

BOUNTIFUL CITY COUNCIL

TUESDAY, August 13, 2024

5:30 p.m. Work Session

7:00 p.m. - Regular Session

NOTICE IS HEREBY GIVEN on the Utah Public Notice Website, the Bountiful City Website and at Bountiful City Hall not less than 24 hours prior to the meeting that the City Council of Bountiful, Utah will hold its regular Council meeting at **City Hall, 795 South Main Street, Bountiful, Utah**, at the time and on the date given above. The public is invited to all meetings. Deliberations will occur in the meetings. Persons who are disabled as defined by the Americans With Disabilities Act may request an accommodation by contacting the Bountiful City Manager at 801.298.6140. Notification at least 24 hours prior to the meeting would be appreciated.

If you are not on the agenda, the Council will not be able to discuss your item of business until another meeting. For most items it is desirable for the Council to be informed of background information prior to consideration at a Council meeting. If you wish to have an item placed on the agenda, contact the Bountiful City Manager at 801.298.6140.

The meeting is also available to view online, and the link will be available on the Bountiful City website homepage (www.bountifulutah.gov) approximately one hour prior to the start of the meeting.

AGENDA

5:30 p.m. – Work Session

1. Trail naming discussion – Mr. Todd Christensen & Ms. Amber Corbridge p. 3
2. General Plan discussion – Mr. Francisco Astorga p. 7

7:00 p.m. – Regular Meeting

1. Welcome, Pledge of Allegiance and Thought/Prayer
2. Public Comment – If you wish to make a comment to the Council, please use the podium and clearly state your name and address, keeping your comments to a maximum of two minutes. Public comment is limited to no more than ten minutes per meeting. Please do not repeat positions already stated. Public comment is a time for the Council to receive new information and perspectives.
3. Consider approval of minutes of previous meeting held on July 9, 2024 p. 21
4. Council reports
5. BCYC report
6. Consider approval of:
 - a. Expenditures greater than \$1,000 paid on July 3, 10, 17, 24 & 31, 2024 p. 29
 - b. Preliminary June 2024 financial report p. 39
7. Consider approval of the purchase of a replacement intercom system for the Police Department from Structure Works in the amount of \$29,827 – Mr. Greg Martin p. 55
8. Consider approval of the annual Tyler Technologies software maintenance contract in the total amount of \$88,372 – Mr. Greg Martin p. 57
9. Consider approval of the preliminary/final architectural and site plan application for outdoor vehicle sales at 2773 South Main – Ms. Amber Corbridge p. 59
10. Consider approval of the preliminary/final architectural and site plan for a lube center at 77 South 500 West – Ms. Amber Corbridge p. 73
11. Consider approval of the preliminary/final architectural and site plan for a fast food restaurant at 386 West 500 South – Ms. Amber Corbridge p. 95
12. Consider approval of the purchase of three vehicles from Young Automotive Group in the total amount of \$150,990 – Chief Ed Biehler p. 119
13. Consider approval of the purchase of C900 style main line pipe from Ferguson Waterworks in the amount of \$76,125 – Mr. Kraig Christensen p. 121
14. Consider approval of the proposal from Ohmega Electric for the 2024 Cave Hollow Way guardrail project in the amount of \$26,947 – Mr. Lloyd Cheney p. 123
15. Consider approval of the proposal from Design West at the prices noted in their proposal for 135 South Main architectural design services – Mr. Lloyd Cheney p. 125
16. Consider approval of the reappointment of Mr. Brandon Hill as the Bountiful City Administrative Law Judge – Mr. Brad Jeppsen p. 127
17. Consider approval of the reappointment of Ms. Krissy Gilmore to the Bountiful City Planning Commission for a four-year term ending June 30, 2028 – Mr. Francisco Astorga p. 129
18. Adjourn


City Recorder

City Council Staff Report



Subject: Proposed Bountiful Trail Names
Address:
Author: Amber Corbridge, Senior Planner
Todd Christensen, Assistant City Engineer
Department: Trails
Date: August 13, 2024

Background

The City Council reviewed trail names on January 11, 2024, and gave general consent on adopting some of the trail names. Staff were asked to come back with additional trail name proposals. Since then Staff has worked with the Trails Committee to propose new names, which are attached and discussed in detail below.

Analysis

The Committee established the following guidelines for how to name trails:

1. Three syllables or less
2. No names of business or living persons (not accepting donations for “sponsored” trails)
3. Not something you would want to say in front of your grandmother (no vulgarity, lewd titles, etc.)
4. No slang (from any generation)
5. Not presumptuous
6. Not horrible/dangerous sounding
7. No puns
8. Doesn’t end with the word “trail”
9. Descriptive of the trail
10. Can be a part of a theme if the theme is established early enough to encompass most trails of given area
11. Not shared by other trails in Utah

The following are the new proposed trail names (please reference the attached map for trail locations and numbers):

- A. Trail 406/307 “*Perrigrine*” is named after a Bountiful founding father Perrigrine Sessions. The trail crosses over Mill Creek Bridge 4 deeper into the canyon.
- B. Trail 304/305 “*Stoker*” is the name of a historic school which was located in Downtown Bountiful Square and is also a term used for excitement. The trail will be the new downhill biking only from elephant rock to Bridge 3 crossing Mill Creek.
- C. Trails entering and exiting North Canyon Creek Trailhead (not numbered on the map) “*Canyon Creek*” for the bidirectional trail and “*Sheriff DH*” for the downhill

biking only trail. North Canyon was known for pressing problems during trail development and a local user of the trail would “patrol” the area and resolve these issues regularly.

- D. Trail 417 “*SoDa*” is named after South Davis and serves as a connector trail to the trails further north.
- E. Trail 700 “*By the Way*” is named after a rock song by Red Hot Chili Peppers, which follows the rock song themed names in the Ward-Holbrook area, and serves as a connector trail from Eggett park to the Boulevard.
- F. Trail 503 “*Encore*” is named after concert endings (again, it goes with the rock song theme) and serves as a downhill option coming into the Holbrook Trailhead.

Recommendation

Staff recommends City Council approve the proposed trail names outlined above.

Attachments

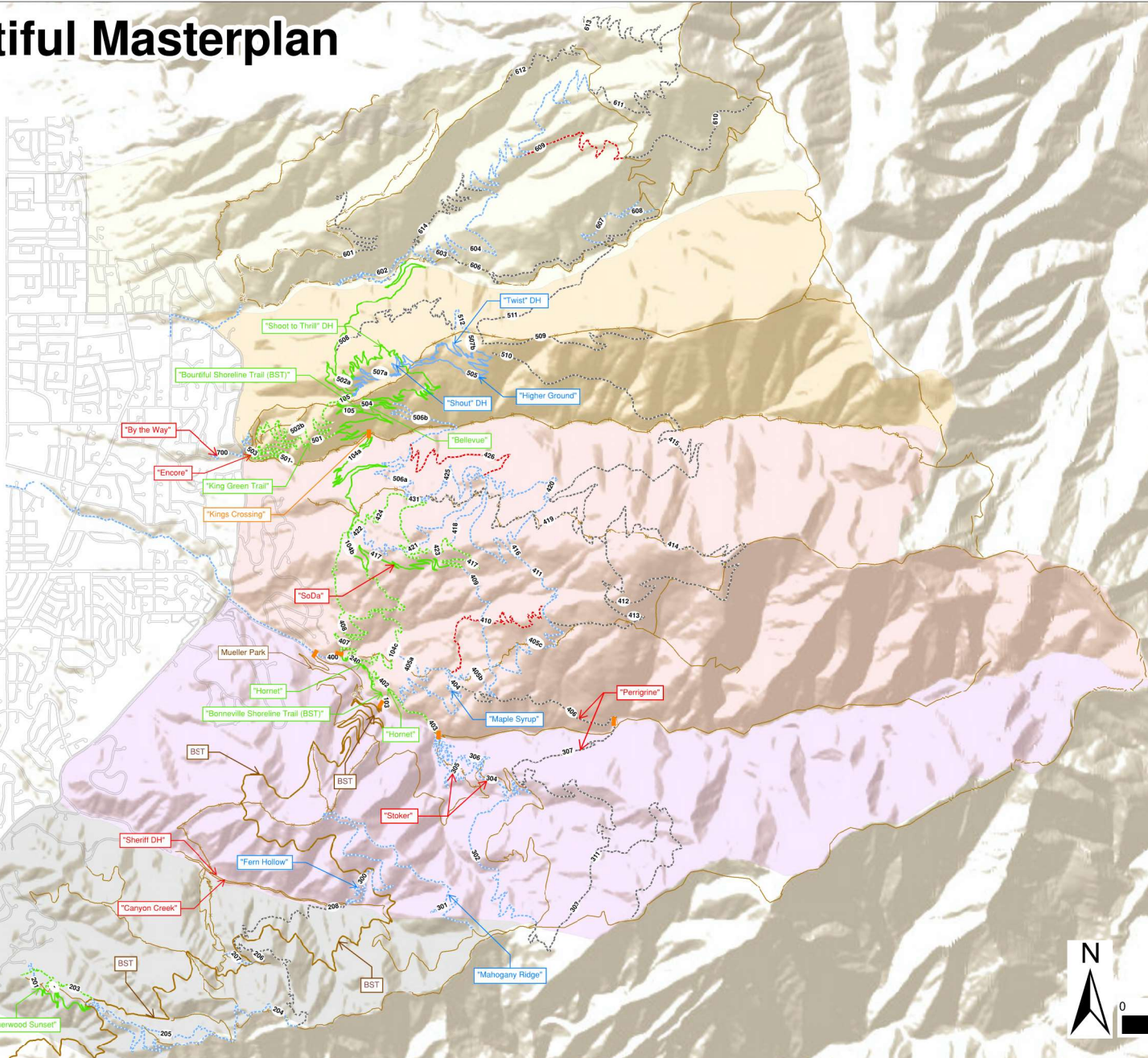
1. Trails Master Plan Map with Proposed and Approved Trail Names

Bountiful Masterplan

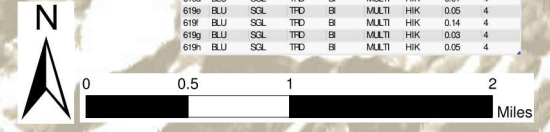
- Legend**
- Bountiful TIP Trails**
- BLK
 - BLU
 - DBLCLK
 - GRN
 - BRIDGE
 - PROPOSED

- Existing Trails**
- Abandon
 - ADOPT
 - Extensive Maint.
 - No Action
 - Re-Route
 - BST

