adjustment: If the required manhole adjustment is more than 1'-0", remove the cone and grade rings and adjust the manhole elevation with the appropriate manhole section, the cone section, and the grade rings or plastic form to make frame and lid match finish grade.
 - Finish: Provide smooth and neat finishes on interior of cones, shafts, and rings. Imperfect moldings or honeycombs will not be accepted.
 - Backfill: Provide backfill against the manhole shaft. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jetting is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.

212

- GENERAL
 - Before installation, secure acceptance by ENGINEER for all pipe, fittings, and couplings to be used.
 - Before backfilling, secure inspection of installation by ENGINEER. Give at least 24 hours notice.
 - Verify if CONTRACTOR or agency is to install the wye.
- PRODUCTS
 - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
 - Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
 - Provide agency approved wye or tee with appropriate donut.
 - Stainless steel straps required.
- EXECUTION
 - Tape wrap pipe as required by soil conditions.
 - Remove core plug from sewer main. Do not break into sewer main to make connection.
 - Base Course and Backfill Placement: Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.

218



SUMP DETAIL
(N.T.S.)

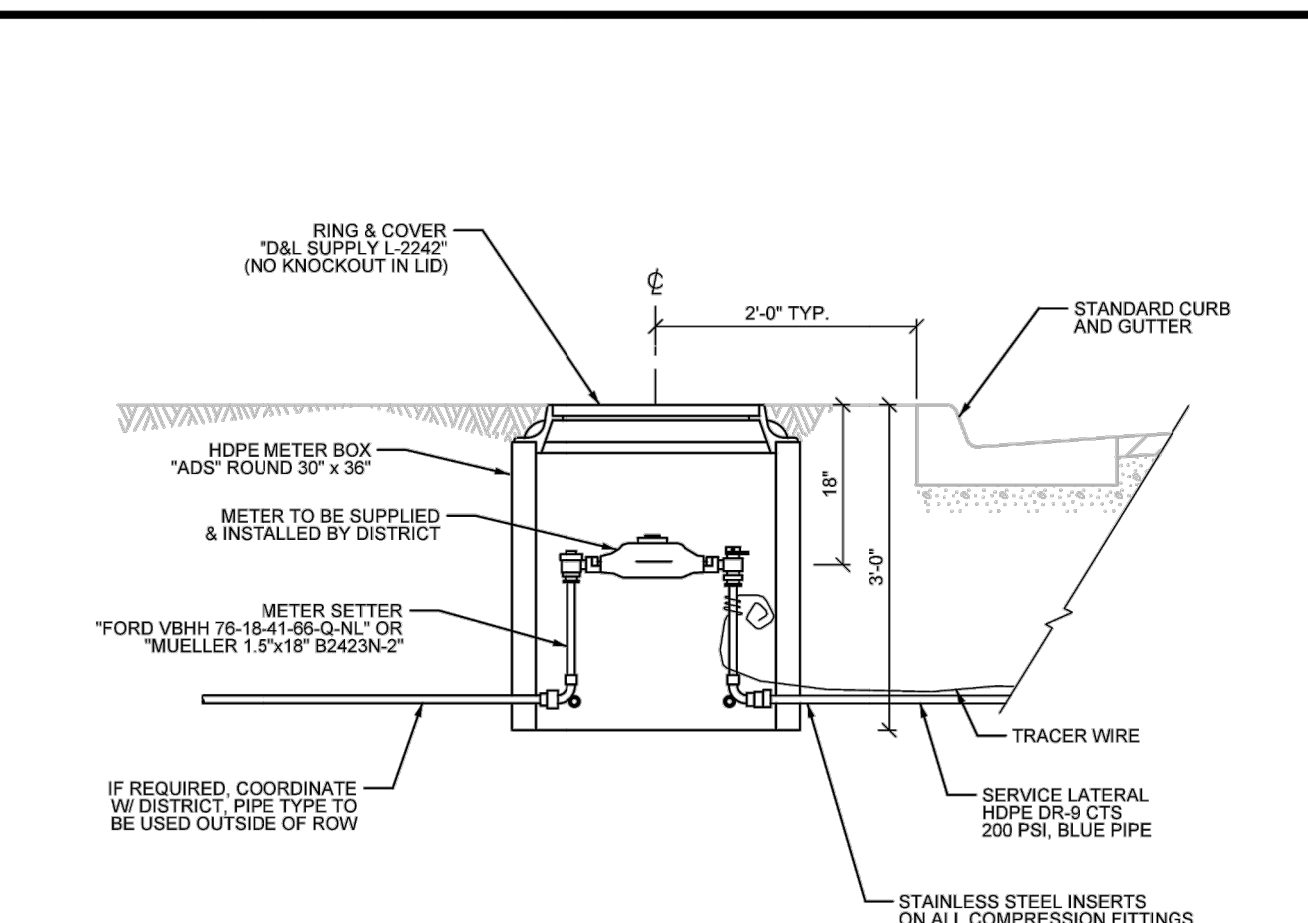
NOTES:

- THE MINIMUM DIAMETER OF ANY MANHOLE THAT HAS A TOTAL OF 3 OR MORE, 8-INCH OR LARGER PIPES ENTERING AND/OR LEAVING IT, OR ANY PIPE GREATER THAN 15 INCHES IN DIAMETER ENTERING OR LEAVING IT, SHALL BE 80 INCHES UNLESS OTHERWISE APPROVED IN WRITING BY THE DISTRICT. THE MINIMUM DIAMETER FOR ALL OTHER MANHOLES SHALL BE 48 INCHES.
- CONCRETE MANHOLES SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI AND CONFORM TO ASTM C926 SPECIFICATIONS.
- MANHOLE BASES SHALL BE PRECAST.
- ALL MANHOLES MUST HAVE A CONCENTRIC CONE UNLESS OTHERWISE APPROVED.
- FLOW CHANNELS THROUGH MANHOLES SHALL HAVE 0.2 FOOT SLOPE TO MATCH THE ENGINEERED SLOPE OF PIPE.
- MANHOLE STEPS ARE NOT PERMITTED.
- MANHOLES SHALL BE BEDDED WITH A MINIMUM OF 24 INCHES OF IMPORTED 2-INCH GRADED GRAVEL. BEDDING SHALL EXTEND A MINIMUM OF 12 INCHES OUTSIDE THE OUTSIDE LIMITS OF THE BASE SECTION.
- EXTRA CARE MUST BE TAKEN TO PROPERLY RED AND HANGH PIPE CONNECTIONS TO MANHOLES TO AVOID SETTLEMENT AND/OR SHIFTING OF PIPES.

SOUTH DAVIS SEWER DISTRICT
PRECAST MANHOLE DETAIL

SCALE: NONE

114-2



- NOTES
- METER PLACEMENT
 - IN NEW CONSTRUCTION, INSTALL METER AT CENTER OF LOT OR AS PER DISTRICT.
 - ALL METERS ARE TO BE INSTALLED IN THE PARK STRIP OR WITHIN 7 FEET OF ROW LINE.
 - DO NOT INSTALL METERS UNDER DRIVE APPROACHES, SIDEWALKS, OR CURB AND GUTTER.
 - METER BOX
 - SET BOX SO GRADE OF THE FRAME AND COVER MATCHES THE GRADE OF THE SURROUNDING SURFACE.
 - IN VEHICULAR TRAFFIC AREAS PROVIDE TRAFFIC LIGHTING BOX AND GRATE.
 - PIPE PLACEMENT: CULINARY WATER LINE MAINS SHALL BE SET WITH A MINIMUM COVER OF 42-INCH. CULINARY SERVICE LATERALS SHALL HAVE A MINIMUM OF 36-INCHURY DEPTH.
 - PIPE: CULINARY WATER LINE MAINS SHALL BE PVC (OR HDPE) AS PER DISTRICT. CULINARY SERVICE LATERALS SHALL BE HDPE.
 - CONNECTIONS:
 - USE STAINLESS STEEL STIFFENERS ON ALL HDPE (COPPER TUBE SIZE) CONNECTIONS AND FITTINGS.
 - SADDLE CONNECTIONS ON MAIN LINE SHALL BE A MINIMUM OF 2-FT FROM NEXT SERVICE SADDLE LOCATION.
 - USE LOCK-IN FOLLOWERS, GRIP RINGS ON ALL MJ FITTINGS.
 - ALL BEVELED ENDS SHALL BE CUT OFF BEFORE BEING CONNECTED TO A MECHANICAL JOINT FITTING.
 - CASTING: GREY IRON CLASS 35 MINIMUM PER ASTM A 48.
 - FITTINGS: PROVIDE BRASS FITTINGS AND NIPPLES. DO NOT USE GALVANIZED MATERIALS.
 - ALL WATER LINE MATERIALS SHALL MEET THE REQUIREMENTS OF "THE REDUCTION OF LEAD IN DRINKING WATER ACT".
 - TRACER WIRE: LEAVE 1-FT FIG TAIL IN METER BOX. ON NEW CONNECTIONS TO EXISTING MAIN, ATTACH BARE WIRE TO CORP. STOP.
 - MATERIAL BRANDS ARE AS SHOWN, OR BY DISTRICT APPROVED EQUIVALENT.
 - INSPECTION PRIOR TO BACKFILLING. SECURE INSPECTION OF INSTALLATION BY ENGINEER OR DISTRICT REPRESENTATIVE.
 - BACKFILL: PROVIDE AND PLACE PER DISTRICT STANDARD SECTION 31 05 13. COMPACT PER SECTION 31 23 26 TO A MODIFIED PROCTOR DENSITY OF 95 PERCENT OR GREATER. MAXIMUM LIFT THICKNESS IS 8 INCHES BEFORE COMPACTION.

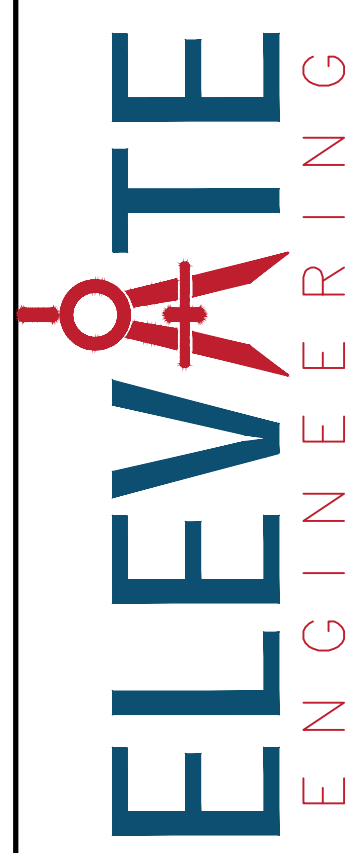
1-1/2" AND 2" METERS
FEBRUARY 2016

SDWD
STANDARD
DETAIL

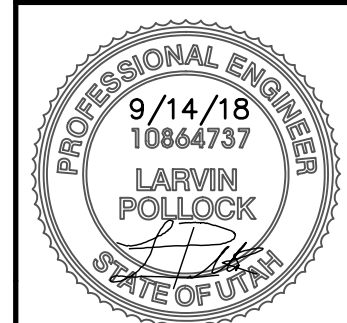
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NO.	REVISIONS	BY	DATE

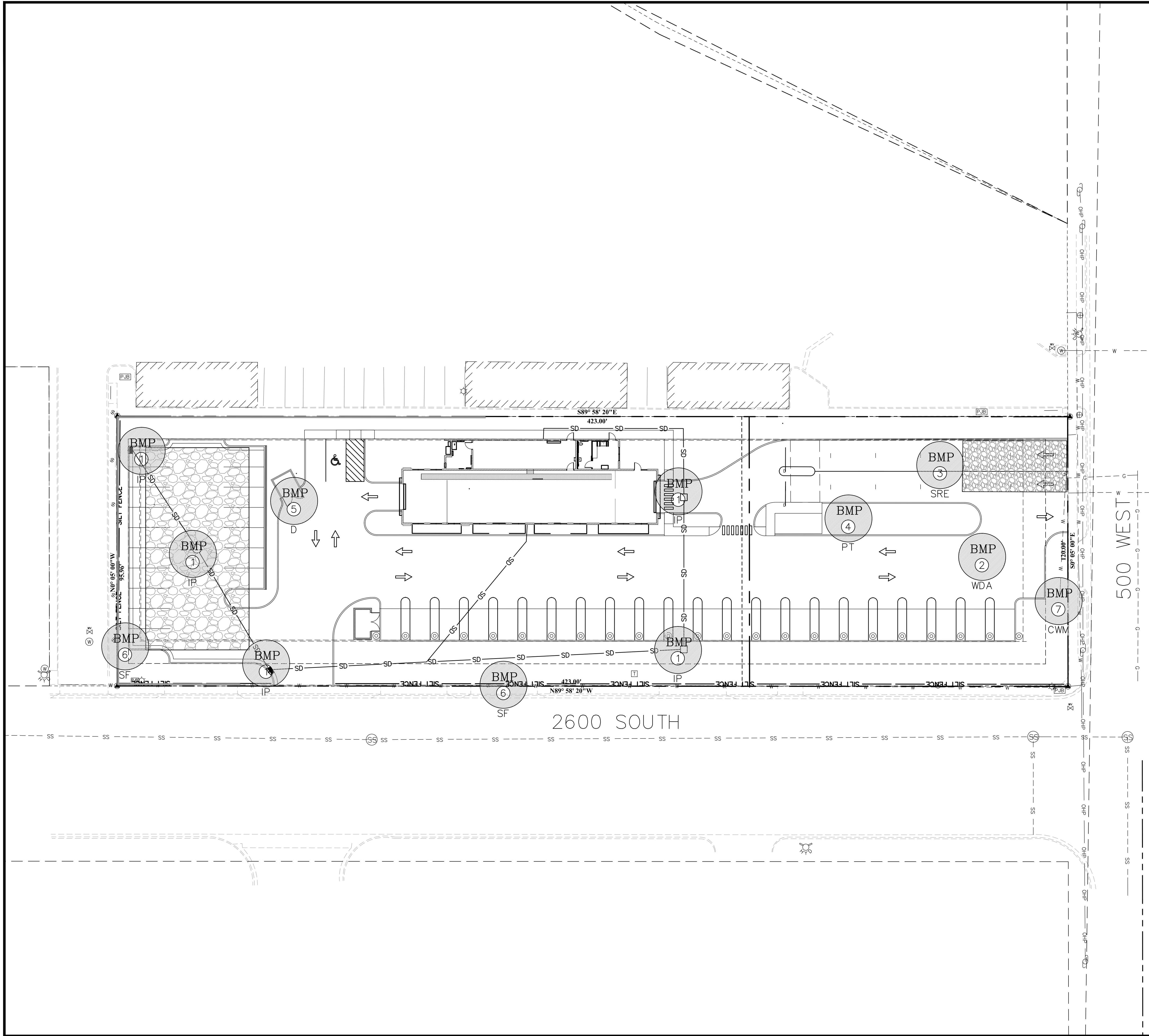
ELEVATE ENGINEERING
492 WEST 1200 NORTH
SPRINGVILLE, UT 84663
PHONE: (801) 718-5993
larvin@elevateeng.com



