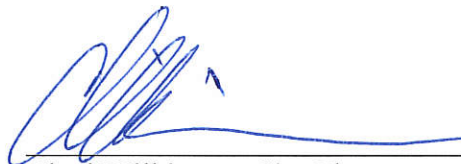


BOUNTIFUL CITY
PLANNING COMMISSION AGENDA
Tuesday, November 20, 2018
6:30 p.m.

NOTICE IS HEREBY GIVEN that the Bountiful City Planning Commission will hold a meeting in the Conference Room at City Hall, 790 South 100 East, Bountiful, Utah, at the time and on the date given above. The public is invited. Persons who are disabled as defined by the American with Disabilities Act may request an accommodation by contacting the Bountiful Planning Office at 298-6190. Notification at least 24 hours prior to the meeting would be appreciated.

1. Welcome and Introductions.
2. Approval of the minutes for November 6, 2018.
3. **PUBLIC HEARING** - Consider approval of a Conditional Use Permit for a 6-unit multi-family development located at 55 W 400 South, Brian Knowlton, applicant.
4. Consider approval of a preliminary site plan approval for a 6-unit multi-family development located at 55 W 400 South, Brian Knowlton, applicant.
5. Consider re-approval of a preliminary and final site plan for a 40-unit mixed use office and residential building located at 1501 S Renaissance Towne Dr (Pad A), Bruce Broadhead, applicant.
6. Planning Director's report, review of pending applications and miscellaneous business.



Chad Wilkinson, City Planner

**Bountiful City
Planning Commission Minutes
November 6, 2018
6:30 P.M.**

Present: Chair – Sean Monson; Vice Chair – Von Hill; Planning Commission Members – Jesse Bell, Jim Clark; Tom Smith and Sharon Spratley; City Planner – Chad Wilkinson; City Engineer – Lloyd Cheney; City Attorney – Clint Drake; and Recording Secretary – Darlene Baetz

Excused: City Council Representation – Richard Higginson

1. Welcome and Introductions.

Chair Monson opened the meeting at 6:30 pm and welcomed all those present.

2. Approval of the minutes for October 16, 2018.

Tom Smith made a motion to approve the minutes for October 16, 2018 with 3 corrections made to page 5. Paragraph 6, Jesse Bell spoke about the safety *concerns* of having more driveways... Paragraph 8, ...driveway standards because of concerns from just *one* property owner. Paragraph 13, *Acting Chair Smith* ascertained... Sharon Spratley seconded the motion. Voting passed 5-0-1 with Commission members Bell, Clark, Hill, Spratley and Smith voting aye and Monson abstains.

3. PUBLIC HEARING – Consider amending Chapter 4 and Chapter 18 of the Bountiful City Land Use Ordinance related to parking and driveway standards for Single Family Residential use and development.

Chad Wilkinson presented the staff report.

The proposed amendment would change the driveway and parking standards for Single Family Residential zones. The changes include amendments to the standards of Chapter 4-Single Family Residential and Chapter 18 Motor Vehicle Parking and access standards.

The City Council has directed staff to review the existing parking standards for the single family zone and bring forward changes that would allow opportunities for additional off-street parking in single family zoning districts. City staff has reviewed a number of options and will present some possible alternatives for your consideration. In reviewing these options, there are two important existing standards that should not be altered. First, the standard limiting the coverage of a front yard by requiring a minimum of 50 percent landscaping should not be changed. This standard prevents a front yard from being completely paved over and is essential to preserving Bountiful's identity as a City of beautiful homes and gardens. The landscape standard also preserves pervious surface to allow for infiltration by storm water. The newly adopted State storm water standards require that cities adopt Low Impact Development Standards (LID) to limit the need for new storm water facilities. LID principles include preservation of open space in order to decrease new impacts on storm water facilities and to increase water quality by providing landscape areas to filter contaminants from rain water prior to entering the public storm system.

Second, the minimum driveway spacing standards should be preserved. There are several vital reasons for requiring a minimum separation standard which include the following:

- The provision of on-street parking
- Providing room for trash pickup and street sweeping
- Providing predictable intervals for traffic flow purposes
- Allowing for on-street snow storage
- Providing access to mail boxes and fire hydrants
- Aesthetics
- Allowing for repair and maintenance of utilities placed within a park strip without the need to replace concrete.

There are options available to provide additional off-street parking without removing the minimum spacing and landscape standard. One of these options would be to provide for parking in front of the residence with a landscape buffer between the parking and the street. This would enable some limited additional parking while still providing landscape area along the public street. Currently, parking is prohibited in front of single family residences. The attached potential changes to the ordinance include a standard allowing for parking in front of single family residences with some buffering.

Another option is to allow for a decreased width for accessing parking in the rear yard. Currently, the Code requires a minimum setback width of 12 feet for side yards that are used for driveways accessing garages or parking areas in the rear yard. Decreasing this standard to allow for access to rear yards where there is an 8-foot wide unobstructed area to accommodate a driveway would also increase the potential for many homes, and particularly those in older neighborhoods with single wide driveways to place additional parking in the rear yard.

Other changes include clarifications on driveway standards for accessory dwellings, renumbering some sections related to driveway standards for homes in the R-F zone to provide additional clarity and allowing additional driveways on very large properties.

Changes to the driveway standards will potentially have significant impacts to the look and feel of Bountiful City. Allowing additional parking in the front yard will decrease landscaping and place more vehicles within areas visible from the public street. These changes should be carefully considered prior to adoption.

It is recommended that the Planning Commission review the proposed changes to the driveway standards for the Single Family Residential zone and hold a public hearing to allow for public comment. After receiving public input the Commission may take one of the following actions:

1. Request additional revisions and continue the item to a future meeting for further discussion
2. Forward the item to the City Council with a recommendation to approve the changes to the driveway standards as proposed.
3. Forward the item to the City Council with a recommendation to approve the changes to the driveway standards with changes recommended by the Commission.
4. Forward the item to City Council with a recommendation of denial for the proposed changes.

Mr. Wilkinson discussed all of the changes to the code that staff recommended.

Mr. Wilkinson clarified that there is no existing text for figure 14-4-1. He explained the impact with these changes could have a potential to change the look and feel of Bountiful.

Sharon Spratley asked for clarification on the code for circle driveways. Mr. Wilkinson stated that the code does not allow parking in the front yard except for approved driveways. A circle driveway would be allowed within the City standards including minimum spacing and depth dimensions. There are a few of these driveways in the city.

Chair Monson opened the **PUBLIC HEARING** at 7:04 p.m.

Mark Minnis resides at 349 W 300 North. Mr. Minnis discussed the code enforcement that he received for his driveway. He discussed single family homes in the City that have only a single wide driveway and older homes that need more off street winter parking. He had gathered signatures and submitted a petition to Bountiful City Council and created a map that showed the homes from the petition that had a single driveway.

Chair Monson corrected Mr. Minnis on his assertion that staff somehow convinced the Planning Commission to deny his variance against their will. Mr. Monson stated that the staff presents the Commission members with a report for the item to be heard and will also make recommendations; however, the Planning Commission members make their own decisions.

Mr. Taylor resides at 177 W 800 S. Mr. Taylor asked for clarification on the examples that were shown for driveways on one side of the house and additional parking on the other side.

Kevin Jolley resides at 209 Oakridge Dr. Mr. Jolley is also concerned about additional parking with extra cars in the household.

Sherman Wright resides at 906 South 750 East. Mr. Wright lives near a city park that has residents using the street parking near his home during the summer months and he has a need for additional off street parking for his vehicles.

Gary Davis resides at 2814 S 500 West. Mr. Davis stated the importance for aesthetics with concrete and asphalt materials.

Chair Monson closed the **PUBLIC HEARING** at 7:04 p.m.

Mr. Wilkinson discussed and answered comments from the Public Hearing.

1. The City currently allows two driveways with a 35 foot separation and the ability to have a second driveway would depend on the size of the lot in order to comply with the code.
2. The code that has been presented is a Land Use Ordinance and not a Building Code.
3. The parking requirement in the Land Use Ordinance for a single family home does not require a double wide driveway, it does require 2 spaces in the garage and 4 spaces overall. The ordinance does allow stacking parking as long as you have the 2 spaces in the garage.

This proposed ordinance change is to give more parking opportunity.

The smaller/older homes do have some challenges to allow extra parking and would hope that some of the proposed changes will help these challenges.