- Areas**
- 1
 - 2
 - 3
 - 4
 - 5
 - 6



SECM	ENT I	Difficulty	TYPE	STYLE	DIRECTI	DESIGN	MINGED	USE	Len	MI	Priority
D					ON	USE	USE		LE	LE	
103	GRN	SGL	TRD	BI	HKEBK	HKEBK	0.24	1d			
105	GRN	SGL	TRD	UP	MULTI	MULTI	2.21	1a			
105	GRN	SGL	TRD	UP	MULTI	MULTI	1.63	1a			
201	GRN	SGL	TRD	UP	HKEBK	HKEBK	1.00	1a			
202	BLU	SGL	CLX	BI	HKEBK	HKEBK	0.18	2			
203	GRN	SGL	MEO	DOWN	MTB	HKEBK	0.72	3b			
204	BLU	SGL	TRD	BI	MULTI	MULTI	2.12	3c			
205	BLU	SGL	TRD	DOWN	MULTI	MULTI	1.23	3c			
206	BLK	SGL	TRD	BI	HKEBK	HKEBK	1.39	3c			
207	BLU	SGL	TRD	BI	MULTI	MULTI	0.23	3c			
208	BLK	SGL	TRD	BI	HKEBK	HKEBK	1.00	3c			
240	GRN	SGL	TRD	BI	HKEBK	HKEBK	0.43	1b			
200	BLU	SGL	MEO	BI	MTB	HKEBK	1.83	1b			
201	BLU	SGL	MEO	BI	MTB	HKEBK	1.96	1b			
202	BLU	SGL	TRD	BI	HKEBK	HKEBK	1.69	3c			
203	BLK	SGL	PFO	BI	HKEBK	HKEBK	2.72	3c			
204	BLU	SGL	MEO	DOWN	BIK	HKEBK	0.83	1b			
205	BLU	SGL	MEO	DOWN	MTB	BIK	1.50	1b			
206	BLU	SGL	CLX	BI	HKEBK	HKEBK	1.13	1b			
207	BLK	SGL	TRD	BI	HKEBK	HKEBK	1.04	1b			
211	BLK	SGL	PFO	BI	HKEBK	HKEBK	1.78	3c			
900	BLU	SGL	MEO	DOWN	MTB	HKEBK	0.21	1b			
901	GRN	SGL	TRD	BI	MULTI	MULTI	0.49	3c			
902	GRN	SGL	MEO	BI	MTB	HKEBK	0.46	1b			
903	GRN	SGL	MEO	BI	MTB	HKEBK	0.36	1b			
904	BLU	SGL	MEO	BI	MTB	HKEBK	1.44	1b			
906	BLK	SGL	TRD	BI	HKEBK	HKEBK	1.49	1b			
907	GRN	SGL	TRD	DOWN	MTB	MTB	1.05	3c			
908	GRN	SGL	TRD	DOWN	MTB	MTB	0.77	3c			
909	BLU	SGL	TRD	BI	HKEBK	HKEBK	0.75	2a			
910	DBLCLK	SGL	PFO	DOWN	MTB	MTB	1.46	3c			
911	BLK	SGL	TRD	BI	HKEBK	HKEBK	0.86	3c			
912	BLK	SGL	PFO	BI	HKEBK	HKEBK	1.59	3c			
913	BLK	SGL	PFO	BI	HKEBK	HKEBK	1.52	3c			
914	BLK	SGL	CLX	BI	MULTI	MULTI	2.44	3c			
915	BLK	SGL	TRD	BI	MULTI	MULTI	2.11	3c			
416	BLU	SGL	TRD	BI	MTB	MTB	1.57	3b			
417	GRN	SGL	TRD	BI	MTB	MULTI	1.41	2b			
417	GRN	SGL	TRD	BI	MTB	MULTI	0.08	3a			
417	GRN	SGL	TRD	BI	MTB	MULTI	0.69	3b			
418	BLU	SGL	TRD	BI	MTB	MTB	0.51	3b			
419	BLK	SGL	CLX	BI	MULTI	MULTI	1.94	3c			
420	BLU	SGL	MEO	DOWN	BIK	BIK	1.00	3b			
421	BLU	SGL	MEO	DOWN	BIK	BIK	1.06	3b			
422	BLU	SGL	PFO	DOWN	MTB	MTB	0.49	3			
423	GRN	SGL	TRD	DOWN	MTB	MTB	0.61	3b			
424	GRN	SGL	TRD	DOWN	MTB	MTB	1.51	3b			
425	BLU	SGL	TRD	BI	HKEBK	HKEBK	1.20	3b			
426	DBLCLK	SGL	PFO	DOWN	MTB	MTB	1.32	3b			
431	BLU	SGL	CLX	BI	HKEBK	HKEBK	0.07	3b			
500	BLU	SGL	CLX	BI	HKEBK	HKEBK	0.28	3b			
501	GRN	SGL	MEO	BI	MTB	HKEBK	1.33	2a			
503	GRN	SGL	MEO	DOWN	BIK	BIK	0.45	3c			
504	GRN	SGL	MEO	BI	BIK	MTB	2.16	1c			
505	BLU	SGL	MEO	BI	BIK	MTB	1.35	1c			
508	BLK	SGL	MEO	DOWN	BIK	MTB	1.68	3a			
509	BLK	SGL	TRD	BI	HKEBK	HKEBK	1.43	3c			
510	BLK	SGL	TRD	BI	HKEBK	HKEBK	1.43	3c			
511	BLK	SGL	TRD	BI	HKEBK	HKEBK	1.22	3c			
512	BLU	SGL	MEO	DOWN	BIK	MTB	0.34	3a			
601	BLK	SGL	CLX	BI	MOTO	MOTO	1.20	2a			
602	BLU	SGL	TRD	DOWN	HKEBK	HKEBK	0.79	3c			
603	BLU	SGL	TRD	DOWN	HKEBK	HKEBK	0.38	3c			
604	BLU	SGL	MEO	DOWN	MTB	HKEBK	4.31	3c			
606	BLK	SGL	TRD	BI	HKEBK	HKEBK	1.24	3c			
607	BLU	SGL	TRD	DOWN	MOTO	MULTI	0.46	3c			
608	BLU	SGL	TRD	DOWN	MOTO	MULTI	0.39	3c			
609	DBLCLK	SGL	PFO	DOWN	MTB	MTB	1.10	3c			
610	BLK	SGL	PFO	DOWN	MOTO	MULTI	1.10	3c			
611	BLK	SGL	MEO	BI	BIK	MULTI	1.59	3c			
612	BLK	SGL	CLX	BI	MOTO	MULTI	0.74	3c			
613	BLK	SGL	TRD	BI	BIK	HKEBK	1.61	4			
614	BLK	SGL	MEO	DOWN	BIK	HKEBK	1.41	3c			
700	BLU	SGL	TRD	BI	HKEBK	HKEBK	0.36	1c			
104	GRN	SGL	TRD	BI	MULTI	MULTI	1.52	1a			
104b	GRN	SGL	TRD	BI	MULTI	MULTI	0.44	2b			
104c	GRN	SGL	TRD	BI	MULTI	MULTI	1.44	2b			
405a	BLU	SGL	TRD	BI	MULTI	MULTI	0.75	3c			
405b	BLU	SGL	TRD	BI	MULTI	MULTI	0.69	2a			
405c	BLU	SGL	TRD	BI	MULTI	MULTI	1.17	3c			
501	GRN	SGL	MEO	BI	BIK	MTB	0.08	3c			
502a	GRN	SGL	MEO	DOWN	BIK	MTB	1.67	1c			
502b	GRN	SGL	MEO	DOWN	BIK	BIK	1.70	2a			
506a	BLU	SGL	TRD	BI	HKEBK	HKEBK	0.64	3b			
506b	BLU	SGL	TRD	BI	HKEBK	HKEBK	1.58	3b			
507a	BLU	SGL	MEO	DOWN	BIK	MTB	1.46	1c			
507b	BLU	SGL	MEO	DOWN	BIK	MTB	1.22	1c			
619a	BLU	SGL	TRD	BI	MULTI	HKEBK	0.01	4			
619b	BLU	SGL	TRD	BI	MULTI	HKEBK	0.07	4			
619c	BLU	SGL	TRD	BI	MULTI	HKEBK	0.03	4			
619d	BLU	SGL	TRD	BI	MULTI	HKEBK	0.01	4			
619e	BLU	SGL	TRD	BI	MULTI	HKEBK	0.05	4			
619f	BLU	SGL	TRD	BI	MULTI	HKEBK	0.14	4			
619g	BLU	SGL	TRD	BI	MULTI	HKEBK	0.03	4			
619h	BLU	SGL	TRD	BI	MULTI	HKEBK	0.05	4			



Date: 1/17/2024 Source: ESRI, USGS, NOAA

City Council Staff Report



Subject: Work Session General Plan Direction:
Bountiful By Design Transportation and Circulation Element
& Active Transportation
Author: Francisco Astorga, AICP, Planning Director
Date: August 13, 2024

Background

The City Council has been having work session discussions during the last several months reviewing the current comprehensive general plan update. The updated general plan, Bountiful by Design, is intended to provide decision makers guidance in decision-making over the next 20 years.

During the May 28, 2024, City Council meeting, the Council held a work session discussion as the drafted Transportation Element was presented for feedback and direction. Council discussed whether active transportation should be its own element rather than being part of the transportation element. Council decided to evaluate this for future discussion. Council committed to go through the active transportation plan (ATP) document to identify principles they would want to incorporate into the proposed general plan.

During July 9, 2024, City Council meeting, the Council held a work session discussion as the drafted Transportation Element goals and actions were introduced. The Council commented on the level of specificity of the drafted plan and the future of Orchard Drive. The Council also discussed the need for future implementation as it related to the General Plan update.

Analysis

Staff requests that Council review the drafted Transportation Element and provide direction regarding the analysis provided in this Staff Report and reflected on the drafted Transportation Element where active transportation principles have been incorporated throughout the various proposed Guiding Principles, Goals, and **Actions**.

As currently drafted the Transportation and Circulation Element includes, as an addendum, the draft South Davis County Active Transportation Plan (ATP) document, which was prepared for Bountiful, Centerville, and North Salt Lake with funding and planning assistance from the Wasatch Front Regional Council (WFRC). The ATP is intended to serve as a guide to the City on how to design and prioritize road improvements to be conducive to multiple modes of transportation. The ATP was not intended to be adopted whole cloth; rather it contains general policy recommendations “that can provide guidance for each City to adopt their own policies that are tailored to its specific needs.” (ATP, p. 55). These general policy recommendations include:

- Complete Streets
- Street and Pathway Connectivity
- Walkable Parking Policy
- Amenity Requirements

- Walkable Activity Center Policies
- Multi-Modal Integration Recommendations
- Programs and Enforcement

Given the City’s built-out status that would affect future transportation connections, the City should spend efforts reviewing active transportation principles as the City is experiencing redevelopment opportunities based on the age of buildings and developments. Based on the work of the planning consultant in collaboration with the various outreach efforts consisting of community interviews, outreach events (in-person and online), steering committee discussions, and Planning Commission City Council joint work sessions, drafted actions have produced related to transportation and circulation element, including active transportation, have been categorized into each Guiding Principle and Goal (as reviewed by Council). Staff has further reviewed these drafted actions, which have been aligned with active transportation general policy recommendations, as shown below:

- ❖ **Complete Streets.** Complete streets policies establish foundational policy support for all transportation modes and other uses of the street. See referenced goals and strategies from the drafted General Plan Transportation Element:
 - **Guiding Principle: A Welcoming Community For Everyone.**
 - Goal 1: Encourage the preservation and creation of welcoming and attractive neighborhoods.
 - *Action - Promote improvement and replacement of the urban tree canopy to enhance neighborhood walkability in summer months.*
 - *Action - Widen and/or buffer pedestrian facilities along high traffic roads. Pedestrian buffer efforts should be balanced with traffic flow needs and be cost effective.*
 - **Guiding Principle: A Connected Community with Complete Networks for Pedestrians, Bicycles, Transit, And Vehicles.**
 - Goal 1: Balance travel modes to move people safely and efficiently throughout the city.
 - *Action - Develop and apply complete street design principles for future roadway projects. Complete streets are streets designed to facilitate safe, comfortable, and efficient travel for all modes of transportation.*
 - Goal 2: Enhance access to and connectivity of non-motorized travel options.
 - *Action - Where appropriate and subject to Capital Improvement Plan budget allocation; consider adding bicycle facilities, such as bike lanes, physical buffers, etc.*
- ❖ **Street and Pathway Connectivity.** Street connectivity is especially beneficial for people on foot, bike, and other active modes. The shortening of distances between origins and destinations makes them walkable and bikeable. At the same time, connected networks disperse traffic and prevent major streets from becoming active transportation barriers. See referenced goals and strategies from the drafted General Plan Transportation Element:

- **Guiding Principle: A Welcoming Community For Everyone.**
 - Goal 2: Support development of diverse housing choices.
 - *Action - Review network connectivity and gap closure in new projects by connecting existing development with future infill development areas..*

- **Guiding Principle: A Connected Community with Complete Networks for Pedestrians, Bicycles, Transit, And Vehicles.**
 - Goal 1: Balance travel modes to move people safely and efficiently throughout the city.
 - *Action - Consider implementing traffic calming and safety countermeasures to eliminate or reduce traffic related conflicts. Use temporary materials and pilot programs. Prioritizing locations of improvements should be data-driven with a focus on addressing potential collision hotspots.*