QUICK QUACK BOUNTIFUL
UTILITY DETAILS
2566 SOUTH 500 WEST, BOUNTIFUL, 84010



SHEET:
C-5
DATE:
Sep 14, 2018



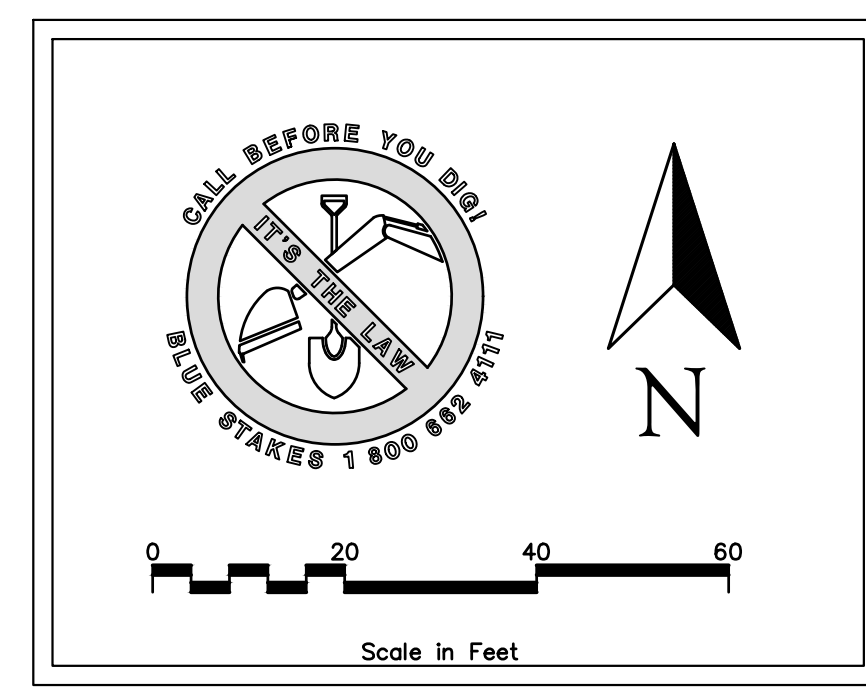
LEGEND

- == == == EXISTING CURB AND GUTTER
- == == == PROPOSED CURB AND GUTTER
- x- EXISTING FENCE
- - - - - PROPERTY LINE
- SS- EXISTING SEWER
- W- EXISTING WATER LINE
- 21.00- FINISHED CONTOUR LINE
- 2732- EXISTING CONTOUR LINE
- SD- PROPOSED STORM DRAIN LINE
- SD- EXISTING STORM DRAIN LINE

- SILT FENCE — SILT FENCE
- CLEAN OUT BOX
- BMP BEST MANAGEMENT PRACTICE
SEE BEST MANAGEMENT PRACTICE INDEX AND SHEET C-7 FOR DETAILS
- XX

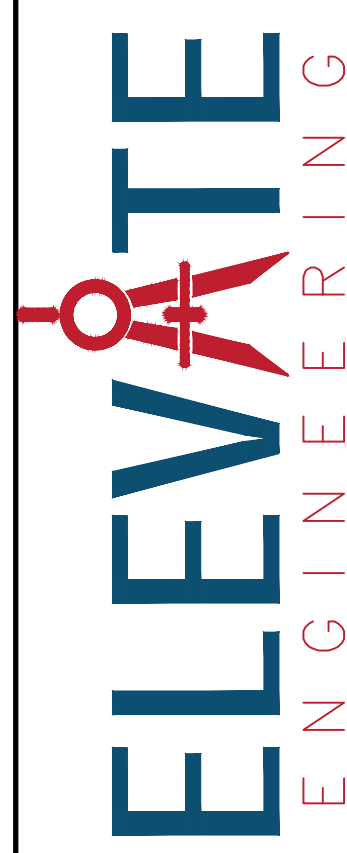
- NOTES**
- DURING CONSTRUCTION
1. ALL EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSPECTED AND MAINTAINED REGULARLY (ONCE A WEEK) AND AFTER EVERY STORM EVENT
 2. LAND DISTURBANCE SHALL BE KEPT TO MINIMUM TO CONTROL RUNOFF FROM THE SITE
 3. LIMIT LAND CLEARING AND RESTORE ALL GRADING AS SOON AS POSSIBLE
 4. STAGED SEEDING TO RE-VEGETATE CUT AND FILL SLOPES AS THE WORK IS IN PROGRESS
 5. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND OTHER EROSION
 6. MAINTENANCE OF STREET: STREETS TO BE KEPT CLEAN AND FREE FROM DEBRIS.
 7. CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION.
 8. A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE KEPT ON THE SITE DURING ALL CONSTRUCTION ACTIVITY
- POST CONSTRUCTION
- SEE SHEET C-7

- BEST MANAGEMENT PRACTICE INDEX**
- | | | |
|---|-----|--------------------------------------|
| 1 | IP | INLET PROTECTION |
| 2 | WDA | EQUIPMENT AND VEHICLE WASH DOWN AREA |
| 3 | SRE | STABILIZED ROADWAY ENTRANCE |
| 4 | PT | PORTABLE TOILET |
| 5 | D | DUMPSTER LOCATION |
| 6 | SF | SILT FENCE |
| 7 | CWM | CONCRETE WASTE MANAGEMENT |
- ADDITIONAL BMP'S TO BE ONSITE:
- SPILL CLEANUP
 - VEHICLE & EQUIPMENT FUELING
- SEE SHEET C-7 FOR BMP DETAILS

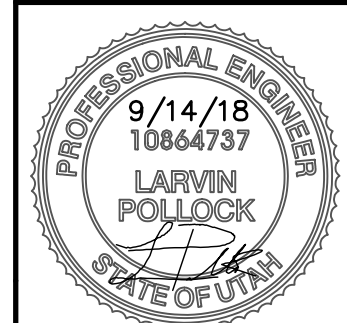


NO.	REVISIONS	BY	DATE

ELEVATE ENGINEERING
 492 WEST 1200 NORTH
 SPRINGVILLE, UT 84663
 PHONE: (801) 718-5993
 larvin@elevateeng.com

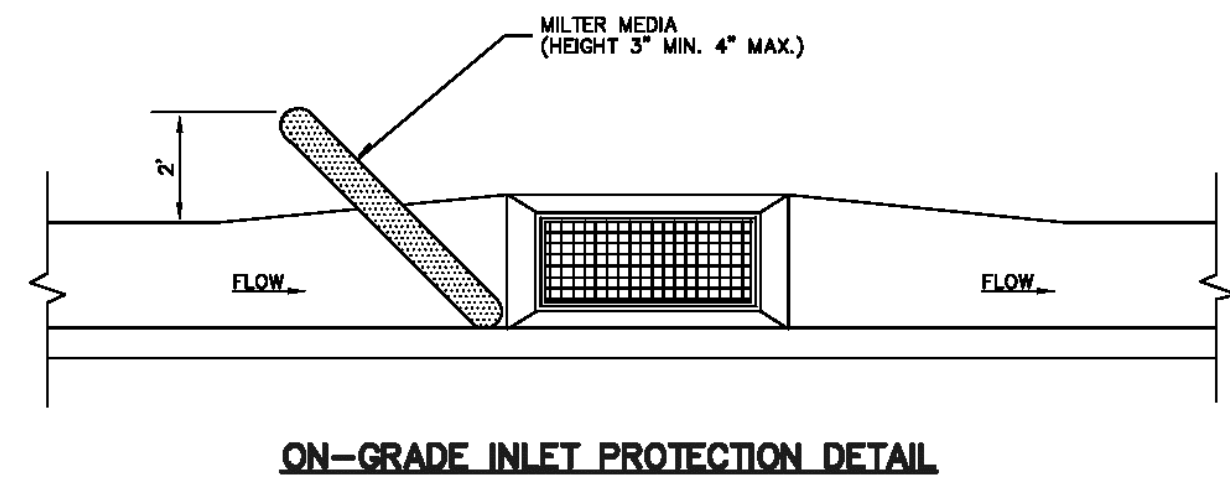


**QUICK QUACK BOUNTIFUL
 STORMWATER POLLUTION PREVENTION**
 2566 SOUTH 500 WEST, BOUNTIFUL, 84010

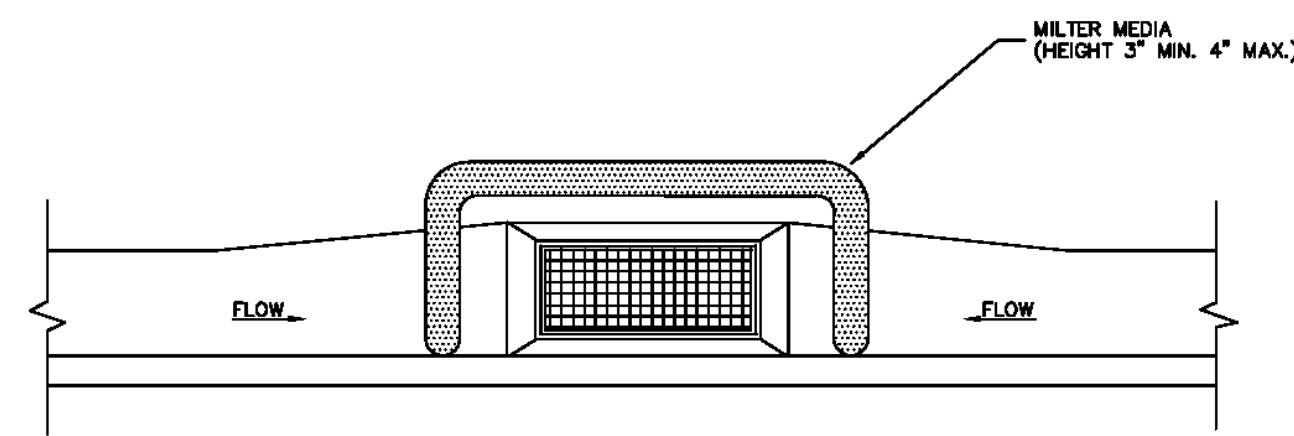


SHEET:
C-6
 DATE:
 Sep 14, 2018

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



ON-GRADE INLET PROTECTION DETAIL



DROP INLET PROTECTION DETAIL

Inlet protection - gravel sock

Plan No. **124**

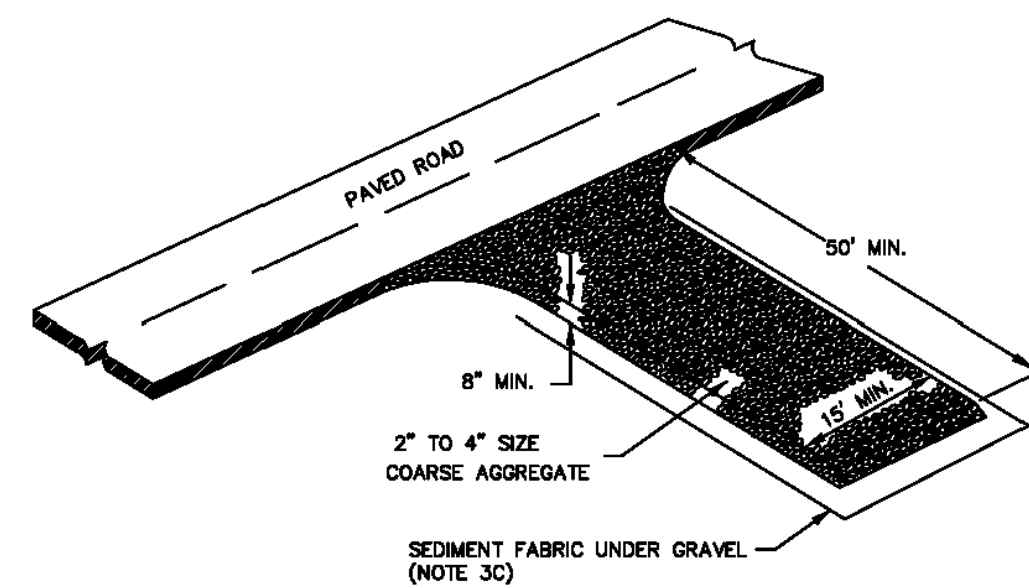
September 2006 11 Drawing 1 of 3

Inlet protection - gravel sock

1. DESCRIPTION: Placement of gravel sock on grade upstream of, or in front of storm drain inlets to filter or pond water runoff
2. APPLICATION: At inlets in paved or unpaved areas where up gradient area is to be disturbed by construction activities.
3. INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.
 - A. On-grade inlet protection:
 1. On-grade inlet protection should be used when completely blocking a storm drain inlet box would result in forcing water further downstream would cause flooding or other undesirable results.
 2. Prepare filter media (gravel sock, straw waddle, or other approved media) in accordance with manufacturer's recommendations.
 3. Install filter media just upstream of the inlet box.
 4. Filter media shall butt tightly against the face of the curb and angle at approximately a 45 degree angle away from the curb to trap runoff between the media and the curb.
 5. Excessive flows will flow either over or around the filter media and into the inlet box.
 6. Expect ponding behind the filter media.
 - B. Drop inlet protection:
 1. Drop inlet protection should be used at low points in the curb and when diverting flows further downstream will not cause undesirable results.
 2. Prepare filter media (gravel sock, straw waddle, or other approved media) in accordance with manufacturer's recommendations.
 3. Install filter media around the entire perimeter of the inlet grate.
 4. Filter media shall butt tightly against the face of the curb on both sides of the inlet grate.
 5. Excessive flows will either flow around the media or over the top and into the inlet box.
 6. Expect ponding around the inlet box.
4. MAINTENANCE:
 - A. Inspect inlet protection after every large storm event and at a minimum of once monthly.
 - B. Remove sediment accumulated when it reaches 2 inches in depth.
 - C. Replace filter medium when damage has occurred or when medium is no longer functioning as intended.