Ms. Spratley and Tom Smith have a concern for the front yard parking. Mr. Wilkinson stated that the narrow driveways and the side yard parking would allow for additional off-street parking. He stated

that the cul-de-sacs would have larger rear yards for additional parking. Mr. Hill would rather see the citizens meet the standards with paving instead of parking on the grass in the front yard. Planning Commission members discussed the variance approval process should be very restrictive and limited. There was discussion about the setbacks, front yard parking allowance, Mr. Wilkinson stated that this ordinance change came about because of requests from several individuals.

Sharon Spratley made a motion that the Planning Commission forward to the City Council a recommendation of approval for a proposed amendment to Chapters 4 and 18 related to driveway and parking standards for Single Family Residential with the exception of adopting the change to 14-4-110 A1 related to parking in the front yard.

Tom Smith seconded the motion. Voting passed 6-0 with Commission members Bell, Clark, Hill, Monson, Smith, and Spratley voting aye.

Commission members wanted to thank Mark Minnus for his presentation and hard work.

4. Consider approval of a Conditional Use Permit letter in written form for Quick Quack car wash in the General Commercial (C-G) zone located at 2566 S 500 West, Joseph Earnest, applicant.

Chad Wilkinson presented the Conditional Use Permit letter.

Sharon Spratley made a motion to approve the Conditional Use Permit letter for Quick Quack Car Wash located at 2566 S 500 West as written. Jesse Bell seconded the motion. Voting passed 6-0 with Commission members Bell, Clark, Hill, Monson, Smith and Spratley voting aye.

5. Consider approval of a Conditional Use Permit letter in written form for a 12-unit multi-family development located at 105 South 100 West, Brian Knowlton, applicant.

Chad Wilkinson presented the Conditional Use Permit letter.

Von Hill made a motion to approve the Conditional Use Permit letter for a 12-unit multi-family development located at 105 South 100 West as written. Tom Smith seconded the motion. Voting passed 6-0 with Commission members Bell, Clark, Hill, Monson, Smith and Spratley voting aye.

6. Planning Director's report, review of pending applications and miscellaneous business.

1. Next Planning Commission meeting will be November 20, 2018.
2. Discussion about upcoming Legislation update.

Chair Monson ascertained there were no other items to discuss. The meeting was adjourned at 7:55 p.m.

Chad Wilkinson, Bountiful City Planner

Commission Staff Report

Item #s 3 & 4

Subject: **Public Hearing:** Conditional Use Permit and Preliminary Site Plan for a 6 unit Multifamily development
Author: Chad Wilkinson, City Planner
Address: 55 West 400 South
Date: November 20, 2018



Description of Request:

The applicant, Knowlton General, requests Conditional use permit and preliminary site plan approval for a 6 unit multifamily development located at 55 West 400 South. The property is located within the DN (Downtown) zone.

Background and Analysis:

The property has been vacant for many years and is zoned DN (Downtown). The site is surrounded by single family residential use on the east and west, mixed use and commercial to the north, and commercial property to the south.

The proposed development is located on a .25 acre ($\pm 10,890$) s.f. property. There appears to be some discrepancy between the legal description for the property and the actual area available for building. Prior to submitting for final site plan, the applicant will need to identify actual dimensions of the buildable area of the lot based on a survey of the property. This issue will impact the proposed parking layout on the site. Based on an analysis of the building design, the building official has determined that a disabled person parking space is not required based on the applicable building code. However section 14-7-112 C 9 requires that street-facing ground floor units be ADA accessible to provide for conversion to a future commercial use. Without the need for the accessible space, the proposal meets the parking standards of the Code including required covered parking and guest spaces with room to spare. If an accessible space is required, it will be necessary for more detailed property information to determine if the lot can accommodate adequate parking for the development.

The proposed building meets the required setback and height standards for the DN Zone. Because the building is located at least 200 feet from the 100 west right of way the maximum building height is 55 feet. The proposed building is approximately 46 feet and four stories in height with one unit located on the ground floor and the remainder above. The applicant proposes building materials consisting of a mix of EIFS and brick. Color renderings of the buildings are attached to this report. It is recommended that some brick be added to the south façade as this area will be highly visible from 500 South. The proposed structure meets the required articulation standards of the ordinance and complies with the maximum 2:1 height to width ratio requirements. Ground floor units have entrances facing the public street and balconies or patios are shown for each unit.

The plan shows the minimum 10 percent of landscape area and the additional landscaping required by Code for multifamily development; however, a detailed landscape plan will

need to be submitted demonstrating compliance with the minimum requirements of the landscape code. A sidewalk is shown on the west side of the property running along the proposed parking area. The Code allows for sidewalks to occupy a total of 30 percent of the required landscape area. Based on the required landscape area the sidewalk will need to be reduced. It is recommended that the sidewalk be pulled back to the south edge of the building in order to comply with the applicable standard.

Access to the site will be via a single driveway on 400 South. Water and sewer will be provided via connections to existing lines in 400 South. Storm water drainage design will need to be further refined prior to submittal for final site plan approval. The proposed retention system may not adequately dispose of storm water and additional information is required to determine adequate permeability of soils to allow for retention on site.

Department Review

This proposal has been reviewed by the Engineering, Power, and Planning Departments and by the Fire Marshall.

Significant Impacts

The applicant will need to demonstrate how storm water impacts to the site will be handled. Sidewalks will have to be repaired as part of the project. Other infrastructure in the area is adequate for the impacts anticipated by the development.

Recommended Action

Staff recommends that the Planning Commission approve the Conditional Use Permit and forward a recommendation of approval to the City Council for preliminary site plan review for the proposed 6 unit multifamily building subject to the following conditions:

1. Complete any and all redline corrections.
2. Prior to submittal for final site plan approval, complete a survey of the property to determine total buildable area available on the property. Complete any revisions to the site necessary based on the size of the parcel.
3. Revise the elevations to show some brick elements on the south side of the building in order to provide architectural continuity on this visible side of the building.
4. Revise the site plan to show the sidewalk on the property ending at the south side of the building.
5. Submit a landscape plan meeting the minimum requirements of Sections 14-16- 104 and 14-16-109.
6. All damaged curb and gutter and sidewalk along 400 S. shall be replaced.

Attachments

1. Aerial photo
2. Site and utility plans
3. Building elevations

Aerial Photo



ON 4TH

55 West 400 South Bountiful, UT 84010
OWNERS: HEPWORTH INVESTMENT GROUP LLC
PRELIMINARY SITE PLAN J 10.30.2018

DRAWING LIST:

SHEET	SHEET NAME
A0	COVER SHEET
A1	UNIT PLANS
A2	VIEW
A3	LANDSCAPE

PROJECT INFORMATION:

PROJECT TYPE: RESIDENTIAL MULTIFAMILY
BUILDING USE: RESIDENTIAL APARTMENTS
OCCUPANCY: R-2 (RESIDENTIAL)
AREA TABULATIONS: GROUND FLOOR (PEX APARTMENT/ENTRANCE) * 850 SF +H
 FIRST FLOOR (COMMON AREA/ENTRANCE) * 1,725 SF +H
 SECOND FLOOR (APARTMENT) * 1,100 SF +H
 TOTAL FLOOR AREA (MULTIFAMILY) * 3,675 SF +H
UNIT COUNTS: 3 BUDGET
 1 UNIT
 1 BUDGET
PARKING COUNTS: 3 SPACES (11% OF GROUND FLOOR)
 2 SPACES (11% OF GROUND FLOOR)
 TOTAL PROVIDED (INCLUDES 11%) * 5 SPACES
LANDSCAPE TABULATION: PROPERTY AREA * 65' X 185' * 12,025 SF
 LANDSCAPE AREA REQUIRED * 4,830 SF
 LANDSCAPE AREA PROVIDED * 3,195 SF
BUILDING HEIGHT: MAXIMUM * 3
 BUILDING LENGTH: ACTUAL * 214'-0" MAXIMUM HEIGHT * 23'-0" ACTUAL * 11'-0" H-
 11'-0" H-
 11'-0" H-

VICINITY MAP:



SITE MAP:



STREET VIEW FROM 400 S 1/20

P · R · O · C · E · S · S

55 West 400 South
Bountiful, UT 84010
www.hepworth.com



No.	Description	Date

ON 4TH
COVER SHEET

Project Status: PRELIMINARY SITE PLAN
Project Number: 18_0035
Date: 10.30.2018
Drawn by: DJY
Checked by: EGE
Scale: A0