- **Guiding Principle: An Active Community with Diverse Outdoor Recreational Opportunities and Access to Our Mountain Backyard.**
 - Goal 2: Expand and connect mountain trail networks and connections with the urban trail network.
 - *Action - Identify priority connections especially at high use areas such as schools, parks, and downtown.*
 - *Action - Regularly evaluate goal attainment in the 2019 Trails Master Plan and evaluate potential barriers to action, including funding, staff, and community buy-in.*
 - *Action - Analyze bicycle and pedestrian safety countermeasures at intersections of possible conflict.*

- **Guiding Principle: An Efficient and Resilient Community with Effective Utilities and Robust Services.**
 - Goal 1: Maximize the resiliency and fiscal sustainability of community services and utilities.
 - *Action - Discourage high intensity development in the eastern urban fringe to minimize cost of utility installation, maintenance, and other City services.*

- **Guiding Principle: A Friendly Community with Lively Community Events, And Neighborly Connections.**
 - Goal 2: Enhance community identity by improving the appeal of key urban spaces.
 - *Action 2.4 - Analyze front setbacks and allow driveway consolidation for commercial uses to encourage pedestrian access.*

- ❖ **Walkable Parking Policy.** Automobile parking policy has a major impact on the ability for people to walk, bike, and use other active modes in an area. See referenced goals and strategies from the drafted General Plan Transportation Element:

- **Guiding Principle: A Welcoming Community For Everyone.**

- Goal 3: Consider opportunities that combine additional housing with effective transit service.
 - *Action - Analyze parking requirements surrounding high frequency transit areas*
- **Guiding Principle: A Business-Friendly Community That Serves the Community with A Variety of Locally Focused Services, Shopping and Entertainment Options.**
 - Goal 3: Encourage land use regulations that support business opportunities and reduce barriers to commercial development.
 - *Action - Analyze parking requirements in the Downtown area for retail and restaurant uses. Ensure parking is adequate but not overabundant.*
 - *Action - Encourage the sharing of parking, particularly for adjacent uses with differing times of peak utilization.*
- ❖ **Amenity Requirements.** It is important to the creation of bikeable places to have quality “end-of-trip” and other supportive facilities. See referenced goals and strategies from the drafted General Plan Transportation Element:
 - **Guiding Principle: A Friendly Community with Lively Community Events, And Neighborly Connections.**
 - Goal 1: Invest in public spaces such as Main Street and City parks where the community can gather.
 - *Action - Consider installing secure and convenient bicycle parking in the public right-of-way near key destinations and transit facilities.*
- ❖ **Walkable Activity Center Policies.** Walkable centers should have a network of elements that create places comfortable and compelling for people. These include a foundation of streets designed for people rather than autos, land uses that emphasize destinations, density, and mixes of uses, connected streets and small blocks, human-scale development frontage, great pedestrian realms and streetscapes, and safe, short street crossings. See referenced goals and strategies from the drafted General Plan Transportation Element:
 - **Guiding Principle: A Welcoming Community For Everyone.**
 - Goal 3: Consider opportunities that combine additional housing with effective transit service.
 - *Action - Amend land use regulations to allow for higher density or new moderate income residential development in commercial or mixed-use zones near major transit investment corridors. (MIH Plan strategy 3).*
- ❖ **Guiding Principle: A Business-Friendly Community That Serves the Community with A Variety of Locally Focused Services, Shopping and Entertainment Options.**
 - Goal 1: Spark investment and development downtown through strategic infrastructure improvements.
 - *Action - Implement walkability improvements along Main Street. Improvements that reduce crossing distances such as curb extensions (bulb-outs) and mid-block crossings can foster a more inviting and connected experience for the Downtown area.*

- *Action - Coordinate parking and travel lane improvements along historic Main Street with pedestrian enhancements.*
- **Guiding Principle: A Friendly Community with Lively Community Events, And Neighborly Connections.**
 - Goal 3: Support events that bolster community identity, belonging, and build social capital.
 - *Action - Consider temporary closures on 200 South from Main Street to 100 East in order to link Town Square to Main Street events.*
- ❖ **Multi-Modal Integration Recommendations.** Refers to ensuring that active transportation investments are coordinated and connected to the complementary networks of activity centers, transit, and other modes that may be used in an active transportation-based trip. See referenced goals and strategies from the drafted General Plan Transportation Element:
 - **Guiding Principle: A Welcoming Community For Everyone.**
 - Goal 3: Consider opportunities that combine additional housing with effective transit service.
 - *Action - Partner with regional planning organizations to develop a plan for land development surrounding transit stops to incorporate long-term transportation and mobility considerations.*
 - **Guiding Principle: A Connected Community with Complete Networks for Pedestrians, Bicycles, Transit, And Vehicles.**
 - Goal 2: Enhance access to and connectivity of non-motorized travel options.
 - *Action - Work with regional partners to identify a non-motorized (i.e. bicycle and pedestrian) corridor between communities.*
 - *Action - Work with regional partners including the county, UTA, and WFRC to develop strategies for increasing transit ridership and enhancing first-last mile access to the regional transportation system.*
 - Goal 3: Consider future multimodal transportation projects and initiatives in an updated transportation master plan.
 - *Action - Consider street designs that enhance comfort and safety for travelers of all modes of transportation.*

The drafted ATP contains model policy for Complete Streets, Street and Pathway Connectivity, and Walkable Parking, found in Appendix B. As indicated on the ATP document itself: “*The recommendations in this [ATP] and its appendices may change as the cities within the study area change, as priorities shift, and as opportunities arise to complete project. The [ATP] should be considered a fluid document*”. These model policies are extremely prescriptive regarding processes, applicability, authority designation, funding allocation, program development, etc. Staff does not recommend adopting these policies as written but rather using them as consideration guides that would allow the City to further explore purpose and content, while based on City resources, decide how to follow up on implementation based on the adopted goals and actions of the drafted element.

Department Review

This Staff Report was written by the Planning Director and reviewed by the City Manager.

Significant Impacts

None.

Recommendation

Staff requests that the Council provide input regarding the drafted Transportation and Circulation Element, specifically relating to the drafted goals and actions.

Attachments

1. Draft of the general plan Transportation and Circulation Element
2. Bountiful Street Master Plan

Transportation and Traffic Circulation

Introduction

How people move affects everyone who works, lives, and plays in Bountiful. Altogether this framework of connections represents an extremely large public investment. Regional and local connections are essential for a well-functioning city. A well-planned, safe, robust, and varied transportation system provides opportunities and choices for all modes of travel.

State Requirements Overview

The State of Utah requires cities to incorporate a transportation and traffic circulation element into a general plan per [Utah Code 10-9a-403](#). As a city without any major transit investment corridors, Bountiful’s general plan transportation element must address residential and commercial development in areas that will maintain and improve connections between housing, transportation, employment, education, recreation, and commerce. The transportation element should also correspond to the population projections, employment projections, and the land use element in the Plan.

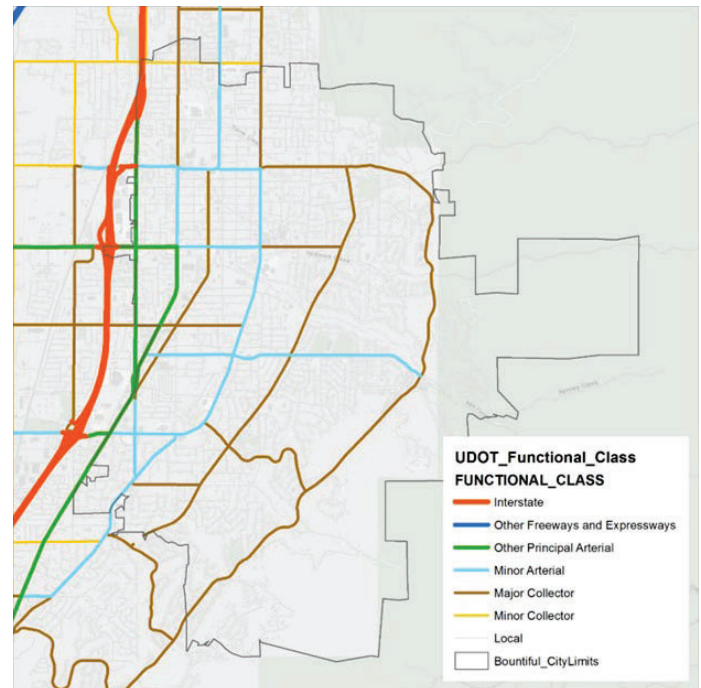
Context

Regional Connections

Bountiful has regional connections to Interstate 15. Three (3) exits/entrances service the area via 2600 South, 500 South, and 400 North/500 West. Bountiful has been included in a number of regional transportation plans including the [Wasatch Front Regional Council \(WFRC\) 2019-2050 Regional Transportation Plan](#) and the [South Davis County Active Transportation Plan](#).

The WFRC Regional Transportation plan includes a proposed Davis-Salt Lake City Community Connector Bus Rapid Transit (BRT) which would run through and include stations in Bountiful.

Figure 1 Bountiful Roadways as identified by UDOT Functional Class Status



The Active Transportation Plan calls for the region partner to develop a connected walking and bicycling system to increase safety, and to improve health and air quality.

Connectivity

The street network within Bountiful varies with the topography. Lower and flatter elevations generally have high levels of connectivity that provide multiple route options with regularly spaced arterial and collector roadways. The street network becomes increasingly disconnected as the topography becomes steeper, particularly east of Orchard Drive.

Public Transportation

Public transportation services are available via Utah Transportation Authority (UTA). Bountiful’s current public transportation network includes two (2) all-day bus service routes (route 455 and 470), paratransit service, vanpool program, and a micro transit service (UTA On Demand). Regional commuter rail is located just beyond City limits at the Woods Cross FrontRunner station. UTA and other stakeholder Cities including Bountiful City have been working on a bus rapid transit (BRT) line through Bountiful along Main Street connecting Farmington (Station Park) to Salt Lake City (University of Utah). This new anticipated service uses specialized buses to efficiently transport large numbers of riders to their destinations. BRT service features many of the amenities of light rail, such as frequent service, traffic signal priority, ticket vending machines, shelters and benches, while providing transit at a lower-cost, connections with many other transportation lines, etc. The anticipated high-end BRT stations are to be located at 2600/Highway 89, Renaissance Towne Centre (approx.. 1600 South Main Street), and City Hall/County Library (approx. 700 South Main Street). The proposed BRT line would also have regular stops throughout the City.

Bicycle Network

Bountiful has very limited bicycle infrastructure with less than five (5) miles in total bike lanes citywide. Most of this is a painted bike lane on Davis Boulevard which does not connect directly to other bike lanes within or outside of Bountiful. Another painted bike lane exists along 100 West from 400 North to 500 South (0.7 miles). There are currently no protected or grade separated bike lanes in the City.

