



**BOUNTIFUL CITY**  
**PLANNING COMMISSION AGENDA**  
**Tuesday, April 5, 2022**  
**6:30 p.m.**

**NOTICE IS HEREBY GIVEN** that the Bountiful City Planning Commission will hold a meeting in the Council Chambers, Bountiful City Hall, 795 South Main, Bountiful, Utah, 84010, at the time and on the date given above. The public is invited. Persons who are disabled as defined by the American with Disabilities Act may request an accommodation by contacting the Bountiful Planning Office at 298-6190. Notification at least 24 hours prior to the meeting would be appreciated.

1. Welcome
2. Approval of the minutes for March 15, 2022
3. 2055 South Main St – Preliminary and Final Architectural and Site Plan Review for 2055 on Main - 19-unit apartments – Eric Beard, applicant - *Planning Director Francisco Astorga*
  - a. Review
  - b. Action: Consider forwarding a recommendation to the City Council
4. 2055 South Main St – Preliminary and Final PUD for 2055 on Main - 19-unit apartments – Eric Beard, applicant – *Engineering Director Lloyd Cheney*
  - a. Review
  - b. Action: Consider forwarding a recommendation to the City Council
- 5.
6. Adjourn



Draft Minutes of the  
**BOUNTIFUL CITY PLANNING COMMISSION**  
**March 15, 2022**

Present:	Commission Members	Lynn Jacobs (Chair), Jim Clark, Krissy Gilmore
		Sean Monson
	City Attorney	Clinton Drake
	City Engineer	Lloyd Cheney
	Planning Director	Francisco Astorga
	Asst City Planner	Nicholas Lopez
	Recording Secretary	Darlene Baetz
Excused:	Commission Member	Alan Bott (vice-chair) and Sharon Spratley
	Councilwoman	Cecilee Price-Huish

---

**1. Welcome.**

Chair Jacobs opened the meeting at 6:30 pm and welcomed all those present. He stated that Commissioner Krissy Gilmore was sworn in by City Recorder Shawna Andrus prior to the meeting.

**2. Approval of minutes for February 1, 2022.**

MOTION: Commissioner Clark made a motion to approve the minutes for February 1, 2022, with the addition of “without comment” to page 3, line 10. Commissioner Monson seconded the motion.

VOTE: The motion passed unanimously (3-0-1 with Commissioner Gilmore abstaining).

**3. Bountiful City Land Use Code Omnibus Text Amendments - *Planning Director Francisco Astorga***

Planning Director Francisco Astorga presented the item and discussed the proposed changes to Bountiful City Land Use Code dealing with Swimming Pools, ADU, and Temporary Signage.

Chair Jacobs opened and closed the Public Hearing at 7:01 p.m. without comment.

MOTION: Commissioner Monson made a motion to forward a positive recommendation to the City Council for the approval of the Bountiful City Land Use Code Omnibus Text Amendments as presented. Commissioner Clark seconded the motion.

VOTE: The motion passed unanimously (4-0).

**4. Bountiful City Land Use Code Short-Term Rentals Text Amendment - *Planning Director Francisco Astorga***

Planning Director Francisco Astorga presented a slide show report discussing short term rentals (STR) in Bountiful and Davis County. He noted Bountiful City does not currently have a code that would prohibit or permit short-term rentals. As staff researched this item, there were concerns about parking, garbage cans, landscaping, and noise. Staff discussed the proposed requirements for a STR owner have a signed agreement and Commissioners agreed that this may be a good way to keep things

1 legal.

2  
3 Chair Jacobs opened the Public Hearing at 7:31 p.m.

4  
5 Ken Aird resides at 1231 East 1725 South. He currently has a basement apartment that is being rented  
6 out as an Accessory Dwelling Unit (ADU). He is concerned about the additional parking needed for  
7 the ADU and the home and why the neighbors would have a say in the approval of his ADU. He is  
8 unsure why the home would need to be reinspected and which building code would need to be  
9 complied with.

10  
11 Robert Irvine resides at 61 West 2550 South. He is wondering why there would be a need for the  
12 owners of a STR to sign an agreement for garbage and noise when there are ordinances already in  
13 place for the entire city. He also questioned the fee and what it covers and is used for.

14  
15 Ron and Debra Brown reside at 33 East 2750 South. They currently rent to health care individuals  
16 and is concerned about the application fee and business license fee. They also wondered what the  
17 purpose of the ADU business license is for.

18  
19 Chris Doherty resides at 54 South Bountiful Blvd. He is concerned that the building code/inspection  
20 should be the same for all projects.

21  
22 Alex Densley resides at 443 Jeri Drive. He would like to require that the owner for STR be on the  
23 property for accountability.

24  
25 Chair Jacobs closed the Public Hearing at 7:45 p.m.

26  
27 Planning Director Astorga discussed the answers to the public comment questions. The fees and the  
28 time that is needed to write staff reports for the meetings and are on the conservative side. The  
29 building code is handled by the Bountiful City Building Inspector and see if the project complies with  
30 code for the STR. The neighbors do not have the say for approval for an ADU or STR, it is simply a  
31 courtesy to let the neighbors know there is a rental in the neighborhood. Staff felt that an annual  
32 business license is best because it can be revoked if the owner is not complying with all the  
33 requirements. The ADU is owner occupied and would require one additional parking space for the  
34 tenant. If the zoning code is amended, the applicants would be vested under the code that was signed  
35 up for.

36  
37 Commissioner Monson was concerned that an inspection is required for a STR but not for an ADU  
38 or long term rental. He felt the inspection should be required for both.

39  
40 Commissioners discussed possible concerns that the STR owners be from Bountiful and also what  
41 the ultimate recourse would be for the STR owner if found not complying with the code set forth.

42  
43 Chair Jacobs discussed his concern that a couple of Planning Commissioners are missing and noted  
44 the possible motions for this item could be to forward an approval as written, table the item to another  
45 date, or amend with a\changes.

46  
47 **MOTION:** Commissioner Monson made a motion to forward a positive recommendation to the City  
48 Council for the approval of the Bountiful City Land Use Code Short-Term Rentals Text Amendment



1 with the typographical corrections and the change to the radius for neighbor notification be changed  
2 from 100 feet to 300 feet. Commissioner Gilmore seconded the motion.

3  
4 VOTE: The motion passed unanimously (4-0).

5  
6 Chair Jacobs adjourned the meeting at 8:05 p.m.

DRAFT



# Planning Commission Staff Report



**Subject:** 2055 on Main Preliminary/Final Architectural and Site Plan Review  
**Address:** 2055 South Main Street  
**Author:** Francisco Astorga, AICP, Planning Director  
**Date:** April 5, 2022

---

## **Background**

The Applicant, Eric Beard representing EBSO Properties, LLC, submitted an Architectural and Site Plan Review Application for the construction of a new multi-family residential development located at 2055 South Main Street. The proposed development consists of two (2) townhouse buildings consisting of nineteen (19) multi-family residential units. The site is located in the (RM) Residential Multiple Family Zone - subzone RM-19.

The subject site is approximately 280 feet deep and 150 feet wide. The proposal includes a new driveway down the middle of the site with hammer-head turnaround extending towards the south. The proposed north townhouse building contains eleven (11) units, the proposed south townhouse building contains eight (8) units. The proposed mix of units consists of eight (8) 2-bedroom and eleven (11) 3-bedroom townhouses. The proposal also includes a retaining wall towards the rear half of the site located around the north, east, and south property lines.

## **Analysis**

Use. Multi-family residential development in the RM zone is listed as permitted uses.

Max. Density and Minimum Lot Standards. The lot meets the minimum required lot size of 1.0 acre and the minimum required frontage of 80 feet. The site is 1.046 acres and is 150 feet wide. The parcel area yields a maximum density of nineteen (19) units (19.874).

Yard and Setback Requirements. The proposal meets the minimum setbacks specified in the RM Zone:

- A. Setback along any public street at any point shall be twenty-five (25) feet.
- B. Interior side yard setback shall be ten (10) feet or one-half ( $\frac{1}{2}$ ) the height of the adjacent structure, whichever is greater.
- C. Side building separation shall be ten (10) feet or two-thirds ( $\frac{2}{3}$ ) the height of the tallest adjacent structure, whichever is greater.
- D. Separation between the rear of a building and a property line shall be twenty (20) feet. The rear of a building shall be any side opposite a primary entrance.
- E. Separation between the rear of a building and any portion of another building shall be thirty (30) feet. (Not Applicable).
- F. Separation between the front of a building and a property line shall be twenty-five (25) feet. The front of a building shall be any side with a primary entrance.

G. Accessory Structure (Not Applicable).

Building Height. The proposed buildings are approximately thirty feet (30') tall. The proposed buildings meet the maximum building height of thirty-five feet (35').

Distance Between Buildings. The proposal meets required building separation:

- Between any dwellings on adjacent lots shall not be less than 16 feet.
- Between any accessory building and any dwelling shall not be less than 5 feet.
- Between any accessory building and any dwelling on an adjacent property shall not be less than twelve (12) feet.

Permissible Lot Coverage. The proposal meets the 60% maximum building/impervious coverage requirement as the two (2) buildings cover 30.56% and other impervious improvements cover 27.01%, totaling 57.57%.

Parking. The proposal contains 50 parking spaces: 38 interior spaces (2 in each unit within a garage, either side-by-side or tandem configuration), 8 exterior spaces located on the southeast corner, and 4 exterior spaces located on the northwest corner. The proposed unit mix requires a total of 49 parking spaces (2-bedroom units yield 30.25 parking spaces, and the 3-bedroom units yield 18 parking spaces, totaling 48.25 spaces).

Landscaping. The proposal meets the 40% minimum landscaping requirement as the proposed landscaped areas covers 42.44%. Based on the street frontage, the site requires four (4) street trees. The proposal consists of five (5) street trees.

Structure Design and Materials. The proposal includes hard coat stucco (two colors), faux wood siding, and brick, also metal awnings and parapet caps. The front and side elevations of both buildings contain a significant amount of brick; however, the rear elevations of both buildings indicate stucco as the only material. The RM zone limits stucco, masonite clapboard or siding to a maximum of 50%. Staff recommends that at building permit review the applicant submit the exact percentage of stucco of each building ensuring compliance with the Code, and if necessary, the rear elevations are to be amended to comply with this provision.

Outdoor Private Area. The proposal meets the requirement of each dwelling to have at least 50 square feet of private, fenced outdoor space in the form of balconies and patios. Each dwelling unit contains a balcony over 65 square feet.

Trash Receptacle. Multi-family residential development of eight (8) or more units require commercial garbage collection service. The proposed trash receptacle located near the interior turnaround is to be enclosed by a solid wall and is to be designed as an integral part of the site.

Site Plan Approval. All developments, except single-family dwellings, require Architectural and Site Plan Review by the Planning Commission and the City Council. Based on the submitted package, staff finds does not find any issues in combing the preliminary and the final architectural and site plan review process into one.

### **Department Review**

The proposal was internally reviewed by the Building Official, City Engineer, Power Department, Police Department, Planning Department, and the South Davis Metro Fire Marshall. This staff report was written by the Planning Director and reviewed by the City Engineer and the City Attorney.

### **Significant Impacts**

The development is occurring in an area with urban levels of infrastructure already in place. Impacts from the development of this property have been anticipated in the design of the existing storm water, sewer, and water and transportation systems. The conditions of approval are designed to mitigate other impacts anticipated by the development.

### **Recommendation**

Staff recommends that the Planning Commission review the proposed Preliminary/Final Architectural and Site Plan Application and forward a positive recommendation to the City Council based on the findings incorporated in this staff report and the following conditions of approval:

1. Address all redlines provided to the Applicant from the City.
2. At building permit review the applicant shall submit the exact percentage of all materials found in each building to ensure compliance with Structure Design and Materials section:  
*Exteriors shall be essentially maintenance free wall material such as high quality brick, natural stone, weather resistant stucco, masonite type materials or non-wood siding. Stucco, masonite clapboard or siding may not exceed fifty (50) percent of the exterior.*

### **Attachments**

1. Plans



CIVIL **RNH**  
DESIGNED

SURVEY **JRC**  
12/11/2020

ENGINEER **STA**  
2/28/2021

REV #	BY	DATE



1470 South 600 West  
Woods Cross, UT 84010  
Phone 801.298.2236  
www.entellus.com

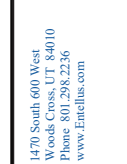


**C300**  
DEMOLITION PLAN

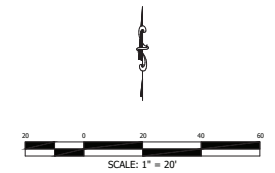
REV #	DATE	BY



1470 South 600 West  
Woods Cross, UT 84010  
Phone 801.298.2236  
www.entellus.com



**C400**  
SITE PLAN



AREA TABULATION		
	sq. ft.	Acres
BUILDINGS	13,926	0.32
IMPROVEMENTS	12,309	0.28
LANDSCAPE	19,341	0.44
<b>TOTAL</b>	<b>45,576</b>	<b>1.05</b>

PARKING CALCULATIONS	
NUMBER OF UNITS	19
STALLS PER UNIT	2
TOTAL UNIT STALLS	38
ADDITIONAL PARKING STALLS	12
<b>TOTAL PARKING</b>	<b>50</b>

SYMBOL LEGEND	
(C-1)	PRIVATE ASPHALT SECTION PER DETAIL, SHEET C500
(C-2)	PRIVATE 24" ROLL CATCH CURB & GUTTER PER DETAIL, SHEET C500
(C-3)	PRIVATE 24" ROLL RELEASE CURB & GUTTER PER DETAIL, SHEET C500
(C-4)	CONCRETE CURB WALL PER DETAIL, SHEET C500
(C-5)	PRIVATE 24" CONCRETE WATERWAY PER DETAIL, SHEET C500
(C-6)	PRIVATE CONCRETE DRIVE APPROACH PER DETAIL, SHEET C500
(C-7)	PUMPSTER PAD AND APRON PER DETAIL, SHEET C500
(C-8)	CONCRETE RETAINING WALL PER DETAIL, SHEET C500
(C-9)	ASPHALT REPLACEMENT PER BOUNTIFUL CITY STANDARDS
(C-10)	CONCRETE SIDEWALK REPLACEMENT PER BOUNTIFUL CITY STANDARDS
(C-11)	CONCRETE DRIVE APPROACH PER BOUNTIFUL CITY STANDARDS
(C-12)	CONCRETE CURB & GUTTER REPLACEMENT PER BOUNTIFUL CITY STANDARDS

ALL ITEMS WITHIN THE PUBLIC RIGHT-OF-WAY TO CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.

**ACCESSIBLE AREA CONSTRAINTS**

ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MAXIMUM SLOPES AND TOLERANCES:

**ACCESSIBLE PARKING:**  
MAXIMUM SLOPE OF 1:48 (2%) THROUGHOUT.

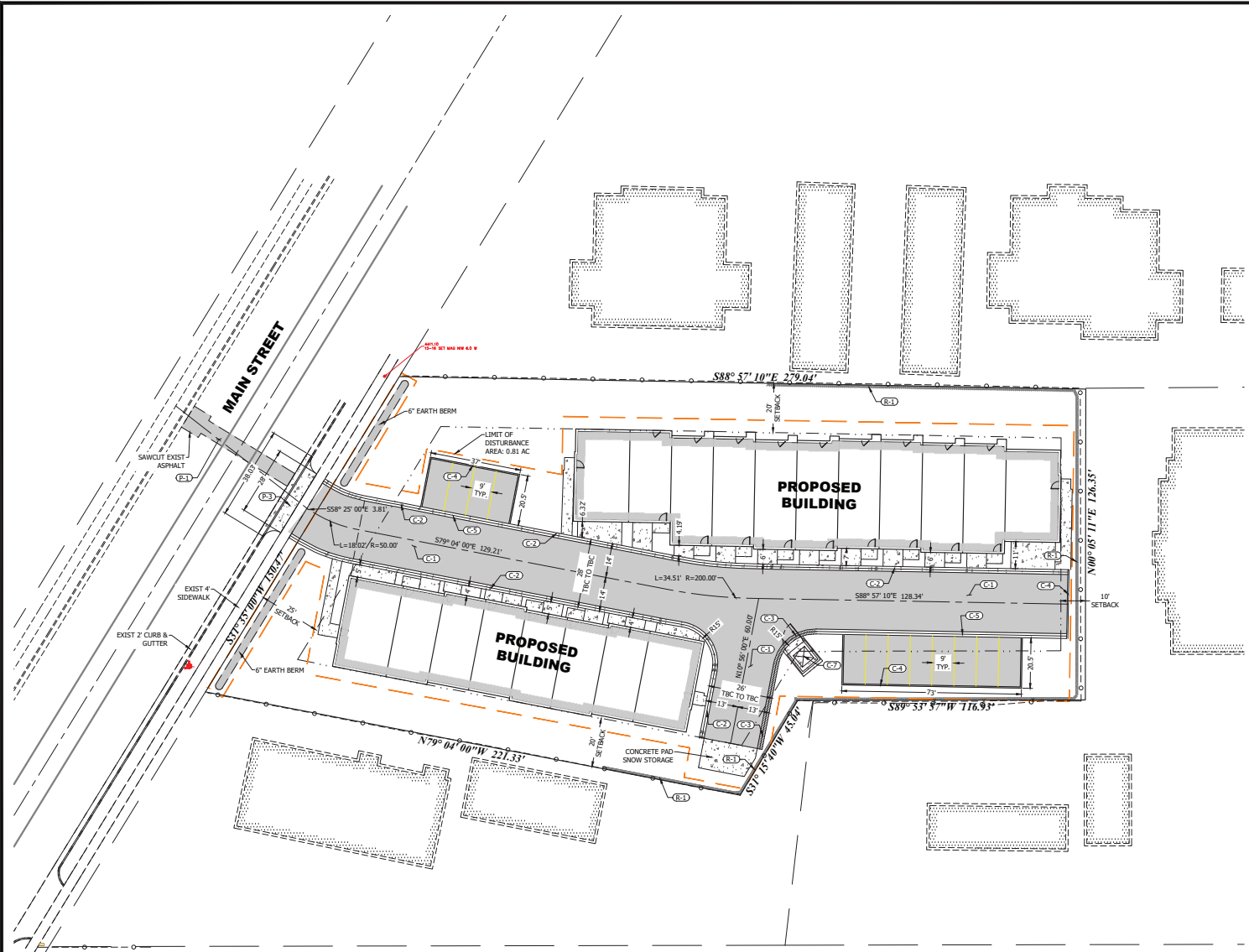
**ACCESSIBLE ROUTE:**  
MINIMUM WIDTH OF 48"; MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE; MAXIMUM CROSS-SLOPE OF 1:48 (2%).