P R O C E S S

11/01/2018
11/01/2018
11/01/2018
www.pprocess.com

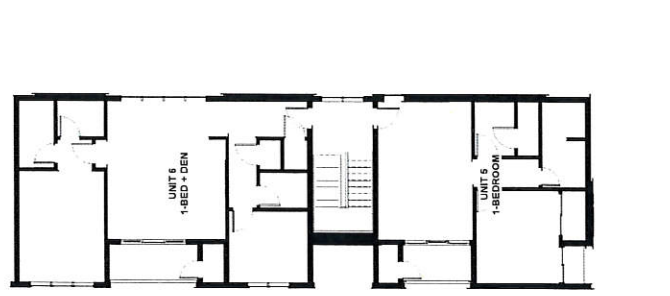
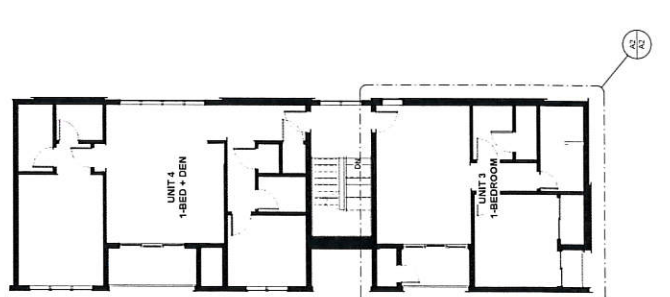
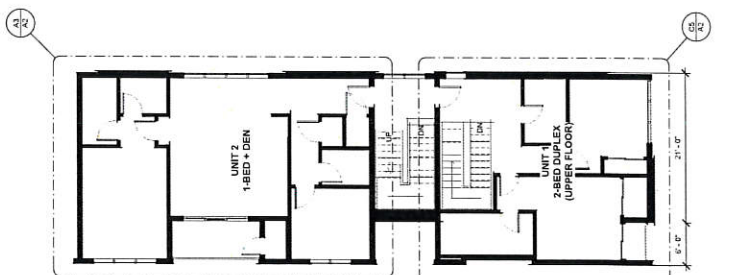
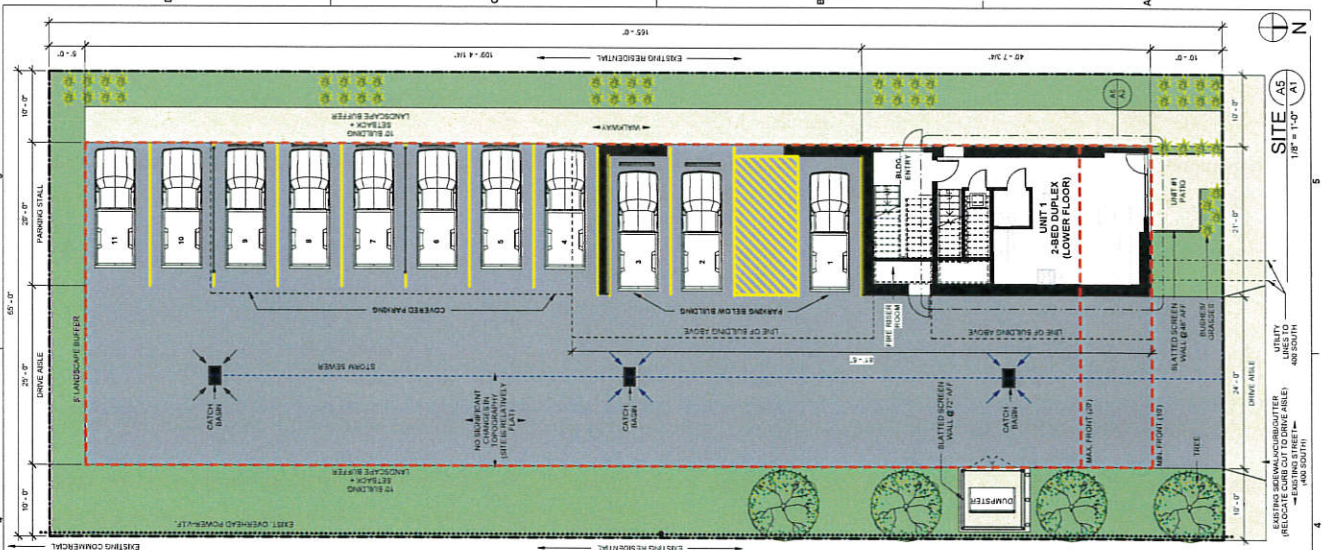


No.	Description	Date

FLOOR PLANS

ON 4TH

PRELIMINARY SITE PLAN
 Project Number: 18_0035
 Date: 10.30.2018
 Drawn By: DJY
 Checked By: EGE
 Scale: 1/8" = 1'-0"



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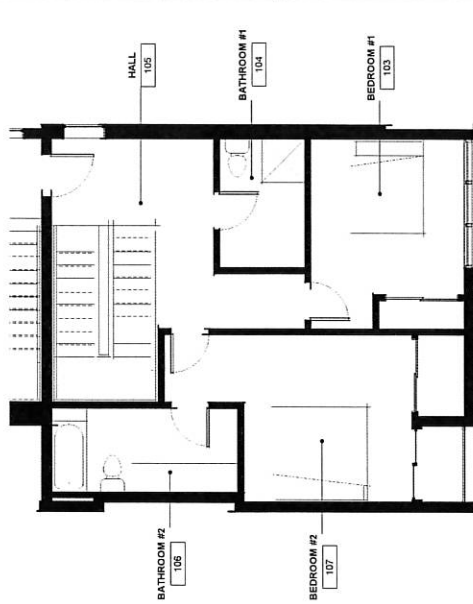
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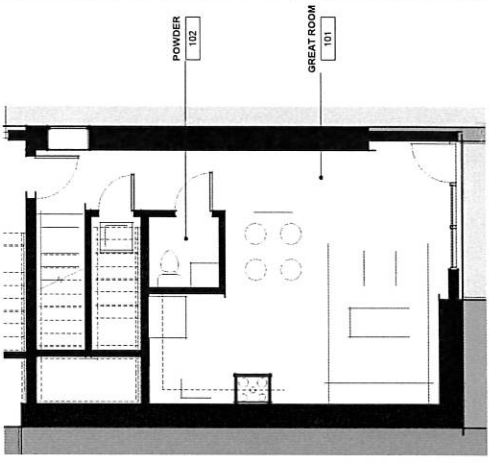
No.	Description	Date

ON 4TH
UNIT PLANS

PRELIMINARY SITE PLAN
 Project Status
 Project Number 18_0035
 Date 10.30.2018
 Drawn by D/JY
 Checked by EGE
 Scale 1/8" = 1'-0"



UNIT 1 - SECOND FLOOR $\frac{1}{8}'' = 1'-0''$
 CS A2



UNIT 1 - GROUND FLOOR $\frac{1}{8}'' = 1'-0''$
 AS A2



UNIT 2/4/6 - 1 BED + DEN $\frac{1}{8}'' = 1'-0''$
 A3 A2



UNIT 3/5 - 1 BEDROOM $\frac{1}{8}'' = 1'-0''$
 A2 A2

UNIT 1: 1805 SF
 UNIT 2: 1615 SF
 UNIT 3: 665 SF
 BUILDING TOTAL: 6,325

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P · R · O · C · E · S · S

1815 W. Green Street
Portland, Oregon 97205
www.prc.com

No.	Description	Date

**ON 4TH
VIEWS**

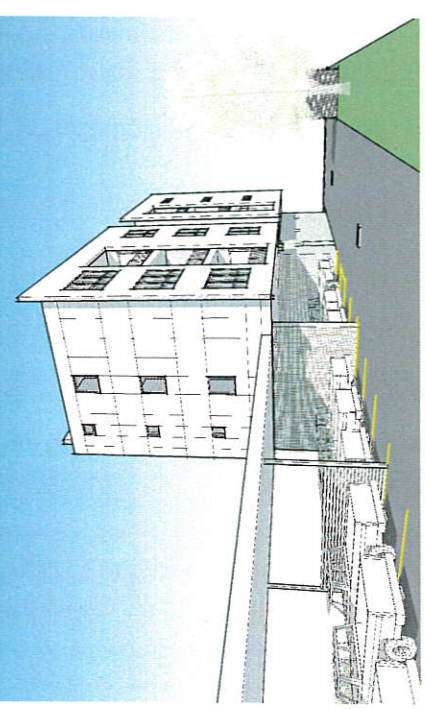
Project Status: PRELIMINARY SITE PLAN
 Project Number: 18_0032
 Date: 10.30.2018
 Drawn by: DJT
 Checked by: EGE
A3
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EAST (SIDE) VIEW (CS A3)