Figure 2 Traffic Average Daily Trips 2019

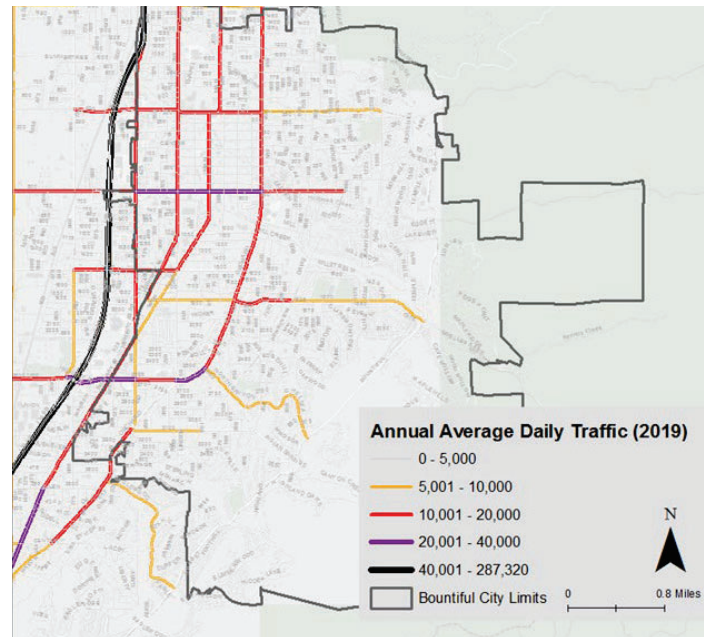
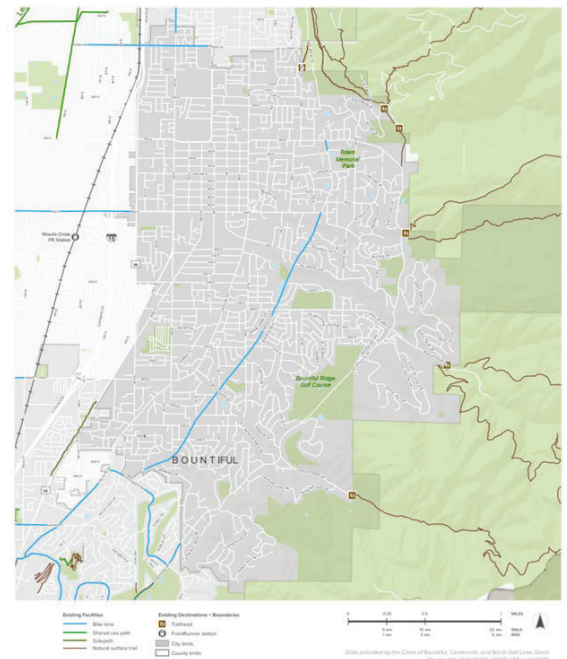


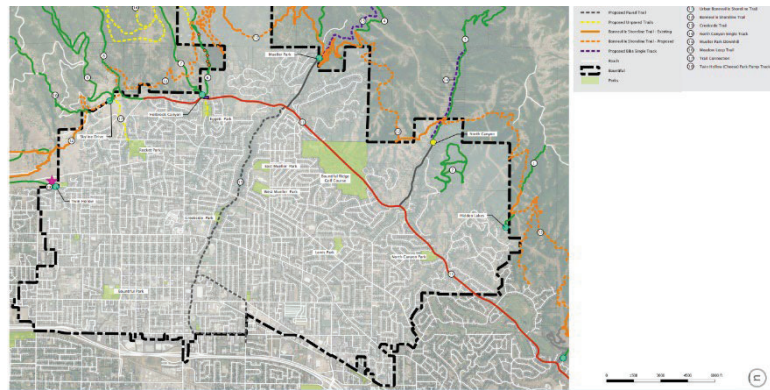
Figure 3 Existing Bike Network



Trails

Bountiful residents frequently cited *access to the outdoors* as one of the things they love about living in Bountiful. The City is settled within the foothills of the Wasatch Mountains, which has access to about forty (40) miles of existing recreational trails. These trails connect to and are anchored by a paved urban section of the Bonneville Shoreline Trail that follows Bountiful Boulevard. The 2019 Bountiful Trails Master Plan identifies additional areas for trail connections, primarily in the foothills, but also recommends an east-west paved trail that would enable direct trail access from the foothills to the west of the City. In total the current and proposed trail network would contain nearly sixty (60) miles of trails.

Figure 4 Planned Trails Network



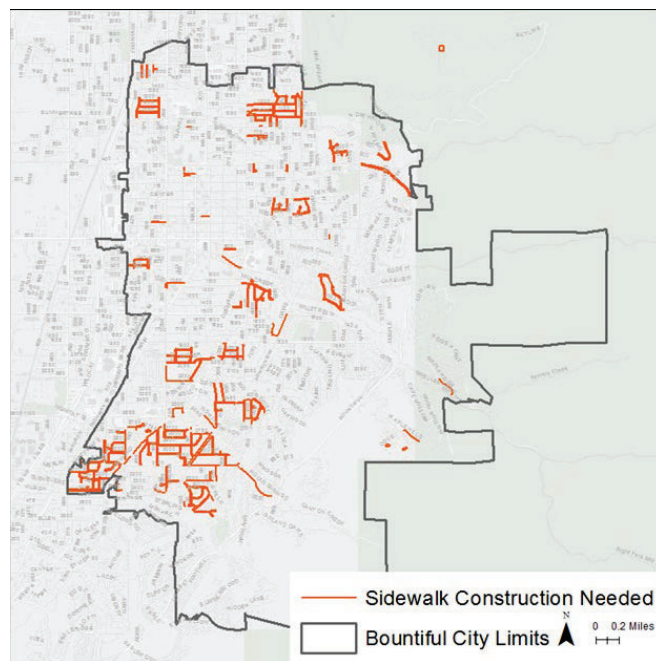
Pedestrian Network

Bountiful’s downtown area provides sidewalks and clearly marked crossings. The majority of Bountiful’s neighborhoods also provide sidewalks. There are some areas in the City which lack sidewalks as shown in Figure 5. Some of these areas were developed under County jurisdiction which were then annexed into the City. Walking along these neighborhoods without sidewalks may be harder for pedestrians.

Strategy

This Plan incorporates a guiding principle specifically targeted at transportation and traffic circulation: “A **Connected Community** with Complete Networks for Pedestrians, Bicycles, Transit, And Vehicles.” This plan underscores the importance of providing viable options for getting around to maximize access to housing, transportation, employment, education, recreation, and commerce. The benefits of creating a more balanced network of transportation options for people throughout the City include reducing motor vehicle related incidents and pedestrian risk, improving human health, reducing traffic congestion, creating a more desirable place to live, etc. The land use strategy of this Plan encourages increasing intensity of uses in areas that

Figure 5 Areas Without Sidewalks



are well connected. This is intended to maximize existing infrastructure and minimize travel distances.

Related goals and strategies

The following goals and strategies are included in the Plan and describe Bountiful’s efforts to further transportation and traffic circulation in the future:

Category	Description
Guiding Principle	A Welcoming Community For Everyone.
Goal 1	Encourage the preservation and creation of welcoming and attractive neighborhoods.
Action	Promote improvement and replacement of the urban tree canopy to enhance neighborhood walkability in summer months. ATP General Recommendation: Complete Streets.
Action	Widen and/or buffer pedestrian facilities along high traffic roads. Pedestrian buffer efforts should be balanced with traffic flow needs and be cost effective. ATP General Recommendation: Complete Streets.
Goal 2	Support development of diverse housing choices.
Action	Review network connectivity and gap closure in new projects by connecting existing development with future infill development areas. ATP General Recommendation: Street and Pathway Connectivity.
Goal 3	Consider opportunities that combine additional housing with effective transit service.
Action	Amend land use regulations to allow for higher density or new moderate income residential development in commercial or mixed-use zones near major transit investment corridors. (MIH Plan strategy 3). ATP General Recommendation: Walkable Activity Center Policies.
Action	Partner with regional planning organizations to develop a plan for land development surrounding transit stops to incorporate long-term transportation and mobility considerations. ATP General Recommendation: Multi-Modal Integration.
Action	Analyze parking requirements surrounding high frequency transit areas. ATP General Recommendation: Walkable Parking.
Guiding Principle	A Business-Friendly Community That Serves the Community with A Variety of Locally Focused Services, Shopping and Entertainment Options.
Goal 1	Spark investment and development in downtown through strategic infrastructure improvements.
Action	Implement walkability improvements along Main Street. Improvements that reduce crossing distances such as curb extensions (bulb-outs) and

	<p>mid-block crossings can foster a more inviting and connected experience for the Downtown area.</p> <p>ATP General Recommendation: Walkable Activity Center Policies.</p>
Action	<p>Coordinate parking and travel lane improvements along historic Main Street with pedestrian enhancements.</p> <p>ATP General Recommendation: Walkable Activity Center Policies.</p>
Goal 3	Encourage land use regulations that support business opportunities and reduce barriers to commercial development.
Action	<p>Analyze parking requirements in the Downtown area for retail and restaurant uses. Ensure parking is adequate but not overabundant.</p> <p>ATP General Recommendation: Walkable Parking.</p>
Action	<p>Encourage the sharing of parking, particularly for adjacent uses with differing times of peak utilization.</p> <p>ATP General Recommendation: Walkable Parking.</p>
Guiding Principle	A <u>Connected Community</u> with Complete Networks for Pedestrians, Bicycles, Transit, And Vehicles.
Goal 1	Balance travel modes to move people safely and efficiently throughout the city.
Action	<p>Consider implementing traffic calming and safety countermeasures to eliminate or reduce traffic related conflicts. Use temporary materials and pilot programs. Prioritizing locations of improvements should be data-driven with a focus on addressing potential collision hotspots.</p> <p>ATP General Recommendation: Street and Pathways Connectivity.</p>
Action	<p>Develop and apply complete street design principles for future roadway projects. Complete streets are streets designed to facilitate safe, comfortable, and efficient travel for all modes of transportation.</p> <p>ATP General Recommendation: Complete Streets.</p>
Goal 2	Enhance access to and connectivity of non-motorized travel options.
Action	<p>Work with regional partners to identify a non-motorized (i.e. bicycle and pedestrian) corridor between communities.</p> <p>ATP General Recommendation: Multi-Modal Integration.</p>
Action	<p>Work with regional partners including the county, UTA, and WFRC to develop strategies for increasing transit ridership and enhancing first-last mile access to the regional transportation system.</p> <p>ATP General Recommendation: Multi-Modal Integration.</p>
Action	<p>Where appropriate and subject to Capital Improvement Plan budget allocation; consider adding bicycle facilities, such as bike lanes, physical buffers, etc.</p>

	ATP General Recommendation: Complete Streets.
Goal 3	Consider future multimodal transportation projects and initiatives in an updated transportation master plan.
Action	Consider street designs that enhance comfort and safety for travelers of all modes of transportation. ATP General Recommendation: Multi-Modal Integration.
Guiding Principle	An Active Community with Diverse Outdoor Recreational Opportunities and Access to Our Mountain Backyard.
Goal 2	Expand and connect mountain trail networks and connections with the urban trail network.
Action	Identify priority connections especially at high use areas such as schools, parks, and downtown. ATP General Recommendation: Street and Pathways Connectivity.
Action	Regularly evaluate goal attainment in the 2019 Trails Master Plan and evaluate potential barriers to action, including funding, staff, and community buy-in. ATP General Recommendation: Street and Pathways Connectivity.
Action	Analyze bicycle and pedestrian safety countermeasures at intersections of possible conflict. ATP General Recommendation: Street and Pathways Connectivity
Guiding Principle	An Efficient and Resilient Community with Effective Utilities and Robust Services.
Goal 1	Maximize the resiliency and fiscal sustainability of community services and utilities.
Action	Discourage high intensity development in the eastern urban fringe to minimize cost of utility installation, maintenance, and other City services. ATP General Recommendation: Street and Pathways Connectivity
Guiding Principle	A Friendly Community with Lively Community Events, And Neighborly Connections.
Goal 1	Invest in public spaces such as Main Street and City parks where the community can gather.
Action	Consider installing secure and convenient bicycle parking in the public right-of-way near key destinations and transit facilities. ATP General Recommendation: Amenity Requirements.
Goal 2	Enhance community identity by improving the appeal of key urban spaces.
Action	Analyze front setbacks and allow driveway consolidation for commercial uses to encourage pedestrian access. ATP General Recommendation: Street and Pathways Connectivity.