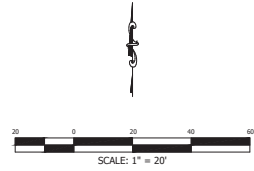
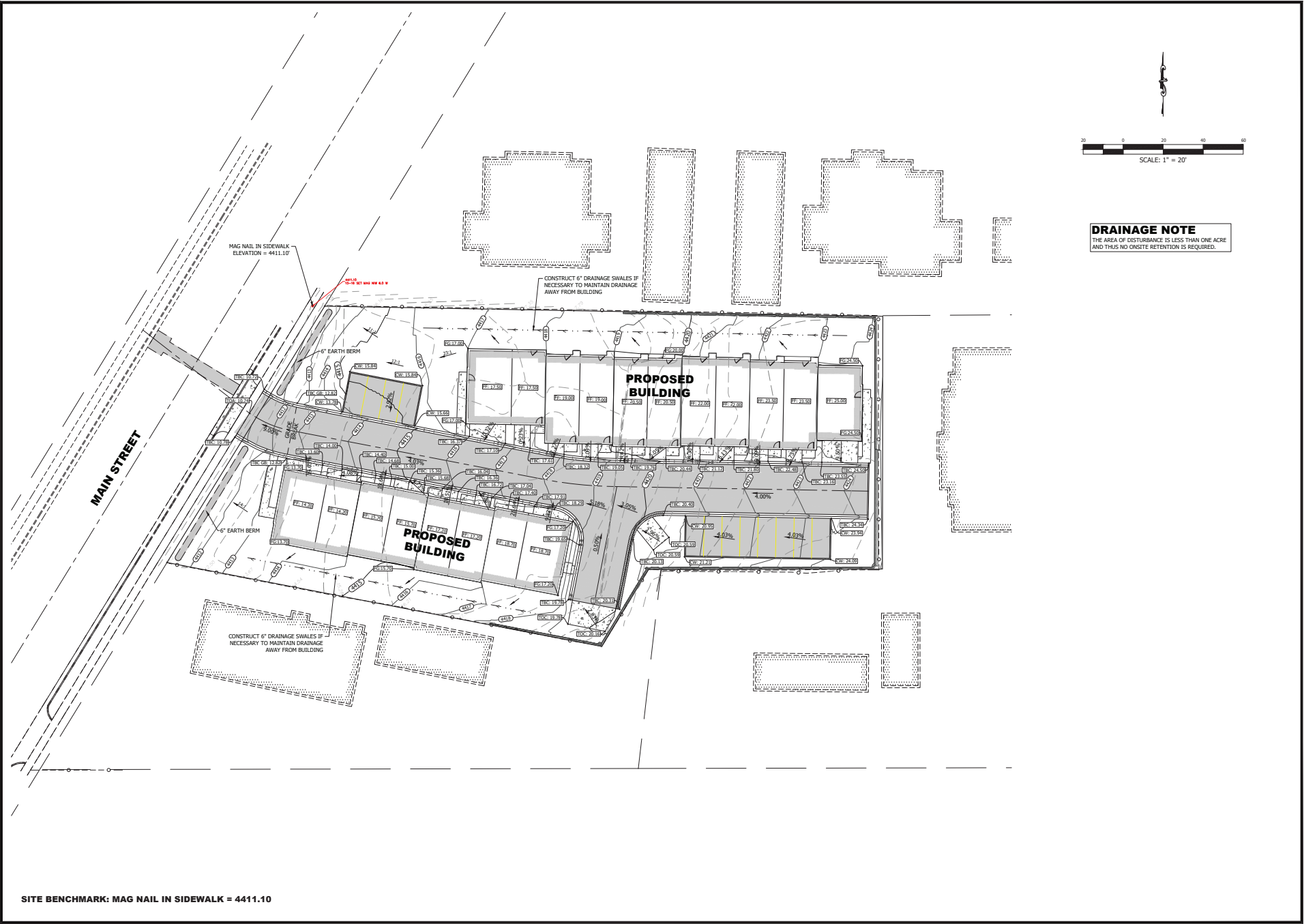
**ACCESS ROUTE TURNAROUNDS:**  
A CLEAR 60' TURNING DIAMETER; MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

**LEVEL LANDING / EXTERIOR DOOR LANDING:**  
MINIMUM SIZE OF 60'x60"; MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

**ACCESSIBLE EGRESS TO PUBLIC WAY:**  
MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE; MAXIMUM CROSS-SLOPE OF 1:48 (2%).

**ADA ACCESS RAMPS:**  
MAXIMUM SLOPE OF 1:12 (8.33%), WITH A MAXIMUM CROSS-SLOPE OF 2%. THE TRANSITION BETWEEN ASPHALT AND CONCRETE IS NOT TO EXCEED 1/2" VERTICAL (1/4" IF BEVELED).





**DRAINAGE NOTE**  
 THE AREA OF DISTURBANCE IS LESS THAN ONE ACRE  
 AND THUS NO ONSITE RETENTION IS REQUIRED.

SITE BENCHMARK: MAG NAIL IN SIDEWALK = 4411.10

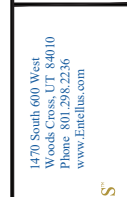
H:\1006016.D - PRODUCTION\DWG\104\_Plan\_S&P\PLAN SET-1006016  
**2025 ON MAIN**  
**SUBDIVISION**  
**1006016**

**RNH**  
 SURVEYOR  
**JRC**  
 12/17/2020  
 ENGINEER  
**STA**  
 2/28/2021

REV #	BY	DATE

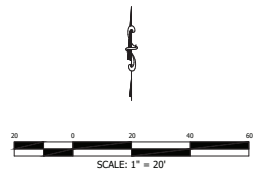
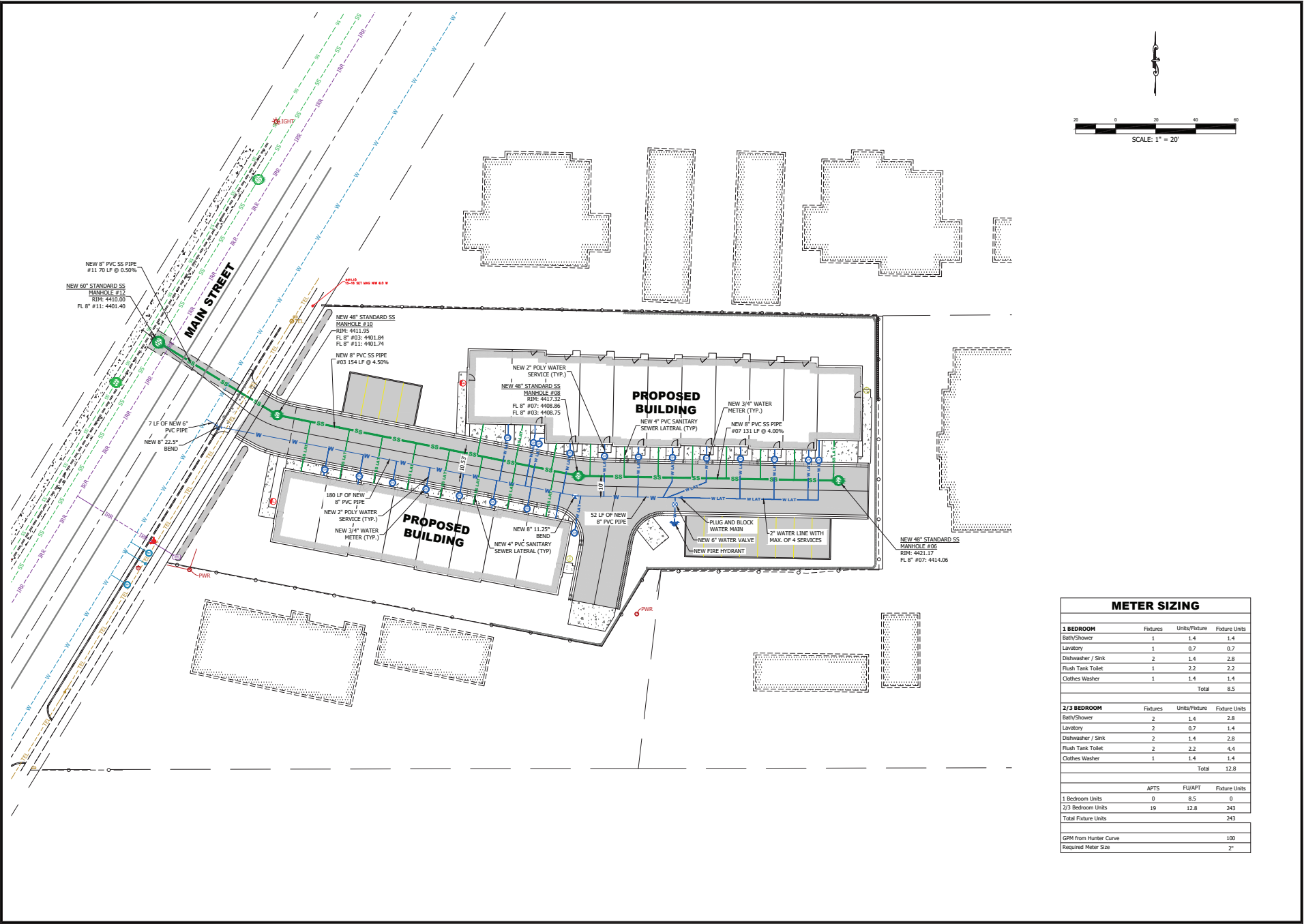


1470 South 600 West  
 Woods Cross, UT 84010  
 Phone 801.298.2236  
 www.entellus.com



**C500**  
 GRADING PLAN





2055 ON MAIN  
 SUBDIVISION  
 1006016

CIVIL  
 RNH  
 SURVEY  
 JRC  
 ENGINEER  
 STA  
 2/28/2024

REV #	BY	DATE



METER SIZING			
<b>1 BEDROOM</b>	Features	Units/Feature	Fixture Units
Bath/Shower	1	1.4	1.4
Lavatory	1	0.7	0.7
Dishwasher / Sink	2	1.4	2.8
Flush Tank Toilet	1	2.2	2.2
Clothes Washer	1	1.4	1.4
	<b>Total</b>		<b>8.5</b>
<b>2/3 BEDROOM</b>	Features	Units/Feature	Fixture Units
Bath/Shower	2	1.4	2.8
Lavatory	2	0.7	1.4
Dishwasher / Sink	2	1.4	2.8
Flush Tank Toilet	2	2.2	4.4
Clothes Washer	1	1.4	1.4
	<b>Total</b>		<b>12.8</b>
	APTS	FLU/APT	Fixture Units
1 Bedroom Units	0	8.5	0
2/3 Bedroom Units	19	12.8	243
<b>Total Fixture Units</b>			<b>243</b>
GPM from Hunter Curve			100
Required Meter Size			2"

1470 South 600 West  
 Woods Cross, UT 84010  
 Phone 801.298.2236  
 www.entellus.com



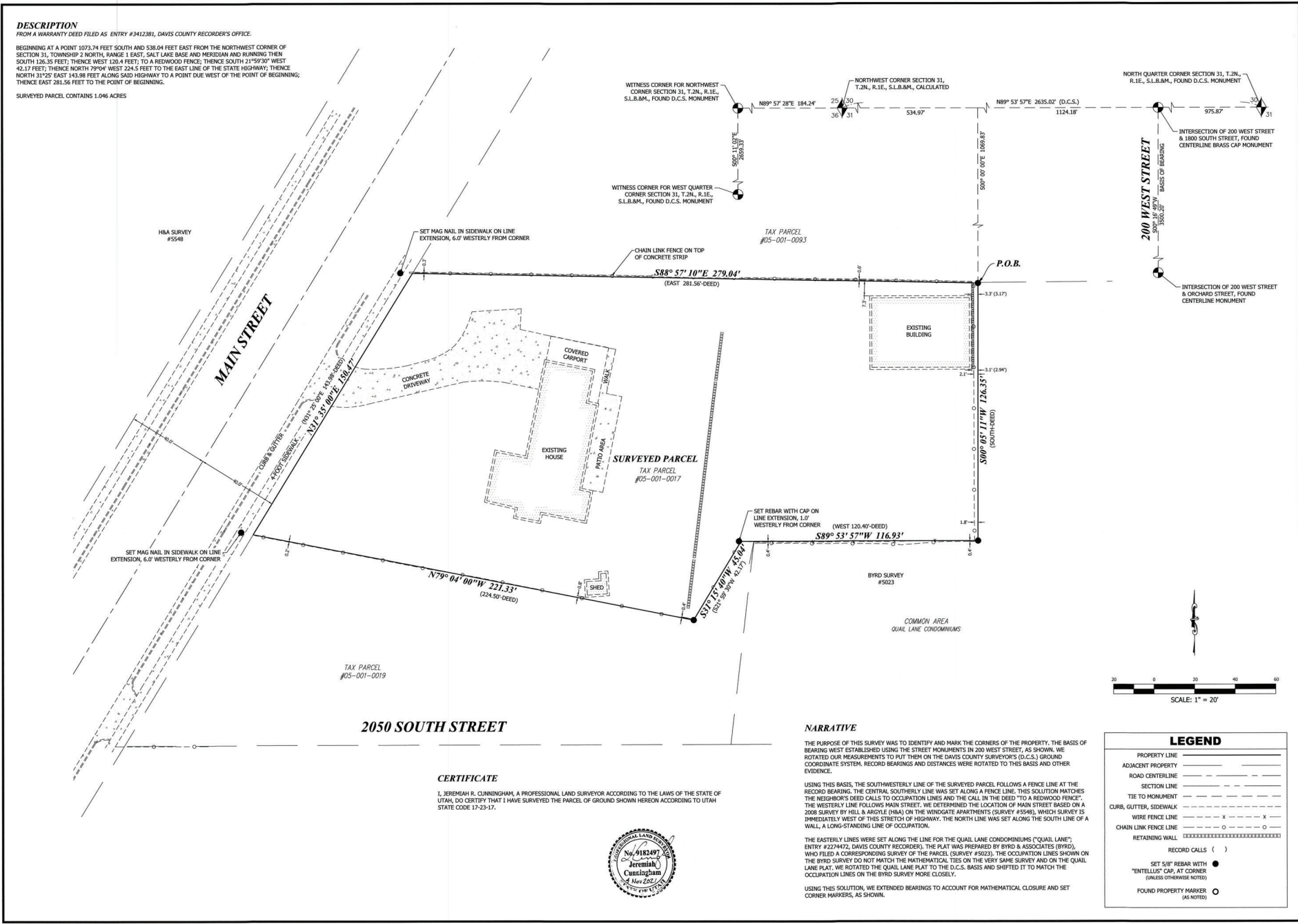
**C600**  
 UTILITY PLAN

**DESCRIPTION**

FROM A WARRANTY DEED FILED AS ENTRY #312381, DAVIS COUNTY RECORDER'S OFFICE.

BEGINNING AT A POINT 1072.74 FEET SOUTH AND 538.04 FEET EAST FROM THE NORTHWEST CORNER OF SECTION 31, TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND RUNNING THEN SOUTH 126.35 FEET; THENCE WEST 120.4 FEET; TO A REDWOOD FENCE; THENCE SOUTH 21°59'30" WEST 42.17 FEET; THENCE NORTH 79°04' WEST 224.5 FEET TO THE EAST LINE OF THE STATE HIGHWAY; THENCE NORTH 31°55' EAST 143.08 FEET ALONG SAID HIGHWAY TO A POINT DUE WEST OF THE POINT OF BEGINNING; THENCE EAST 281.56 FEET TO THE POINT OF BEGINNING.

SURVEYED PARCEL CONTAINS 1.046 ACRES



**2050 SOUTH STREET**

**CERTIFICATE**

I, JEREMIAH R. CUNNINGHAM, A PROFESSIONAL LAND SURVEYOR ACCORDING TO THE LAWS OF THE STATE OF UTAH, DO CERTIFY THAT I HAVE SURVEYED THE PARCEL OF GROUND SHOWN HEREON ACCORDING TO UTAH STATE CODE 17-23-17.



**NARRATIVE**

THE PURPOSE OF THIS SURVEY WAS TO IDENTIFY AND MARK THE CORNERS OF THE PROPERTY. THE BASIS OF BEARING WAS ESTABLISHED USING THE STREET MONUMENTS IN 200 WEST STREET, AS SHOWN. WE ROTATED OUR MEASUREMENTS TO PUT THEM ON THE DAVIS COUNTY SURVEYORS (D.C.S.) GROUND COORDINATE SYSTEM. RECORD BEARINGS AND DISTANCES WERE ROTATED TO THIS BASIS AND OTHER EVIDENCE.

USING THIS BASIS, THE SOUTHWESTERLY LINE OF THE SURVEYED PARCEL FOLLOWS A FENCE LINE. THE BASIS OF BEARING: THE CENTRAL SOUTHERLY LINE WAS SET ALONG A FENCE LINE. THIS SOLUTION MATCHES THE NEIGHBOR'S DEED CALLS TO OCCUPATION LINES AND THE CALL IN THE DEED TO A REDWOOD FENCE". THE WESTERLY LINE FOLLOWS MAIN STREET. WE DETERMINED THE LOCATION OF MAIN STREET BASED ON A 2008 SURVEY BY HILL & ARKYLE (H&A) ON THE WINDGATE APARTMENTS (SURVEY #5548), WHICH SURVEY IS IMMEDIATELY WEST OF THIS STRETCH OF HIGHWAY. THE NORTH LINE WAS SET ALONG THE SOUTH LINE OF A WALL, A LONG-STANDING LINE OF OCCUPATION.