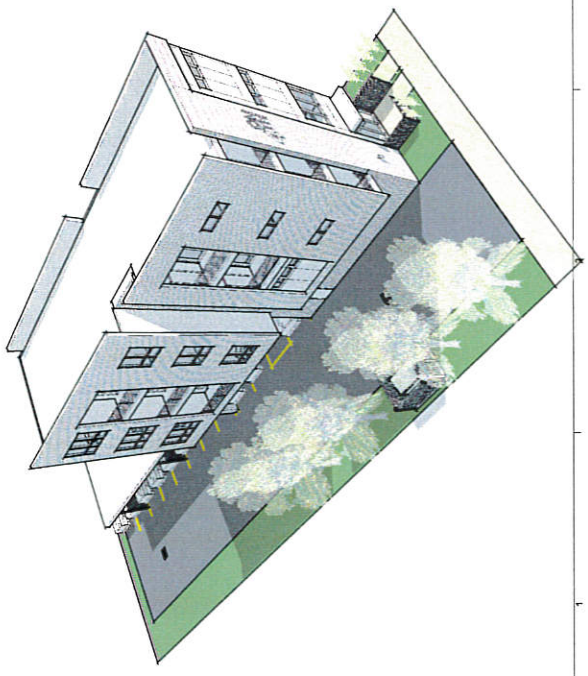
WEST SIDE VIEW (BS A3)




SOUTH (REAR) VIEW (AS A3)



NORTH (STREET) VIEW (B3 A3)



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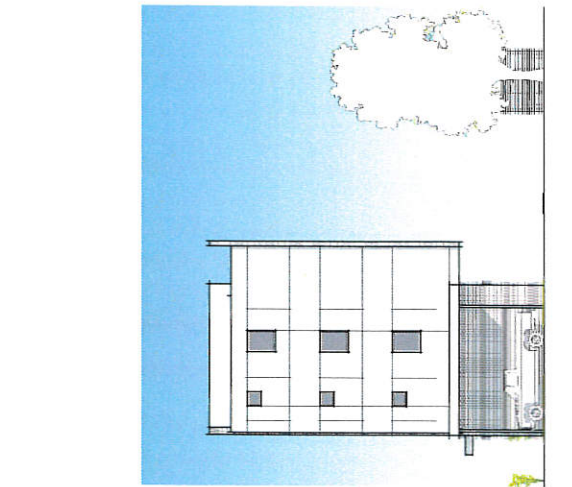
P · R · O · J · E · C · T · S <small>3035 South Loop West Suite 400 Houston, TX 77058 www.projects.com</small>		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">No.</th> <th style="width: 85%;">Description</th> <th style="width: 10%;">Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Description	Date																																																																											
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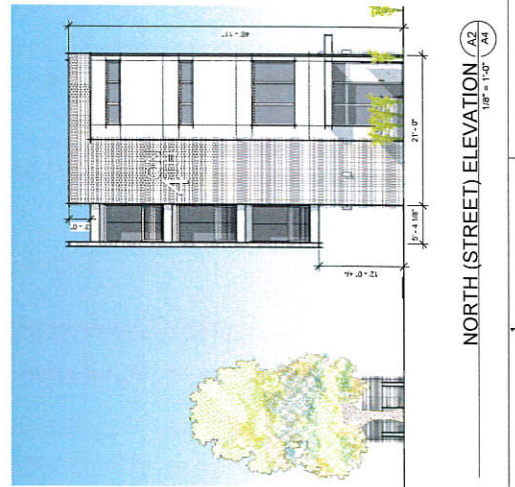
EAST (DRIVEWAY) ELEVATION (CE A4)
1/8" = 1'-0"



WEST (WALKWAY) ELEVATION (A5 A4)
1/8" = 1'-0"



NORTH (REAR) ELEVATION (C2 A4)
1/8" = 1'-0"



NORTH (STREET) ELEVATION (A2 A4)
1/8" = 1'-0"

Commission Staff Report

Item #5

**Subject: Site Plan Amendment for Mixed Use Development
On Pad A of Renaissance Town Center**

Property Address: 1501 S. Renaissance Town Drive

Author: Chad Wilkinson, Planning Director

Department: Planning

Date: November 20, 2018



Background

The applicant, Bruce Broadhead, requests site plan approval for “Pad A” (shown now as Lot 9) of the Renaissance Town Center Development. The plan was originally approved in April of 2017 and a six month extension was granted In April of 2018. That extension has now expired and so the site plan must be reapproved in order to move forward. The proposal still includes 40 units and retains the approximately 5,500 square feet of commercial space located on the street level originally approved.

Analysis

The submitted plan substantially complies with the previously approved plan. The primary reason for including an expiration date on site plans is to ensure that projects meet current Codes when constructed. A secondary reason is to provide motivation for projects to be completed in a timely manner. In this case, there have been no substantial changes to the Code in the intervening year and a half since the original approval. The project is very close to permit issuance and the reauthorization will allow the developer to move forward with the project. However in order to avoid any conflicts with future code changes, building permits should be obtained in a timely manner. Therefore, it is recommended that a condition be required to obtain a building permit within 6 months of the re-approval.

Department Review

This item has been reviewed by the City Planner and City Engineer.

Significant Impacts

Since the site plan substantially complies with the plan approved 18 months ago, impacts on City infrastructure from the development have been anticipated and accounted for.

Recommendation:

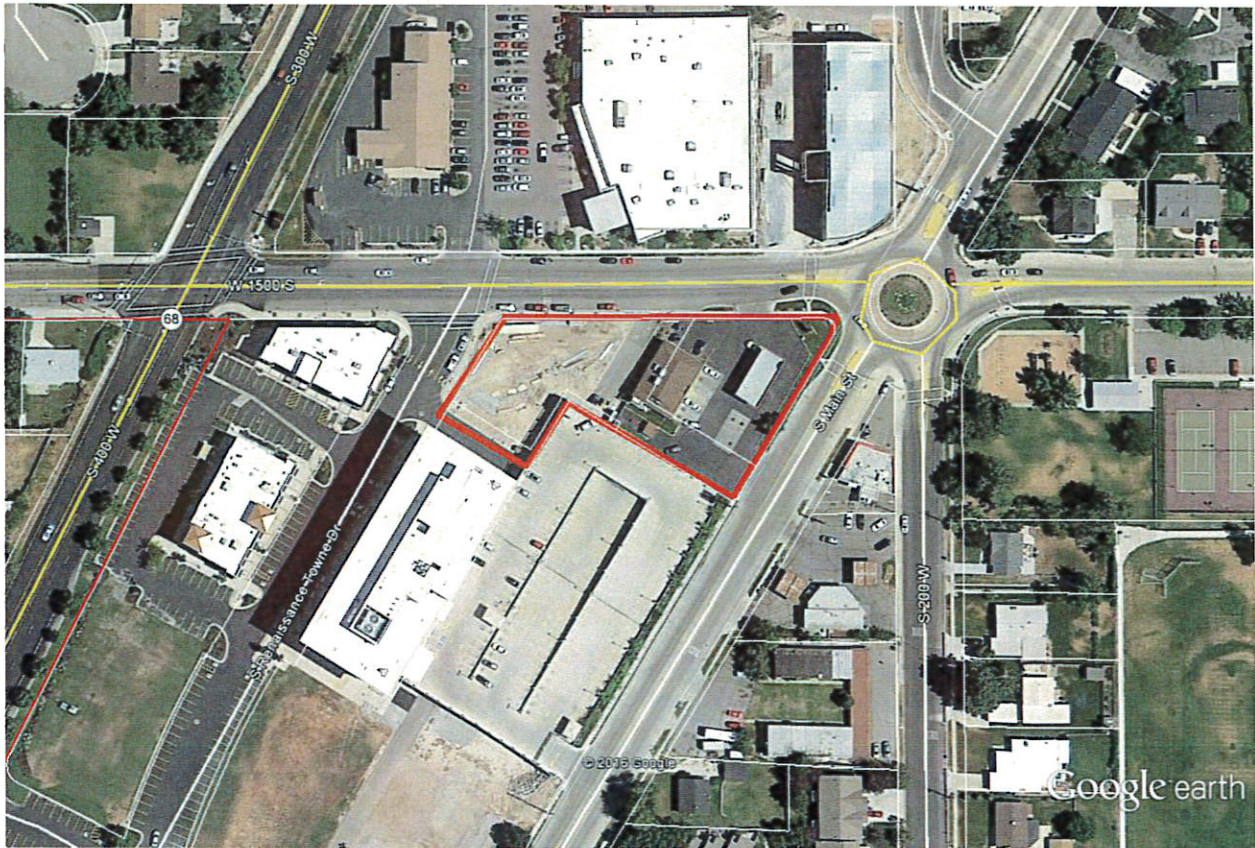
Staff recommends that the Planning Commission forward a recommendation of approval to the City Council for the site plan subject to the following conditions:

1. Obtain a building permit for the project within 6 months and keep the permit active.
2. At least one of the parking spaces for the development shall be a van-accessible disabled person parking space.