10

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Stabilized roadway entrance

Plan No. **126**

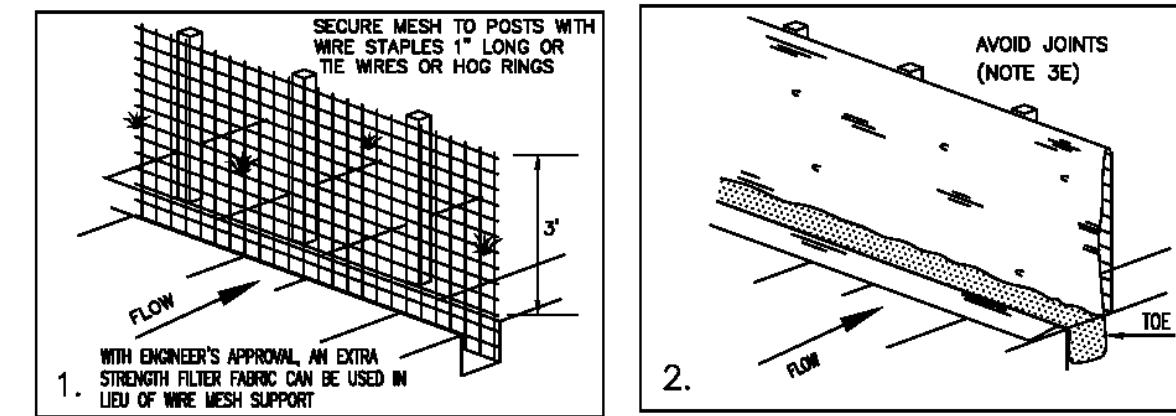
February 2006 19

Stabilized roadway entrance

1. DESCRIPTION: A temporary stabilized pad of gravel for controlling equipment and construction vehicle access to the site.
2. APPLICATION: At any site where vehicles and equipment enter the public right of way.
3. INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.
 - A. Clear and grub area and grade to provide maximum slope of 1 percent away from paved roadway.
 - B. Compact subgrade.
 - C. Place filter fabric under stone if desired (recommended for entrance area that remains more than 3 months).
4. MAINTENANCE:
 - A. Requires periodic top dressing with additional stones.
 - B. Prevent tracking or flow of mud into the public right-of-way.
 - C. Periodic top dressing with 2 inches stone may be required, as conditions demand, and repair any structures used to trap sediments.
 - D. Inspect daily for loss of gravel or sediment buildup.
 - E. Inspect adjacent areas for sediment deposit and install additional controls as necessary.
 - F. Expand stabilized area as required to accommodate activities.

18

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



Silt fence

Plan No. **122**

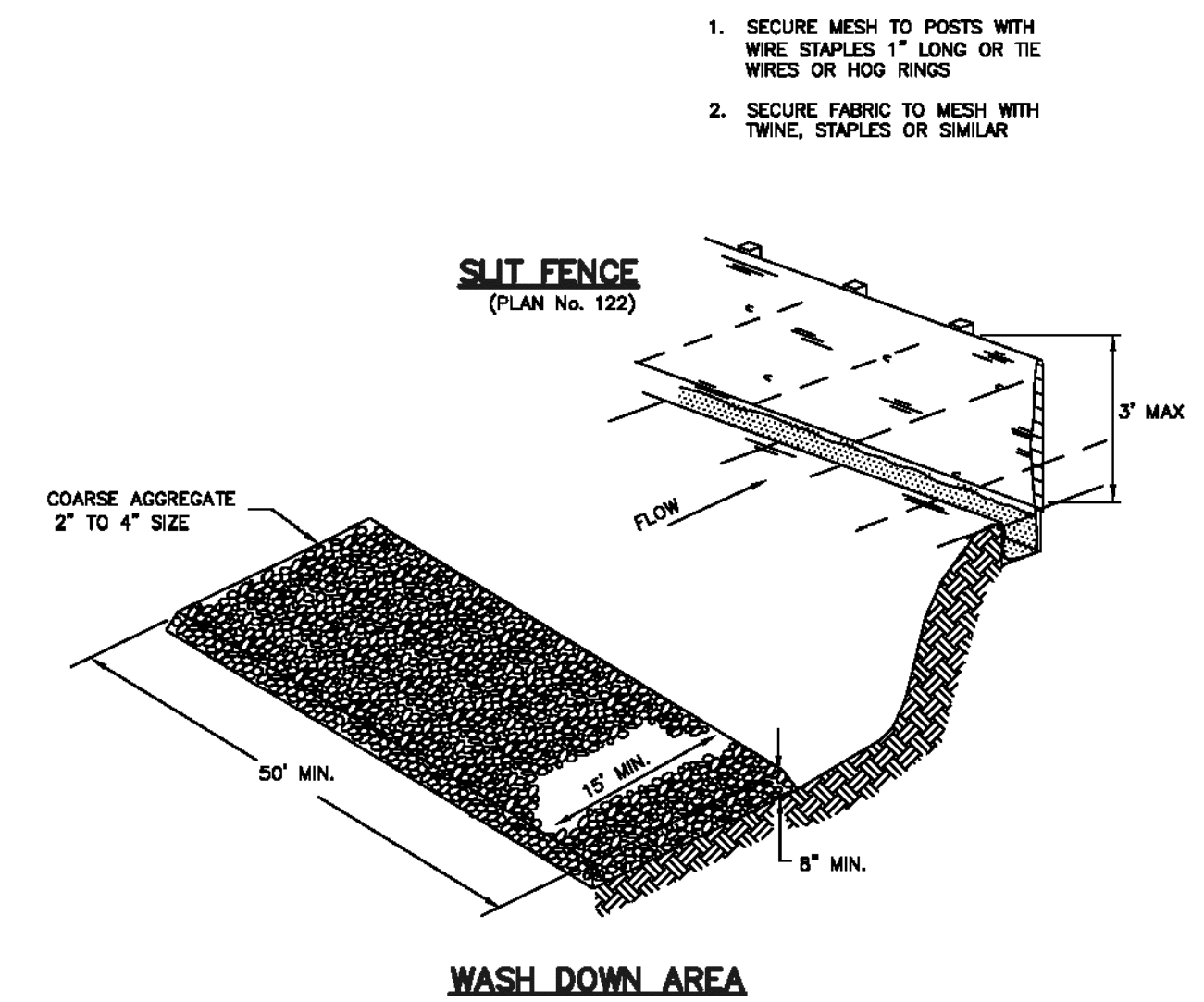
February 2006 7

Silt fence

1. DESCRIPTION: A temporary sediment barrier consisting of a filter fabric stretched across and attached to supporting posts and entrenched.
2. APPLICATION: To intercept sediment from disturbed areas of limited extent.
 - A. Perimeter Control: Place barrier at down gradient limits of disturbance.
 - B. Sediment Barrier: Place barrier at toe of slope or soil stockpile.
 - C. Protection of Existing Waterways: Place barrier at top of stream bank.
 - D. Inlet Protection.
3. INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.
 - A. Synthetic filter fabric shall be a pervious sheet of propylene, nylon, polyester, or polyethylene yarn. Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizers to provide a minimum of 6 months of expected usable construction life at a temperature range of 0 deg. F. to 120 deg. F.
 - B. Burlap shall be 10 ounces per square yard of fabric.
 - C. Posts for silt fences shall be either 2" x 4" diameter wood, or 1.33 pounds per linear foot steel with a minimum length of 5 feet. Steel posts shall have projections for fastening wire to them.
 - D. The fabric is cut on site to desired width, unrolled, and draped over the barrier. The fabric toe is secured with rocks or dirt. The fabric is secured to the mesh with twin, staples or similar devices.
 - E. When attaching two silt fences together, place the end post of the second fence inside the end post of the first fence. Rotate both posts at least 180 degrees on a clockwise direction to create a tight seal with the filter fabric. Drive both posts into the ground and bury the flap.
 - F. When used to control sediments from a steep slope, silt fences should be placed away from the toe of the slope for increased holding capacity.
4. MAINTENANCE:
 - A. Inspected immediately after each rainfall and at least daily during prolonged rainfall.
 - B. Should the fabric on a silt fence or filter barrier decompose or become ineffective before the end of the expected usable life and the barrier still be necessary, the fabric shall be replaced promptly.
 - C. Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately one-half the height of the barrier.
 - D. Re-anchor fence as necessary to prevent shortcutting.
 - E. Inspect for runoff bypassing ends of barriers or undercutting barriers.

6

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



Equipment and vehicle wash down area

Plan No. **125**

February 2006 17

Equipment and vehicle wash down area

1. DESCRIPTION: A temporary stabilized pad of gravel for general washing of equipment and construction vehicles.
2. APPLICATION: At any site where regular washing of vehicles and equipment will occur. May also be used as a filling point for water trucks limiting erosion caused by overflow or spillage of water.
3. INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.
 - A. Clear and grub area and grade to provide maximum slope of 1 percent away from paved roadway.
 - B. Compact subgrade.
 - C. Place filter fabric under wash down area if desired (recommended for wash area that remains more than 3 months).
 - D. Install silt fence down gradient (see Plan No. 122)
4. MAINTENANCE:
 - A. Requires periodic top dressing with additional stones.
 - B. Solely used to control sediment in wash water. Cannot be utilized for washing equipment or vehicles that may cause contamination of runoff (such as fertilizer equipment or concrete equipment).
 - C. The wash area shall be maintained in a condition that will prevent tracking or flow of mud onto public rights-of-way.
 - D. Periodic top dressing with 2 inch stone may be required, as conditions demand, and repair any structures used to trap sediments.
 - E. Inspect daily for loss of gravel or sediment buildup.
 - F. Inspect adjacent area for sediment deposit and install additional controls as necessary.
 - G. Expand stabilized area as required to accommodate activities.
 - H. Maintain silt fence as outlined in Plan No. 122.

16

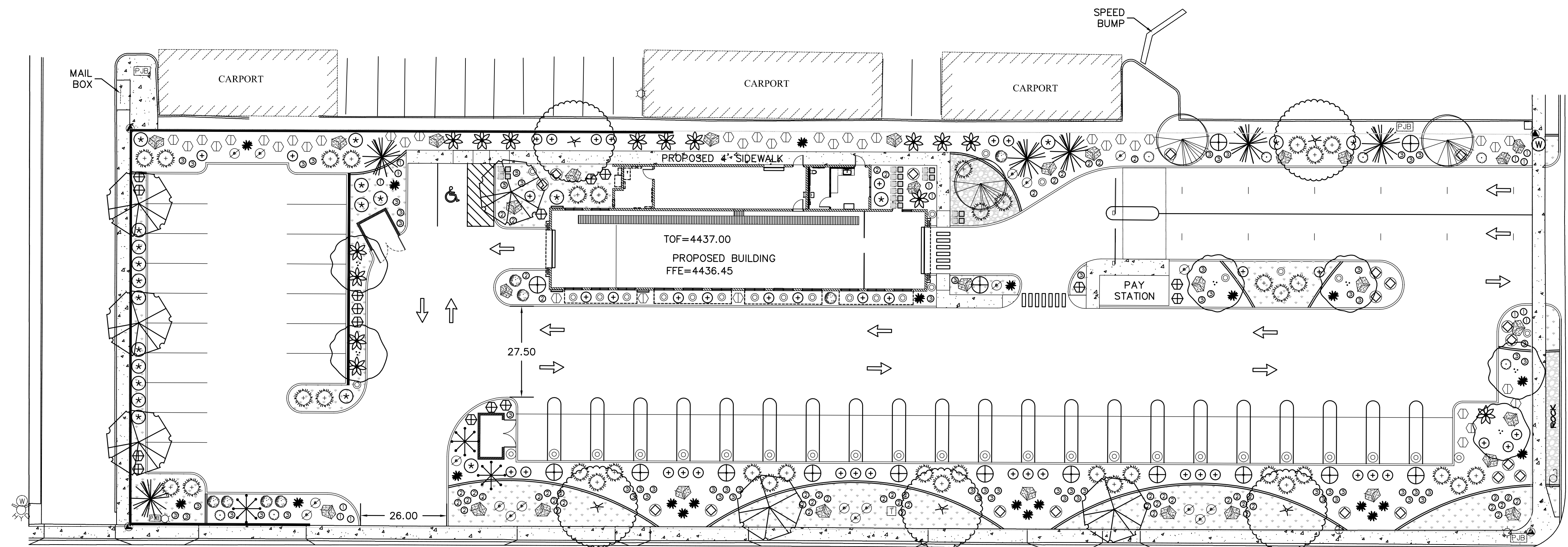
ELEVATE ENGINEERING
 492 WEST 1200 NORTH
 SPRINGVILLE, UT 84663
 PHONE: (801) 718-5993
 larvin@elevateeng.com

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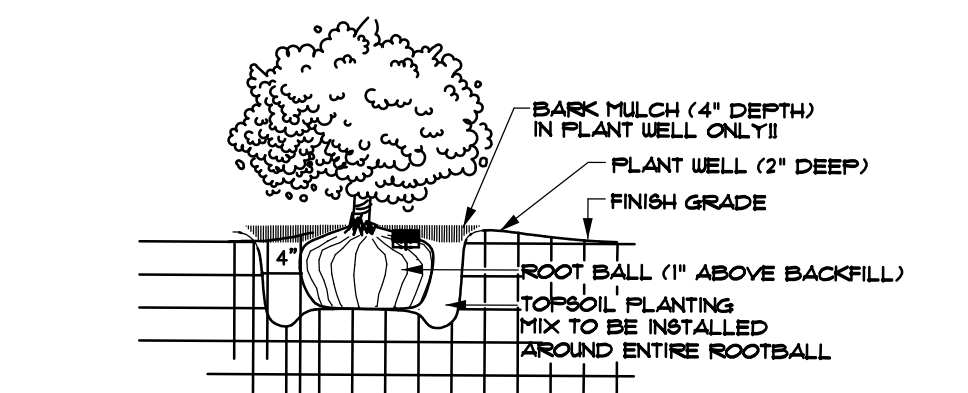
QUICK QUACK BOUNTIFUL
 SWPPP DETAILS
 2566 SOUTH 500 WEST, BOUNTIFUL, 84010