THE EASTERLY LINES WERE SET ALONG THE LINE FOR THE QUAIL LANE CONDOMINIUMS ("QUAIL LANE'S" ENTRY #229492, DAVIS COUNTY RECORDED). THE PLAT WAS PREPARED BY BYRD & ASSOCIATES (BYRD), WHO FILED A CORRESPONDING SURVEY OF THE PARCEL (SURVEY #5023). THE OCCUPATION LINES SHOWN ON THE BYRD SURVEY DO NOT MATCH THE MATHEMATICAL TIES ON THE VERY SAME SURVEY AND ON THE QUAIL LANE PLAT. WE ROTATED THE QUAIL LANE PLAT TO THE D.C.S. BASIS AND SHIPPED IT TO MATCH THE OCCUPATION LINES ON THE BYRD SURVEY MORE CLOSELY.

USING THIS SOLUTION, WE EXTENDED BEARINGS TO ACCOUNT FOR MATHEMATICAL CLOSURE AND SET CORNER MARKERS, AS SHOWN.

**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY
- ROAD CENTERLINE
- SECTION LINE
- TIE TO MONUMENT
- CURB, GUTTER, SIDEWALK
- WIRE FENCE LINE
- CHAIN LINK FENCE LINE
- RETAINING WALL
- RECORD CALLS ( )
- SET 5/8" REBAR WITH "ENTELLUS" CAP, AT CORNER (UNLESS OTHERWISE NOTED)
- FOUND PROPERTY MARKER (AS NOTED)

1470 South 600 West  
 Provo, UT 84010  
 Phone: 801.296.2326  
 www.entellus.com

**ERIC BEARD CONSTRUCTION**  
 2055 SOUTH MAIN STREET  
 TAX PARCEL #05-001-0017  
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DRAWN: 09/28/2021  
 JAP  
 APPROVED: 11/04/2021  
 JRC  
 PROJECT #: 1006016  
 SURVEY: 1006016.dwg  
**V201**  
 BOUNDARY SURVEY



SALT WEST STUDIO  
45 E CENTER ST SUITE  
103, NORTH SALT LAKE,  
UT 84054  
(801) 397-9755

**BOUNTIFUL TOWNHOMES**

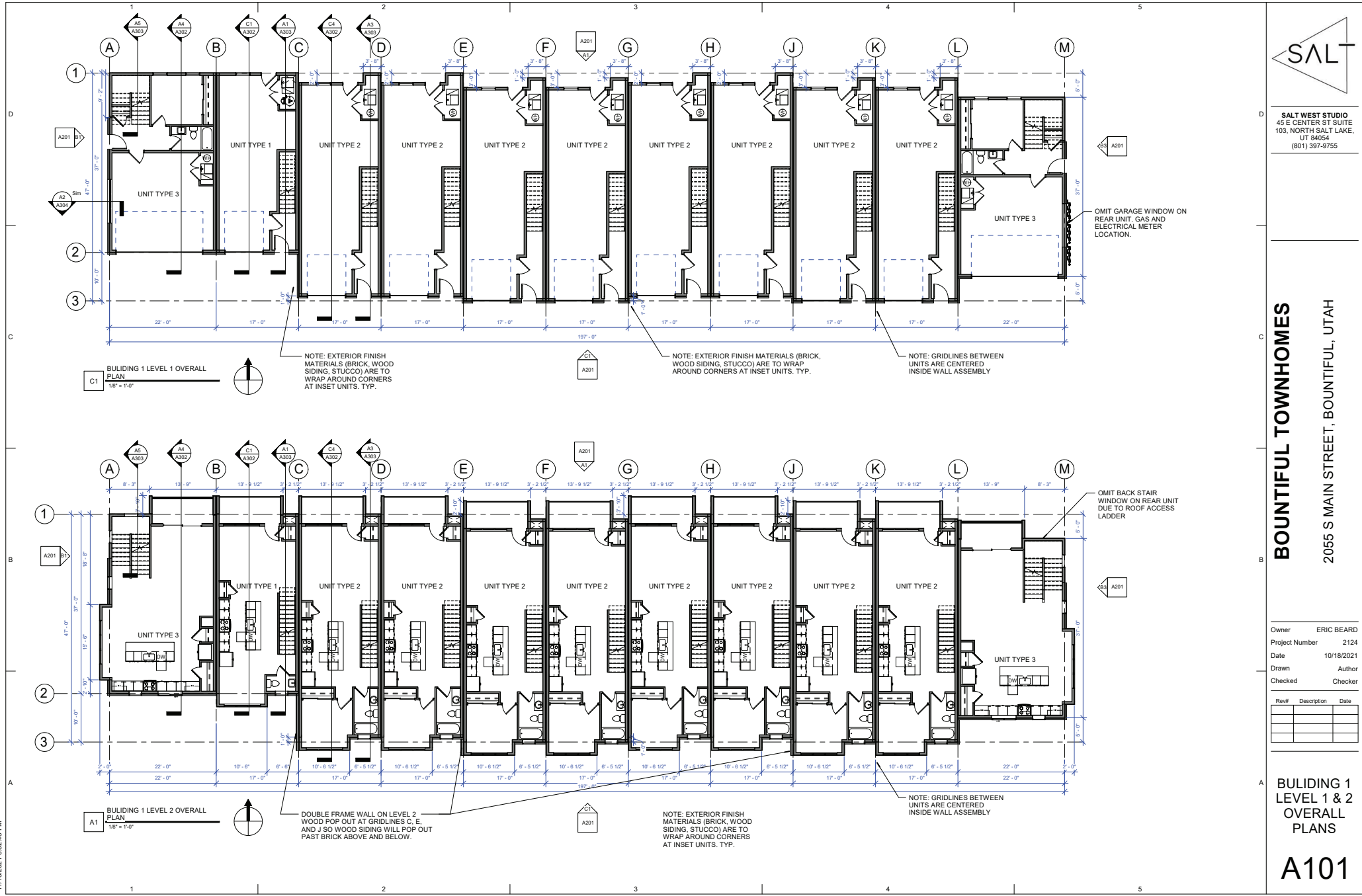
2055 S MAIN STREET, BOUNTIFUL, UTAH

Owner ERIC BEARD  
Project Number 2124  
Date 10/18/2021  
Drawn Author  
Checked Checker

Revis	Description	Date

**BUILDING 1 LEVEL 1 & 2 OVERALL PLANS**

**A101**



11/15/2021 3:52:45 PM



SALT WEST STUDIO  
45 E CENTER ST SUITE  
103, NORTH SALT LAKE,  
UT 84054  
(801) 397-9755

**BOUNTIFUL TOWNHOMES**

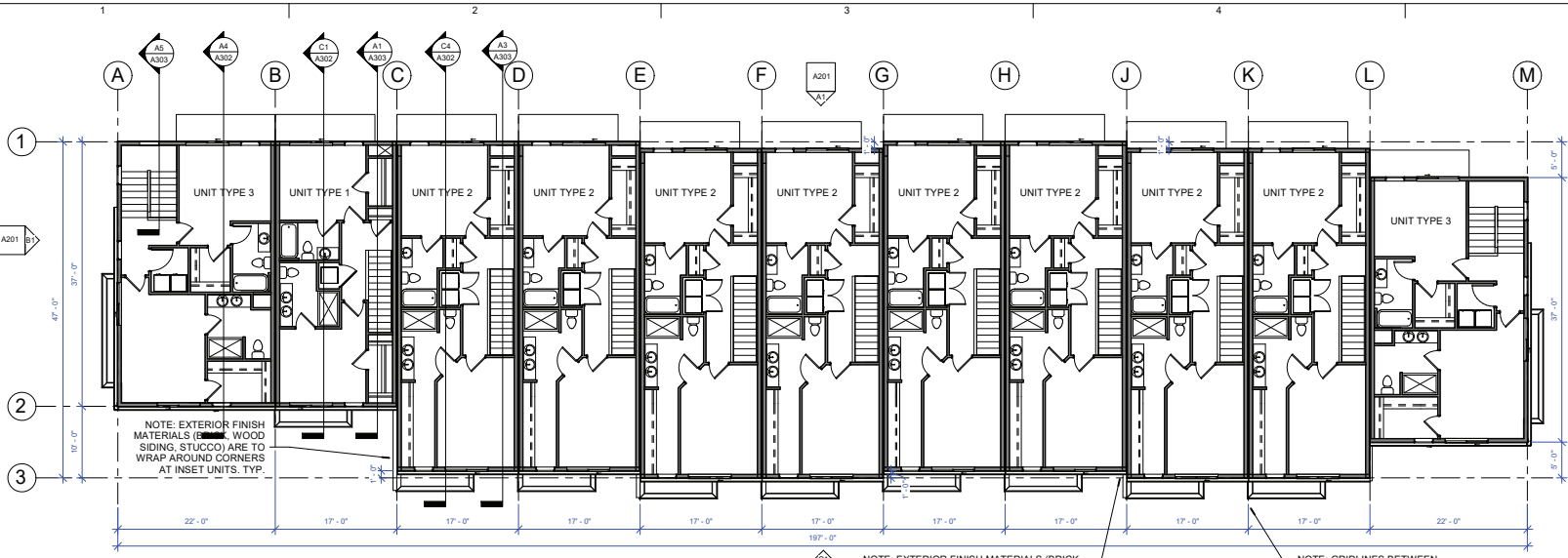
2055 S MAIN STREET, BOUNTIFUL, UTAH

Owner ERIC BEARD  
Project Number 2124  
Date 10/18/2021  
Drawn Author  
Checked Checker

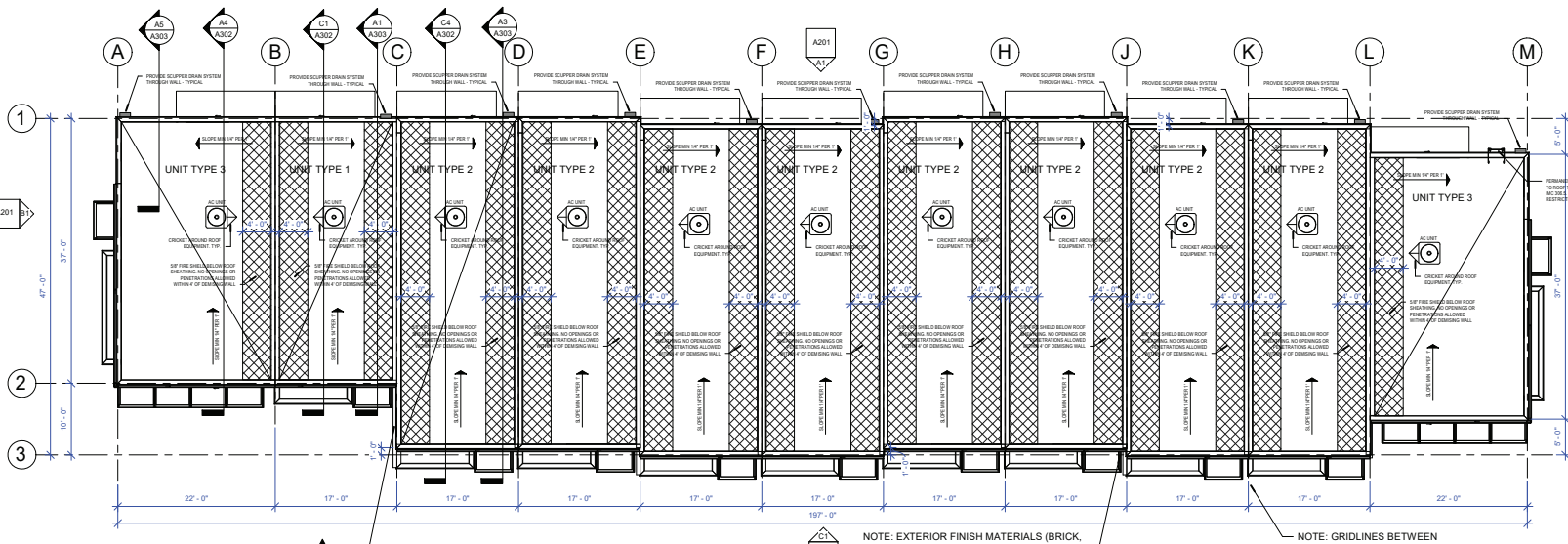
Rev#	Description	Date

**BUILDING 1  
LEVEL 3 &  
ROOF  
OVERALL  
PLAN**

**A102**



**C1 BUILDING 1 LEVEL 3 OVERALL PLAN**  
1/8" = 1'-0"



**A1 BUILDING 1 ROOF OVERALL PLAN**  
1/8" = 1'-0"

11/15/2021 3:52:46 PM



SALT WEST STUDIO  
45 E CENTER ST SUITE  
103, NORTH SALT LAKE,  
UT 84054  
(801) 397-9755

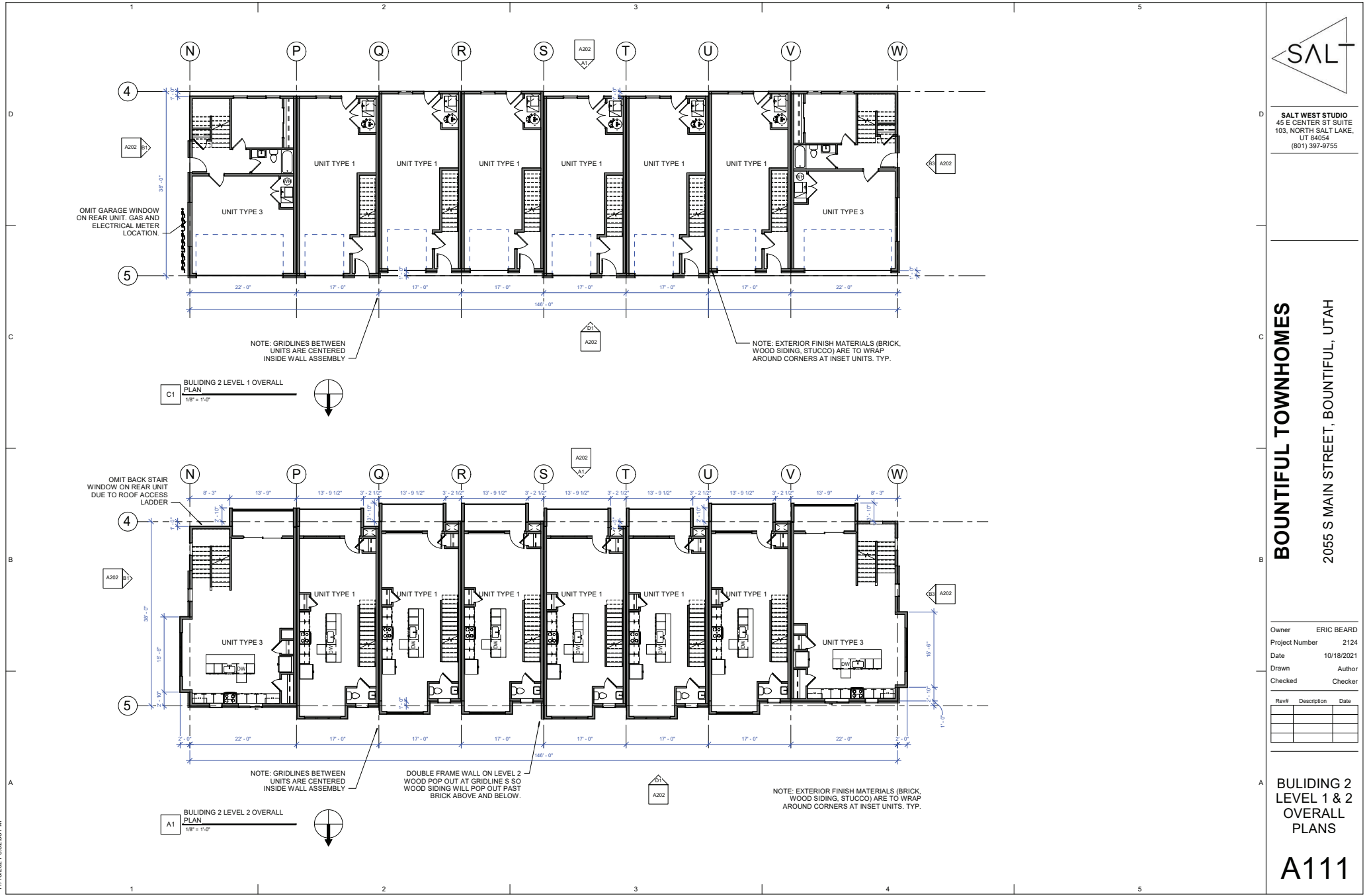
**BOUNTIFUL TOWNHOMES**  
2055 S MAIN STREET, BOUNTIFUL, UTAH

Owner ERIC BEARD  
Project Number 2124  
Date 10/18/2021  
Drawn Author  
Checked Checker