Attachments

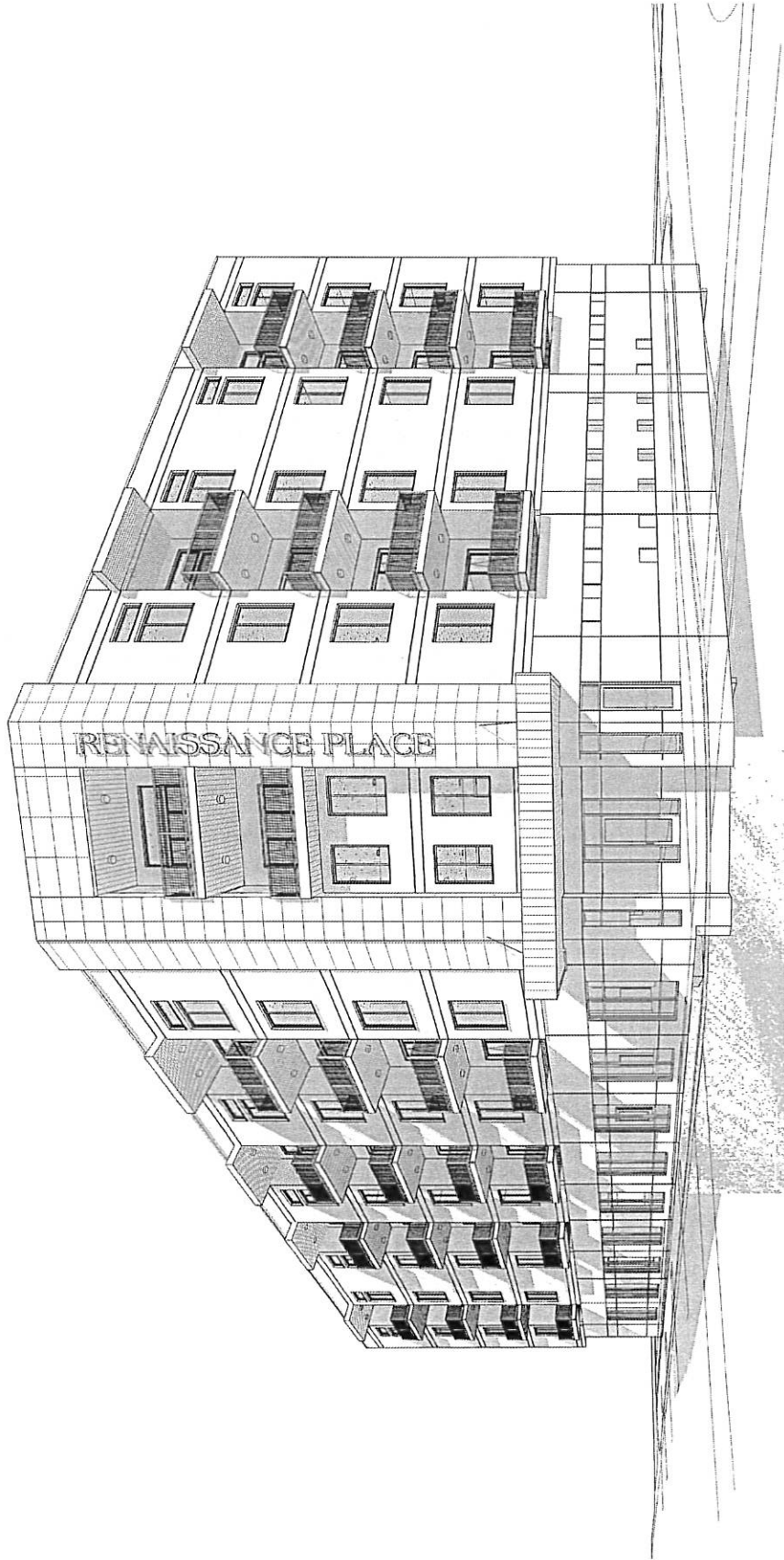
1. Aerial photo
2. Application Materials

Aerial Photo



G:\ENG\Site Plans\Renaissance - Pad A Resubmittal 11-20-18\PC Staff Report- Renaissance Town Center Pad A resubmittal 11-20-18.docx

RENAISSANCE PLACE
MIXED USE BUILDING



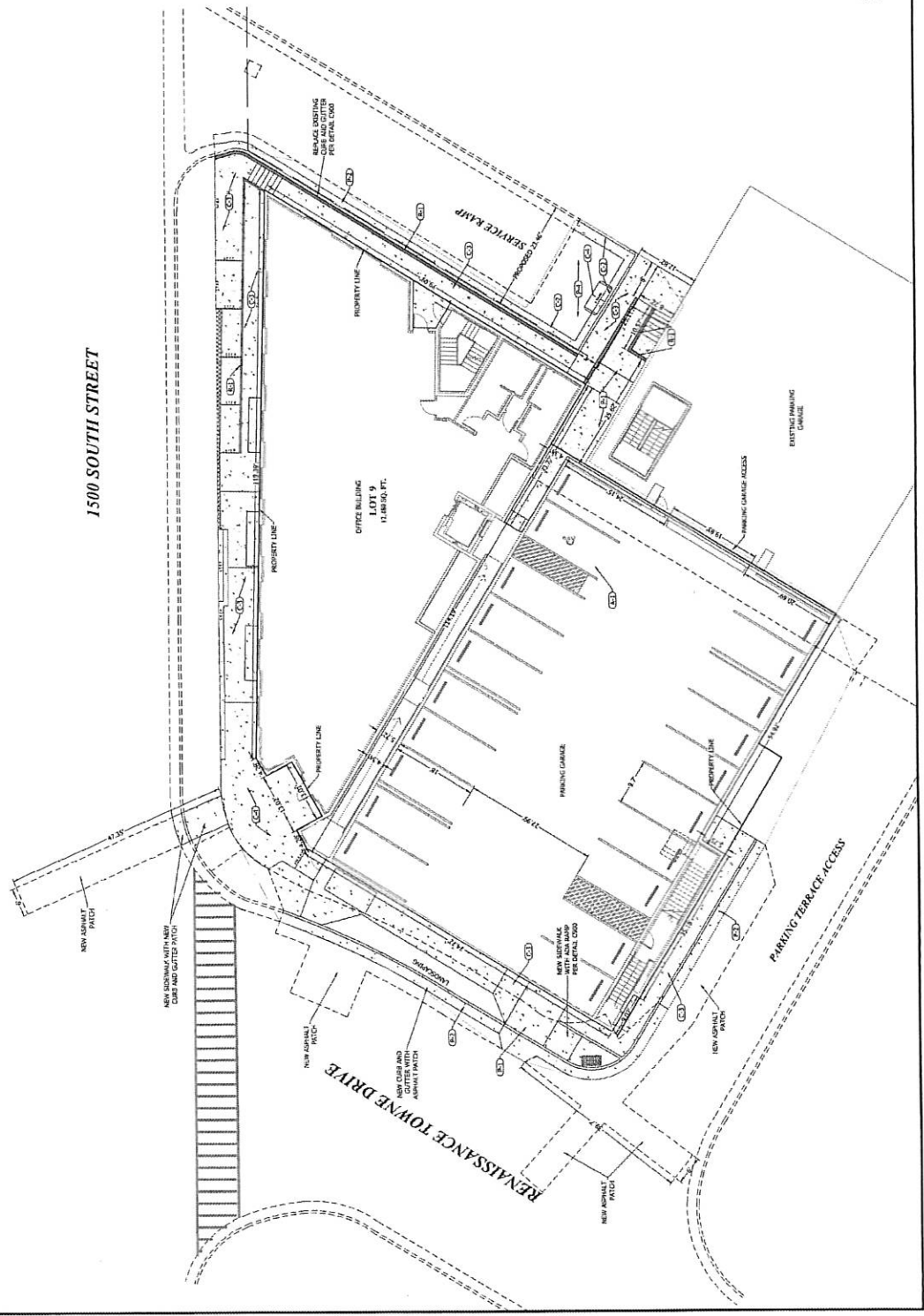
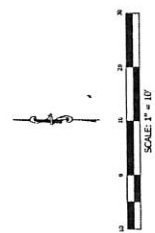
181 South 200 West, Suite #4
 Bountiful, UT 84010
 Phone: 801.298.2236
 www.Entellus.com