PROFESSIONAL ENGINEER
 9/14/18
 10864737
 LARVIN POLLOCK
 STATE OF UTAH

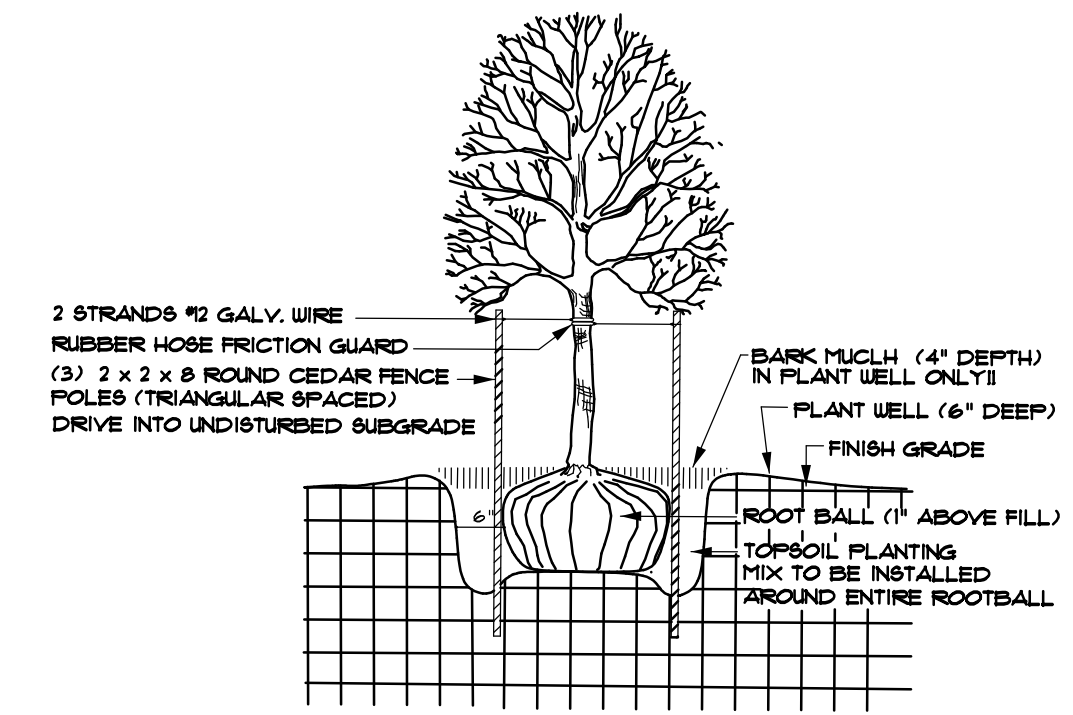
SHEET:
C-7
 DATE:
 Sep 14, 2018



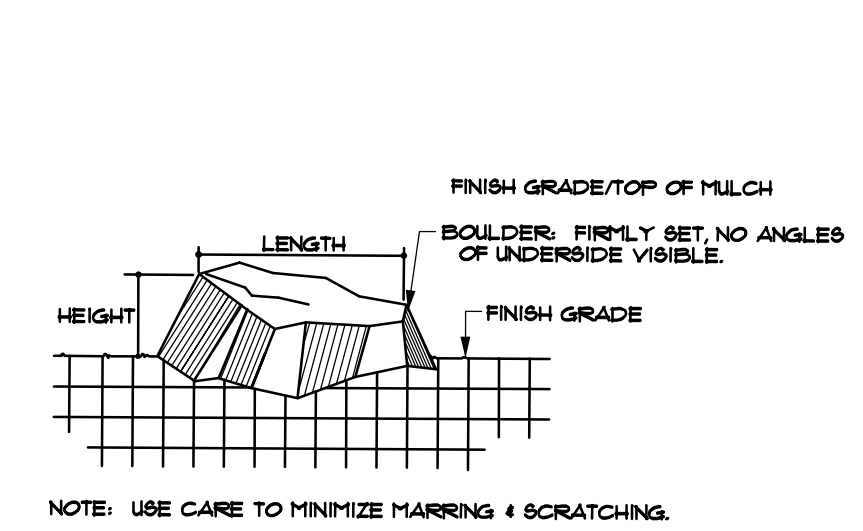
2600 SOUTH



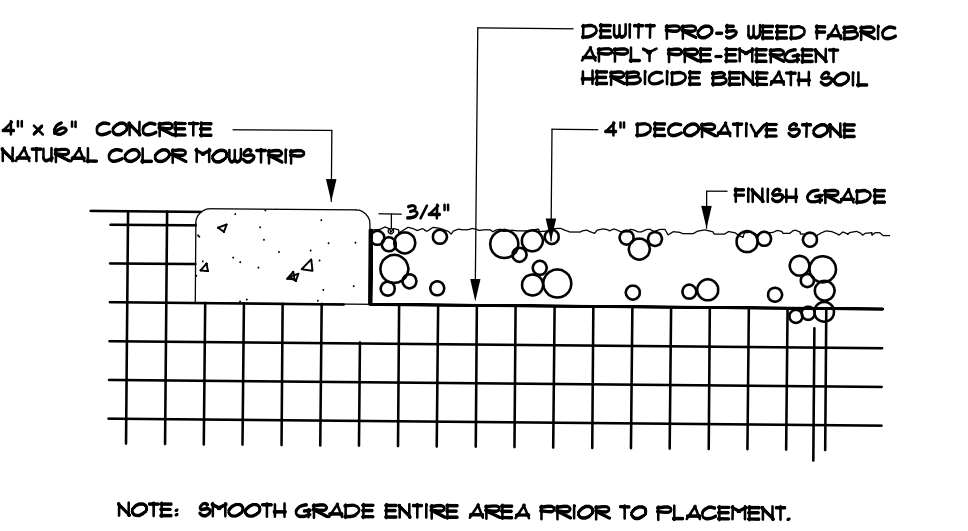
1 Shrub Planting
N.T.S.



2 Tree Planting
N.T.S.



3 Landscape Boulder
N.T.S.



4 Mowstrip / Stone Mulch
N.T.S.

Planting Notes

- All lawn areas (if used) shall receive a 6-inch depth of topsoil, shrub areas 4 inch depth. If topsoil is not available at the site, it must be imported from an approved local source. All topsoil shall be of a sandy loam consistency. Provide a chemical analysis of all topsoil for approval.
- Prior to placement of topsoil, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches, by the use of mechanical means, in order to create a transition layer between existing and new soils.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site.
- Plant backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive (50% Peat/or equal), and shall be rotary mixed on-site prior to installation.
- Plant fertilizer shall be 'Agriform' brand 21 gram tablets used as per manufacturers recommendations.
- Upon completion of planting operations, all shrub pits and tree wells shall receive a 4 inch depth of shredded bark mulch mixture as a cover. The overall shrub beds themselves (beyond plant wells) shall receive a 4" depth of decorative stone surfacing over Pro-5 weed barrier fabric, the types as specified in legend.
- In decorative stone beds, cut the fabric from around the water well of each plant, then apply fine ground bark inside water well. The remainder of the planter bed shall receive the depth of decorative stones.
- Landscape maintenance shall be required for a period through the second mowing of the lawn (30 days minimum) and shall include weeding, pruning and one fertilization.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than two years following the date of completion and final acceptance.
- As shown and noted, the irrigation system water supply is from a secondary (non culinary) source, and it's availability can be affected by climatic conditions, with the normal season extending from mid April to mid October. If any interruptions in water availability occur, the contractor shall coordinate with the Owner on the availability of possible temporary watering measures to keep all plant materials in a healthy condition.

General Notes

- All bidding landscape contractors shall have a minimum of 5 years experience in the installation of commercial landscape and irrigation projects, and be able to supply the necessary staff to perform all tasks associated with these drawings, and in a professional and timely manner.
- The landscape contractor, at all times, shall have personnel on-site experienced in being able to interpret the drawings correctly, and accurately measure the design layout using the specified scale.
- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning work. The contractor shall coordinate his work with the project manager and all other contractors working on the site.
- The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 1/2" below all walks, curbs, etc.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications.
- The contractor shall plant all plants per the planting details, stake/guy as shown. The top of the rootballs shall be planted flush with the finish grade.

Sub-Grade Requirements

- LAWN & SHRUB AREAS:** Eight (8) inches below finish grade. This will allow for the installation of a six inch depth (lawn) and 4 inch depth (shrub) of topsoil along with a four inch depth of bark mulch or decorative stones, leaving it slightly below finish grade and concrete areas.
- SUB-GRADE COORDINATION:** The Landscape contractor shall meet early on in the construction process with the site grading contractor, in order to ensure that all sub-grades, prior to final topsoil placement, are provided. Any discrepancies or questions shall be discussed and resolved at that time. Landscape operations shall not begin until the specified sub-grade elevations have been provided.

Submittal Requirements

- The contractor shall provide to the Owner/Engineer product samples of all landscape materials such as boulders, decorative stone, bark mulches, weed barrier fabric, soil amendments & import topsoil in order to obtain approval to be used on the project, and prior to shipment to the site. Failure to provide this in a timely manner will in no way affect or delay the construction schedule and time for project completion.
- All plant materials shall be secured for the project a minimum of 60 days prior to shipment to the site. The contractor shall provide to the Owner/Engineer written confirmation of this a minimum of 30 days prior to planting of the project. No substitutions will be considered following this time period.

Plant List (TREES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
3		Amelanchier grand. 'Autumn B.	A. Brilliance Serviceberry	2" Calliper 8'-10" Height	Full Head Crown Straight Trunk
5		Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	10" Calliper 10'-12" Height	Full Head Crown Straight Trunk
6		Picea nigra 'Oregon Green'	Oregon Green Pine	6'-8" Height B 4 B	Full Throughout Specimen
3		Pinus nigra 'Arnold's Sentinel'	Columnar Austrian Pine	6'-8" Height B 4 B	Full Throughout Specimen
6		Pyrus calleryana 'Chanticleer'	Chanticleer Flowering Pear	2" Calliper 8'-10" Height	Full Head Crown Straight Trunk
6		Tilia tomentosa 'Sterling Silver'	Sterling Silver Linden	2" Calliper 10'-12" Height	Full Head Crown Straight Trunk

Plant List (SHRUBS)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
19		Berberis thund. 'Crimson Pygmy'	Crimson Pygmy Barberry	5 Gallon	15"-18" Height
22		Cornus alba 'Ivory Halo'	Ivory Halo Dogwood	5 Gallon	18"-24" Height
15		Physocarpus o. 'Summer Wine'	Summer Wine Ninebark	5 Gallon	24"-30" Height
37		Prunus besseyi 'Faunes Buttes'	Faunes Buttes Sandcherry	5 Gallon	18"-24" Spread
8		Rosa 'Knock Out Red'	Knock Out Red Rose	5 Gallon	18"-24" Height
19		Rosa 'Meidiland Red'	Red Groundcover Rose	5 Gallon	18"-24" Spread
7		Spiraea bumalda 'Goldmound'	Goldmound Spiraea	5 Gallon	15"-18" Height
40		Spiraea Japonica 'Neon Flash'	Neon Flash Spiraea	5 Gallon	15"-18" Height
21		Yucca filam. 'Golden Sword'	Golden Sword Yucca	5 Gallon	15"-18" Height

Plant List (ORNAMENTAL GRASSES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
16		Calamagrostis a. 'Avalanche'	Avalanche Feather Grass	5 Gallon	24"-30" Height
39		Calamagrostis a. 'Foerster'	Foerster Feather Grass	5 Gallon	24"-30" Height
17		Miscanthus sinensis 'Gracillimus'	Maiden Grass	5 Gallon	24"-30" Height
22		Pennisetum alop. 'Hamel'	Hamel Fountain Grass	5 Gallon	15"-18" Height

Plant List (PERENNIALS)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
14		Agastache 'Sunset'	Sunset Hyssop	1 Gallon	Full Can
54		Hemerocallis 'Stella d'Oro'	Stella d'Oro Day Lily	1 Gallon	Full Can
65		Salvia 'East Friesland'	East Friesland Sage	1 Gallon	Full Can

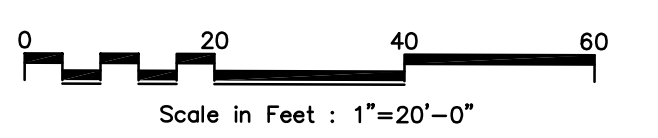
** Plant material quantities are provided for convenience in bidding ONLY!! The contractor shall provide and install all plant materials either shown or noted on the plans, and of the sizes and heights specified.

Legend

Symbol	Description	Remarks
	Landscape Boulder / 3'-4" Min. Size / Individually Placed	Boulder Type And Color Shall Be From Nearest Local Source, Blonde-Tan Colored Quartzite, Block Edges (Not Rounded).
	4" x 6" Extruded Concrete Mowstrip / Natural Color	Install In Straight True Lines And Uniform Curves, 4" Between All Lawn And Shrub Areas. Compact Sub-grade To 30% Prior To Installation.
	Rock ONLY Area / Cobble / 3" Minus Size / 'Nephi Gray'	Install In Areas Shown To A Depth Of 6 Inches Over 'DeWitt' Brand Weed Barrier Fabric. Submit Gray-Beige Sample For Approval.
	New Shrub - Rock Area / 2" Minus Size / 'Soma'	Install In Areas Shown To A Depth Of 4 Inches Over 'DeWitt' Brand Weed Barrier Fabric. Submit Gray-Beige Sample For Approval.
	New Shrub - Rock Area / 1 1/2" Min. Size / 'Galico'	Install In Areas Shown To A Depth Of 4 Inches Over 'DeWitt' Brand Weed Barrier Fabric. Rock To Be A 'Soma' Product Or Equal.
	18" x 18" Concrete Stepping Stones / Aggregate Or Smooth	Install Where Shown 4" Over A 4" Depth Of Compacted Road Base. Space 3 Inches Between Stones And Away From Curb.

Landscape Architect

RDL Design Company, Inc.
1020 East Yale Avenue
Salt Lake City, Utah 84105
Phone: 801-641-3114
Email: raldesign@comcast.net



NO.	REVISIONS	BY	DATE

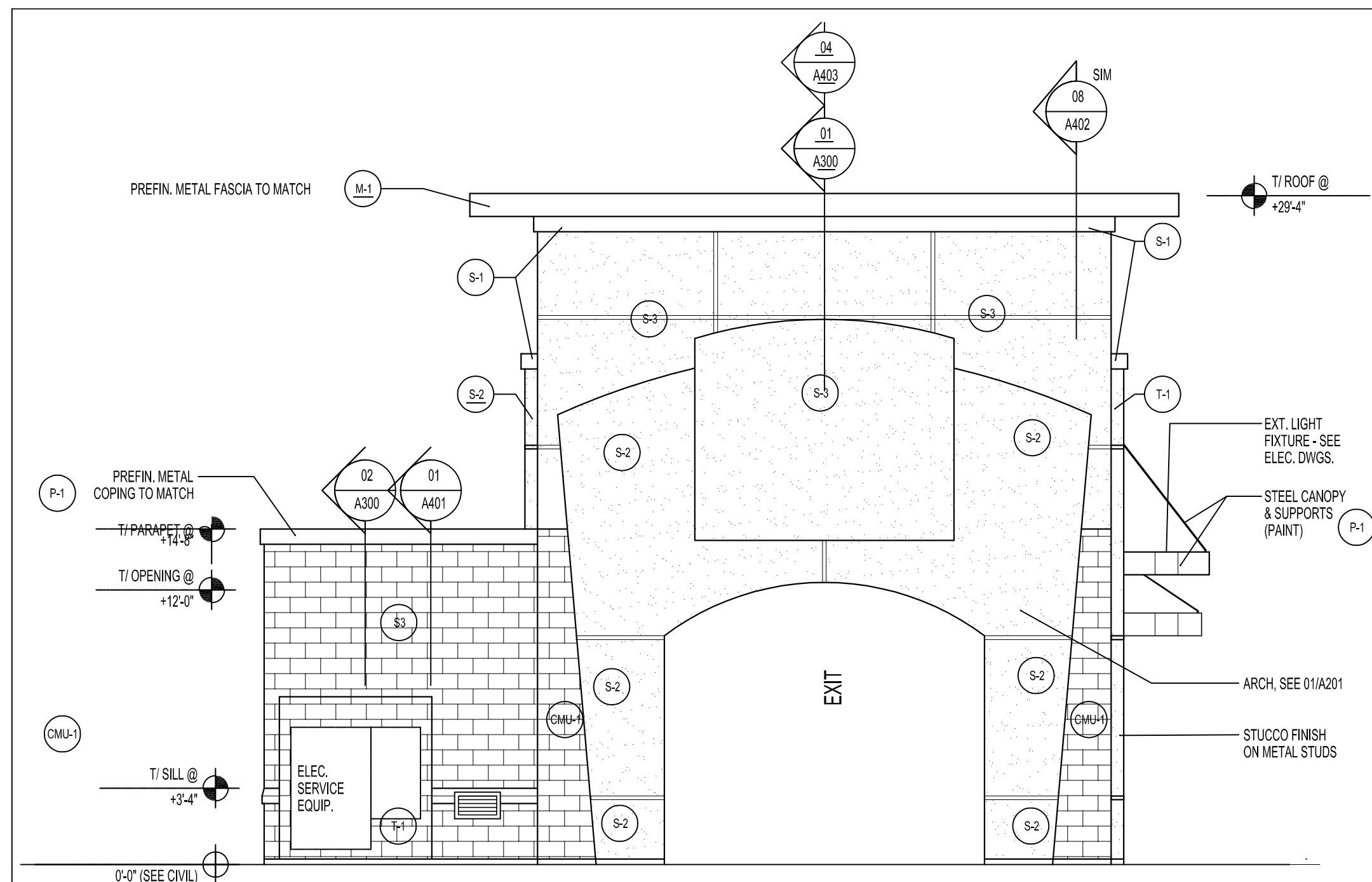
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482 WEST 1200 NORTH
SPRINGVILLE, UT 84663
PHONE: (801) 718-5983
lev@elevateeng.com