Revl	Description	Date

**BUILDING 2 LEVEL 1 & 2 OVERALL PLANS**

**A111**



11/15/2021 3:52:53 PM





SALT WEST STUDIO  
45 E CENTER ST SUITE  
103, NORTH SALT LAKE,  
UT 84054  
(801) 397-9755

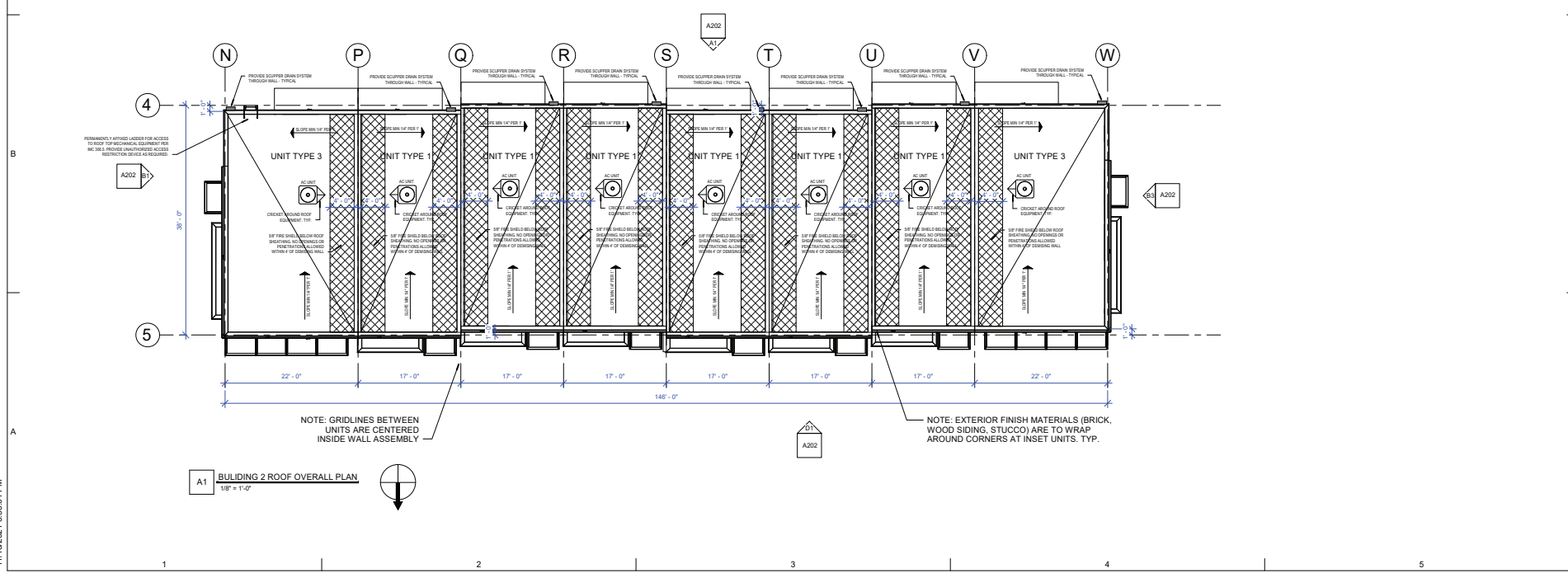
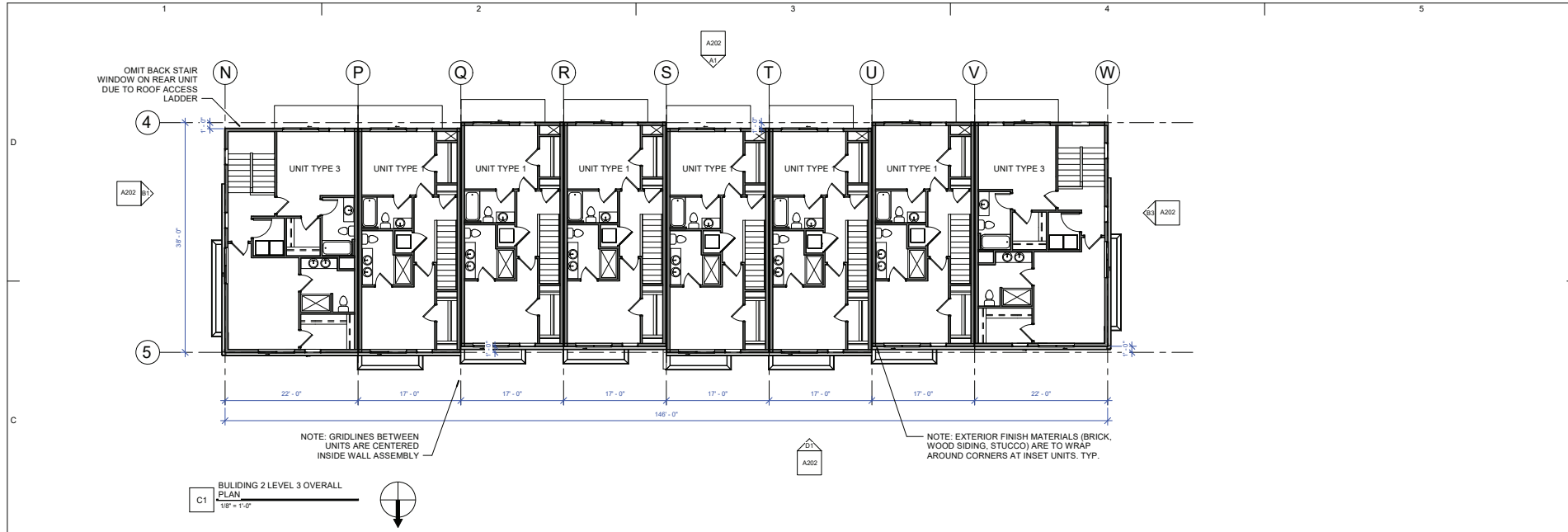
**BOUNTIFUL TOWNHOMES**  
2055 S MAIN STREET, BOUNTIFUL, UTAH

Owner ERIC BEARD  
Project Number 2124  
Date 10/18/2021  
Drawn Author  
Checked Checker

Rev#	Description	Date

**BUILDING 2  
LEVEL 3 &  
ROOF  
OVERALL  
PLAN**

**A112**



11/15/2021 3:59:01 PM



SALT WEST STUDIO  
45 E CENTER ST SUITE  
103, NORTH SALT LAKE,  
UT 84054  
(801) 397-9755

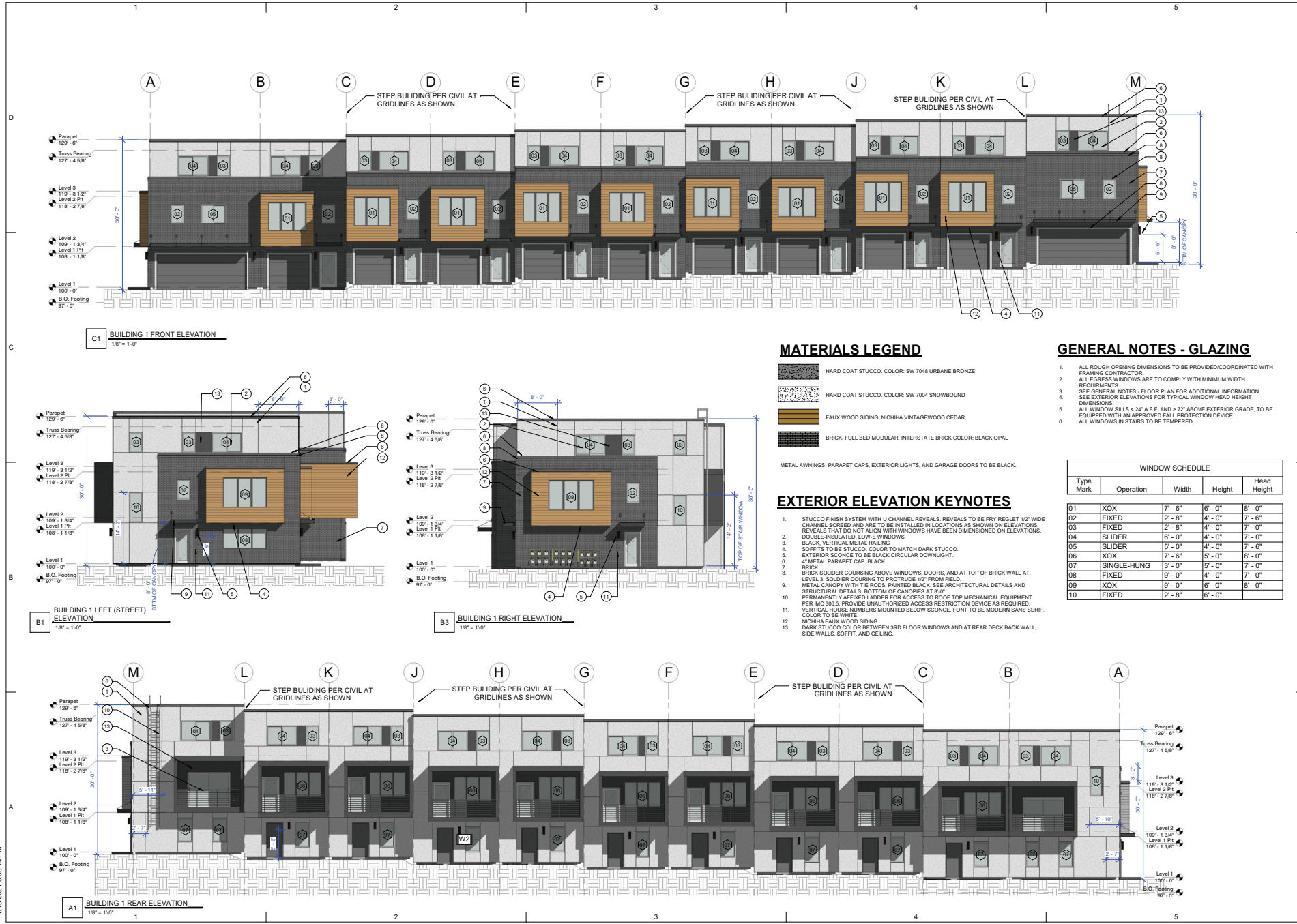
BOUNTIFUL TOWNHOMES  
2055 S MAIN STREET, BOUNTIFUL, UTAH

Owner ERIC BEARD  
Project Number 2124  
Date 10/18/2021  
Drawn Author  
Checked Checker

Revis	Description	Date

BUILDING 1  
EXTERIOR  
ELEVATIONS

A201



C1 BUILDING 1 FRONT ELEVATION  
1/8" = 1'-0"

B1 BUILDING 1 LEFT (STREET) ELEVATION  
1/8" = 1'-0"

B3 BUILDING 1 RIGHT ELEVATION  
1/8" = 1'-0"

A1 BUILDING 1 REAR ELEVATION  
1/8" = 1'-0"

**MATERIALS LEGEND**

- HARD COAT STUCCO, COLOR: SW 7048 URBANE BRONZE
  - HARD COAT STUCCO, COLOR: SW 7004 SNOWBOUND
  - FAUX WOOD SIDING, NICHIA VINTAGEWOOD CEDAR
  - BRICK, FULL BED MODULAR, INTERSTATE BRICK COLOR: BLACK OPAL
- METAL AWNINGS, PARAPET CAPS, EXTERIOR LIGHTS, AND GARAGE DOORS TO BE BLACK.

**GENERAL NOTES - GLAZING**

- ALL ROUGH OPENING DIMENSIONS TO BE PROVIDED/COORDINATED WITH FRAMING CONTRACTOR.
- ALL EGRESS WINDOWS ARE TO COMPLY WITH MINIMUM WIDTH REQUIREMENTS.
- SEE GENERAL NOTES - FLOOR PLAN FOR ADDITIONAL INFORMATION.
- SEE EXTERIOR ELEVATIONS FOR TYPICAL WINDOW HEAD HEIGHT DIMENSIONS.
- ALL WINDOW SILLS + 24" A.F.F. AND + 72" ABOVE EXTERIOR GRADE, TO BE EQUIPPED WITH AN APPROVED FALL PROTECTION DEVICE.
- ALL WINDOWS IN STAIRS TO BE TEMPERED.

WINDOW SCHEDULE				
Type Mark	Operation	Width	Height	Head Height
01	XOX	7'-6"	6'-0"	8'-0"
02	FIXED	2'-8"	4'-0"	7'-6"
03	FIXED	2'-8"	4'-0"	7'-0"
04	SLIDER	6'-0"	4'-0"	7'-0"
05	SLIDER	5'-0"	4'-0"	7'-6"
06	XOX	7'-6"	5'-0"	8'-0"
07	SINGLE-HUNG	3'-0"	5'-0"	7'-0"
08	FIXED	9'-0"	4'-0"	7'-0"
09	XOX	9'-0"	6'-0"	8'-0"
10	FIXED	2'-8"	6'-0"	

**EXTERIOR ELEVATION KEYNOTES**

- STUCCO FINISH SYSTEM WITH U CHANNEL REVEALS. REVEALS TO BE FRY REGLET 1/2" WIDE CHANNEL. SCREWS AND ANE TO BE INSTALLED IN LOCATIONS AS SHOWN ON ELEVATIONS. REVEALS THAT DO NOT ALIGN WITH WINDOW HEADS HAVE BEEN DIMENSIONED ON ELEVATIONS.
- BLACK, VERTICAL METAL RAILING
- SOFFITS TO BE STUCCO COLOR TO MATCH DARK STUCCO.
- EXTERIOR SCROING TO BE BLACK CIRCULAR DOWNLIGHT.
- 4" METAL PARAPET CAP, BLACK.
- BRICK SOLDIER COURSE ABOVE WINDOWS, DOORS, AND AT TOP OF BRICK WALL AT LEVEL 3. SOLDIER COURSE TO PROTRUDE 1/2" FROM FIELD.
- METAL CANOPY WITH TIE RODS, PAINTED BLACK. SEE ARCHITECTURAL DETAILS AND STRUCTURAL DETAILS BOTTOM OF CANOSES AT 4'-0".
- PERMANENTLY AFFIXED LADDER FOR ACCESS TO ROOF TOP MECHANICAL EQUIPMENT PER IMC 905. PROVIDE UNAUTHORIZED ACCESS RESTRICTION DEVICE AS REQUIRED.
- VERTICAL HOUSE NUMBERS MOUNTED BELOW SCROING. FONT TO BE MODERN SANS SERIF. COLOR TO BE WHITE.
- NICHIA FAUX WOOD SIDING
- DARK STUCCO COLOR BETWEEN 3RD FLOOR WINDOWS AND AT REAR DECK BACK WALL, SIDE WALLS, SOFFIT, AND CEILING.

11/15/2021 3:53:14 PM



SALT WEST STUDIO  
45 E CENTER ST SUITE  
103, NORTH SALT LAKE,  
UT 84054  
(801) 397-9755

BOUNTIFUL TOWNHOMES  
2055 S MAIN STREET, BOUNTIFUL, UTAH

Owner ERIC BEARD  
 Project Number 2124  
 Date 10/18/2021  
 Drawn Author  
 Checked Checker  
 Revit Description Date

BUILDING 2  
EXTERIOR  
ELEVATIONS

A202

**MATERIALS LEGEND**

- HARD COAT STUCCO. COLOR: SW 7048 URBANE BRONZE
  - HARD COAT STUCCO. COLOR: SW 7004 SNOWBOND
  - FAUX WOOD SIDING. NICHHA VINTAGEWOOD CEDAR
  - BRICK. FULL BED MODULAR. INTERSTATE BRICK COLOR: BLACK OPAL
- METAL AWNINGS, PARAPET CAPS, EXTERIOR LIGHTS, AND GARAGE DOORS TO BE BLACK.

**EXTERIOR ELEVATION KEYNOTES**

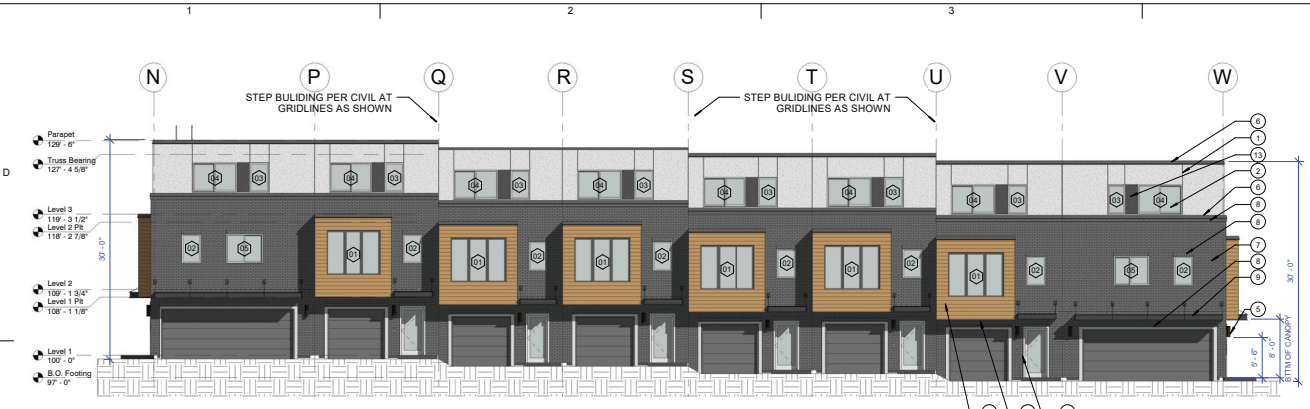
1. STUCCO FINISH SYSTEM WITH U CHANNEL REVEALS. REVEALS TO BE FRY REGLET 1/2" WIDE CHANNEL. SCREED AND ARE TO BE INSTALLED IN LOCATIONS AS SHOWN ON ELEVATIONS. REVEALS THAT DO NOT ALIGN WITH WINDOWS HAVE BEEN DIMENSIONED ON ELEVATIONS.
2. DOUBLE INSULATED, LOW-E WINDOWS
3. BLACK, VERTICAL METAL RAILING
4. SOFFITS TO BE STUCCO. COLOR TO MATCH DARK STUCCO.
5. EXTERIOR SCIENCE TO BE BLACK CIRCULAR DOWNLIGHT.
6. 4" METAL PARAPET CAP. BLACK.
7. BRICK
8. BRICK SOLDIER COURSE ABOVE WINDOWS, DOORS, AND AT TOP OF BRICK WALL AT LEVEL 3. SOLDIER COURSE TO PROTRUDE 1/2" FROM FIELD.
9. METAL CANOPY WITH TIE ROOS. PAINTED BLACK. SEE ARCHITECTURAL DETAILS AND STRUCTURAL DETAILS. BOTTOM OF CANOPES AT 6"
10. PERMANENTLY AFFIXED LADDER FOR ACCESS TO ROOF TOP MECHANICAL EQUIPMENT PER IRC S16.5. PROVIDE UNAUTHORIZED ACCESS RESTRICTION DEVICE AS REQUIRED.
11. VERTICAL HOUSE NUMBERS MOUNTED BELOW SCONCE. FONT TO BE MODERN SANS SERIF. COLOR TO BE WHITE.
12. NICHHA FAUX WOOD SIDING
13. DARK STUCCO COLOR BETWEEN 3RD FLOOR WINDOWS AND AT REAR DECK BACK WALL, SIDE WALLS, SOFFIT, AND CEILING.