RENAISSANCE PLACE
 242 WEST 1900 SOUTH
 LOT 1 RENAISSANCE TOWNE CENTRE
 A COMMERCIAL MIXED USE PLANNED UNIT DEVELOPMENT, PHASE I, PLAT 3
 LOCATED IN THE SW 1/4 OF SECTION 26, T2N, R1E, S1E, R.A.N.
 BOONVILLE CITY, DAVIS COUNTY, UTAH

DATE: 12/24/14	SCALE: 1" = 10'
DRAWN BY: KIMMIE	
PROJECT: PROJECT #	
CLIENT: ENTELLUS	
C400	
SITE PLAN	

- SYMBOL LEGEND**
- NEW 1/2" ASPHALT
 - NEW 1/2" CONCRETE HIGH AND LOW CURB & GUTTER PER LAYOUT SHEET C008
 - NEW 1/2" CONCRETE HIGH AND LOW CURB & GUTTER PER LAYOUT SHEET C009
 - CONCRETE SIDEWALK
 - NEW 1/2" CONCRETE SIDEWALK PER LAYOUT SHEET C008
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 - NEW 1/2" CONCRETE SIDEWALK PER LAYOUT SHEET C010
 - NEW 1/2" CONCRETE SIDEWALK PER LAYOUT SHEET C011
 - NEW 1/2" CONCRETE SIDEWALK PER LAYOUT SHEET C012
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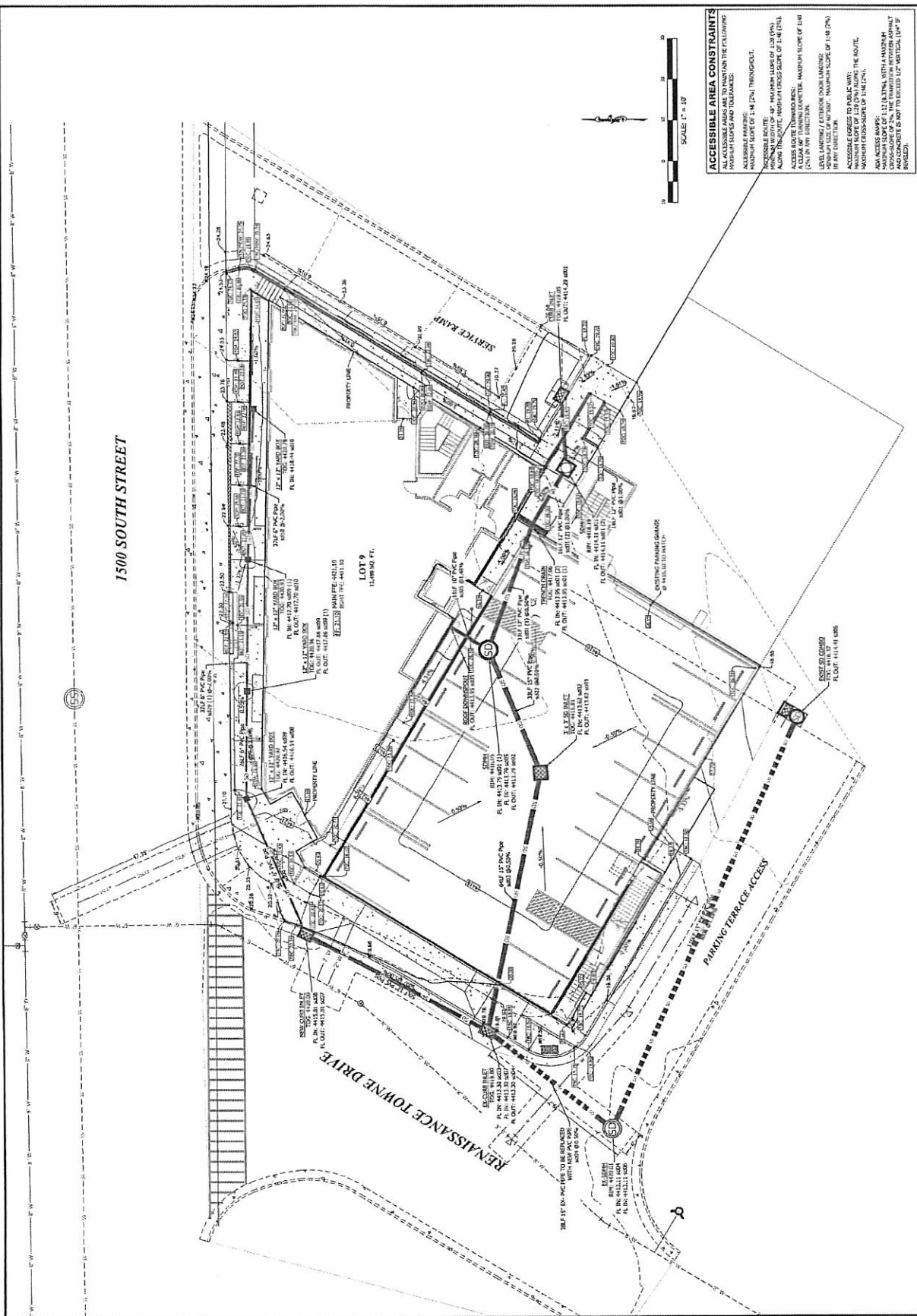


181 North 200 West, Suite #4
 Bountiful, UT 84010
 Phone: 801.298.2236
 www.Entellus.com



RENAISSANCE PLACE
 243 WEST 1500 SOUTH
 LOT 9 RENAISSANCE PHASE THREE
 A COMMERCIAL MOBILE USE PLANNED UNIT DEVELOPMENT, PHASE I, P.L.U.D.
 LOCATED IN THE SW 1/4 OF SECTION 16, T.12N., R.1E., S.15A.W.
 BOONVILLE CITY, DAVIS COUNTY, UTAH

DATE: 07/27/11	PROJECT: RENAISSANCE PLACE
BY: MATHIEU J. SMITH	SCALE: 1" = 40'
CHECKED BY: MATHIEU J. SMITH	
DATE: 07/27/11	



ACCESSIBLE AREA CONSTRAINTS
 ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MINIMUM CLEARANCES:
 1. MINIMUM CLEARANCE: 8'-0" (8'-0" MINIMUM CLEARANCE)
 2. MINIMUM CLEARANCE: 8'-0" (8'-0" MINIMUM CLEARANCE)
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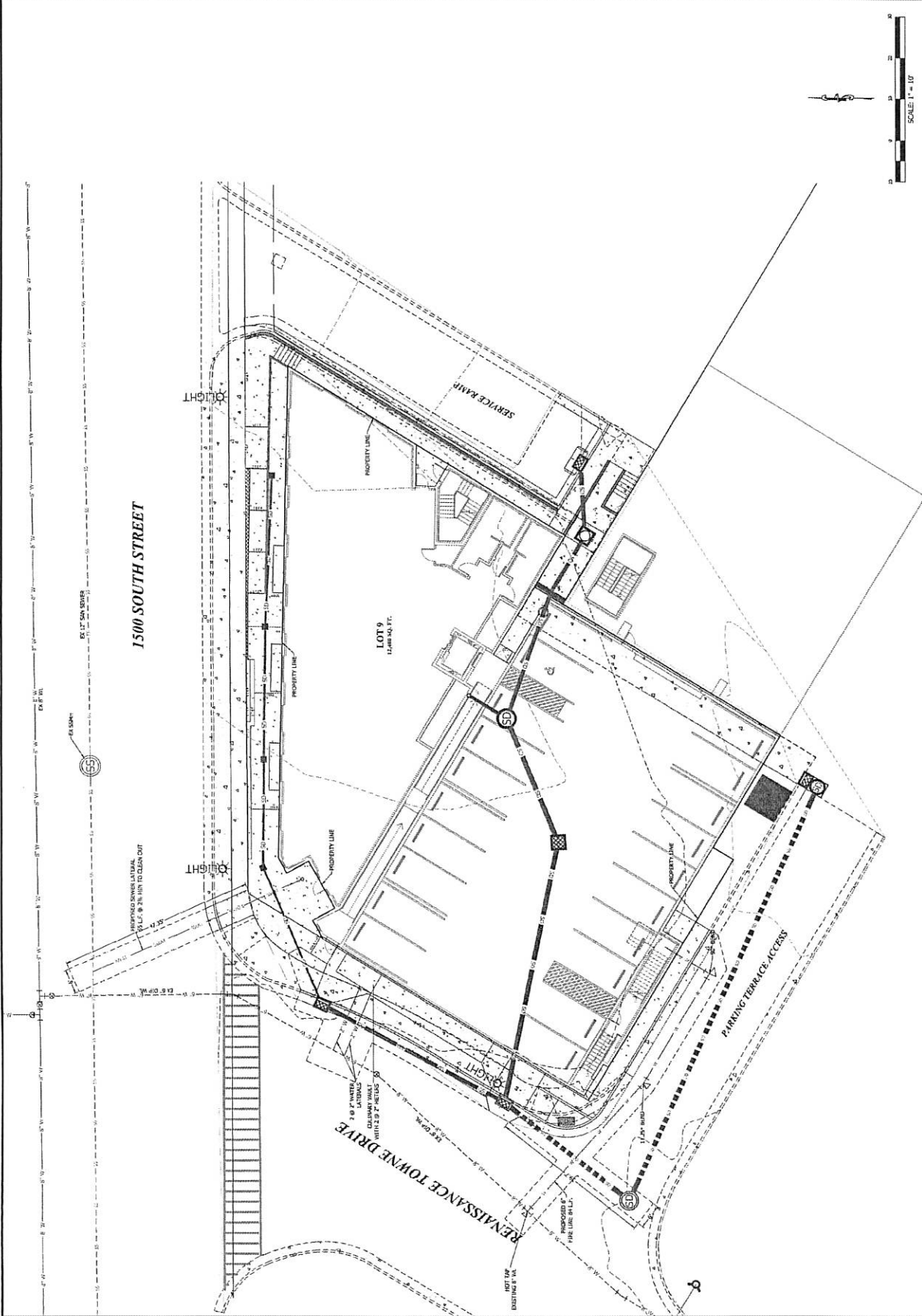
C5000
 GRADING PLAN