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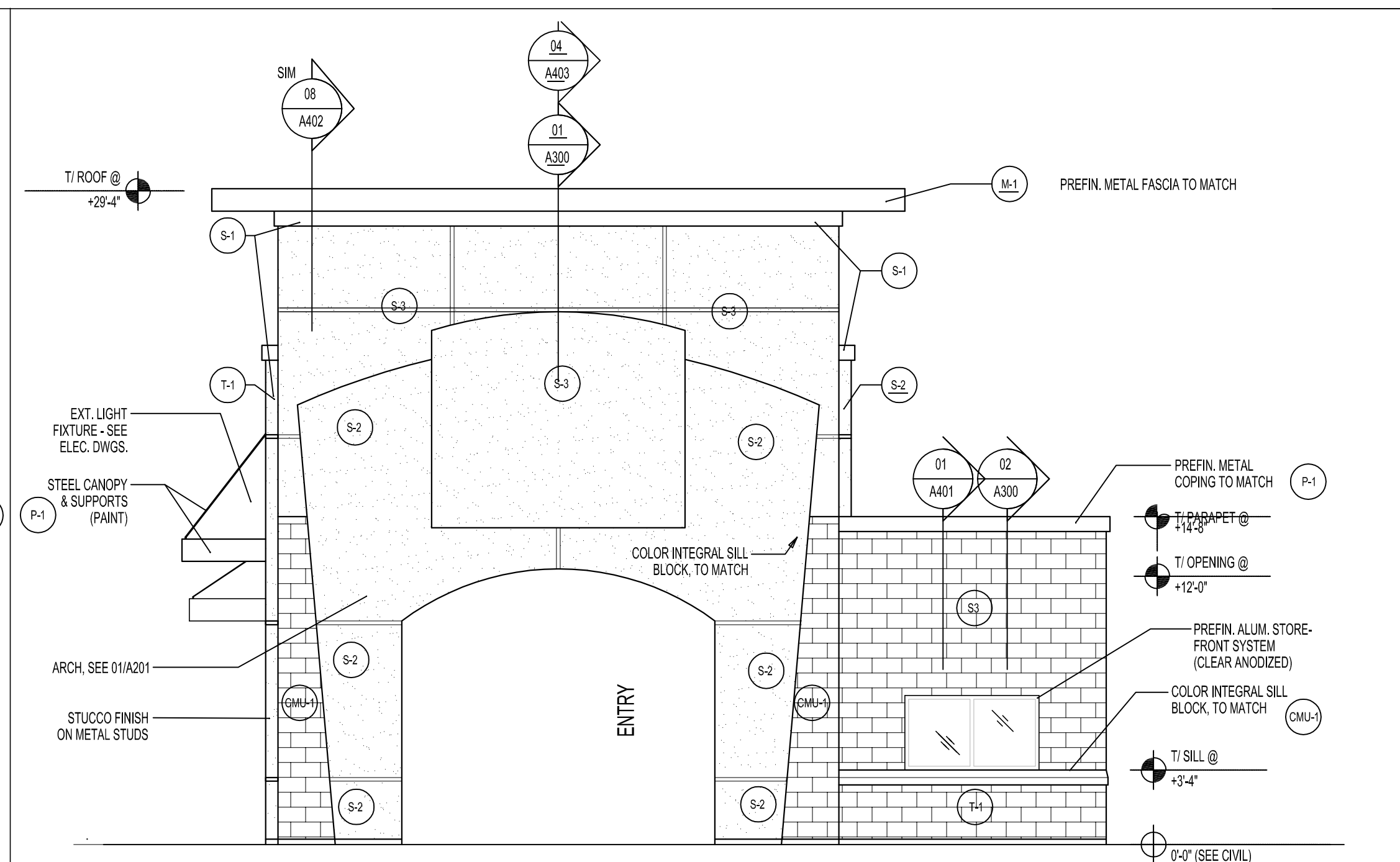
QUICK QUACK BOUNTIFUL
LANDSCAPE PLAN
2566 SOUTH 500 WEST, BOUNTIFUL, UTAH 84010



SHEET:
L-1
DATE: 09-10-2018



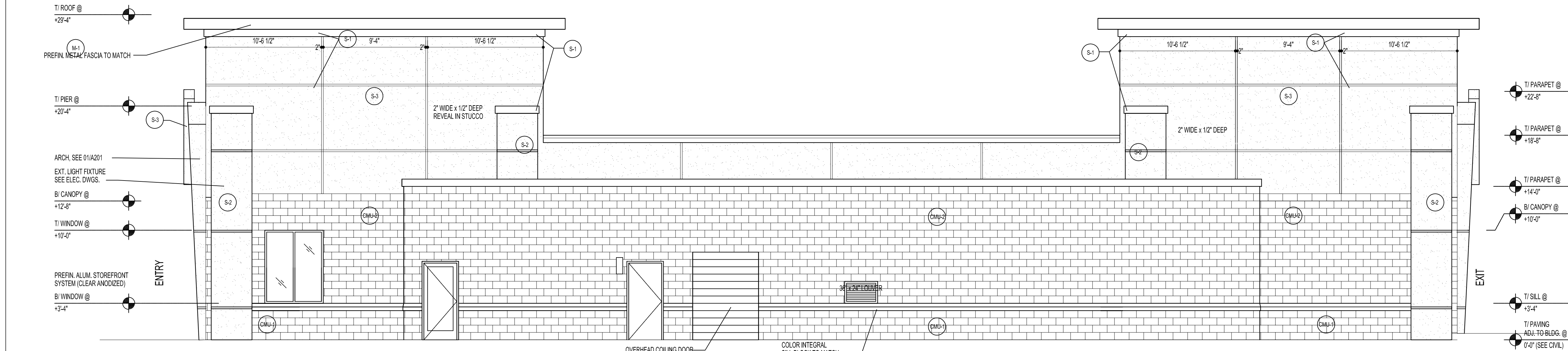
03 SCALE: 3/16" = 1'-0" EXTERIOR ELEVATION



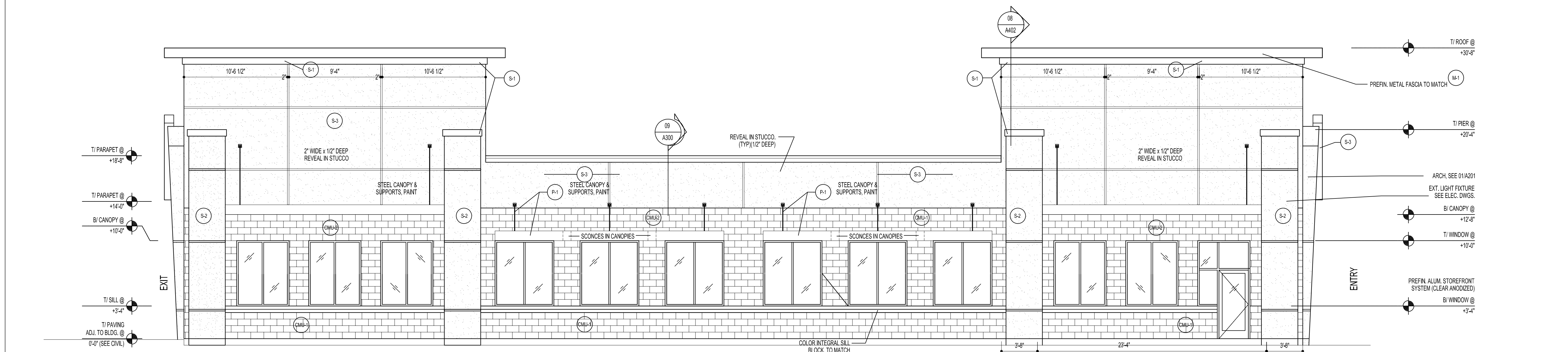
04 SCALE: 3/16" = 1'-0" EXTERIOR ELEVATION

EXTERIOR FINISH SCHEDULE		
LABEL	MATERIAL	COLOR / MANUFACTURER
CMU-1	SPLIT-FACE CMU	INTEGRAL COLOR (DARK GREY) TO MATCH SW 7025 "BACKDROP"
CMU-2	SMOOTH-FACE CMU	INTEGRAL COLOR (LIGHT GREY) TO MATCH SW 7038 "JOGGING PATH"
S-1	STUCCO	MATCH SW 6756 "STARBOARD" (GREEN)
S-2	STUCCO	MATCH SW 6903 "CHEERFUL" (YELLOW)
S-3	STUCCO	MATCH SW 7004 "SNOWBOUND" (WHITE)
P-1	PAINT	SW 6756 "STARBOARD" (GREEN)
P-2	PAINT	SW 6903 "CHEERFUL" (YELLOW)
P-3	PAINT	SW 7025 "BACKDROP" (DARK GREY)
P-7	PAINT	SW 6258 "TRICORN BLACK"
M-1	METAL	MATCH SW 6756 "STARBOARD" (GREEN)

PROJECT NOTES



02 SCALE: 3/16" = 1'-0" EXTERIOR ELEVATION



01 SCALE: 3/16" = 1'-0" EXTERIOR ELEVATION

PROJECT TITLE
BOUNTIFUL UTAH



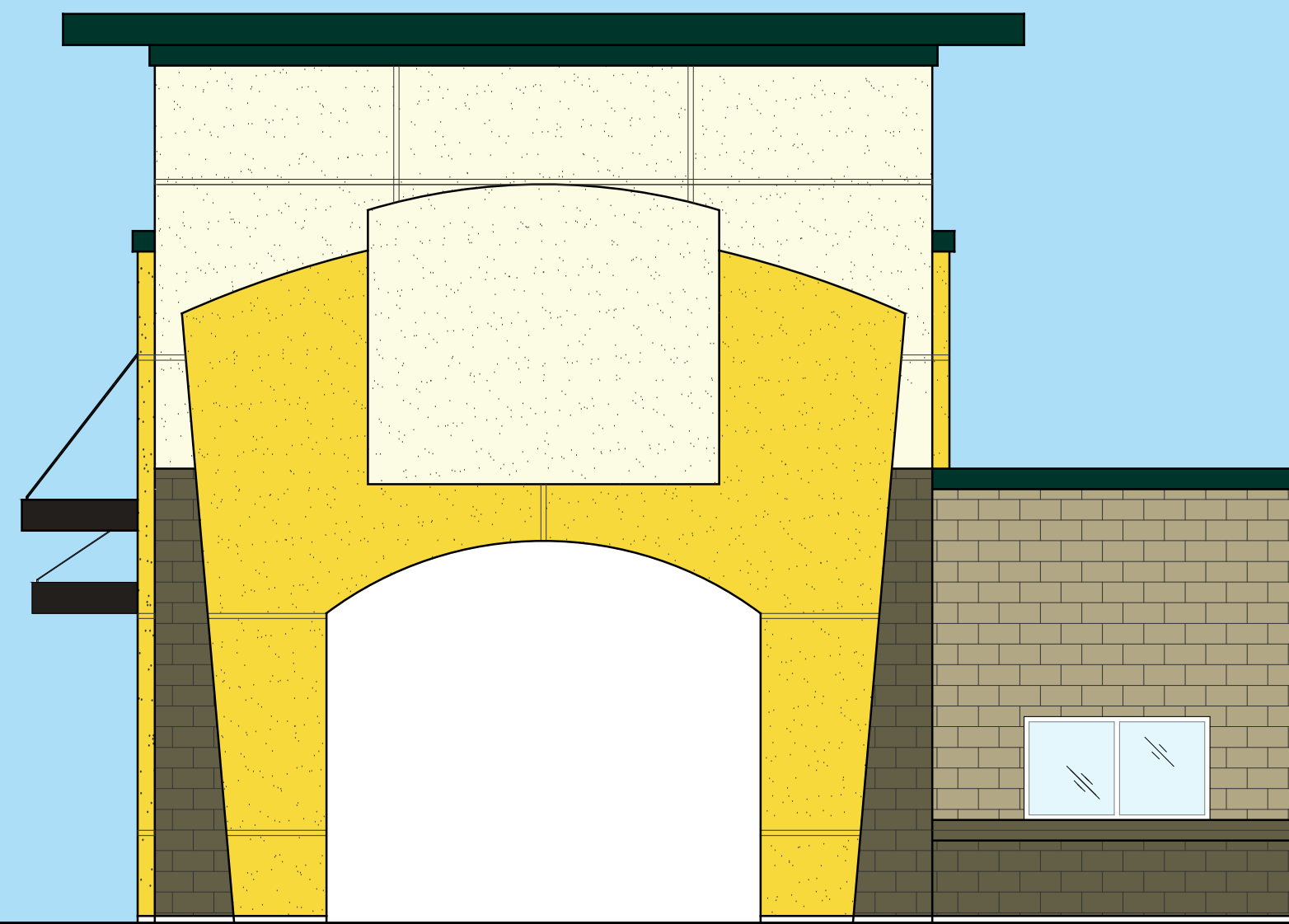
DATE: June 28, 2018
REVISIONS:

A200

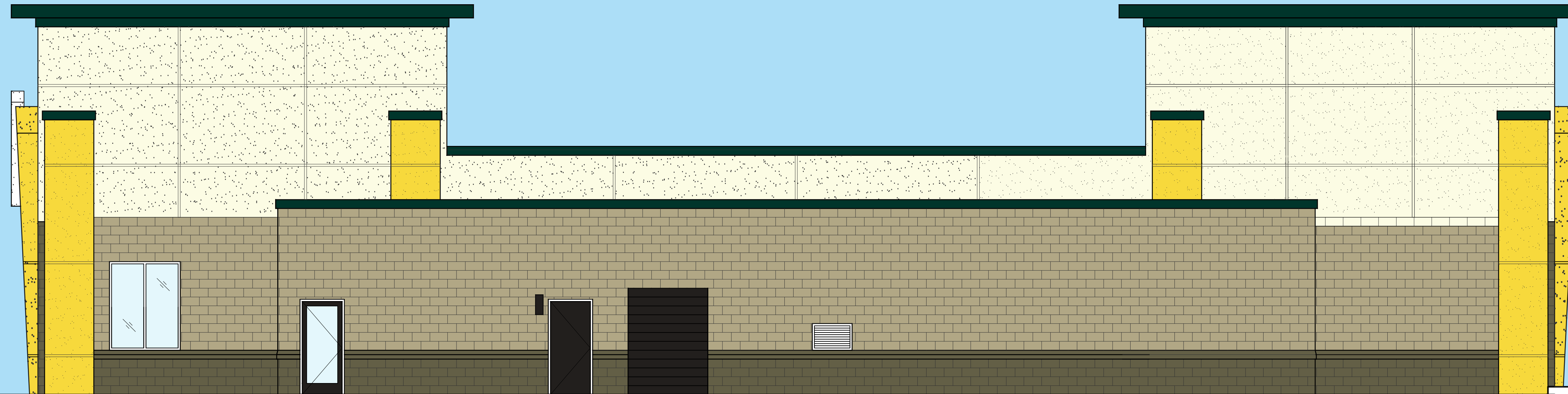
EXTERIOR FINISH SCHEDULE		
LABEL	MATERIAL	COLOR / MANUFACTURER
CMU-1	SPILT-FACE CMU	INTEGRAL COLOR (DARK GREY) TO MATCH SW 7025 "BACKDROP"
CMU-2	SMOOTH FACE CMU	INTEGRAL COLOR (LIGHT GREY) TO MATCH SW 7638 "JOGGING PATH"
S-1	STUCCO	MATCH SW 6755 "STARBOARD" (GREEN)
S-2	STUCCO	MATCH SW 6903 "CHEERFUL" (YELLOW)
S-3	STUCCO	MATCH SW 7004 "SNOWBOUND" (WHITE)
P-1	PAIN	SW 6755 "STARBOARD" (GREEN)
P-2	PAIN	SW 6903 "CHEERFUL" (YELLOW)
P-3	PAIN	SW 7025 "BACKDROP" (DARK GREY)
P-7	PAIN	SW 6258 "TRICORN BLACK"
M-1	METAL	MATCH SW 6755 "STARBOARD" (GREEN)



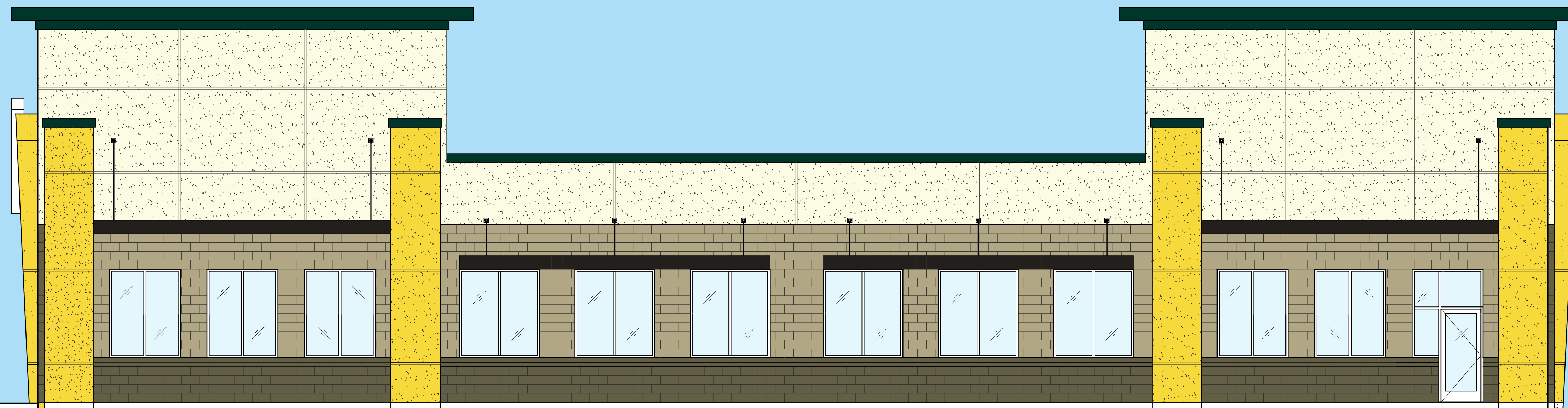
03 SCALE: 3/16" = 1'-0" EXTERIOR ELEVATION



04 SCALE: 3/16" = 1'-0" EXTERIOR ELEVATION



02 SCALE: 3/16" = 1'-0" EXTERIOR ELEVATION



01 SCALE: 3/16" = 1'-0" EXTERIOR ELEVATION

Luminaire Schedule / "Did you know that utility rebates can cover 25% or more of a products cost? Email rebates@cree.com to get help on your project!"

Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Lum. Watts	Description
	6	F1	SINGLE	4584	1.000	66	FLD-OL-SN-D2-14-E-UL-SV-700
	3	F10	WALL MOUNT	2722	1.000	25	XSPW-A-0-3-M-G-U-x
	24	F11	SINGLE	5000	1.000	51	WS4-50L-50K-10V-FD-SSL
	2	LFL6	LFL 6FT	N.A.	1.000	52	LFL-A-6-DO-UL-SV-53K-SA
	18	LFL8	LFL 8FT	N.A.	1.000	70	LFL-A-8-DO-UL-SV-53K-SA
	5	SF1	SINGLE	17291	1.000	130	OSQ-A-NM-4ME-K-57K-UL-xx
	1	SF3	3 @ 90°	17291	1.000	130	OSQ-A-NM-4ME-K-57K-UL-xx
	9	T1	SINGLE	N.A.	1.000	30	RS-30WLED-DO-xx-120

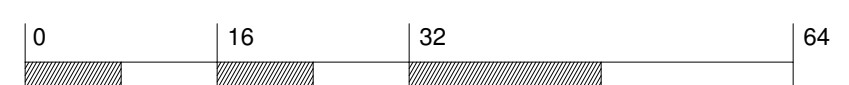
Calculation Summary; LMF = 1.00

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Pavement	Fc	5.51	22.1	0.7	7.87	31.57
Pay Station	Fc	10.33	15	7	1.48	2.14
Vacuum Canopy	Fc	13.35	18	9	1.48	2.00

FIXTURE MOUNTING HEIGHTS AS SHOWN
POLES MOUNTED ON 2' BASE

ADDITIONAL EQUIPMENT REQUIRED:
(24) WS4MBK WS4 MOUNTING KIT
(6) CL-SSP-4011-16-D2-xx (16' x 4" SQ POLE, 2@180° MOUNT)
(8) OSQ-DAxx DIRECT ARM MOUNT
PROPOSED POLES MEET 120MPH SUSTAINED WIND LOADS

***CUSTOMER TO VERIFY MOUNTING, VOLTAGE, AND COLOR
PRIOR TO PLACING ORDER



1200 92nd Street - Stuart, WI 53177
www.cree.com - (800) 236-6800

Project Name: QUICK QUACK CAR WASH - BOUNTIFUL, UT	SR No. 31220
Date: 9/6/2018	Scale: 1"=16'
Footcandles calculated at grade	
Filename: QQ-180619BNUJJEER1.AGI	Layout by: JACOB EDLER

Illumination results shown on this lighting design are based on project parameters provided to Cree, Inc. used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.

QUICK QUACK CAR WASH | PROPOSED SIGNAGE | WALL SIGN

MANUFACTURE AND INSTALL

(2) SETS OF FRONT LIT WALL SIGNS WITH VACUUM-FORMED FACES

- A FACES: 3/16" CLEAR PLEX, VACUUM-FORMED WITH VINYL AND PAINTED GRAPHICS ON 2ND SURFACE
- B RETAINERS: ALL ALUMINUM, 2" PAINTED WHITE
- C RETURNS: ALL ALUMINUM 8" DEEP, PAINTED WHITE
- D BACKS: ALL ALUMINUM STOCK COLOR
- E ILLUMINATION: WHITE LEDs
CANNOT EXCEED 2 FT CANDLES AS MEASURED 1 FT. FROM THE SURFACE OF THE SIGN
- F POWER SUPPLY: HOUSED IN SIGN CABINET
- G FLUSH MOUNTED TO FASCIA (SEE ATTACHMENT DETAIL)

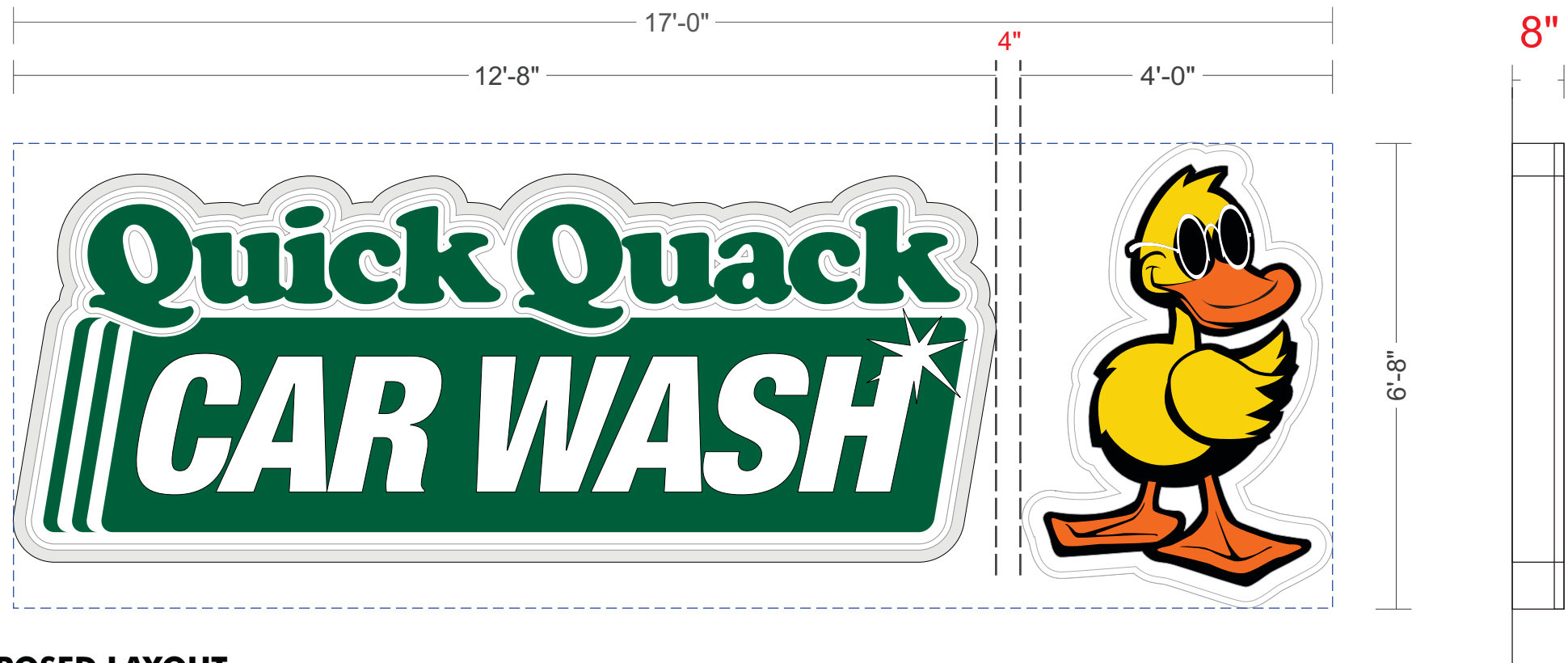
- DISCONNECT SWITCH AT SIGN
- 120V SERVICE SUPPLIED BY OTHERS

-  PMS 3425, 3M EMERALD GREEN 230-126
-  PMS 7404, 3M YELLOW 230015
-  PMS ORANGE 021, 3M ORANGE 230-44
-  PMS BLACK, 3M BLACK 230-22



A1 PRIMARY SIGNAGE

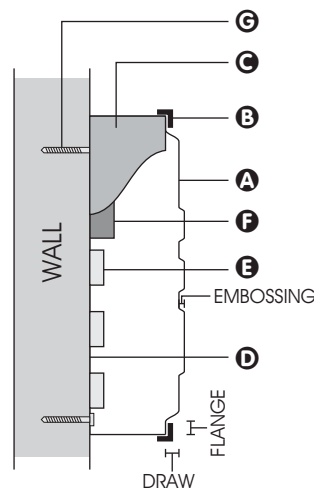
On-premise signs may remain illuminated during regular business hours, but may not be illuminated later than one-half (1/2) hour after the business is no longer open to the public, nor prior to the daily opening of the business to the public.



PROPOSED LAYOUT

SCALE: 1/2" = 1'-0"

PROPOSED SIGNAGE = 113.33 SF



TYPICAL SECTION VIEW

NTS

POWER REQUIREMENTS PROVIDED BY OTHERS

(1) 20 AMP CIRCUIT

120 VOLTS



Signs that build business!