Goal 3	Support events that bolster community identity, belonging, and build social capital.
Action	<p>Consider temporary closures on 200 South from Main Street to 100 East in order to link Town Square to Main Street events.</p> <p>ATP General Recommendation: Walkable Activity Center Policies.</p>

EXISTING

- MAJOR STREET
- INTERCITY HIGHWAY
- COLLECTOR STREET MAJOR 66' WIDE
- COLLECTOR STREET MINOR 60' WIDE (or as platted)
- MINOR STREET 54' WIDE (or as platted)
- PRIVATE STREET
- UDOT PRINCIPAL ARTERIAL
- UDOT MINOR ARTERIAL

PROPOSED

- - - - MAJOR STREET
- - - - INTERCITY HIGHWAY
- - - - COLLECTOR STREET MAJOR 66' WIDE
- - - - COLLECTOR STREET MINOR 60' WIDE
- - - - MINOR STREET 54' WIDE (or as designated)

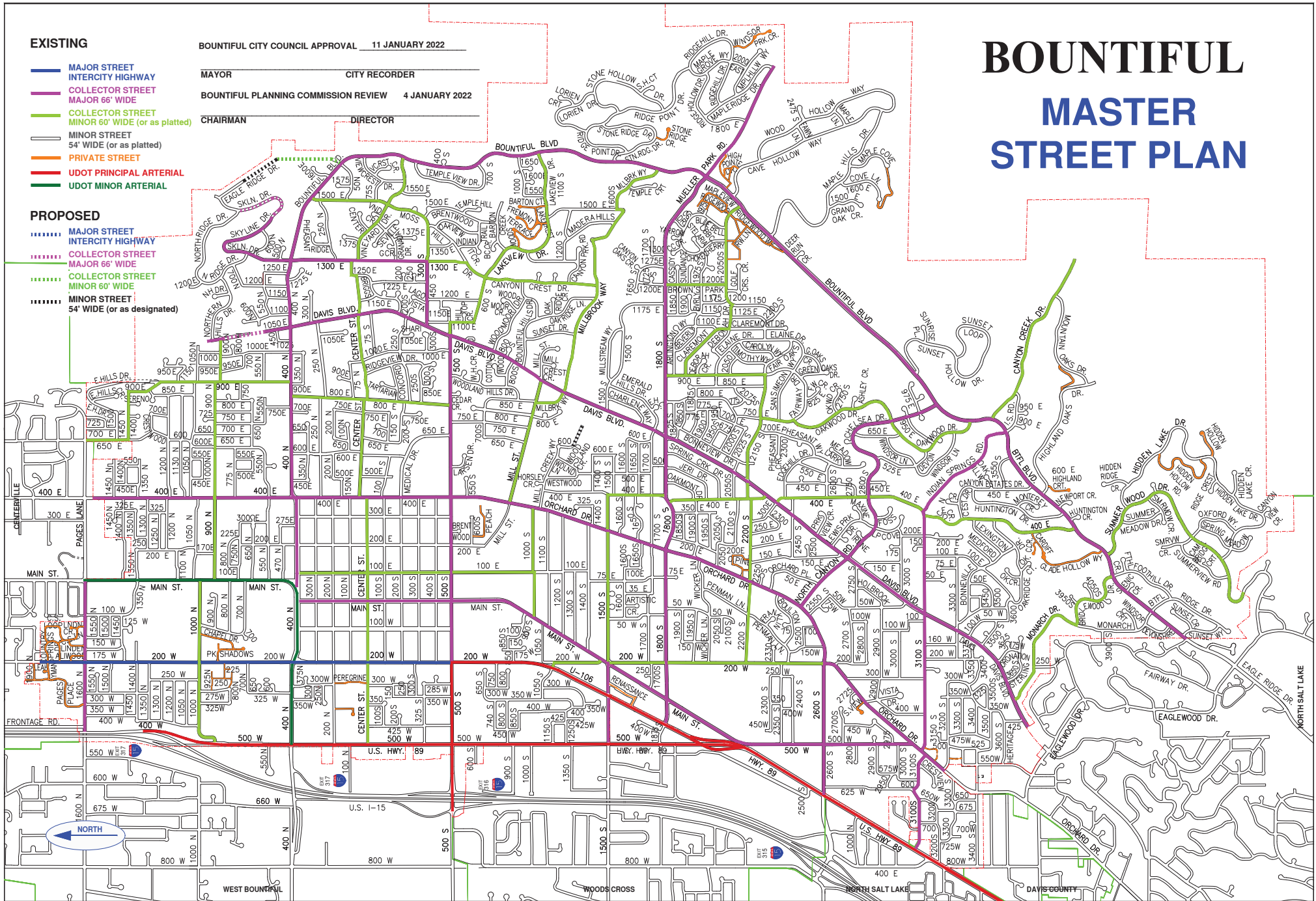
BOUNTIFUL CITY COUNCIL APPROVAL 11 JANUARY 2022

MAYOR _____ CITY RECORDER _____

BOUNTIFUL PLANNING COMMISSION REVIEW 4 JANUARY 2022

CHAIRMAN _____ DIRECTOR _____

BOUNTIFUL MASTER STREET PLAN



Minutes of the
BOUNTIFUL CITY COUNCIL
July 9, 2024 – 6:00 p.m.

Official notice of the City Council Meeting was given by posting an agenda at City Hall and on the Bountiful City Website and the Utah Public Notice Website and by providing copies to the following newspapers of general circulation: Davis County Journal and Standard Examiner.

Work Session – 6:00 p.m.
City Council Chambers

Present:	Mayor	Kendalyn Harris
	Councilmembers	Jesse Bell, Kate Bradshaw, Richard Higginson, Matt Murri, Cecilee Price-Huish
	City Manager	Gary Hill
	Asst. City Manager	Galen Rasmussen
	City Attorney	Brad Jeppsen
	City Engineer	Lloyd Cheney
	Planning Director	Francisco Astorga
	Senior Planner	Amber Corbridge
	Streets Director	Charles Benson
	Recording Secretary	Maranda Hilton

Mayor Harris called the meeting to order at 6:02 p.m. and welcomed those in attendance.

GENERAL PLAN DISCUSSION – MR. FRANCISCO ASTORGA

Mr. Francisco Astorga led a discussion about the transportation element of the General Plan and asked Councilmembers to review the specified goals and actions that were drafted based on the input from consultants, a steering committee, the planning commission and many community members.

Councilmember Price-Huish voiced her opinion that the Council should use more proactive and concrete language when drafting the action items in the transportation section, explaining that she feels as a City Council they should make those goals a priority and do everything in their power to see they are achieved, instead of taking a more passive stance. She asked why none of the active transportation goals laid out in the 2009 Master Plan were accomplished, and Mr. Gary Hill explained that those goals simply were not of the highest priority to the Council at that time, especially when opportunities for other City projects arose.

Councilmember Higginson said, in response to a discussion about making Orchard Drive more bike-friendly, that he was not in favor of reducing the vehicle capacity on Orchard Drive in order to accommodate more cyclists. He also said that only having five miles of dedicated bicycle lanes is woefully insufficient and encouraged finding other streets that are suitable and safe. Mr. Hill added that Orchard was built to alleviate commuter traffic issues on other streets and the Council needs to be aware that decreases to Orchard’s carrying capacity will push traffic elsewhere, for good or for bad. Councilmember Bell added that he hopes they can keep an open mind, because he feels

1 there is a need for an East-West crossing on Orchard Drive, and he hopes they can find a creative
2 way to do that that will not affect carrying capacity.

3 Mr. Hill said it was clear that the entire Council wants more East-West and North-South
4 multi-modal routes in the City, so the General Plan will state that in their actions and goals section,
5 but naming specific streets in the general plan was ill-advised for several reasons. Councilmember
6 Price-Huish said she feels moving forward without a commitment to an implementation plan will
7 result in another 15 years of no action being taken. Mayor Harris said the Council can talk about
8 creating an implementation plan in addition to the general plan at another time.

9
10 The meeting ended at 7:02 p.m.

11
12
13 **Regular Meeting – 7:00 p.m.**
14 **City Council Chambers**

16 Present:	Mayor	Kendalyn Harris
17	Councilmembers	Jesse Bell, Kate Bradshaw, Richard Higginson, Matt 18 Murri, Cecilee Price-Huish
19	City Manager	Gary Hill
20	Asst. City Manager	Galen Rasmussen
21	City Attorney	Brad Jeppsen
22	City Engineer	Lloyd Cheney
23	Planning Director	Francisco Astorga
24	Streets Director	Charles Benson
25	Senior Planner	Amber Corbridge
26	Assistant Planner	Jonah Hadlock
27	Recording Secretary	Maranda Hilton

28
29
30 **WELCOME, PLEDGE OF ALLEGIANCE AND THOUGHT/PRAYER**

31 Mayor Harris called the meeting to order at 7:05 p.m. and welcomed those in attendance. Mr.
32 Michael Lambert led the Pledge of Allegiance and Mr. Bryce Hansen, Bountiful Utah Stake, offered
33 a prayer.

34
35 **PUBLIC COMMENT**

36 The public comment section was opened at 7:08 p.m.

37
38 Mr. Michael Lambert (Layton) said that he is running for a seat on the Davis County
39 Commission and wanted to introduce himself. He said he had a career in social work and cares a lot
40 about children’s issues, the aging population, sustainable growth and environmental conservation.

41
42 Ms. Sunae Lee (2119 South Davis Blvd) had questions about changes being made to single-
43 family lots in the residential zones. Mayor Harris directed her to ask her questions to Ms. Corbridge
44 and Mr. Hadlock from the Planning Department.

45
46 The public comment section was closed at 7:11 p.m.

1
2
3 **CONSIDER APPROVAL OF MINUTES OF PREVIOUS MEETING HELD JUNE 25, 2024**

4 Councilmember Price-Huish made a motion to approve the minutes of a previous meeting
5 held June 25, 2024, and Councilmember Higginson seconded the motion. The motion passed with
6 Councilmembers Bell, Bradshaw, Higginson, Murri, and Price-Huish voting “aye.”
7

8 **COUNCIL REPORTS**

9 Councilmember Bell did not have a report.

10 Councilmember Bradshaw reported that the South Davis Recreation District Board swore in
11 Mr. John Norman (Bountiful) and Mr. Brett Steadman (Woods Cross) at their meeting yesterday.
12 Efforts to work with the school district for pool funding will continue.

13 Councilmember Higginson did not have a report.

14 Councilmember Murri thanked all the first responders for their extra work during these
15 summer holidays.

16 Councilmember Price-Huish did not have a report.

17 Mayor Harris reported that the homelessness task force is still looking at options for Code
18 Blue shelters. They are also considering ideas for more permanent shelters that can provide beds
19 year-round. She said she is pushing for a rubric to be used when assessing possible locations.
20 Councilmember Bradshaw thanked Mayor Harris for her work on this task force and asked her to
21 help ensure this additional cost of homelessness housing does not fall upon the cities instead of
22 falling to the County as it historically has.
23

24 **BCYC REPORT**

25 Mr. Camden Mumford, BCYC Treasurer, reported that they are starting their regular meeting
26 schedule, and they recently participated in the Car Show and the Chalk Art Festival. They have the
27 goal to focus on committee assignments and getting the individual members more involved in the
28 planning of these events. They will also be carrying the flag in the Handcart Days Parade, together
29 with the North Salt Lake and Woods Cross Youth Councils. They are also planning on hosting the
30 “Stomp on Main” activity on August 13th at Town Square.

31 Councilmember Bell thanked the BCYC for all they do and said they deserve a round of
32 applause for their service in the community. They are called upon to help with almost every activity
33 in the City.
34

35 **CONSIDER APPROVAL OF:**

- 36 a. **EXPENDITURES GREATER THAN \$1,000 PAID JUNE 19 & 26, 2024**
37 b. **MAY 2024 FINANCIAL REPORT**

38 Councilmember Bell made a motion to approve the expenditures paid June 19 & 26, 2024,
39 and the May 2024 financial report and Councilmember Higginson seconded the motion. The motion
40 passed with Councilmembers Bell, Bradshaw, Higginson, Murri, and Price-Huish voting “aye.”
41

42 **CONSIDER APPROVAL OF THE PRELIMINARY/FINAL ARCHITECTURAL AND SITE**
43 **PLAN APPLICATION FOR A CHANGE OF USE AT 750 SOUTH MAIN STREET, SUITE**
44 **102 – MS. AMBER CORBRIDGE**

45 Ms. Corbridge explained this change of use application requires a site plan review by the City
46 Council for approval. The applicant is requesting to change the property from a professional office to

1 a retail shop, which is permitted in this zone. The Planning Commission has reviewed the application
2 and forwarded a positive recommendation to the Council. The parking count does not meet the
3 current standards of the code, but the new use would not increase the level of nonconformity at this
4 site, so staff recommends approval of the change of use application.