**GENERAL NOTES - GLAZING**

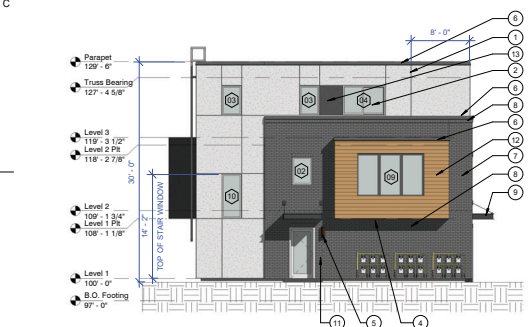
1. ALL ROUGH OPENING DIMENSIONS TO BE PROVIDED/COORDINATED WITH FRAMING CONTRACTOR.
2. ALL EGRESS WINDOWS ARE TO COMPLY WITH MINIMUM WIDTH REQUIREMENTS.
3. SEE GENERAL NOTES - FLOOR PLAN FOR ADDITIONAL INFORMATION.
4. SEE EXTERIOR ELEVATIONS FOR TYPICAL WINDOW HEAD HEIGHT DIMENSIONS.
5. ALL WINDOW SILLS < 24" A.F.F. AND > 72" ABOVE EXTERIOR GRADE, TO BE EQUIPPED WITH AN APPROVED FALL PROTECTION DEVICE.
6. ALL WINDOWS IN STARS TO BE TEMPERED

WINDOW SCHEDULE

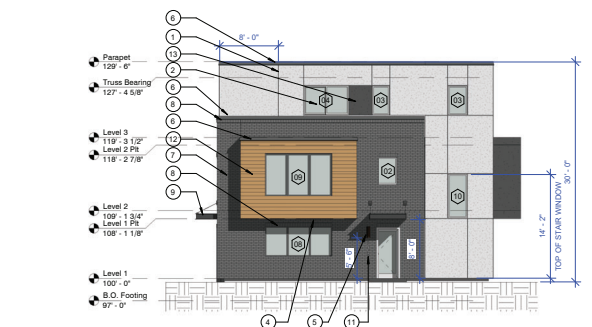
Type Mark	Operation	Width	Height	Head Height
01	XOX	7' - 6"	6' - 0"	8' - 0"
02	FIXED	2' - 8"	4' - 0"	7' - 6"
03	FIXED	2' - 8"	4' - 0"	7' - 0"
04	SLIDER	6' - 0"	4' - 0"	7' - 0"
05	SLIDER	5' - 0"	4' - 0"	7' - 6"
06	XOX	7' - 6"	5' - 0"	8' - 0"
07	SINGLE-HUNG	3' - 0"	5' - 0"	7' - 0"
08	FIXED	9' - 0"	4' - 0"	7' - 0"
09	XOX	9' - 0"	6' - 0"	8' - 0"
10	FIXED	2' - 8"	6' - 0"	



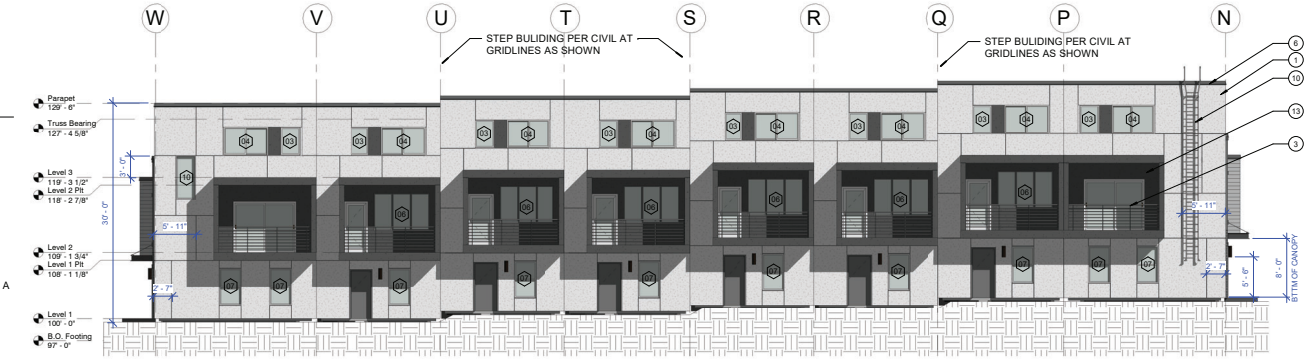
D1 BUILDING 2 FRONT ELEVATION  
18' x 110'



B1 BUILDING 2 LEFT ELEVATION  
18' x 110'



B3 BUILDING 2 RIGHT (STREET) ELEVATION  
18' x 110'



A1 BUILDING 2 REAR ELEVATION  
18' x 110'

11/15/2021 3:53:52 PM





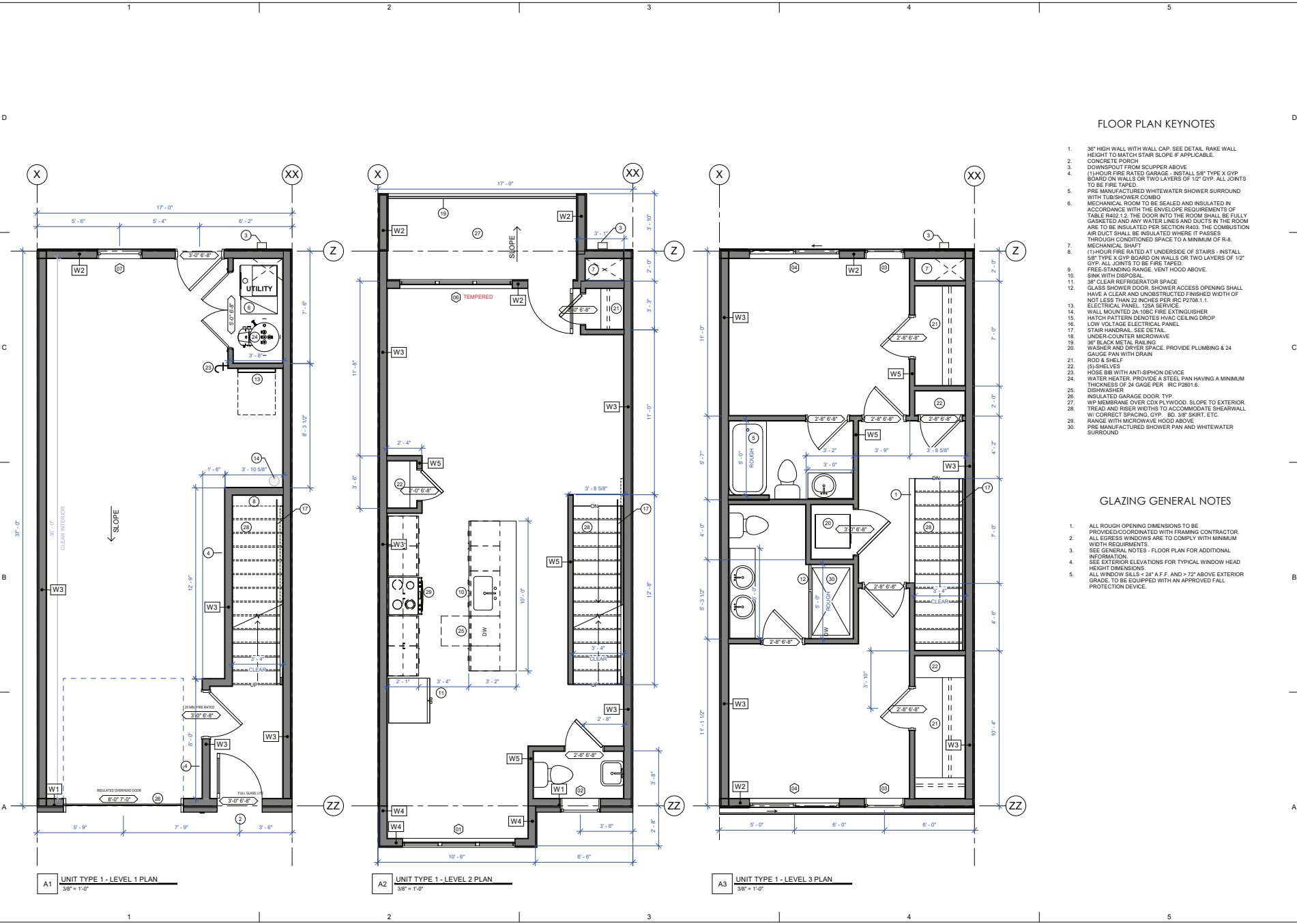
**SALT WEST STUDIO**  
45 E CENTER ST SUITE  
103, NORTH SALT LAKE,  
UT 84054  
(801) 397-9755

**FLOOR PLAN KEYNOTES**

- 36" HIGH WALL WITH WALL CAP. SEE DETAIL. RAKE WALL HEIGHT TO MATCH STAIR SLOPE IF APPLICABLE.
- CONCRETE PORCH
- DOWNSPOUT FROM SCUPPER ABOVE
- (1) HOUR FIRE RATED GARAGE - INSTALL 5/8" TYPE X GYP BOARD ON WALLS OR TWO LAYERS OF 1/2" GYP. ALL JOINTS TO BE FIRE TAPED.
- PANE MANUFACTURED WHITEWATER SHOWER SURROUND WITH TUBSHOWER COMBO
- MECHANICAL ROOM TO BE SEALED AND INSULATED IN ACCORDANCE WITH THE ENVELOPE REQUIREMENTS OF TABLE R402.1.2. THE DOOR INTO THE ROOM SHALL BE FULLY GASKETED AND ANY WATER LINES AND DUCTS IN THE ROOM ARE TO BE INSULATED PER SECTION R403. THE COMBUSTION AIR DUCT SHALL BE INSULATED WHERE IT PASSES THROUGH CONDITIONED SPACE TO A MINIMUM OF R-8.
- MECHANICAL SHAFT
- (1) HOUR FIRE RATED AT UNDERSIDE OF STAIRS - INSTALL 5/8" TYPE X GYP BOARD ON WALLS OR TWO LAYERS OF 1/2" GYP. ALL JOINTS TO BE FIRE TAPED.
- FREE-STANDING RANGE. VENT HOOD ABOVE.
- SINK WITH DISPOSAL.
- 38" CLEAR REFRIGERATOR SPACE
- GLASS SHOWER DOOR. SHOWER ACCESS OPENING SHALL HAVE A CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF NOT LESS THAN 22 INCHES PER IRC P2708.1.1.
- ELECTRICAL PANEL. 125A SERVICE.
- WALL MOUNTED 2A-10BC FIRE EXTINGUISHER
- HATCH PATTERN DENOTES HVAC CEILING DROP
- LOW VOLTAGE ELECTRICAL PANEL
- STAIR HANDRAIL. SEE DETAIL
- UNDER-COUNTER MICROWAVE
- 38" BLACK METAL SINKING
- WASHER AND DRYER SPACE. PROVIDE PLUMBING & 24 GAUGE PAN WITH DRAIN
- ROD & SHELF
- (5) SHELVES
- HOSE BIB WITH ANTI-SIPHON DEVICE
- WATER HEATER. PROVIDE A STEEL PAN HAVING A MINIMUM THICKNESS OF 24 GAUGE PER IRC P2901.6.
- DISHWASHER
- INSULATED GARAGE DOOR. TYP.
- WP MEMBRANE OVER CDX PLYWOOD. SLOPE TO EXTERIOR. TREAD AND RISER WEITHS TO ACCOMMODATE SHEARWALL WITH CORRECT SPACING. GYP - BD. 3/8" SKIRT, ETC.
- RANGE WITH MICROWAVE HOOD ABOVE
- PRE MANUFACTURED SHOWER PAN AND WHITEWATER SURROUND

**GLAZING GENERAL NOTES**

- ALL ROUGH OPENING DIMENSIONS TO BE PROVIDED COORDINATED WITH FRAMING CONTRACTOR.
- ALL GROSS WINDOWS ARE TO COMPLY WITH MINIMUM WIDTH REQUIREMENTS.
- SEE GENERAL NOTES - FLOOR PLAN FOR ADDITIONAL INFORMATION.
- SEE EXTERIOR ELEVATIONS FOR TYPICAL WINDOW HEAD HEIGHT DIMENSIONS.
- ALL WINDOW SILLS < 34" A.F.F. AND > 72" ABOVE EXTERIOR GRADE. TO BE EQUIPPED WITH AN APPROVED FALL PROTECTION DEVICE.



**A1 UNIT TYPE 1 - LEVEL 1 PLAN**  
3/8" = 1'-0"

**A2 UNIT TYPE 1 - LEVEL 2 PLAN**  
3/8" = 1'-0"

**A3 UNIT TYPE 1 - LEVEL 3 PLAN**  
3/8" = 1'-0"

**BOUNTIFUL TOWNHOMES**

2055 S MAIN STREET, BOUNTIFUL, UTAH

Owner ERIC BEARD  
Project Number 2124  
Date 10/18/2021  
Drawn Author  
Checked Checker

Revis	Description	Date

UNIT TYPE 1

**A401**



SALT WEST STUDIO  
45 E CENTER ST SUITE  
103, NORTH SALT LAKE,  
UT 84054  
(801) 397-9755

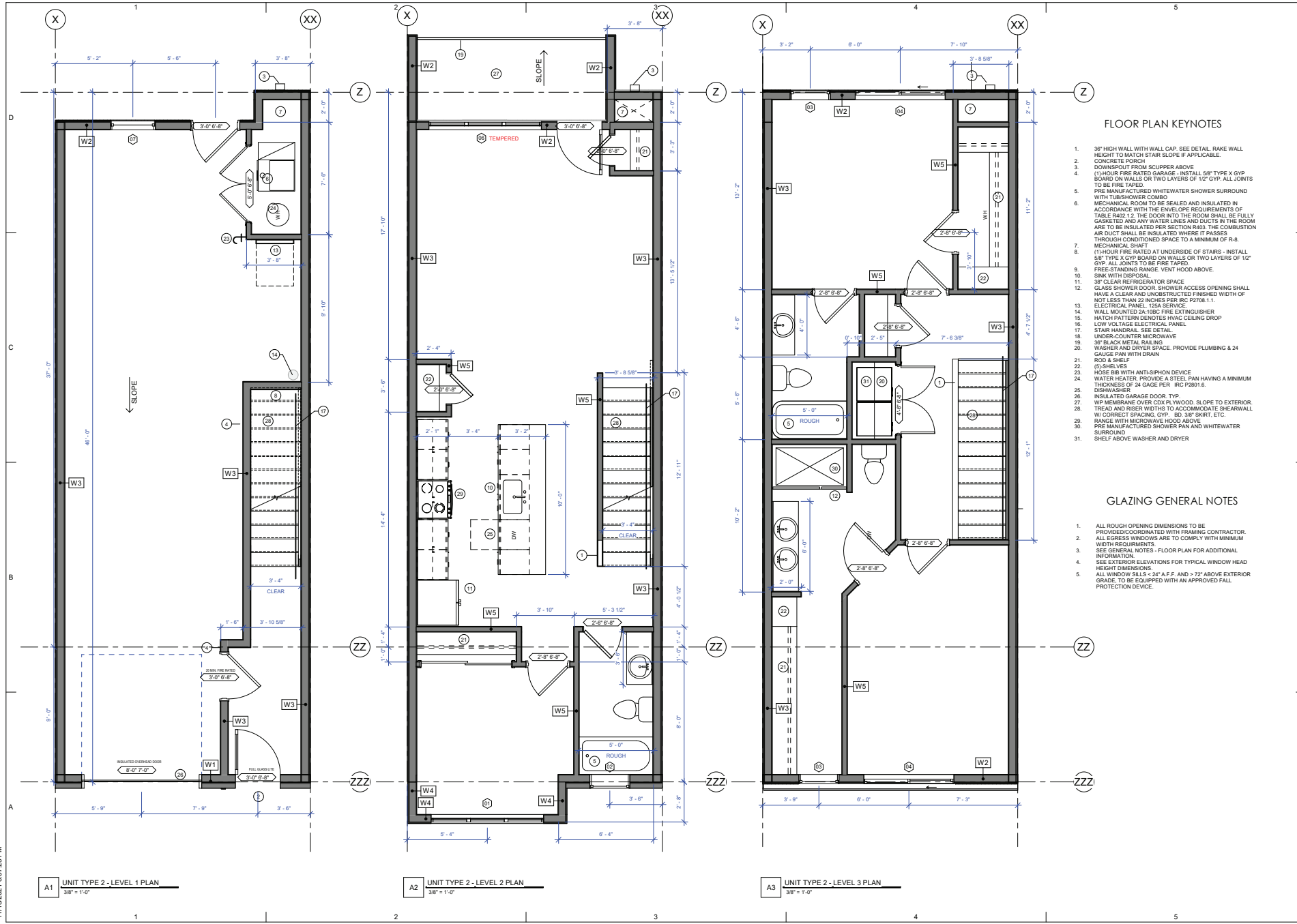
**BOUNTIFUL TOWNHOMES**  
2055 S MAIN STREET, BOUNTIFUL, UTAH

Owner ERIC BEARD  
Project Number 2124  
Date 10/18/2021  
Drawn Author  
Checked Checker

Rev#	Description	Date

UNIT TYPE 2

**A402**



**FLOOR PLAN KEYNOTES**

- 36" HIGH WALL WITH WALL CAP. SEE DETAIL. RAKE WALL HEIGHT TO MATCH STAIR SLOPE IF APPLICABLE.
- CONCRETE PORCH
- DOWNSPOUT FROM SCUPPER ABOVE
- (1) HOUR FIRE RATED GARAGE - INSTALL 5/8" TYPE X GYP BOARD ON WALLS OR TWO LAYERS OF 1/2" GYP. ALL JOINTS TO BE FIRE TAPED.
- PRE MANUFACTURED WHITEWATER SHOWER SURROUND WITH TUBSHOWER COMBO
- MECHANICAL ROOM TO BE SEALED AND INSULATED IN ACCORDANCE WITH THE ENVELOPE REQUIREMENTS OF TABLE R402.1.2. THE DOOR INTO THE ROOM SHALL BE FULLY GASKETED AND ANY WATER AND DUCTS IN THE ROOM ARE TO BE INSULATED PER SECTION R403. THE COMBUSTION AIR DUCT SHALL BE INSULATED WHERE IT PASSES THROUGH CONDITIONED SPACE TO A MINIMUM OF R-8.
- MECHANICAL SHAFT
- (1) HOUR FIRE RATED AT UNDERSIDE OF STAIRS - INSTALL 5/8" TYPE X GYP BOARD ON WALLS OR TWO LAYERS OF 1/2" GYP. ALL JOINTS TO BE FIRE TAPED.
- FREE-STANDING RANGE. VENT HOOD ABOVE.
- SINK WITH DISPOSAL.
- 38" CLEAR REFRIGERATOR SPACE
- GLASS SHOWER DOOR. SHOWER ACCESS OPENING SHALL HAVE A CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF NOT LESS THAN 22 INCHES PER RC P2708.1.1.
- ELECTRICAL PANEL, 125A SERVICE.
- WALL MOUNTED 2A-100C FIRE EXTINGUISHER
- HATCH PATTERN DENOTES HVAC CEILING DROP
- LOW VOLTAGE ELECTRICAL PANEL
- STAR HANDRAIL. SEE DETAIL
- UNDER-COUNTER MICROWAVE
- 38" BLACK METAL SINKING
- WASHER AND DRYER SPACE. PROVIDE PLUMBING & 24 GAUGE PAN WITH DRAIN
- ROD & SHELF
- (5) SHELVES
- HOSE BIB WITH ANTI-SIPHON DEVICE
- WATER HEATER. PROVIDE A STEEL PAN HAVING A MINIMUM THICKNESS OF 24 GAUGE PER RC F9901.6.
- DISHWASHER
- INSULATED GARAGE DOOR. TYP
- WP MEMBRANE OVER CDX PLYWOOD. SLOPE TO EXTERIOR. TREAD AND RISER WEETHS TO ACCOMMODATE SHEARWALL W/ CORRECT SPACING, GYP - BD, 3/8" SKIRT, ETC.
- RANGE WITH MICROWAVE HOOD ABOVE
- PRE MANUFACTURED SHOWER PAN AND WHITEWATER SURROUND
- SHELF ABOVE WASHER AND DRYER

**GLAZING GENERAL NOTES**

- ALL ROUGH OPENING DIMENSIONS TO BE PROVIDED COORDINATED WITH FRAMING CONTRACTOR.
- ALL EGRESS WINDOWS ARE TO COMPLY WITH MINIMUM WIDTH REQUIREMENTS.
- SEE GENERAL NOTES - FLOOR PLAN FOR ADDITIONAL INFORMATION.
- SEE EXTERIOR ELEVATIONS FOR TYPICAL WINDOW HEAD HEIGHT DIMENSIONS.
- ALL WINDOW SELLS < 34" A.F.F. AND > 72" ABOVE EXTERIOR GRADE, TO BE EQUIPPED WITH AN APPROVED FALL PROTECTION DEVICE.