Entellus
 181 North 200 West, Suite #4
 Bountiful, UT 84010
 Phone: 801.298.2326
 www.entellus.com



RENAISSANCE PLACE
 263 WEST 1500 SOUTH
 LOT 9 RENAISSANCE TOWNE CENTER
 A COMMERCIAL MIXED USE PLANNED UNIT DEVELOPMENT, PHASE 1, P.L. 173
 LOCATED IN THE SW 1/4 OF SECTION 36, T.2N., R.1E., S.L. 63.0M.
 BOONVILLE CITY, DAVIS COUNTY, UTAH

DATE:	02/24/12
APPROVER:	05/24/12
PROJECT:	PROJECT 12
ISSUED:	ISSUED 02/24/12
C600	
UTILITY PLAN	





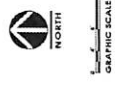
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RENAISSANCE PLACE
BOUNTIFUL, UT

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09/15/2023	REVISIONS
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08/01/2023	ISSUED FOR PERMIT
07/01/2023	ISSUED FOR PERMIT
06/01/2023	ISSUED FOR PERMIT
05/01/2023	ISSUED FOR PERMIT
04/01/2023	ISSUED FOR PERMIT
03/01/2023	ISSUED FOR PERMIT
02/01/2023	ISSUED FOR PERMIT
01/01/2023	ISSUED FOR PERMIT

AEB017.003
LEVEL P1 -
PARKING

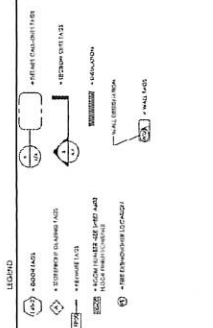
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SHEET #:
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CONTAINS:
PARKING PLAN



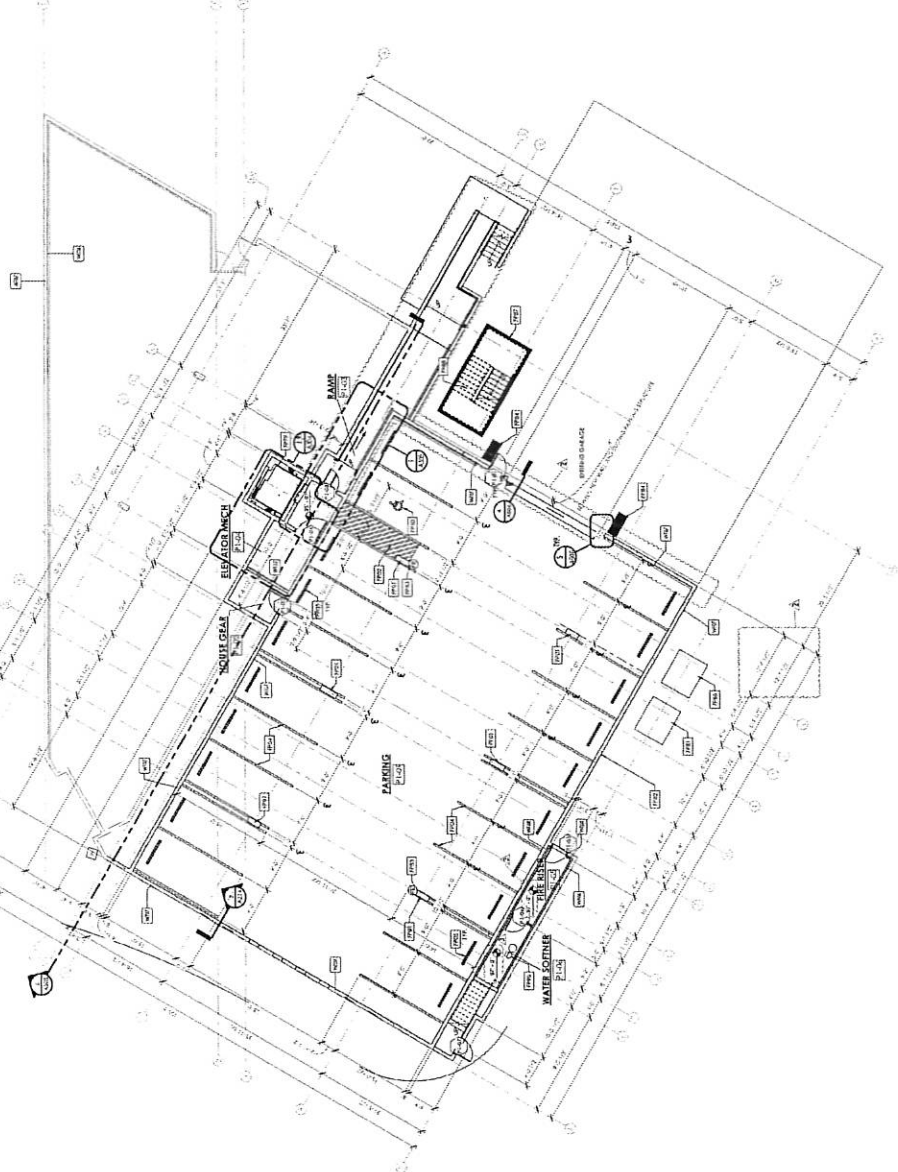
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200	CONCRETE COLUMN BE EXPOSE

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 IBC AND ALL APPLICABLE CODES AND REGULATIONS.
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20. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 IBC AND ALL APPLICABLE CODES AND REGULATIONS.



NO.	DESCRIPTION
1	CONCRETE COLUMN
2	CONCRETE WALL
3	CONCRETE PARTITION
4	WINDOW
5	DOOR
6	STAIR
7	ELEVATOR
8	SHAFT
9	CORE
10	STRUCTURAL STEEL
11	ROOF
12	FOUNDATION
13	GRADE
14	FINISH
15	MATERIAL
16	NOTES



LEVEL P1 - PARKING



BOUNTIFUL, UT
RENAISSANCE PLACE LLC
RENAISSANCE PLACE

GENERAL NOTES

1. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.

2. FINISH GRADE SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

3. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT AND THE LOCAL BUILDING DEPARTMENT.

4. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AVAILABLE.

5. ALL MATERIALS SHALL BE MATCHED TO THE SAMPLES PROVIDED.

6. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AVAILABLE.

7. ALL MATERIALS SHALL BE MATCHED TO THE SAMPLES PROVIDED.

8. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AVAILABLE.

9. ALL MATERIALS SHALL BE MATCHED TO THE SAMPLES PROVIDED.

10. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AVAILABLE.

11. ALL MATERIALS SHALL BE MATCHED TO THE SAMPLES PROVIDED.

12. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AVAILABLE.

13. ALL MATERIALS SHALL BE MATCHED TO THE SAMPLES PROVIDED.

14. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AVAILABLE.