5 Councilmember Bradshaw made a motion to approve the site plan and change of use
6 application and Councilmember Bell seconded the motion. The motion passed with Councilmembers
7 Bell, Bradshaw, Higginson, Murri, and Price-Huish voting “aye.”

8
9 **CONSIDER APPROVAL OF THE PRELIMINARY/FINAL ARCHITECTURAL AND SITE**
10 **PLAN REVIEW FOR A CHANGE OF USE FROM PRIVATE SCHOOL TO SALON SUITES**
11 **AT 146 WEST 300 SOUTH – MR. JONAH HADLOCK**

12 Mr. Hadlock explained that the applicant would like to change a private school into salon
13 suites for rent. The size of the lot does not allow for both the minimum landscaping and minimum
14 parking requirements to be met, so staff has determined that creating enough parking should take
15 priority over landscaping and is allowing the applicant to move forward. The proposed site plan will
16 increase the amount of landscaping compared to the existing site. Staff has also proposed a
17 photometric plan for the applicant to bring the outdoor lighting up to code for this site.

18 Councilmember Bell made a motion to approve the site plan and change of use application
19 and Councilmember Murri seconded the motion. The motion passed with Councilmembers Bell,
20 Bradshaw, Higginson, Murri, and Price-Huish voting “aye.”

21
22 **CONSIDER APPROVAL OF THE PURCHASE OF A PSA 1000 DAILY COVER FROM LSC**
23 **ENVIRONMENTAL IN THE AMOUNT OF \$115,888 – MR. CHARLES BENSON**

24 Mr. Charles Benson explained that the landfill has been researching ways to extend the life of
25 the landfill. They currently use a six-inch covering of dirt to cover the daily refuse at the landfill, but
26 they found a system that only requires a half inch covering using a spray mixture that locks the refuse
27 into place, so it does not blow away in the wind. This will significantly increase the life of the landfill
28 and take less time to apply.

29 Councilmember Price-Huish asked what the mixture is made of. Mr. Benson answered that
30 there are several options, but staff is going to try both the bentonite clay mixture and the paper
31 mache-type mixture to see how they compare.

32 Councilmember Bradshaw asked how the cost of dirt compares to the cost of this special
33 mixture. Mr. Benson said he is not sure exactly how the cost will compare to dirt cover yet. He plans
34 to buy a sample of the product to start and see how long it lasts.

35 Councilmember Higginson asked if the bentonite mixture will cause slumping issues. Mr.
36 Benson said, because the layers are sprayed so thin, it will not cause any slumping issues on the
37 slopes of the landfill.

38 Councilmember Price-Huish asked how much height is being added to the landfill each day.
39 Mr. Benson said that about four feet are added to the specific cell they are using that day.

40 Councilmember Murri made a motion to approve the purchase of the PSA 1000 Daily Cover
41 from LSC Environmental and Councilmember Price-Huish seconded the motion. The motion passed
42 with Councilmembers Bell, Bradshaw, Higginson, Murri, and Price-Huish voting “aye.”

43
44 **CONSIDER APPROVAL OF THE PURCHASE OF A TANA H555 COMPACTOR FROM**
45 **HUMDINGER EQUIPMENT COMPANY AND A FULL GEMINI DUAL-ANTENNA GPS**

1 **SYSTEM FROM GEOLOGIC IN THE TOTAL AMOUNT OF \$1,198,575 – MR. CHARLES**
2 **BENSON**

3 Mr. Benson explained that the compactor at the landfill has failed and they need to purchase a
4 replacement. After researching the available options, staff has found that the Tana compactor not
5 only does the best job of compacting, but it also came in at a very reasonable price. The compactor
6 will also need to be outfitted with a GPS system that is compatible with the one currently being used
7 at the landfill; the Gemini system from Geologic. The compactor costs \$1,161,000 and the GPS
8 system costs \$37,575.

9 Councilmember Bell made a motion to approve the purchase of the compactor and the GPS
10 system as presented and Councilmember Bradshaw seconded the motion. The motion passed with
11 Councilmembers Bell, Bradshaw, Higginson, Murri, and Price-Huish voting “aye.”

12 Councilmember Price-Huish asked what the lead time is for getting the compactor. Mr.
13 Benson said they hope it will arrive in October.

14
15 **CONSIDER APPROVAL OF THE PURCHASE OF A PETERBILT 520 CHASSIS FROM**
16 **JACKSON GROUP PETERBILT AND A LABRIE REFUSE BODY FROM SIGNATURE**
17 **EQUIPMENT FOR SANITATION IN THE TOTAL AMOUNT OF \$378,988 – MR.**
18 **CHARLES BENSON**

19 Mr. Benson explained that this side-loading refuse truck will be for the sanitation department.
20 The department has five “first line” trucks that are used daily for six years, then they become spare
21 rotation trucks. He mentioned that it is still difficult to acquire vehicles and equipment, but they were
22 able to obtain a Peterbilt chassis for \$211,988 and a LaBrie refuse body for \$167,000.

23 Councilmember Price-Huish asked when these garbage trucks will arrive. Mr. Benson said he
24 is not certain, but he hopes they will arrive around September or October.

25 Councilmember Higginson asked if the fleet already has Peterbilt units. Mr. Benson said that
26 most of the fleet are Peterbilts.

27 Councilmember Murri made a motion to approve the purchase of the chassis and body for a
28 garbage truck and Councilmember Bradshaw seconded the motion. The motion passed with
29 Councilmembers Bell, Bradshaw, Higginson, Murri, and Price-Huish voting “aye.”

30
31 **CONSIDER APPROVAL OF THE PURCHASE OF A PETERBILT 520 CHASSIS FROM**
32 **JACKSON GROUP PETERBILT AND A LABRIE REFUSE BODY FROM SIGNATURE**
33 **EQUIPMENT FOR RECYCLING IN THE TOTAL AMOUNT OF \$378,988 – MR.**
34 **CHARLES BENSON**

35 Councilmember Higginson made a motion to approve the purchase of the chassis and body
36 for a recycling truck and Councilmember Price-Huish seconded the motion. The motion passed with
37 Councilmembers Bell, Bradshaw, Higginson, Murri, and Price-Huish voting “aye.”

38
39 **CONSIDER APPROVAL OF THE PURCHASE OF TWO TRUCKS FROM RUSH TRUCK**
40 **AND TWO DUMP BODY & SNOWPLOW PACKAGES FROM VIKING-CLIVE**
41 **MANUFACTURING IN THE TOTAL AMOUNT OF \$627,032 – MR. CHARLES BENSON**

42 Mr. Benson explained that his department needs to replace two plow trucks and they found
43 two International chasses from Rush Trucks for \$168,516.10 each and two snowplow packages from
44 Viking-Clive for \$145,000 each. These are all on the State contract.

45 Councilmember Bell made a motion to approve the purchase with the condition that the City
46 Council be allowed to name the new plows and Councilmember Bradshaw seconded the motion with

1 that condition. The motion passed with Councilmembers Bell, Bradshaw, Higginson, Murri, and
2 Price-Huish voting “aye.”
3

4 **CONSIDER APPROVAL OF THE PURCHASE OF A BACKHOE FROM RDO**
5 **EQUIPMENT IN THE AMOUNT OF \$154,343 – MR. CHARLES BENSON**

6 Mr. Benson explained that it is time to replace the 2011 John Deere backhoe used in the road
7 patching division. They found a John Deere 410P backhoe on the State contract and it will meet the
8 needs of the department.

9 Councilmember Price-Huish made a motion to approve the purchase of the backhoe and
10 Councilmember Bell seconded the motion. The motion passed with Councilmembers Bell, Bradshaw,
11 Higginson, Murri, and Price-Huish voting ‘aye.’
12

13 **CONSIDER THE APPROVAL OF THE PURCHASE OF A BRINEMASTERS BM6 BRINE**
14 **MAKER WITH REMOVABLE CONTROLS FROM BRINEMASTERS LLC IN THE**
15 **AMOUNT OF \$64,242 – MR. CHARLES BENSON**

16 Mr. Benson explained that this equipment creates a brine solution by wetting the road salt
17 prior to it being sprayed on the roads, which allows it to activate more quickly, and returns roads to
18 black top in almost half the time that dry salt does. His department has been looking into this process
19 for quite a while, but it was not until they found this piece of equipment, which does not require
20 large, covered holding tanks to be installed, that they decided to make the change over to brining.
21 They found it on a Minnesota State contract and were able to get a good price.

22 Councilmember Price-Huish asked if this will save the City money in the long run on salt
23 costs. Mr. Benson said a 10-15% reduction in salt usage is very normal, but they cannot know until
24 they start using it.

25 Councilmember Bell made a motion to approve the purchase of the brine maker, with the
26 condition that Mr. Benson stay employed at Bountiful City for the next several decades and
27 Councilmember Price-Huish seconded the motion. The motion passed with Councilmembers Bell,
28 Bradshaw, Higginson, Murri, and Price-Huish voting “aye.”
29

30 **CONSIDER APPROVAL OF RESOLUTION 2024-09 AUTHORIZING THE SUBMISSION**
31 **OF A RAP TAX BALLOT QUESTION TO THE RESIDENTS OF BOUNTIFUL CITY IN**
32 **THE GENERAL ELECTION TO BE HELD NOVEMBER 5, 2024 – MR. GALEN**
33 **RASMUSSEN**

34 Mr. Galen Rasmussen presented the process for submitting a question about the RAP Tax
35 reauthorization to the ballot for the November general election. The Council must first pass a
36 resolution that will be sent to the county election clerk and the lieutenant governor. The question will
37 read “Shall the City of Bountiful, Utah be authorized to impose a 0.1% sales and use tax to fund
38 parks improvements, recreational improvements and cultural facilities and organizations for the City
39 of Bountiful?” The election will be held on November 5th, and if the RAP Tax passed, the Council
40 would need to adopt an ordinance at that point to enact the tax.

41 Councilmember Higginson asked if the wording could be changed to reflect that this is a
42 reauthorization of an existing tax and that taxes will not be increasing. Mr. Rasmussen said wording
43 for the ballot has restrictions on it, but the voter information pamphlet states very clearly that this is a
44 reauthorization of an existing tax, and the title of the ballot question will also say “reauthorization.”

1 Councilmember Price-Huish asked if “Recreation, Arts and Parks” can be used instead of
2 “RAP”, so that those unfamiliar with the acronym will know what the tax is used for. Mr. Rasmussen
3 answered that they could probably do that.

4 Councilmember Price-Huish asked about the \$14,000 cost of putting this question on the
5 ballot. Mr. Rasmussen answered that the cost is for printing the voter information pamphlets and
6 distributing those to every resident, and also the county assessed a \$2,000 processing fee for their
7 additional staff time.

8 Councilmember Bradshaw made a motion to approve Resolution 2024-09 and
9 Councilmember Higginson seconded the motion. The motion passed with Councilmembers Bell,
10 Bradshaw, Higginson, Murri, and Price-Huish voting “aye.”

11
12 **ADJOURN TO AN RDA MEETING WITH A SEPARATE AGENDA**

13 Councilmember Murri made a motion to adjourn the meeting and move to an RDA meeting
14 with a separate agenda and Councilmember Bradshaw seconded the motion. The motion was
15 approved with Councilmembers Bell, Bradshaw, Higginson, Murri, and Price-Huish voting “aye.”
16

17 The regular session was adjourned at 8:02 p.m.
18

Mayor Kendalyn Harris

City Recorder

City Council Staff Report

Subject: Expenditures for Invoices > \$1,000 paid
July 3, 10, 17, 24 & 31, 2024

Author: Tyson Beck, Finance Director

Department: Finance

Date: August 13, 2024



Background

This report is prepared following the weekly accounts payable run. It includes payments for invoices hitting expense accounts equaling or exceeding \$1,000.