11/15/2021 3:57:25 PM



SALT WEST STUDIO  
45 E CENTER ST SUITE  
103, NORTH SALT LAKE,  
UT 84054  
(801) 397-9755

**BOUNTIFUL TOWNHOMES**

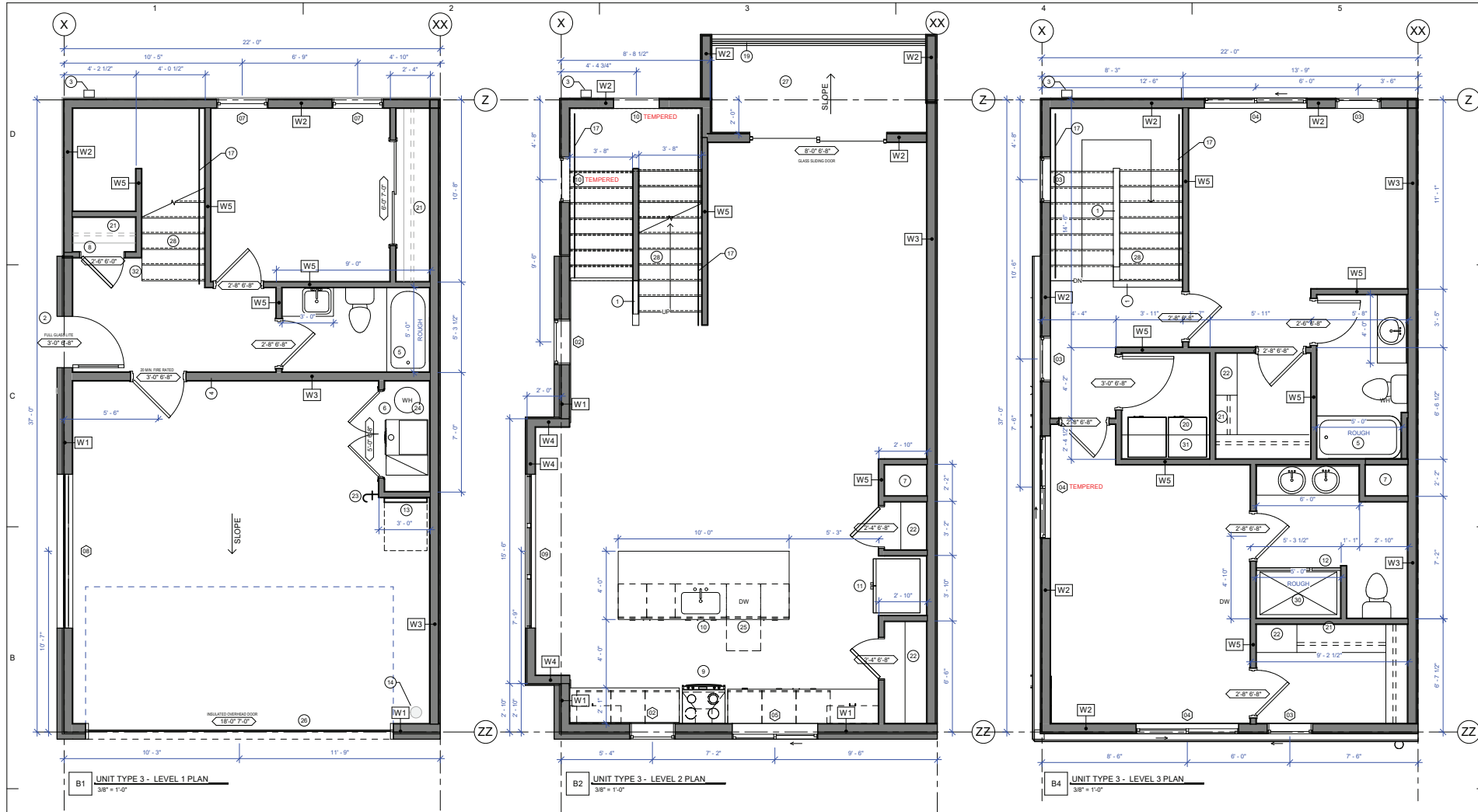
2055 S MAIN STREET, BOUNTIFUL, UTAH

Owner ERIC BEARD  
Project Number 2124  
Date 10/18/2021  
Drawn TC  
Checked DT

Revis	Description	Date

UNIT TYPE 3

**A403**



**FLOOR PLAN KEYNOTES**

- 9" HIGH WALL WITH WALL CAP. SEE DETAIL. SAME WALL HEIGHT TO MATCH SLOPE OF APPLICABLE.
- DOWNSCUOP FROM SCUOPPER ABOVE.
- BOARD ON WALLS ON TWO LAYERS OF 1/2" GYP. ALL JOINTS TO BE FIRE RATED AND WATER RESISTANT SURROUND WITH FIRE SHOWER COMBO.
- ACCORDANCE WITH THE SLOPE REQUIREMENTS OF GATED AND ANY WATER LINES AND DUCTS IN THE ROOM ARE TO BE INSTALLED WHERE IT PASSES THROUGH UNCONDITIONED SPACE TO A MINIMUM OF R4.
- 1 1/2 HOUR FIRE RATED UNBURNED STAIRS - INSTALL ALL JOINTS TO BE FIRE RATED.
- SMW WITH DISPOSAL - VENT HOOD ABOVE.
- GLASS SHOWER DOOR - SHOWER ACCESS OPENING SHALL BE 6" MIN. CLEARANCE FROM THE SHOWER DOOR.
- ELECTRICAL PANEL - 100A SERVICE.
- HATCH PATTERNS DENOTES HATCH CEILING DROP.
- STAR HANDRAILS - SEE DETAIL.
- 30" BLACK METAL RAILING.
- WALLS AND PARTITION.
- ROCK & SHELF.
- USE 1/2" BUBBLES WITH ANTI-SPLASH DECK.
- THICKNESS OF 4" GAGE PER RCP 2001A.
- INSULATED GARAGE DOOR, TYP.
- HEAD AND INSULATION TO ACCOMMODATE SIBERIAN WALL.
- W/ CORRECT SPACING, GYP. BD. 3/8" SERT. ETC.
- PREMANUFACTURED SHOWER PAN AND WHITEWATER SHELF ABOVE WASHER AND DRYER.
- BOTTOMS AIR TREASURES OPEN ON ONE SIDE.

**GLAZING GENERAL NOTES**

- ALL ROUGH OPENING DIMENSIONS TO BE WITH FINISH.
- ALL EXCESS WINDOWS ARE TO COMPLY WITH MINIMUM WEATHER REQUIREMENTS.
- INFORMATION FOR TYPICAL WINDOW HEAD HEIGHT DIMENSIONS: 8' 0" AND 8' 7" ASIDE EXTERIOR SHALL BE EQUIPPED WITH AN APPROVED FALL PROTECTION DEVICE.

## Bountiful Townhomes Finish Schedule



**SALT WEST STUDIO**  
45 E CENTER ST SUITE  
103, NORTH SALT LAKE,  
UT 84054  
(801) 397-9755

Interior of Residential Units				
Material	Location	Brand/Style/Description	Color Name/Number	Size/Finish
LVT Flooring	Entry way, Great Room/Kitchen, Bathrooms	Patcraft, Homegrain 81491V	Color: Parlor 00730	
Carpet	Bedrooms and bedroom closets	Patcraft, Collection: Inside Stories, Style: Motif 10527	Color: Secure 00532	Broadloom
Paint	All walls and trim	Benjamin Moore	OC-17 White Dove	Eggshell
Paint	Ceilings	Benjamin Moore	OC-17 White Dove	Flat
Quartz Countertop	Kitchen and Bath	Caesarstone	Color: 5131 Calacatta Nuvo	Size 1", Square Edge
Cabinetry	Kitchen and Bath	Flat Panel Doors	Wilsonart 7964 Skyline Walnut	
Cabinet Hardware	Kitchen and Bath in all units	Amerock Edge Pull SKU: BP36574FB, Size: 3-3/4 in	Black	
Backsplash Tile	Kitchen in all units	Bedrosians Makoto 2.5" x 10" Matte Ceramic Wall Tile in Shoji White	Stack Bond	
Door Style	All Interior Doors	MDF Single Panel		
Door Color	Interior Unit Doors	Sherwin Williams	Black Magic SW6991	Eggshell
Door Casing	Interior Unit Doors	3 - 5/8" Mitered. Painted to match wall.	Benjamin Moore OC-17 White Dove	Eggshell
Bathroom Accessories	Hooks, Towel Rings, Towel bars, Toilet paper holders	Delta Trinsic Collection	Matte Black	
Bathroom Faucets	All Bathrooms	Delta Trinsic Collection	Matte Black	
Baseboards	Unit Baseboards	6" tall MDF	OC-17 White Dove	
Vanity Light Above Sinks	Bath above mirrors. See elevations.	T-Bar Taper Vanity Light, MFR: Shades of Light, SKU: BS19304, Finish: Black		
Vanity Sconces Flanking Mirror	Bath flanking mirrors. See elevations.	Two Light Vanity in Black by Livex Lighting from the Aero collection. SKU #: 5141781		
Pendant	Kitchen Island (qty:3)	Truncated Cone Shaped Pendant, MFR: Shades of Light, SKU: PE18065 KB, Finish: Aged Brass Black		
Kitchen Faucet	All Kitchen Sinks	Delta Tinsic Collection - 380199 Pull Down	Matte Black	
Door Knobs	All Doors	Kwikset Halifax	Iron Black	

**SHOWER FAUCET**



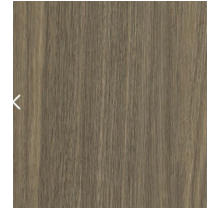
**KITCHEN PENDANTS**



**DOOR HANDLES**



**LVT FLOORING**



**CABINETRY**



**BATH ACCESSORIES**



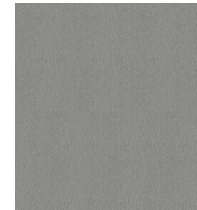
**BATH SCONCES**



**CABINET PULLS**



**CARPET**



**QUARTZ COUNTERS**



**KITCHEN FAUCET**



**BATH VANITY LIGHT**



**BLACK MAGIC PAINT**



**WHITE DOVE PAINT**



White Dove  
OC-17

**BACKSPASH TILE**



**BOUNTIFUL TOWNHOMES**  
2055 S MAIN STREET, BOUNTIFUL, UTAH

Owner ERIC BEARD  
Project Number 2124  
Date 10/18/2021  
Drawn Author  
Checked Checker

Revis	Description	Date

**FINISHES**

**A601**

11/15/2021 3:55:08 PM



SALT WEST STUDIO  
45 E CENTER ST SUITE  
103, NORTH SALT LAKE,  
UT 84054  
(801) 397-9755

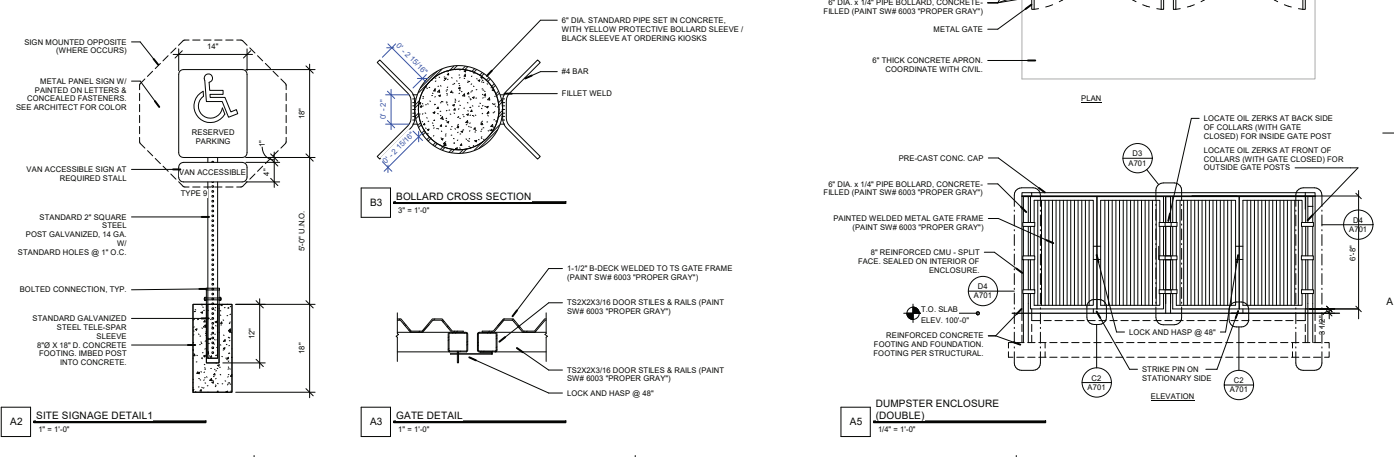
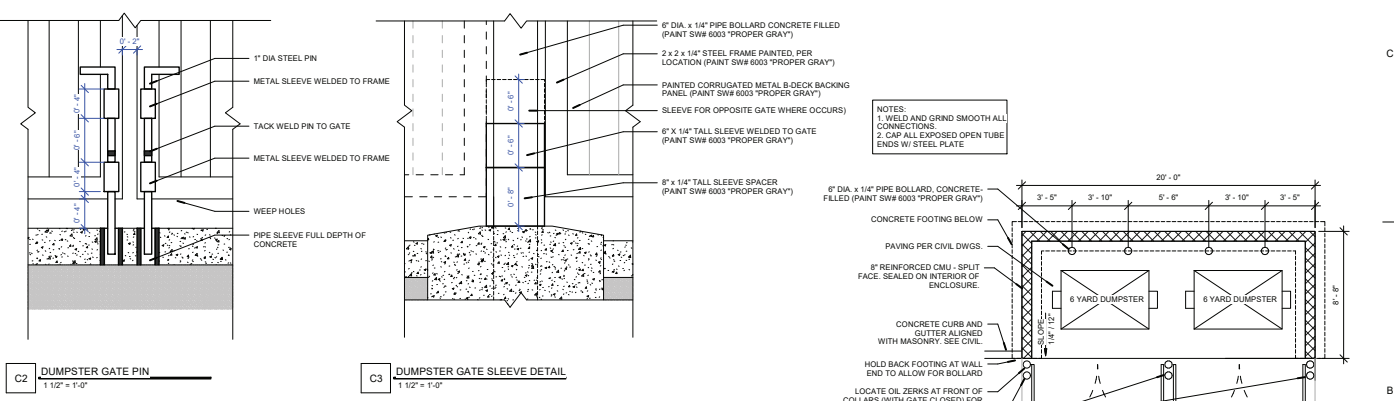
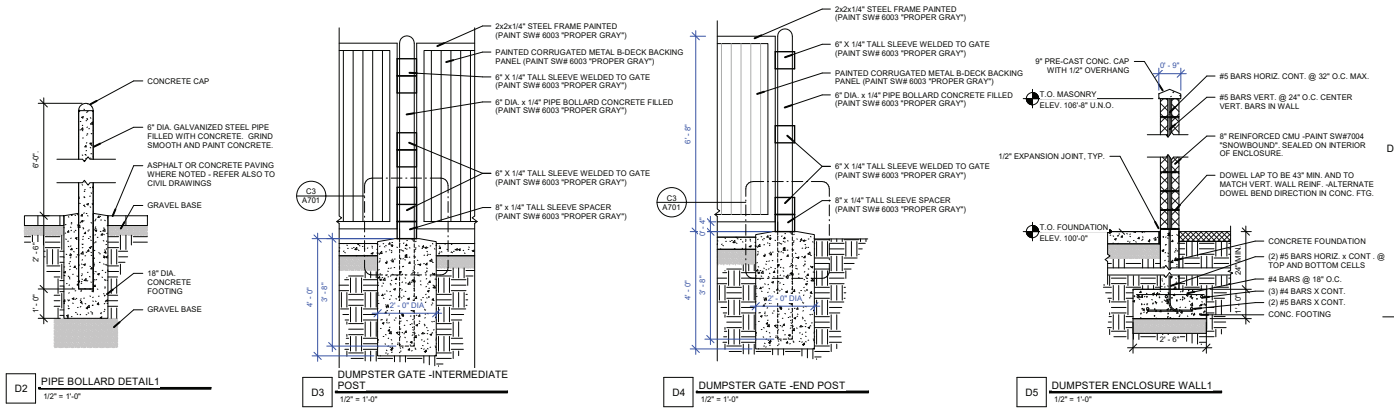
**BOUNTIFUL TOWNHOMES**  
2055 S MAIN STREET, BOUNTIFUL, UTAH