15. ALL MATERIALS SHALL BE MATCHED TO THE SAMPLES PROVIDED.

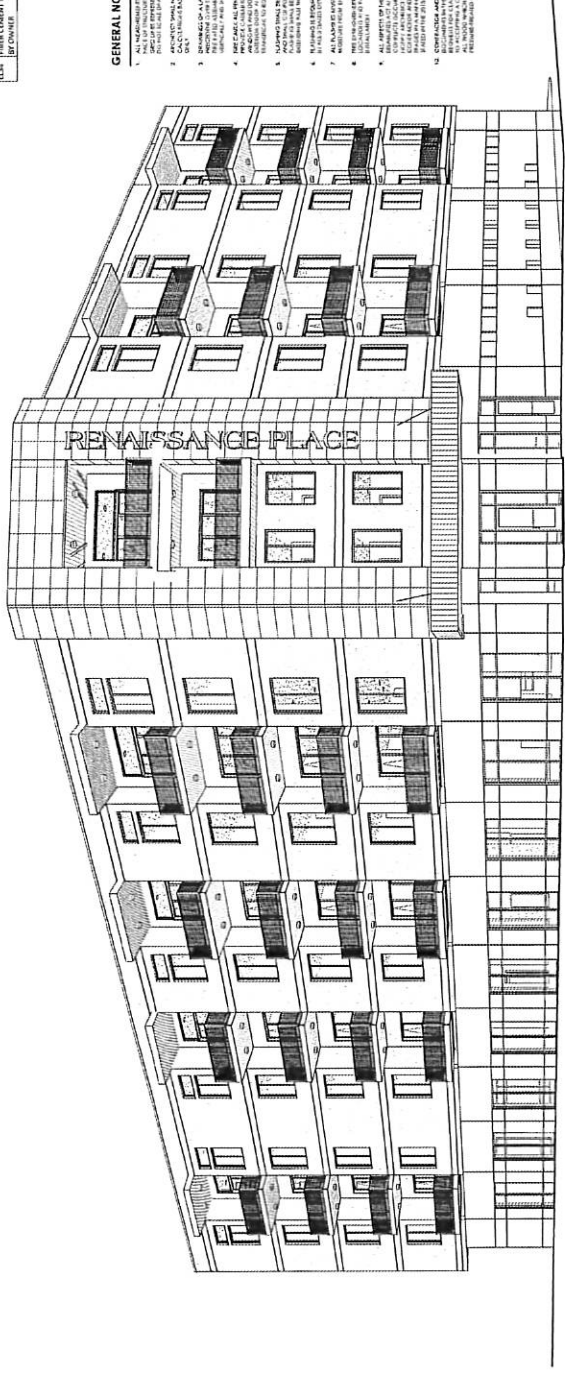
16. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AVAILABLE.

17. ALL MATERIALS SHALL BE MATCHED TO THE SAMPLES PROVIDED.

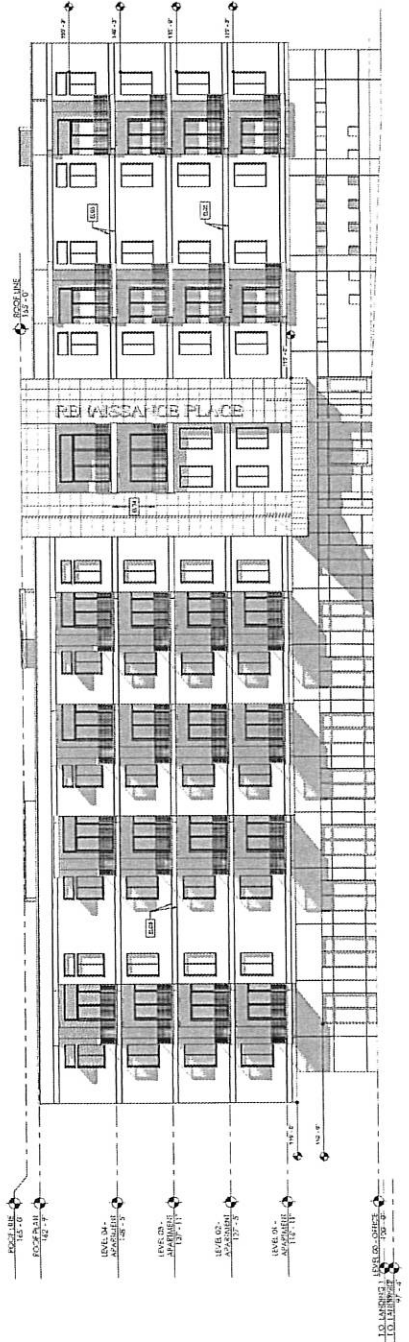
18. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AVAILABLE.

19. ALL MATERIALS SHALL BE MATCHED TO THE SAMPLES PROVIDED.

20. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AVAILABLE.



RENAISSANCE PLACE



NORTHWEST CORNER ELEVATION



RENAISSANCE PLACE
RENAISSANCE PLACE LLC
BONIFUL, IL

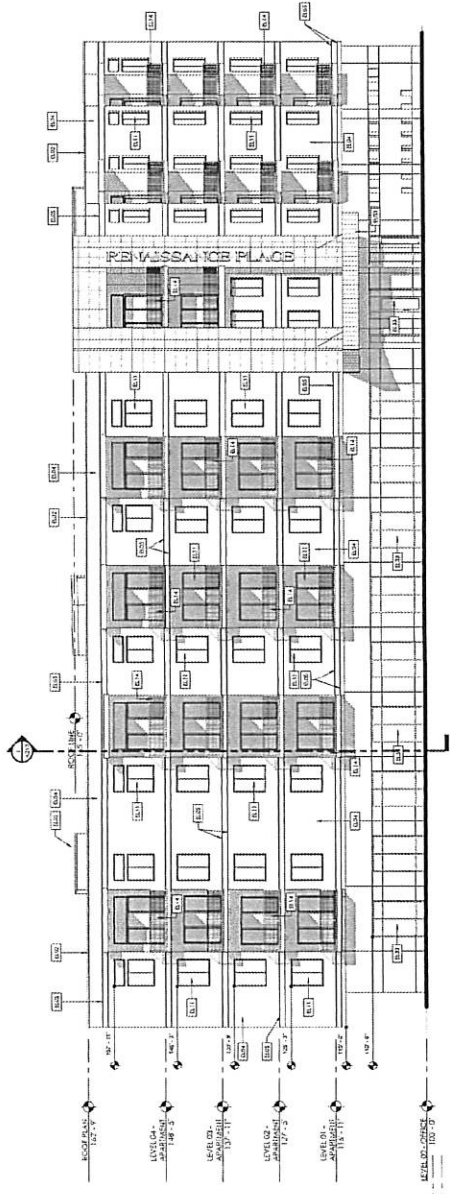
DATE	DESCRIPTION
10/20/2023	ISSUED FOR PERMIT
08/15/2023	ISSUED FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS
A202
SHEET 4
NOV 08 2023
A20217.003
NORTH ELEVATIONS

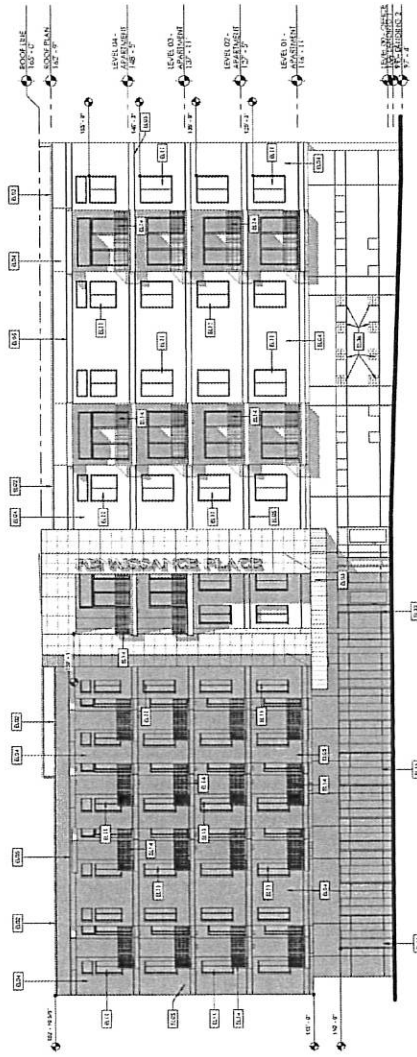
- GENERAL NOTES**
1. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
 2. FINISH FLOOR ELEVATIONS ARE SHOWN AT THE BOTTOM OF EACH COLUMN.
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 19. FINISH FLOOR ELEVATIONS ARE SHOWN AT THE BOTTOM OF EACH COLUMN.
 20. FINISH FLOOR ELEVATIONS ARE SHOWN AT THE BOTTOM OF EACH COLUMN.

KEYNOTE LEGEND

102	GLAZING, SEE SHEET A201
103	1" PRE-FINISHED ALUMINUM FINISH & LIMITED JOINT
104	EIFS SYSTEM - SEE WALL SECTION FOR DETAILS
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NORTH ELEVATION



NORTHWEST ELEVATION