Payments for invoices affecting only revenue or balance sheet accounts are not included. Such payments include: those to acquire additions to inventories, salaries and wages, the remittance of payroll withholdings and taxes, employee benefits, utility deposits, construction retention, customer credit balance refunds, and performance bond refunds. Credit memos or return amounts are also not included.

Analysis

Unless otherwise noted and approved in advance, all expenditures are included in the current budget. Answers to questions or further research can be provided upon request.

Department Review

This report was prepared and reviewed by the Finance Department.

Significant Impacts

None

Recommendation

Council should review the attached expenditures.

Attachments

Weekly report of expenses/expenditures for invoices equaling or exceeding \$1,000, paid July 3, 10, 17, 24 & 31, 2024.

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00
Paid July 3, 2024**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
	Insight Communications, LLC	RDA	737300 471100	Land	2,400,500.00	Wire Transfer		Purchase of 265 S Main Street property
1078	ALL STAR STRIPING, L	Streets	104410 448000	Operating Supplies	55,224.15	240283 6143		School Striping
1425	BOUNTIFUL HISTORICAL	RAP Tax	838300 492020	RAP Tax Grant Award Payments	6,700.00	240370 07012024		FY 2024-2025 RAP TAX grant
1447	BP ENERGY COMPANY	Light & Power	53 213100	Accounts Payable	13,128.74	240290 21343595		Natural Gas - Contract # 23191
11666	BRONCO FENCE	Cemetery	595900 426000	Bldg & Grnd Suppl & Maint	3,708.00	240291 12329		Fence for Bountiful Cemetery
1815	CROFT POWER EQUIPMEN	Parks	104510 425000	Equip Supplies & Maint	1,701.95	240296 188670		Misc. Parts & Supplies - Cust # 1728
2875	CURTIS BLUE LINE	Police	104210 445100	Public Safety Supplies	8,180.16	240297 PINV911896		Port Air Purifying Respirator
5351	DEERE CREDIT, INC.	Streets	104410 425000	Equip Supplies & Maint	2,168.43	240300 P38030		Transmission Fan - Acct # BOUNT002
5351	DEERE CREDIT, INC.	Golf Course	555500 426100	Special Projects	16,361.80	240299 E07761		John Deere Gator - Stock # U195817
8045	ELITE LANDSCAPE SERV	Parks	104510 426000	Bldg & Grnd Suppl & Maint	2,330.00	240305 24503		Bountiful Dog Park
8045	ELITE LANDSCAPE SERV	Parks	104510 426000	Bldg & Grnd Suppl & Maint	12,720.00	240305 24502		Sensation Park/Mueller Park work
2126	FAIRBANKS SCALES	Landfill Operations	585820 426000	Bldg & Grnd Suppl & Maint	1,247.00	240306 1688030		Maintenance - Customer # 95481
2350	GREEN SOURCE, L.L.C.	Parks	104510 426000	Bldg & Grnd Suppl & Maint	6,330.00	240309 24100		Grass Treatment
2350	GREEN SOURCE, L.L.C.	Golf Course	555500 426000	Bldg & Grnd Suppl & Maint	1,345.00	240309 23259		Grass Treatment
2562	HYDRO SPECIALTIES CO	Water	515100 448650	Meters	18,720.00	240313 28256.002		ERT's Metering
2719	JMR CONSTRUCTION INC	Streets	104410 473400	Concrete Repairs	3,289.51	240315 07012024		Work Completed through June 2024
2719	JMR CONSTRUCTION INC	Storm Water	494900 441260	Wtrway Replcment-Concrete Rpr	72,286.32	240315 07012024		Work Completed through June 2024
3924	JOHNSON CONTROLS	Police	104210 426000	Bldg & Grnd Suppl & Maint	1,600.73	240317 1-133485853180		Install and Parts/Labor - Acct # 1328024
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	1,503.36	240318 11863		Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	1,513.08	240318 11913		Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	1,576.26	240318 11947		Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	1,790.64	240318 11930		Patching - Cust # BOUN02610
2886	LAKEVIEW ROCK PRODUC	Water	515100 461300	Street Opening Expense	1,950.62	240319 425337		Road Base - Cust # BCTY07399
13969	LAUNCH CONSTRUCTION	Trails	454550 473102	Improv. Other Than Bldg-RAPTx\$	16,113.00	240320 2406-1		North Canyon Trailhead Sign
2983	M & M ASPHALT SERVIC	Streets	104410 473210	Road Recondition & Repair	108,886.95	240325 I24114		Slurry for Bountiful City
15465	MONROE, LEZLEE	Legislative	104110 492080	Community Events-BntflComServC	1,200.00	240327 1101		The RaVens Band performance on 6/28 for Bountiful
3375	OLYMPUS INSURANCE AG	Legislative	104110 451100	Insurance & Surety Bonds	8,586.94	240381 16929		FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Legal	104120 451100	Insurance & Surety Bonds	6,411.73	240381 16929		FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Executive	104130 451100	Insurance & Surety Bonds	4,335.14	240381 16929		FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Human Resources	104134 451100	Insurance & Surety Bonds	2,982.63	240381 16929		FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Information Technology	104136 451100	Insurance & Surety Bonds	8,211.04	240381 16929		FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Finance	104140 451100	Insurance & Surety Bonds	17,885.95	240381 16929		FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Police	104210 451100	Insurance & Surety Bonds	113,502.82	240381 16929		FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Streets	104410 451100	Insurance & Surety Bonds	57,621.18	240381 16929		FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Engineering	104450 451100	Insurance & Surety Bonds	11,799.60	240381 16929		FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Parks	104510 451100	Insurance & Surety Bonds	19,500.77	240381 16929		FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Planning	104610 451100	Insurance & Surety Bonds	5,835.30	240381 16929		FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Storm Water	494900 451100	Insurance & Surety Bonds	13,571.76	240381 16929		FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Fiber	505000 451100	Insurance & Surety Bonds	2,567.94	240381 16929		FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Water	515100 451100	Insurance & Surety Bonds	48,854.25	240381 16929		FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Light & Power	535300 448613	Power Plant Operating Costs	194,232.66	240381 16929		FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Light & Power	535300 448627	Echo Hydro Operating Costs	21,666.90	240381 16929		FY 2024-2025 Insurance Premiums

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
3375	OLYMPUS INSURANCE AG	Light & Power	535300 448628	Pineview Hydro Operating Costs	14,998.46	240381	16929	FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Light & Power	535300 448631	Hydro Transmission	22,223.52	240381	16929	FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Light & Power	535300 451100	Insurance & Surety Bonds	203,582.81	240381	16929	FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Golf Course	555500 451100	Insurance & Surety Bonds	21,680.77	240381	16929	FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Refuse Collection Operations	585800 451100	Insurance & Surety Bonds	14,396.00	240381	16929	FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Landfill Operations	585820 451100	Insurance & Surety Bonds	22,212.79	240381	16929	FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Cemetery	595900 451100	Insurance & Surety Bonds	6,736.80	240381	16929	FY 2024-2025 Insurance Premiums
3375	OLYMPUS INSURANCE AG	Redevelopment Agency	737300 451100	Insurance & Surety Bonds	2,101.24	240381	16929	FY 2024-2025 Insurance Premiums
3549	PREMIER VEHICLE INST	Police	104210 425430	Service & Parts	1,088.00	240337	44728	Gun Lock
14936	REDLINE ROOFING	Golf Course	555500 472100	Buildings	19,735.00	240342	I231212323a	Final payment for Maintenance Building roof
3812	SAFETY SUPPLY & SIGN	Streets	104410 441300	Street Signs	2,878.40	240344	189992	Misc. Parts & Supplies - Cust ID 00330
3933	SKAGGS COMPANIES, IN	Police	104210 445100	Public Safety Supplies	4,070.93	240346	450_A_231549F_1	Misc. Parts & Supplies
3982	SOUTH DAVIS METRO FI	Fire	104220 431000	Profess & Tech Services	707,035.50	240347	06192024	Quarterly Fire & EMS Services Assessment
6957	SPRINKLER SUPPLY, CO	Parks	104510 426000	Bldg & Grnd Suppl & Maint	1,041.35	240350	WQ8204	Misc. Parts & Supplies
6957	SPRINKLER SUPPLY, CO	Parks	454510 474500	Machinery & Equipment	6,836.55	240350	WS0087	Misc. Parts & Supplies
6957	SPRINKLER SUPPLY, CO	Parks	454510 474500	Machinery & Equipment	44,847.94	240350	WQ6301	Misc. Parts & Supplies
4131	T-MOBILE	Police	104210 428000	Internet & Telephone Expense	1,456.34	240353	06212024A	Account # 992894616
4387	UTAH LEAGUE OF CITIE	Legislative	104110 421000	Books Subscr & Mmbrshp	33,828.19	240386	03142024	FY 2024-2025 Ut League of Cities & Towns Membershi
8034	WASATCH SOUND	Legislative	104110 492080	Community Events-BntflComServC	3,000.00	240360	06282024	Sound Equipment for Bountiful Concerts in the Park
TOTAL:					<u>2,032,892.90</u>			