UTAH COUNTY:
1852 N. 1300 W.
(801) 489-3645
WWW.ALLIED-SIGN.COM

DRAWING STEPS
<input type="checkbox"/> CONCEPT
<input type="checkbox"/> ESTIMATING
<input type="checkbox"/> PERMIT/LANDLORD
<input type="checkbox"/> PRODUCTION/INSTALL

DRAWING REVIEW
<input type="checkbox"/> SURVEY
<input type="checkbox"/> PRODUCTION REVIEW
<input type="checkbox"/> INSTALL REVIEW

Client: Quick Quack Car Wash
Address: Saratoga Springs, UT
File Name: Quick Quack (Saratoga Springs, UT) - Sign Package - 09-07-2016

SALES APPROVAL:
Designer: Richard
Sales: Regina

CUSTOMER APPROVAL	REVISIONS
SIGNATURE	



QUICK QUACK CAR WASH | PROPOSED SIGNAGE | WALL SIGN

MANUFACTURE AND INSTALL

(1) SET OF NON-ILLUMINATED WALL SIGNS WITH VACUUM-FORMED FACES

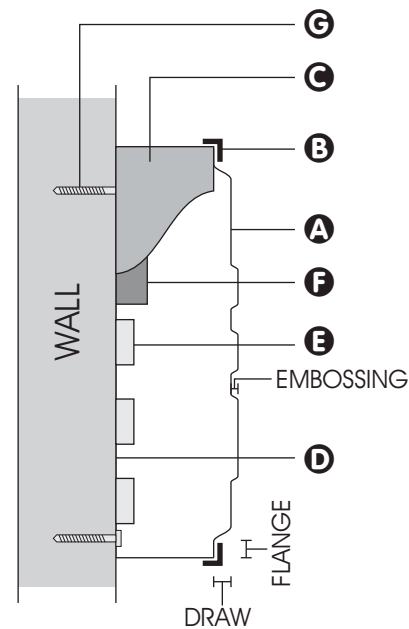
(1) SET OF ILLUMINATED WALL SIGNS WITH VACUUM-FORMED FACES

- A FACES: 3/16" CLEAR PLEX, VACUUM-FORMED WITH VINYL AND PAINTED GRAPHICS ON 2ND SURFACE
- B RETAINERS: ALL ALUMINUM, 2" PAINTED WHITE
- C RETURNS: ALL ALUMINUM 8" DEEP, PAINTED WHITE
- D BACKS: ALL ALUMINUM STOCK COLOR
- E ILLUMINATION: WHITE LEDs
- F POWER SUPPLY: HOUSED IN SIGN CABINET
- G FLUSH MOUNTED TO FASCIA (SEE ATTACHMENT DETAIL)

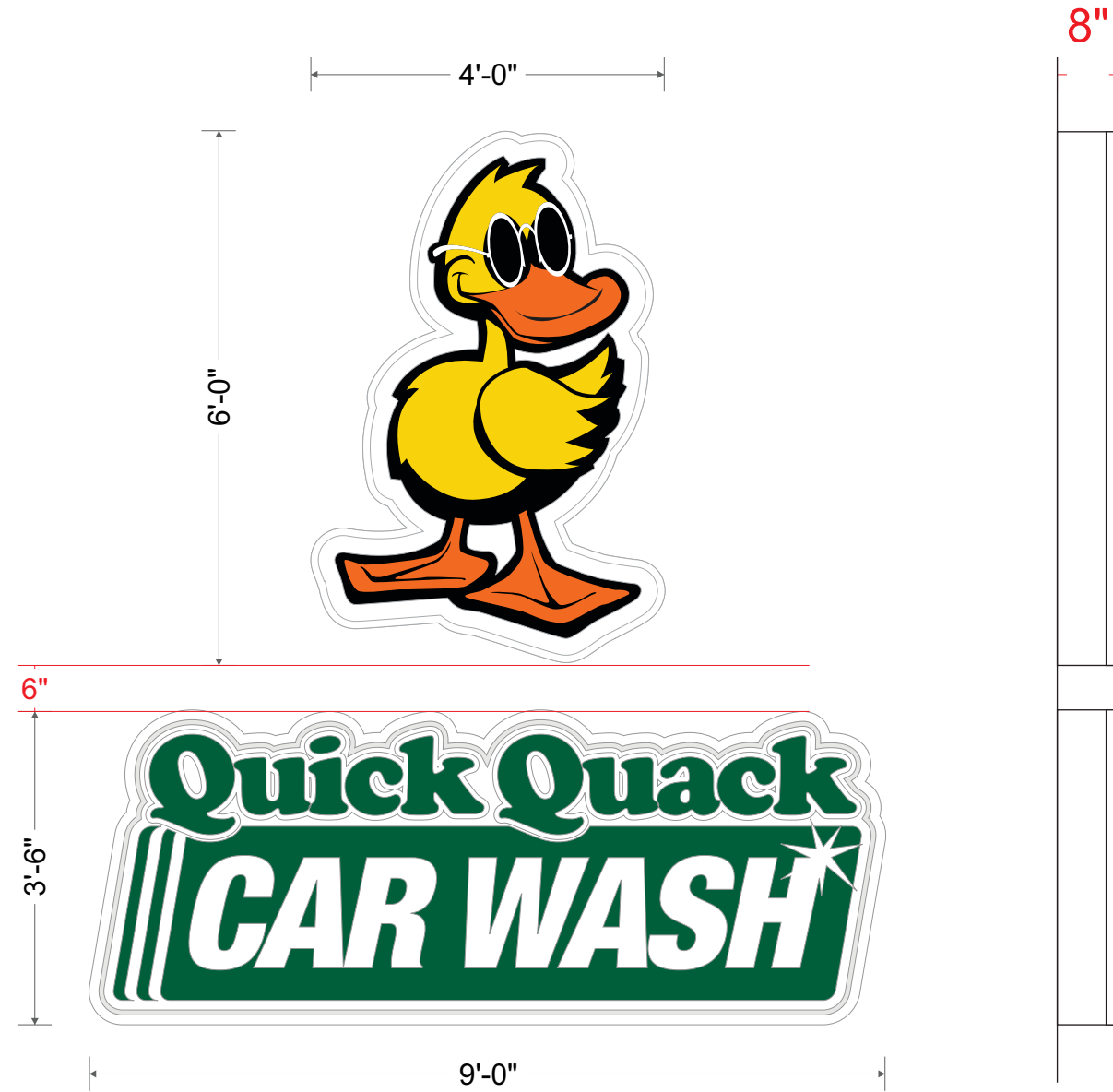
- DISCONNECT SWITCH AT SIGN
- 120V SERVICE SUPPLIED BY OTHERS

POWER REQUIREMENTS PROVIDED BY OTHERS

(1) 20 AMP CIRCUIT
120 VOLTS



! ACCURATE FIELD SURVEY
REQUIRED PRIOR TO FABRICATION



B1 SECONDARY SIGNAGE
NOT ILLUMINATED

B2 SECONDARY SIGNAGE

- PMS 3425, 3M EMERALD GREEN 230-126
- PMS 7404, 3M YELLOW 230015
- PMS ORANGE 021, 3M ORANGE 230-44
- PMS BLACK, 3M BLACK 230-22

On-premise signs may remain illuminated during regular business hours, but may not be illuminated later than one-half (1/2) hour after the business is no longer open to the public, nor prior to the daily opening of the business to the public.

PROPOSED LAYOUT

SCALE: 1/2" = 1'-0"

PROPOSED SIGNAGE = 55.50 SF



UTAH COUNTY:
1852 N. 1300 W.
(801) 489-3645
WWW.ALLIED-SIGN.COM

DRAWING STEPS	DRAWING REVIEW
<input type="checkbox"/> CONCEPT	<input type="checkbox"/> SURVEY
<input type="checkbox"/> ESTIMATING	<input type="checkbox"/> PRODUCTION REVIEW
<input type="checkbox"/> PERMIT/LANDLORD	<input type="checkbox"/> NAME REVIEW
<input type="checkbox"/> PRODUCTION/INSTALL	<input type="checkbox"/> INSTALL REVIEW

Client: Quick Quack Car Wash	SALES APPROVAL:
Address: Saratoga Springs, UT	Designer: Richard
File Name: Quick Quack (Saratoga Springs, UT) - Sign Package - 09-07-2016	Sales: Regina

CUSTOMER APPROVAL	REVISIONS
SIGNATURE	




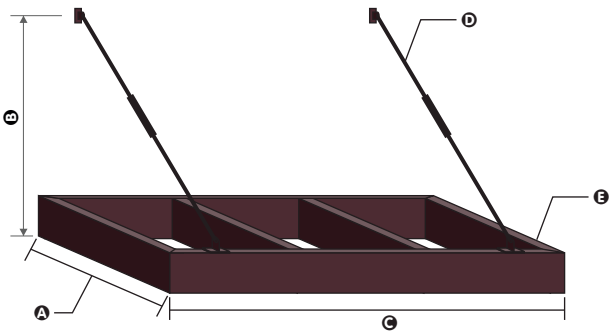
QUICK QUACK CAR WASH | PROPOSED SIGNAGE | METAL CANOPIES

MANUFACTURE AND INSTALL

(4) SUSPENDED METAL CANOPIES

- A PROJECTION: (4) @ 4'-0"
- B DROP: (2) @ 3'-8", (2) @ 7'-0"
- C WIDTH: (4) @ 23'-4"
- D TURNBUCKLE AND RODS, PAINTED P1
- E CANOPY FRAME: 2"x12" ALL ALUMINUM CONSTRUCTION, PAINTED P1

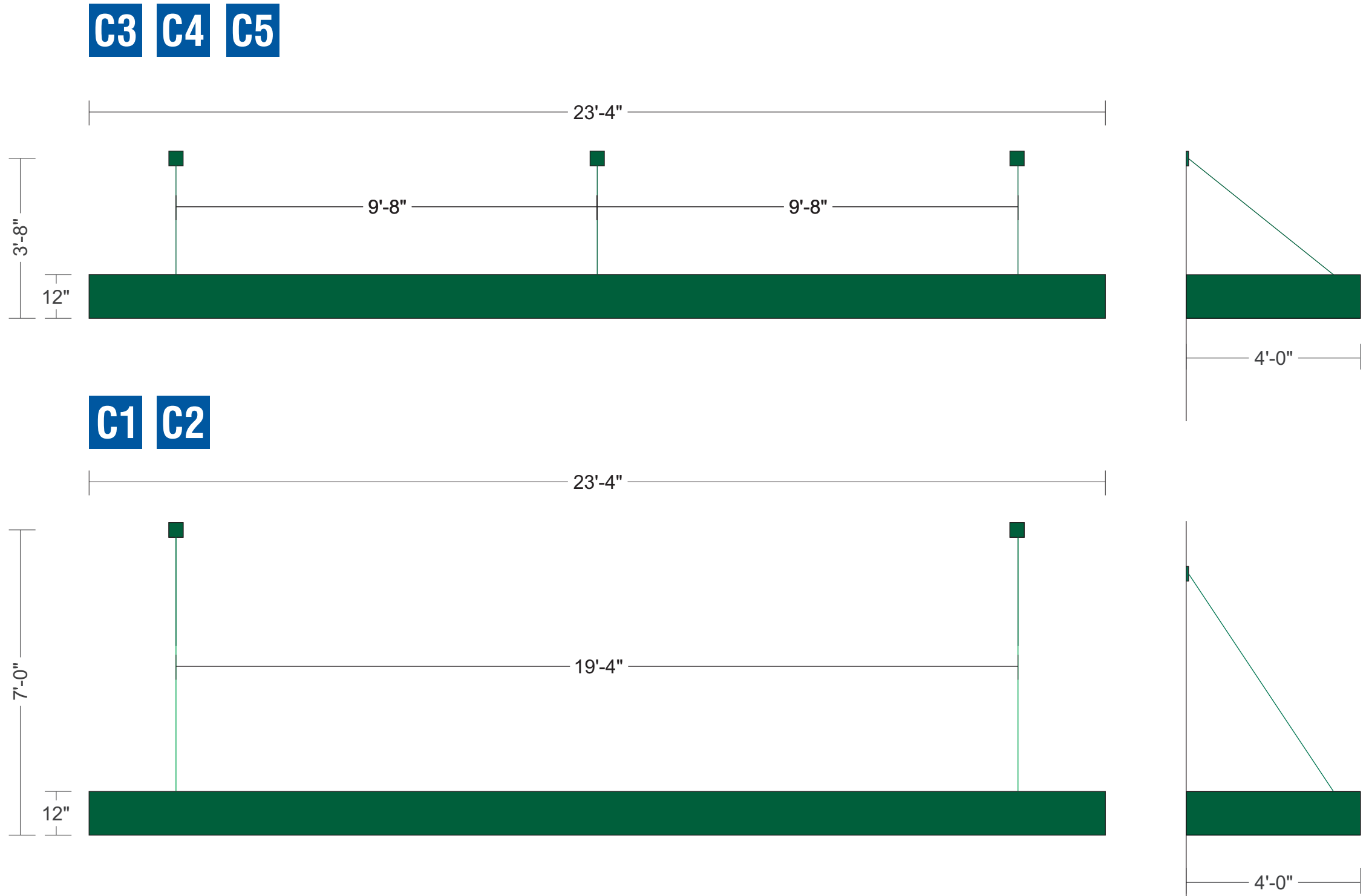
 PAINT TO MATCH SW 6755 "STARBOARD" GREEN



TYPICAL METAL AWNING
NTS (FINAL FRAMING MAY VARY)

PROPOSED LAYOUT

SCALE: 3/8" = 1'-0"



UTAH COUNTY:
1852 N. 1300 W.
(801) 489-3645
WWW.ALLIED-SIGN.COM

DRAWING STEPS
<input type="checkbox"/> CONCEPT
<input type="checkbox"/> ESTIMATING
<input type="checkbox"/> PERMIT/LANDLORD
<input type="checkbox"/> PRODUCTION/INSTALL

DRAWING REVIEW
NAME: _____
SURVEY
NAME: _____
PRODUCTION REVIEW
NAME: _____
INSTALL REVIEW
NAME: _____

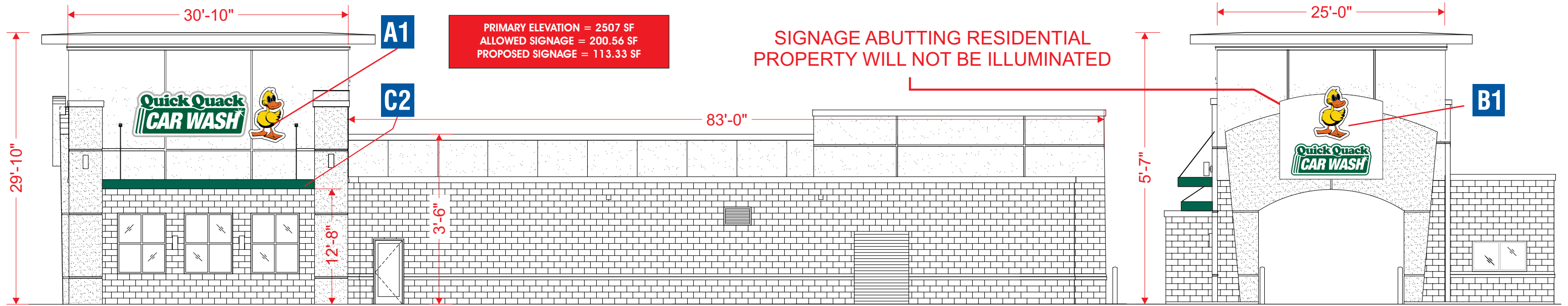
Client: Quick Quack Car Wash
Address: Saratoga Springs, UT
File Name: Quick Quack (Saratoga Springs, UT) - Sign Package - 09-07-2016