Owner ERIC BEARD  
Project Number 2124  
Date 10/18/2021  
Drawn Author  
Checked Checker

Rev#	Description	Date

**DUMPSTER ENCLOSURE**

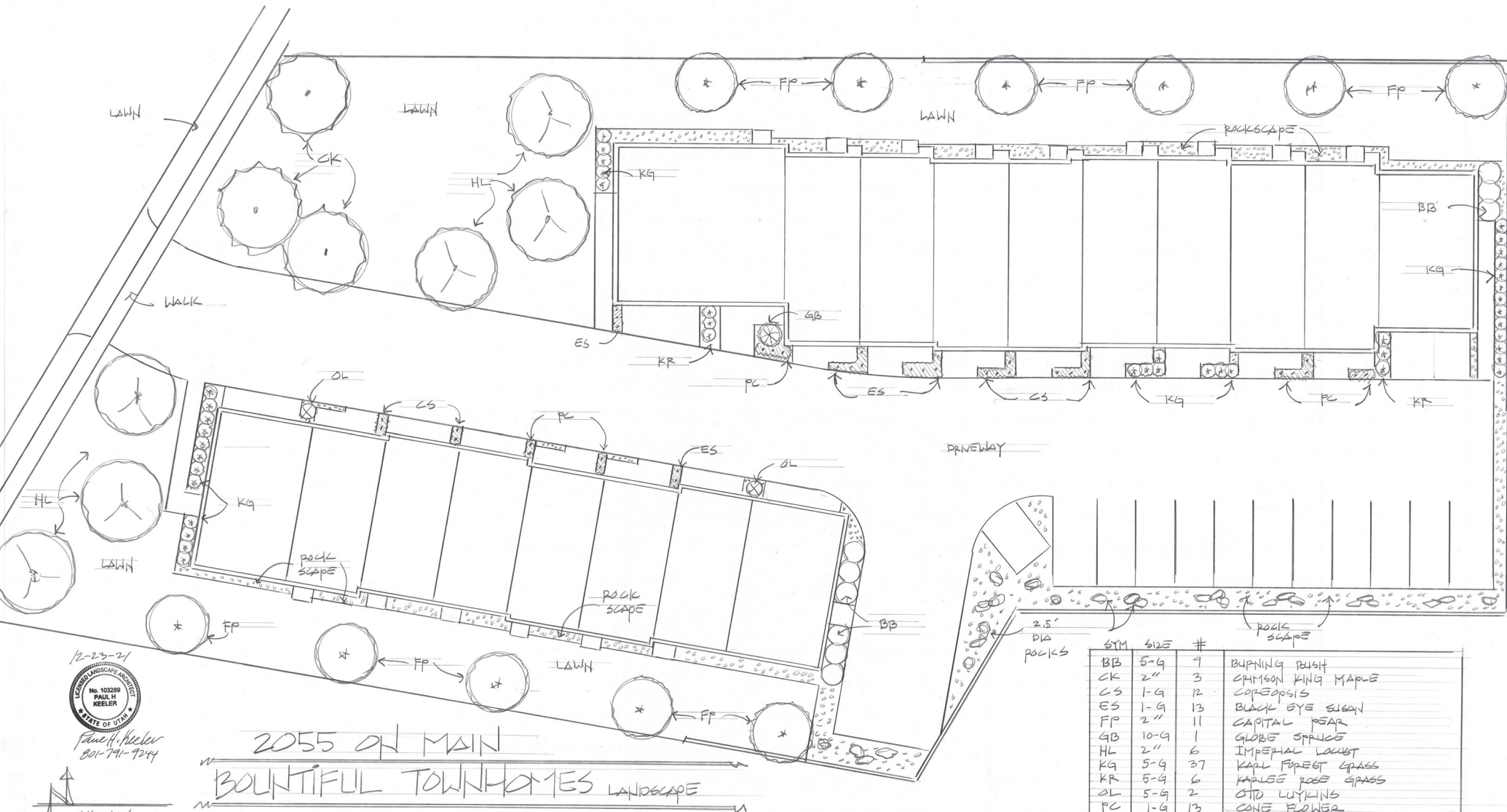
**A701**



NOTES:  
1. WELD AND GRIND SMOOTH ALL CONNECTIONS  
2. CAP ALL EXPOSED OPEN TUBE ENDS W/ STEEL PLATE

11/15/2021 3:55:09 PM





12-22-21  
Paul H. Keeler  
801-791-9244

2055 OLD MAIN  
BOUNTIFUL TOWNHOMES LANDSCAPE

SYM	SIZE	#	
BB	5'-9"	9	BURNING BUSH
CK	2"	3	CHARMION KING MAPLE
CS	1'-9"	12	CORCOPUS
ES	1'-9"	13	BLACK EYE SUSAN
FP	2"	11	CAPITAL PEAR
GB	10'-9"	1	GLOBE SPRUCE
HL	2"	6	IMPERIAL LOCUST
KQ	5'-9"	37	KARL FOERST GRASS
KR	5'-9"	6	KARLES ROSE GRASS
DL	5'-9"	2	OTTO LUTKINS
PC	1'-9"	13	CONE FLOWER

# Commission Staff Report

**Subject:** Preliminary and Final Approval of the 2055 on Main  
Planned Unit Development (P.U.D.)  
**Address:** 2055 S Main Street  
**Author:** City Engineer, City Planner  
**Department:** Engineering, Planning  
**Date:** April 5, 2022



---

## Background

Eric Beard, representing EDSO Properties LLC has applied for approval of a Planned Unit Development (P.U.D.) Plat for the 19 unit townhome development which is proposed at 2055 S Main St. The proposed development is located on the 1.046 ac site of a former Single Family Residential property. The proposed site is located in the RM-19 zone where townhomes are a permitted use. The site is surrounded by existing multi-family developments. Because of the potential to sell each townhome individually, it is necessary to prepare a P.U.D. (subdivision) Plat for this development.

## Analysis

### Zoning Requirements:

The requirements for developments in the Multi Family Residential (RM-19) Zone are listed in Table 14-5-103B as follows:

- |                                |           |
|--------------------------------|-----------|
| 1. Minimum Lot Size:           | 1.0 Acres |
| 2. Minimum Frontage and Width: | 90 Feet   |

Chapter 20 Part 5 of the Land Use Ordinance defines the following requirements for approval of a P.U.D. plat:

1. Contain a minimum of 4 legal units or lots. (14-20-601)
2. Meet the minimum requirements of this Chapter. (14-20-604 (B))

The 1.046 acre parcel exceeds the minimum lot size requirement of 0.5 acres. The site also exceeds the 90 ft minimum frontage requirement with the existing lot width of 150.47 feet. The proposed P.U.D. also exceeds the minimum requirement of 4 units in a P.U.D. development. Other zoning requirements such as setbacks, landscaping or other requirements will be evaluated as part of the site plan review process.

### Utilities:

The proposed development can be served by culinary water, sanitary sewer, irrigation, electric power and natural gas utilities which are available in the adjacent Main Street Right of Way. Because the actual area of disturbance caused by construction is planned to be less than 1.0 acres in size, a Bountiful Storm Water Permit is not required. Storm drainage facilities in the area are not readily available, and the proposal to drain the site to Main Street is consistent with the other adjacent multi-family developments. The developer can manage a significant

portion runoff from the buildings by collection and discharge of water being routed along the rear of the buildings and directed towards Main Street.

Proposed Improvements and Access: as submitted, the proposed access complies with City Code for the drive approach width, and the interior roadways provide sufficient access for emergency service vehicles. As with all multi-family developments, the potential for congestion and overflow parking exists. The Home Owners Association will need to provide provisions in the rules to manage the parking needs and resources provided on the site.

### **Department Review**

This memo has been reviewed by the City Attorney and the Planning Director.

### **Recommendation**

Staff would support the Planning Commission forwarding a recommendation to the City Council for Preliminary and Final Approval of the 2055 on Main Planned Unit Development with the following conditions:

1. Provide a current title report.
2. Make any required minor corrections to the plat.
3. Enter into a Development Agreement
4. Pay all required fees.

### **Significant Impacts**

None



## Attachments

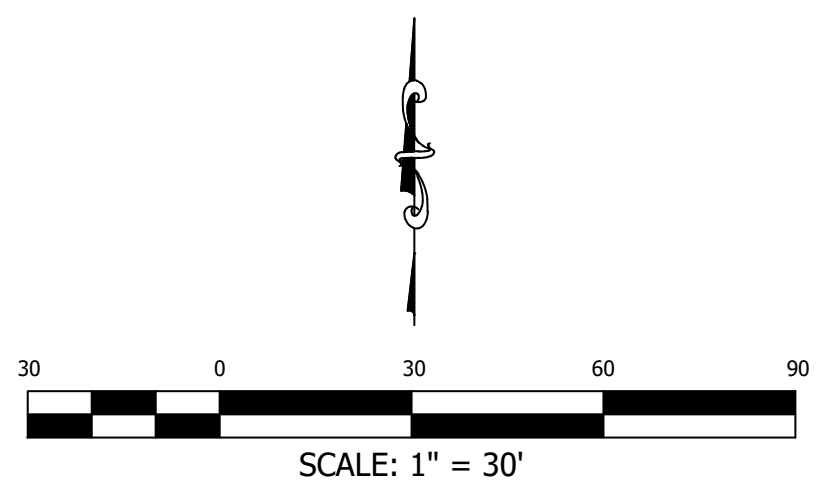
1. Aerial photo showing the proposed location
2. A copy of the preliminary plat.



Figure 1 Location of Proposed 2055 on Main Planned Unit Development



**2055 ON MAIN PLANNED UNIT DEVELOPMENT  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 31,  
TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN  
BOUNTIFUL CITY, DAVIS COUNTY, UTAH  
MARCH 2022**



ADDRESS TABLE		LIMITED COMMON AREA (AT CORRESPONDING UNIT)	
UNIT 1	NOT ASSIGNED	UNIT 1	179 SQ. FT.
UNIT 2	NOT ASSIGNED	UNIT 2	199 SQ. FT.
UNIT 3	NOT ASSIGNED	UNIT 3	88 SQ. FT.
UNIT 4	NOT ASSIGNED	UNIT 4	115 SQ. FT.
UNIT 5	NOT ASSIGNED	UNIT 5	102 SQ. FT.
UNIT 6	NOT ASSIGNED	UNIT 6	102 SQ. FT.
UNIT 7	NOT ASSIGNED	UNIT 7	119 SQ. FT.
UNIT 8	NOT ASSIGNED	UNIT 8	119 SQ. FT.
UNIT 9	NOT ASSIGNED	UNIT 9	102 SQ. FT.
UNIT 10	NOT ASSIGNED	UNIT 10	102 SQ. FT.
UNIT 11	NOT ASSIGNED	UNIT 11	247 SQ. FT.
UNIT 12	NOT ASSIGNED	UNIT 12	112 SQ. FT.
UNIT 13	NOT ASSIGNED	UNIT 13	85 SQ. FT.
UNIT 14	NOT ASSIGNED	UNIT 14	68 SQ. FT.
UNIT 15	NOT ASSIGNED	UNIT 15	68 SQ. FT.
UNIT 16	NOT ASSIGNED	UNIT 16	85 SQ. FT.
UNIT 17	NOT ASSIGNED	UNIT 17	85 SQ. FT.
UNIT 18	NOT ASSIGNED	UNIT 18	68 SQ. FT.
UNIT 19	NOT ASSIGNED	UNIT 19	81 SQ. FT.

**NOTES:**

- COMMON AND LIMITED COMMON AREAS ARE ALSO PUBLIC UTILITY AND DRAINAGE EASEMENTS (P.U. & D.E.).
- EACH LIMITED COMMON AREA CORRESPONDS TO ITS ADJOINING UNIT.
- SEE SHEET 2 FOR TYPICAL DIMENSIONS ALONG UNIT LINES AND BUILDING EXTERIORS.
- THE PRIVATE STREET IS ALSO A UTILITY AND FIRE ACCESS EASEMENT.
- THE MEASURED STATE PLANE BEARING ALONG THE BASIS OF BEARING IS NORTH 00°36'48" EAST, CALCULATED USING NAD 1983 STATE PLANE COORDINATES IN THE UTAH NORTH ZONE.

**DOMINION ENERGY UTAH**  
(NOTE WITH NO EXISTING NATURAL GAS EASEMENT)

QUESTAR GAS COMPANY, DBA DOMINION ENERGY UTAH, HEREBY APPROVES THIS PLAT SOLELY FOR THE PURPOSES OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABRIGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING PRESCRIPTIVE RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNER DEDICATION OR IN THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY UTAH'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

QUESTAR GAS COMPANY  
dba DOMINION ENERGY UTAH

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

BY: \_\_\_\_\_

TITLE: \_\_\_\_\_

**UTILITY APPROVAL**

SO. DAVIS SEWER IMP. DISTRICT: \_\_\_\_\_ DATE: \_\_\_\_\_

BOUNTIFUL LIGHT AND POWER: \_\_\_\_\_ DATE: \_\_\_\_\_

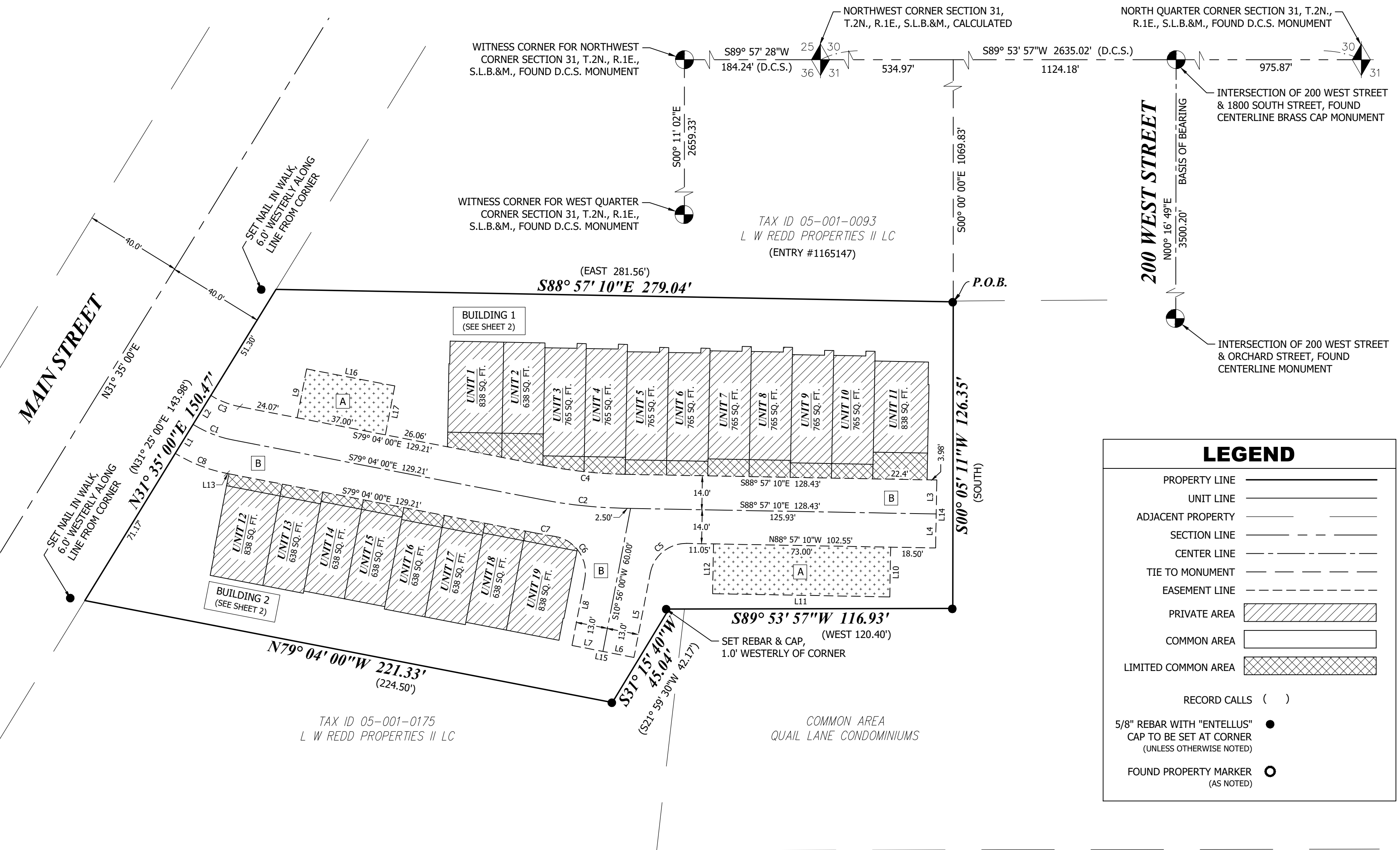
BOUNTIFUL CITY WATER: \_\_\_\_\_ DATE: \_\_\_\_\_

CENTURY LINK: \_\_\_\_\_ DATE: \_\_\_\_\_

COMCAST: \_\_\_\_\_ DATE: \_\_\_\_\_

BOUNTIFUL IRRIGATION DISTRICT: \_\_\_\_\_ DATE: \_\_\_\_\_

**SHEET 1 OF 2**



**EASEMENTS**

**A** PARKING EASEMENT AND P.U.&D.E.

**B** PRIVATE ROAD, PUBLIC UTILITY AND PRIVATE ACCESS EASEMENT

Curve Table					
CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CH LENGTH
C1	50.00'	17.90'	20° 30' 47"	S68° 48' 36"E	17.81'
C2	200.00'	34.51'	9° 53' 10"	S84° 00' 35"E	34.47'
C3	36.00'	12.86'	20° 27' 35"	S68° 50' 12"E	12.79'
C4	186.00'	32.09'	9° 53' 10"	S84° 00' 35"E	32.05'
C5	15.00'	20.97'	80° 06' 50"	S50° 59' 25"W	19.31'
C6	15.00'	24.14'	92° 12' 13"	N35° 10' 07"W	21.62'
C7	214.00'	8.23'	2° 12' 13"	S80° 10' 07"E	8.23'
C8	64.00'	22.95'	20° 32' 35"	S68° 47' 43"E	22.82'

Line Table			Line Table		
LINE #	DIRECTION	LENGTH	LINE #	DIRECTION	LENGTH
L1	S31° 35' 00"W	14.00'	L10	S01° 02' 50"W	20.50'
L2	S31° 35' 00"W	14.00'	L11	N88° 57' 10"W	73.00'
L3	S01° 02' 50"W	14.00'	L12	N01° 02' 50"E	20.50'
L4	S01° 02' 50"W	14.00'	L13	S79° 04' 00"E	0.84'
L5	N10° 56' 00"E	35.44'	L14	S01° 02' 50"W	28.00'
L6	N79° 04' 00"W	13.00'	L15	N79° 04' 00"W	26.00'
L7	N79° 04' 00"W	13.00'	L16	S79° 04' 00"E	37.00'
L8	S10° 56' 00"W	27.77'	L17	S10° 56' 00"W	20.50'
L9	N10° 56' 00"E	20.50'			

**CONSENT TO RECORD**

ON THE 7TH DAY OF JANUARY, 2022, EBSO PROPERTIES, LLC, ENTERED INTO A CONSTRUCTION DEED OF TRUST ("DEED OF TRUST") WITH GOLDENWEST FEDERAL CREDIT UNION, WHICH DEED OF TRUST IS SECURED BY THE PROPERTY MORE PARTICULARLY DESCRIBED IN THE ABOVE IDENTIFIED DEED OF TRUST. SAID DEED OF TRUST WAS RECORDED ON 1-10-2022, AS ENTRY NO. 3448620 IN BOOK 7922 AT PAGES 1317-1328, IN THE OFFICIAL RECORDS OF THE DAVIS COUNTY RECORDER'S OFFICE.