SALES APPROVAL:
Designer: Richard
Sales: Regina

CUSTOMER APPROVAL	REVISIONS
SIGNATURE	



QUICK QUACK CAR WASH | PROPOSED SIGNAGE | ELEVATIONS

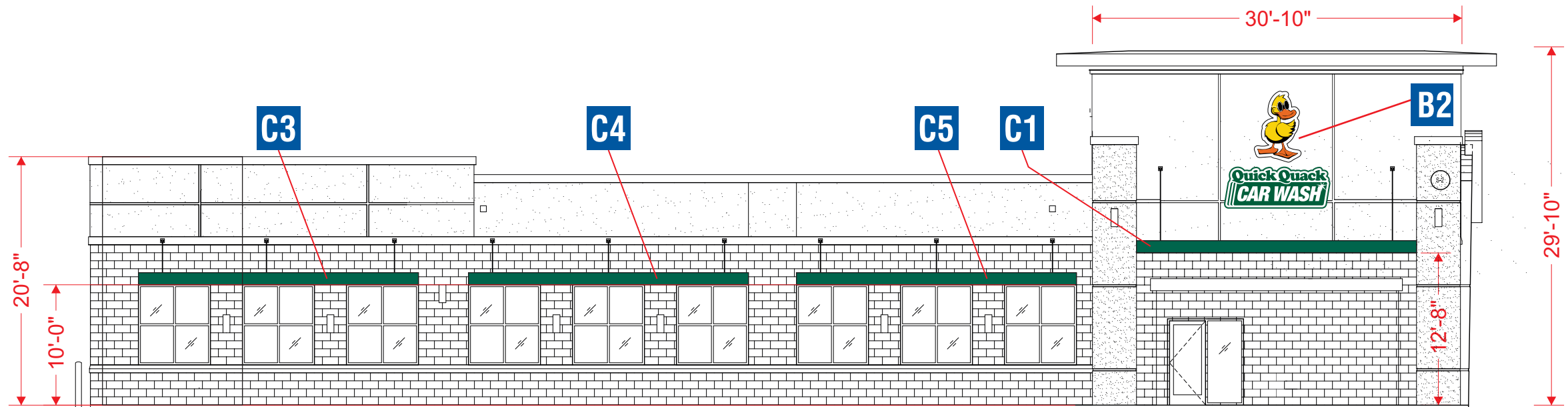


PRIMARY ELEVATION

SCALE: 3/32" = 1'-0"

SECONDARY ELEVATION

SCALE: 3/32" = 1'-0"



SECONDARY ELEVATION

SCALE: 3/32" = 1'-0"

Utah Contractors: 375809-5501 • Nevada:60486 • Colorado:237787 • Idaho:RCE-29969

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UTAH COUNTY:
1852 N. 1300 W.
(801) 489-3645
WWW.ALLIED-SIGN.COM

DRAWING STEPS	
<input type="checkbox"/>	CONCEPT
<input type="checkbox"/>	ESTIMATING
<input type="checkbox"/>	PERMIT/LANDLORD
<input type="checkbox"/>	PRODUCTION/INSTALL

DRAWING REVIEW	
<input type="checkbox"/>	SURVEY
<input type="checkbox"/>	PRODUCTION REVIEW
<input type="checkbox"/>	INSTALL REVIEW

Client: Quick Quack Car Wash
Address: Saratoga Springs, UT
File Name: Quick Quack (Saratoga Springs, UT) - Sign Package - 09-07-2016

SALES APPROVAL:
Designer: Richard
Sales: Regina

CUSTOMER APPROVAL
SIGNATURE

REVISIONS

SALT LAKE CITY: 1920 S. 900 W., SALT LAKE CITY, UT • (801) 972-5503 OGDEN: 2924 Pennsylvania Avenue • (801) 621-4612



QUICK QUACK CAR WASH | PROPOSED SIGNAGE | MONUMENT SIGN

MANUFACTURE AND INSTALL

(1) D/F MONUMENT SIGN

- A** MAIN SIGN BODY: ALL ALUMINUM CONSTRUCTION, PAINTED P1-P2
- B** FACES: 3/16" CLEAR PLEX, VACUUM-FORMED WITH VINYL AND PAINTED GRAPHICS ON 2ND SURFACE
- C** RETAINERS: 1" .090 ALUMINUM PAINTED P2
- D** REVEAL: 1" PAINTED WHITE
- E** "OPEN" SIGN: ALL ALUMINUM CONSTRUCTION, 3/16" TRANS WHITE SG PLEX WITH VINYL GRAPHICS APPLIED
- F** ADDRESS: 1/4" FCO ALUMINUM PAINTED BLACK
- G** STONE BASE: ****TO MATCH BUILDING**** INSTALLED BY 3RD PARTY
- H** MOW PAD: CONC. 3" ABOVE GRADE

- INTERNALLY ILLUMINATED WITH WHITE LEDs
- ****CANNOT EXCEED 2 FT CANDLES AS MEASURED 1 FT. FROM THE SURFACE OF THE SIGN****
- POWER SUPPLY HOUSED IN SIGN BODY
- SUPPORT AND FOOTING (TBD)
- DISCONNECT SWITCH AT SIGN
- 120V SERVICE SUPPLIED BY OTHERS
- ELECTRICAL SWEEP BY OTHERS
- ELECTRICAL GROUNDED TO PIPE SUPPORT

- PMS 3425, 3M EMERALD GREEN 230-126
- PMS 7404, 3M YELLOW 230015
- PMS ORANGE 021, 3M ORANGE 230-44
- PMS BLACK, 3M BLACK 230-22

PROPOSED SIGNAGE = 25 SQ.FT.



PROPOSED LAYOUT

SCALE: 3/4"=1'-0"

Council Staff Report

Subject: Final Plat Approval for the Bristol Village PUD
Author: City Engineer, Lloyd Cheney
Address: 1940 S. 200 West
Date: October 23, 2018



Background

Brighton Homes is requesting final plat approval for a 19 unit “townhome” style condominium development on two existing single family properties located at 1940 S. 200 West Street. The area of the new combined parcel is 1.18 acres, making the allowable number of units 19 units, which complies with the 19 unit per acre maximum for the zone. While this is simply a townhome style condo development, the term PUD is used in the proposed name to avoid financing issues in the future.

Analysis

This project was previously approved by the Council as an apartment style project which would combine two single family properties into a single subdivision with 19- 3 bedroom townhome style units in three buildings. All of the site plan issues, including parking, landscaping, utilities, grading and drainage were previously discussed and approved during the site plan review/approval process, in August, 2017.

Now that construction has proceeded to the point that the buildings positions can be accurately shown on the final plat, Brighton Homes is requesting to change to a condominium (PUD) development, which our Zoning Ordinance allows. This process meets the intent of the section of the ordinance allowing for the conversion of existing multi-family developments into condominiums (PUD's).

Recommended Action

The Planning Commission sends a positive recommendation to the City Council for final plat approval of The Bristol Village PUD with the following conditions:

1. Provide a current title report
2. Complete all red-line corrections.
3. Payment of all applicable fees

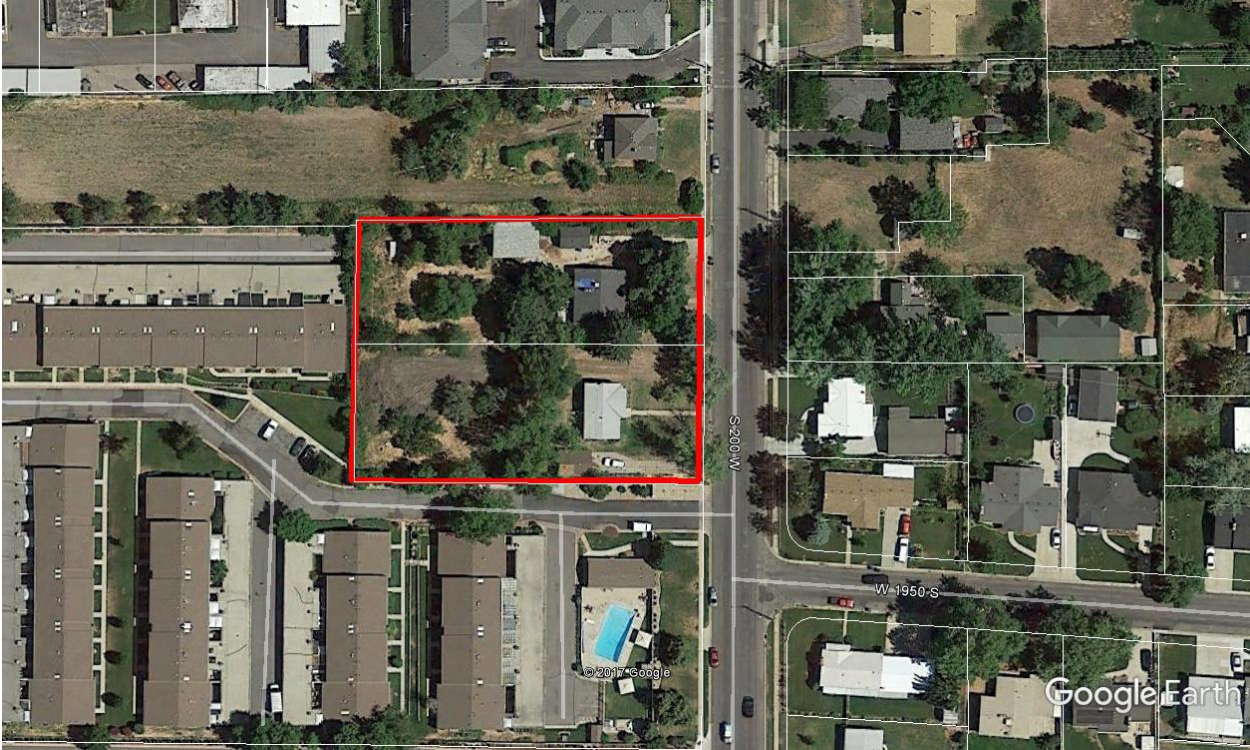
Department Review

This has been reviewed by the Engineering and Planning Departments and the Planning Commission.

Significant Impacts

This development is in an existing multi-family area and will not have significant impact on the surrounding area

Attachments:



BRISTOL VILLAGE PLANNED UNIT DEVELOPMENT

LOCATED IN THE NW 1/4 OF SECTION 31, T2N, R1E,
SALT LAKE BASE & MERIDIAN
BOONVILLE CITY, DAVIS COUNTY, UTAH



LEGEND

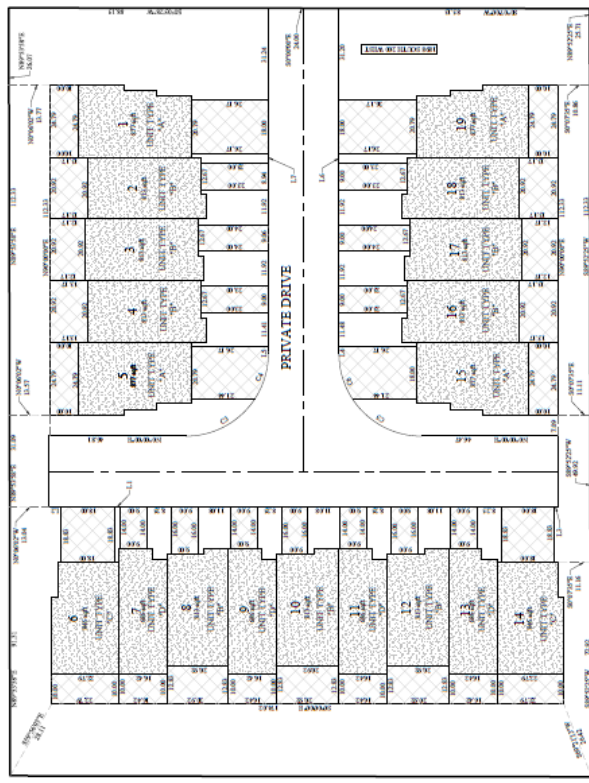
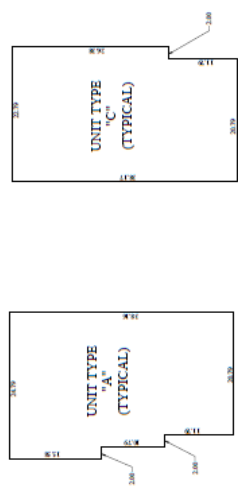
	SECTION MARKING
	COMMON AREA
	LIMITED COMMON AREA
	PRIVATE OWNERSHIP

Line Table

LINE	DESCRIPTION	LENGTH	BEARING	COORDINATES	COMMENTS
1.1	SURVEY LINE	20.00	S 89° 59' 59" W	43.50	145° 00' 00" W
1.2	SURVEY LINE	6.00	S 89° 59' 59" W	43.50	145° 00' 00" W
1.3	SURVEY LINE	6.00	S 89° 59' 59" W	43.50	145° 00' 00" W
1.4	SURVEY LINE	6.00	S 89° 59' 59" W	43.50	145° 00' 00" W
1.5	SURVEY LINE	6.00	S 89° 59' 59" W	43.50	145° 00' 00" W
1.6	SURVEY LINE	6.00	S 89° 59' 59" W	43.50	145° 00' 00" W
1.7	SURVEY LINE	6.00	S 89° 59' 59" W	43.50	145° 00' 00" W
1.8	SURVEY LINE	6.00	S 89° 59' 59" W	43.50	145° 00' 00" W
1.9	SURVEY LINE	6.00	S 89° 59' 59" W	43.50	145° 00' 00" W
1.10	SURVEY LINE	6.00	S 89° 59' 59" W	43.50	145° 00' 00" W

Curve Table

STATION	ARC LENGTH	CHORD BEARING	CHORD LENGTH
21	20.00	S 89° 59' 59" W	43.50
22	20.00	S 89° 59' 59" W	43.50
23	20.00	S 89° 59' 59" W	43.50
24	20.00	S 89° 59' 59" W	43.50
25	20.00	S 89° 59' 59" W	43.50
26	20.00	S 89° 59' 59" W	43.50
27	20.00	S 89° 59' 59" W	43.50
28	20.00	S 89° 59' 59" W	43.50
29	20.00	S 89° 59' 59" W	43.50
30	20.00	S 89° 59' 59" W	43.50



RECORDED #
STATE OF UTAH, COUNTY OF HARRIS
RESERVED AND FILED AT THE REQUEST OF

DATE _____ TIME _____ BOOK _____ PAGE _____
FILE # _____ COUNTY RECORDER _____

SHEET 2 OF 2

FOCUS
ENGINEERING AND SURVEYING, LLC
22 WEST CENTER STREET
MIDVALE, UTAH 84057 PH: (801) 352-0075
www.focusur.com