GOLDENWEST FEDERAL CREDIT UNION IS FULLY AWARE THAT EBSO PROPERTIES, LLC IS IN THE PROCESS OF RECORDING A PLAT CREATING A PROJECT KNOWN AS 2055 ON MAIN PLANNED UNIT DEVELOPMENT, AND GOLDENWEST FEDERAL CREDIT UNION HEREBY CONSENTS TO THE RECORDING OF THE PLAT FOR ALL PURPOSES SHOWN THEREON.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

GOLDENWEST FEDERAL CREDIT UNION

BY: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

**CITY COUNCIL'S APPROVAL**

APPROVED BY THE CITY COUNCIL OF BOUNTIFUL CITY, UTAH, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CITY RECORDER ATTEST: \_\_\_\_\_

MAYOR: \_\_\_\_\_

**CITY ENGINEER'S APPROVAL**

APPROVED BY THE BOUNTIFUL CITY ENGINEER, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BOUNTIFUL CITY ENGINEER

**PLANNING COMMISSION APPROVAL**

APPROVED BY THE PLANNING COMMISSION OF BOUNTIFUL CITY, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PLANNING DIRECTOR

**CITY ATTORNEY'S APPROVAL**

APPROVED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BOUNTIFUL CITY ATTORNEY

**DAVIS COUNTY RECORDER**

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_

FILED FOR RECORD AND RECORDED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

AT \_\_\_\_\_ IN BOOK \_\_\_\_\_ OF \_\_\_\_\_

COUNTY RECORDER: \_\_\_\_\_

BY: \_\_\_\_\_ DEPUTY

**SURVEYOR'S CERTIFICATE**

I, JEREMIAH R. CUNNINGHAM, A PROFESSIONAL LAND SURVEYOR, CERTIFY THAT I HOLD CERTIFICATE NO. 9182497 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT, THAT AN ACCURATE SURVEY OF THE PROPERTY DESCRIBED HEREON HAS BEEN COMPLETED, IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, AND THAT I HAVE VERIFIED ALL MEASUREMENTS. I CERTIFY THAT I HAVE PLACED MONUMENTS ON THE GROUND, AS REPRESENTED ON THIS PLAT, AND THAT THE PROPERTY SHOWN ON THIS PLAT AND DESCRIBED HEREWITH SHALL BE SUBDIVIDED INTO UNITS, PRIVATE STREETS, COMMON AREA AND OPEN SPACES HEREAFTER TO BE KNOWN AS 2055 ON MAIN PLANNED UNIT DEVELOPMENT.

**COPY FOR REVIEW**

JEREMIAH R. CUNNINGHAM, P.L.S. UT #9182497

**BOUNDARY DESCRIPTION**

BEGINNING AT A NORTHWESTERLY CORNER OF QUAIL LANE CONDOMINIUMS RECORDED AS ENTRY #2274472, DAVIS COUNTY RECORDER (D.C.R.), SAID NORTHWESTERLY CORNER IS SOUTH 89°53'57" WEST 1124.18 FEET ALONG THE SECTION LINE AND SOUTH 00°00'00" EAST 1069.83 FEET FROM A BRASS CAP MONUMENT AT THE INTERSECTION OF 200 WEST STREET AND 1800 SOUTH STREET, SAID BRASS CAP MONUMENT BEARS SOUTH 89°53'57" WEST 975.87 FEET ALONG SAID SECTION LINE FROM THE NORTH QUARTER CORNER OF SECTION 31, TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, DAVIS COUNTY, UTAH, AND RUNNING THENCE ALONG THE WESTERLY LINES OF SAID CONDOMINIUMS THE FOLLOWING THREE (3) COURSES: 1) SOUTH 00°05'11" WEST (SOUTH BY RECORD) 126.35 FEET TO THE PROJECTED LINE OF A FENCE, 2) SOUTH 89°53'57" WEST 116.93 FEET (WEST 120.40 FEET BY RECORD) ALONG SAID FENCE, AND PROJECTION THEREOF TO A FENCE, 3) SOUTH 31°15'40" WEST 45.04 FEET (SOUTH 21°59'30" WEST 42.17 FEET BY RECORD) ALONG SAID FENCE; THENCE NORTH 79°04'00" WEST 221.33 FEET (224.50 FEET BY RECORD) ALONG SAID FENCE TO THE EASTERLY LINE OF MAIN STREET; THENCE NORTH 31°35'00" EAST 150.47 FEET (NORTH 31°24'00" EAST 143.98 FEET BY RECORD) ALONG SAID EASTERLY LINE TO THE SOUTHERLY LINE OF A WALL, BEING ALSO THE SOUTHERLY LINE OF TRACT OF LAND CONVEYED IN A QUIT CLAIM DEED RECORDED AS ENTRY #1165147, D.C.R.; THENCE SOUTH 88°57'10" EAST 279.04 FEET (EAST 281.56 FEET BY RECORD) ALONG THE SOUTHERLY LINE OF SAID WALL AND CONVEYANCE TO THE NORTHWEST CORNER OF SAID CONDOMINIUMS AND TO THE POINT OF BEGINNING.

CONTAINING 1.046 ACRES.

**OWNER'S DEDICATION**

WE, THE UNDERSIGNED OWNERS OF THE ABOVE-DESCRIBED LAND, HAVING CAUSED THE SAME TO THE SUBDIVIDED INTO LOTS AND STREETS TO BE KNOWN AS 2055 ON MAIN PLANNED UNIT DEVELOPMENT, DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, AND DO WARRANT TO THE CITY THAT THE SAME ARE FREE OF ALL ENCUMBRANCES THAT COULD INTERFERE WITH THEIR USE AS HEREIN DEDICATED.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ERIC N. BEARD, MEMBER  
EBSO PROPERTIES, LLC

SHANE O'TOOLE, MEMBER  
EBSO PROPERTIES, LLC

**L.L.C. ACKNOWLEDGMENT**

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ THERE PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ERIC N. BEARD, WHO BEING BY ME DULY SWORN DID SAY THAT HE IS A MEMBER OF 2055 ON MAIN PLANNED UNIT DEVELOPMENT, AND THAT SAID INSTRUMENT WAS SIGNED IN BEHALF OF SAID L.L.C. BY A RESOLUTION OF ITS MEMBERS AND ACKNOWLEDGED TO ME THAT SAID L.L.C. EXECUTED THE SAME.

NOTARY PUBLIC: \_\_\_\_\_

RESIDENCE: \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

**L.L.C. ACKNOWLEDGMENT**

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ THERE PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, SHANE O'TOOLE, WHO BEING BY ME DULY SWORN DID SAY THAT HE IS A MEMBER OF 2055 ON MAIN PLANNED UNIT DEVELOPMENT, AND THAT SAID INSTRUMENT WAS SIGNED IN BEHALF OF SAID L.L.C. BY A RESOLUTION OF ITS MEMBERS AND ACKNOWLEDGED TO ME THAT SAID L.L.C. EXECUTED THE SAME.

NOTARY PUBLIC: \_\_\_\_\_

RESIDENCE: \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

DEVELOPER: EBSO PROPERTIES, LLC  
Contact: Eric Beard  
Phone #: 801-641-1404  
Address: 900 N. 400 W., #1-A  
NORTH SALT LAKE, UT 84054  
Email: eric@beardconstruction.com

1470 South 600 West  
Woods Cross, UT 84010  
Phone 801.298.2236  
www.Entellus.com  
PROJECT #1006016 03/09/2022, ALI



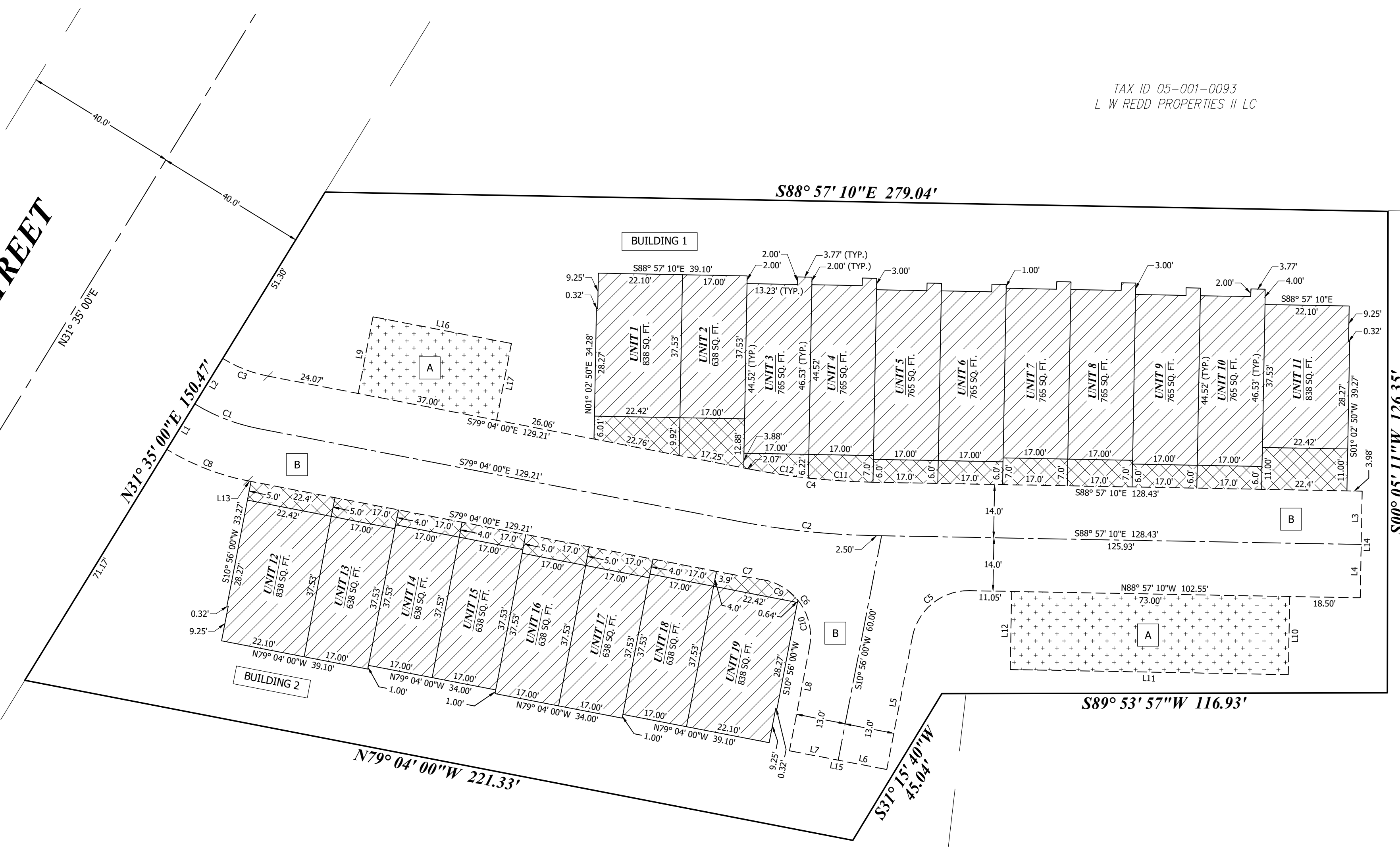
**2055 ON MAIN PLANNED UNIT DEVELOPMENT**  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 31,  
 TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN  
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH  
 MARCH 2022

TAX ID 05-001-0093  
 L W REDD PROPERTIES II LC

Line Table		
LINE #	DIRECTION	LENGTH
L1	S31° 35' 00"W	14.00'
L2	S31° 35' 00"W	14.00'
L3	S01° 02' 50"W	14.00'
L4	S01° 02' 50"W	14.00'
L5	N10° 56' 00"E	35.44'
L6	N79° 04' 00"W	13.00'
L7	N79° 04' 00"W	13.00'
L8	S10° 56' 00"W	27.77'
L9	N10° 56' 00"E	20.50'
L10	S01° 02' 50"W	20.50'
L11	N88° 57' 10"W	73.00'
L12	N01° 02' 50"E	20.50'
L13	S79° 04' 00"E	0.84'
L14	S01° 02' 50"W	28.00'
L15	N79° 04' 00"W	26.00'
L16	S79° 04' 00"E	37.00'
L17	S10° 56' 00"W	20.50'

Curve Table					
CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CH LENGTH
C1	50.00'	17.90'	20° 30' 47"	S68° 48' 36"E	17.81'
C2	200.00'	34.51'	9° 53' 10"	S84° 00' 35"E	34.47'
C3	36.00'	12.86'	20° 27' 35"	S68° 50' 12"E	12.79'
C4	186.00'	32.09'	9° 53' 10"	S84° 00' 35"E	32.05'
C5	15.00'	20.97'	80° 06' 50"	S50° 59' 25"W	19.31'
C6	15.00'	24.14'	92° 12' 13"	N35° 10' 07"W	21.62'
C7	214.00'	8.23'	2° 12' 13"	S80° 10' 07"E	8.23'
C8	64.00'	22.95'	20° 32' 35"	S68° 47' 43"E	22.82'
C9	15.00'	11.08'	42° 19' 28"	S60° 06' 29"E	10.83'
C10	15.00'	13.06'	49° 52' 45"	S14° 00' 23"E	12.65'
C11	186.00'	17.00'	5° 14' 10"	N86° 20' 05"W	16.99'
C12	186.00'	15.09'	4° 39' 00"	N81° 23' 30"W	15.09'

**MAIN STREET**



TAX ID 05-001-0175  
 L W REDD PROPERTIES II LC

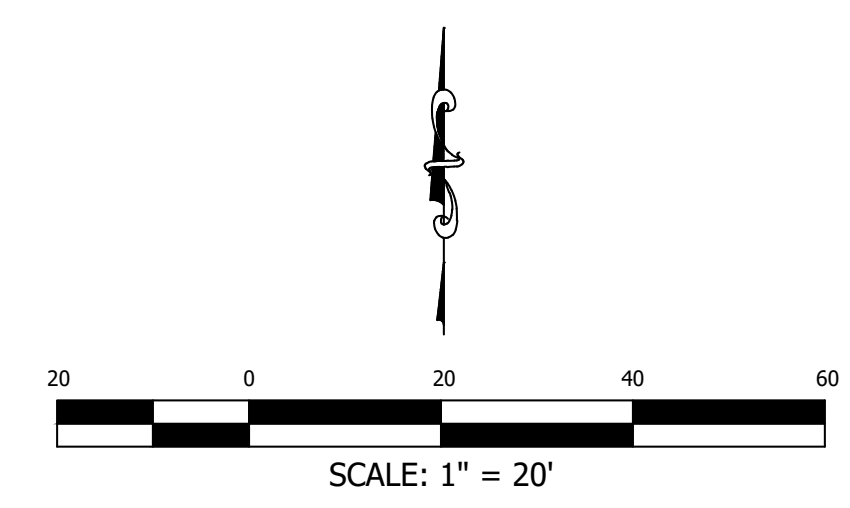
COMMON AREA  
 QUAIL LANE CONDOMINIUMS

**EASEMENTS**

- A** PARKING EASEMENT AND P.U.&D.E.
- B** PRIVATE ROAD, PUBLIC UTILITY AND PRIVATE ACCESS EASEMENT

**LEGEND**

- PROPERTY LINE
- UNIT LINE
- ADJACENT PROPERTY
- CENTER LINE
- EASEMENT LINE
- PRIVATE AREA
- COMMON AREA
- LIMITED COMMON AREA
- RECORD CALLS ( )
- 5/8" REBAR WITH "ENTELLUS" CAP TO BE SET AT CORNER (UNLESS OTHERWISE NOTED)
- FOUND PROPERTY MARKER (AS NOTED)



**SHEET 2 OF 2**



1470 South 600 West  
 Woods Cross, UT 84010  
 Phone 801.298.2236  
 www.Entellus.com  
 PROJECT #1006016 03/09/2022, ALI

**DAVIS COUNTY RECORDER**

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_  
 FILED FOR RECORD AND RECORDED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
 AT \_\_\_\_\_ IN BOOK \_\_\_\_\_ OF \_\_\_\_\_  
 COUNTY RECORDER: \_\_\_\_\_  
 BY: \_\_\_\_\_ DEPUTY