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00
Paid July 10, 2024**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNTDESC</u>	<u>AMOUNT</u>	<u>CHECKNO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
1078	ALL STAR STRIPING, L	Streets	104410 448000	Operating Supplies	90,308.05	240389	6153	Road Striping for Bountiful City
1220	AT&T MOBILITY	Streets	104410 428000	Internet & Telephone Expense	1,046.12	240445	X06282024	Account # 287314361186
1306	BEARD CONSTRUCTION C	Engineering	104450 453100	Interest Expense	6,632.12	240392	07032024	Release of Bond funds for 2055 on Main PUD
15359	BIG IRON DRILLING	Light & Power	535300 448633	Street Light	70,121.48	240446	1292	Street Light Bore
7669	Centerpoint Theatre	RAP Tax	838300 492020	RAP Tax Grant Award Payments	15,000.00	240396	07092024	FY24-25 RAP Tax Grant Award
9982	DIAMOND TREE EXPERTS	Light & Power	535300 448632	Distribution	10,108.00	240452	76501	Tree Trimming
9982	DIAMOND TREE EXPERTS	Light & Power	535300 448632	Distribution	11,084.00	240452	76499	Tree Trimming
5281	DOMINION ENERGY UTAH	Police	104210 427000	Utilities	1,749.19	240453	07012024E	Account # 3401140000
5039	E.C.T. SALES & SERVI	Water	515100 448400	Dist Systm Repair & Maint	2,009.33	240455	20606	Misc. Parts
2055	ELECTRICAL CONSULTAN	Light & Power	535300 474790	CIP 09 Dist Sub NW Substation	49,884.50	240456	121160	NW Substation Upgrade
2104	ESRI-ENVIRONMENTAL S	Engineering	104450 429200	Computer Software	1,163.00	240460	94749491	ArcGIS Viewer Software - Acct #1496150335
2164	FERGUSON ENTERPRISES	Water	515100 448400	Dist Systm Repair & Maint	1,348.00	240402	1244969	Misc. Parts/Supplies - Cust # 48108
5310	FLEETPRIDE	Landfill Operations	585820 425000	Equip Supplies & Maint	1,469.96	240461	117579964	Misc. Parts/Supplies - Acct # 815961
8701	FOREUP GOLF SOFTWARE	Golf Course	555500 431000	Profess & Tech Services	7,776.00	240403	07-2024-36338	Yearly Subscription - Customer ID 18950
2329	GORDON'S COPYPRINT	Legislative	104110 422000	Public Notices	1,409.00	240462	50141	May 2024 Newsletter Print
2329	GORDON'S COPYPRINT	Legislative	104110 461000	Miscellaneous Expense	2,374.08	240404	55511	Copies of FY2025 Final Adopted City Budget
2478	HIGGINSON, RICHARD	Legislative	104110 423000	Travel & Training	1,114.78	240465	07092024A	Travel&Training Expense for NLC in D.C.
2562	HYDRO SPECIALTIES CO	Water	515100 448650	Meters	17,472.00	240471	28258	ERT's
2562	HYDRO SPECIALTIES CO	Water	515100 448650	Meters	18,720.00	240471	28257.002	ERT's
8756	IRBY ELECTRICAL DIST	Light & Power	535300 445202	Uniforms	1,215.00	240474	S013962308.001	Work Gloves - Cust # 221694
6959	JANI-KING OF SALT LA	Light & Power	535300 424002	Office & Warehouse	1,883.10	240409	SLC07240046	Janitorial Services for July 2024
2830	KIMBALL EQUIPMENT CO	Landfill Operations	585820 425000	Equip Supplies & Maint	2,381.33	240410	PSO156483-1	Motor for Screener - Cust # BP0000215
2886	LAKEVIEW ROCK PRODUC	Water	515100 461300	Street Opening Expense	3,709.30	240476	425380	Road Base - Customer # BCTY07399
13653	LEVELWEAR	Golf Course	555500 448240	Items Purchased - Resale	1,039.75	240478	517970-S1	Hats
3115	MILLARD, MARK	Landfill Operations	585820 474500	Machinery & Equipment	9,914.01	240481	93052	Tools for Landfill crane truck
15142	OLYMPUS REFUSE	Refuse Collection Operations	585800 425000	Equip Supplies & Maint	1,944.00	240418	624439	Parts for Labrie Trucks
15142	OLYMPUS REFUSE	Refuse Collection Operations	585800 425000	Equip Supplies & Maint	1,946.00	240418	624421	Misc. Parts for Labrie Truck
15142	OLYMPUS REFUSE	Refuse Collection Operations	585800 425000	Equip Supplies & Maint	1,973.62	240418	624429	Misc. Parts for Labrie Truck
5550	PARTRIDGE GROUP	Police	104210 432000	Examination & Evaluation	2,100.00	240487	5860	Therapy Sessions
15415	PATRIOT CONSTRUCTION	Police	454210 472100	Buildings	29,590.00	240488	2	Bountiful Police Dept. Restroom Remodel
10820	PEAK ASPHALT, LLC	Streets	104410 473200	Road Materials - Overlay	1,679.00	240490	8-575249	Asphalt Emulsion - Cust # BC17
5429	PERFORMANCE FORD LIN	Light & Power	535300 448635	Vehicles	7,881.31	240491	968091	Transmission Parts and Service - Cust # 675826
5553	PURCELL TIRE AND SER	Refuse Collection Operations	585800 425000	Equip Supplies & Maint	3,481.32	240423	280081182	Tires and Service - Acct # 2801867
10586	ROCKY MOUNTAIN RECYC	Recycle Collection Operations	585810 431550	Recycling Processing Fees	5,777.10	240496	NP-163155	Recycling Fees for June 2024
3812	SAFETY SUPPLY & SIGN	Streets	104410 441300	Street Signs	4,947.68	240498	076710	Misc. Parts/ Supplies - Cust ID 00330
13267	SLATE ROCK FR LLC	Light & Power	535300 445202	Uniforms	4,069.82	240501	78536	FR Uniform/Clothing
4051	STATE OF UTAH	Landfill Operations	585820 431300	Environmental Monitoring	6,817.00	240503	07082024	Landfill Solid Waste Quarterly Fee- 2Q2024
4143	TAYLOR MADE-ADIDAS G	Golf Course	555500 448240	Items Purchased - Resale	1,929.37	240506	37560584	Golf Balls - Acct # 608035
4171	THATCHER COMPANY	Water	515100 448000	Operating Supplies	2,324.60	240507	2024100109681	Cetric Acid - Cust # C1303
4217	TITLEIST	Golf Course	555500 448240	Items Purchased - Resale	1,005.08	240509	918348729	Golf Balls - Acct # US00037847
4217	TITLEIST	Golf Course	555500 448240	Items Purchased - Resale	1,511.23	240509	918265295	Golf Balls - Acct # US00037847
4217	TITLEIST	Golf Course	555500 448240	Items Purchased - Resale	1,693.44	240509	918391143	Gloves - Acct # US00037847
4217	TITLEIST	Golf Course	555500 448240	Items Purchased - Resale	2,694.46	240509	918390350	Golf Balls - Acct # US00037847
4217	TITLEIST	Golf Course	555500 448240	Items Purchased - Resale	3,767.29	240509	918357362	Golf Balls - Acct # US00037847
4217	TITLEIST	Golf Course	555500 448240	Items Purchased - Resale	6,137.37	240509	918253520	Golf Balls - Acct # US00037847

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
4229	TOM RANDALL DIST. CO	Streets	104410 425000	Equip Supplies & Maint	20,931.83	240434	0383062	Fuel - Acct # 000275
4273	TURF EQUIPMENT CO	Golf Course	555500 426000	Bldg & Grnd Suppl & Maint	4,265.54	240435	3024569-01	Misc. Parts/Supplies - Cust # 2144
6483	TURF SOLUTIONS, INC	Golf Course	555500 426000	Bldg & Grnd Suppl & Maint	2,763.65	240513	5183	Turf Supplies
4281	TWIN D INC.	Storm Water	494900 462400	Contract Equipment	72,613.47	240514	26348	Municipal Flushing and Vacuuming of Storm Drain
5322	UCS WIRELESS	Light & Power	535300 448641	Communication Equipment	1,765.00	240515	82252	FY 23-24 Annual Radio Maintenance
					TOTAL:			<u>526,541.28</u>

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00
Paid July 17, 2024**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
15495	BOUNTIFUL PHILHARMON	RAP Tax	838300 492020	RAP Tax Grant Award Payments	10,700.00	240567	07152024	FY2024-2025 RAP Tax Grant Award
1447	BP ENERGY COMPANY	Light & Power	53 213100	Accounts Payable	110,577.95	240524	21348505	Natural Gas Sales - Contract # 23191
11666	BRONCO FENCE	Cemetery	595900 426000	Bldg & Grnd Suppl & Maint	3,708.00	240568	12329	Fence for Bountiful Cemetery
4806	CHEMTECH-FORD, INC	Water	515100 431000	Profess & Tech Services	1,095.00	240527	24E1534	Lab Fees
13180	DAWSON INFRASTRUCTUR	Storm Water	494900 425000	Equip Supplies & Maint	1,576.40	240529	INV214051	Filters for Global Sweeper
13180	DAWSON INFRASTRUCTUR	Storm Water	494900 425000	Equip Supplies & Maint	1,805.39	240529	INV214052	Brooms for Global Sweeper
1924	DELL MARKETING L.P.	Police	104210 429300	Computer Hardware	4,683.84	240530	10759067638	Laptops Computer - Cust # 13129956
5281	DOMINION ENERGY UTAH	Light & Power	53 213100	Accounts Payable	69,929.56	240531	07012024M	Natural Gas Account # 6056810000
2008	DURA-CRETE INC	Water	515100 448400	Dist Systm Repair & Maint	1,390.00	240583	180185	Meter Box - Cust # BOU3385
2008	DURA-CRETE INC	Water	515100 448400	Dist Systm Repair & Maint	1,390.00	240583	180186	Meter Box - Cust # BOU3385
5195	ENERGY MANAGEMENT CO	Water	515100 474500	Machinery & Equipment	90,575.30	240532	145005	Water Treatment Plant - Cust # CITBOU
5195	ENERGY MANAGEMENT CO	Water	515100 474500	Machinery & Equipment	138,650.59	240532	145007	Water Treatment Plant - Cust # CITBOU
2126	FAIRBANKS SCALES	Landfill Operations	585820 426000	Bldg & Grnd Suppl & Maint	1,050.00	240533	1689554	Scale Maintenance - Cust # 95481
2349	GREEN LIGHT BOOKING	Legislative	104110 492080	Community Events-BntflComServC	2,500.00	240588	11327	50% Wildwood perform on 8/9 in Bountiful
2350	GREEN SOURCE, L.L.C.	Golf Course	555500 426000	Bldg & Grnd Suppl & Maint	1,184.00	240589	24221	Grass Treatment
2562	HYDRO SPECIALTIES CO	Water	515100 448650	Meters	9,303.36	240536	28422.001	Meters and Registers
2562	HYDRO SPECIALTIES CO	Water	515100 448650	Meters	13,967.36	240536	28422.002	Meters and Registers
3924	JOHNSON CONTROLS	Police	104210 426000	Bldg & Grnd Suppl & Maint	1,657.34	240537	1-133505471264	Labor and repairs for cooling tower - Acct#1328024
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	1,502.82	240599	12159	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	1,508.76	240599	12144	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	4,538.16	240599	12128	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	1,667.52	240538	12114	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	2,047.68	240538	12063	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	2,277.72	240538	12099	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	2,505.06	240538	12034	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	3,780.00	240538	12085	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	5,160.78	240538	12053	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 473200	Road Materials - Overlay	21,385.62	240538	12018	Paving - Cust # BOUN02610
2983	M & M ASPHALT SERVIC	Streets	104410 473210	Road Recondition & Repair	295,817.83	240606	I24010	Slurry for Bountiful City
6766	MILE HIGH TURFGRASS,	Golf Course	555500 425000	Equip Supplies & Maint	1,613.91	240610	11637	Misc. Parts/Supplies
12628	MOTION AND FLOW	Light & Power	535300 448627	Echo Hydro Operating Costs	5,930.55	240541	9147175	Misc. Parts/Supplies - Cust ID 140473
3186	MOTOROLA	Police	104210 429200	Computer Software	53,688.00	240616	1411099103	Subscription for Account # 1000743551
3195	MOUNTAINLAND SUPPLY	Water	515100 448400	Dist Systm Repair & Maint	1,302.02	240617	S106302976.001	Misc. Parts/Supplies - Cust # 18498
3195	MOUNTAINLAND SUPPLY	Water	515100 448400	Dist Systm Repair & Maint	3,163.19	240617	S106310367.001	Misc. Parts/Supplies - Cust # 18498
3328	NOVOTX, L.L.C.	Water	515100 431000	Profess & Tech Services	11,255.00	240620	INV-00391	Annual Subscription Renewal
10404	PAR WEST TURF SERVIC	Golf Course	555500 426100	Special Projects	1,823.20	240625	INV-PW217443	Hole Cutter
3458	PETERBILT OF UTAH, I	Recycle Collection Operations	585810 474600	Vehicles	211,998.00	240628	738355	Approved by Council Recycling Truck VIN# SF738355
3458	PETERBILT OF UTAH, I	Refuse Collection Operations	585800 474600	Vehicles	211,998.00	240544	697651	Approved by Council Refuse Truck - Vin # SF697651
6148	PLANT, CHRISTENSEN &	Liability Insurance	636300 431000	Profess & Tech Services	2,068.50	240545	88501	Fuentes v. Bountiful City
6148	PLANT, CHRISTENSEN &	Liability Insurance	636300 431000	Profess & Tech Services	3,754.05	240545	88348	Pebley v. Bountiful City
13120	RECYCLE IT	Landfill Operations	585820 448000	Operating Supplies	6,450.00	240546	10462	Mattress Recycling
3832	SALT LAKE MAILING &	Finance	104140 429050	Utility Billing Supplies	50,000.00	240642	07172024	Mailing & Printing Utility Bills
3972	SOLAR TURBINES, INC.	Light & Power	535300 448614	Power Plant Equipment Repairs	2,561.00	240550	AF510075036	Turbine Programing - Acct # 910-2-493203
3985	SOUTH DAVIS SEWER DI	Police	104210 427000	Utilities	2,916.00	240645	07012024Z	Account # 30884-00
9926	STANCIL CORPORATION	PSAP - E911	104219 428000	Internet & Telephone Expense	3,532.00	240551	12073	Maintenance Contract

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
4171	THATCHER COMPANY	Water	515100 448000	Operating Supplies	3,255.52	240651	2024100109908	Chlorine - Cust # C1303
4171	THATCHER COMPANY	Water	515100 448000	Operating Supplies	4,189.33	240651	2024100110273	Fluoride - Cust # C1303
4229	TOM RANDALL DIST. CO	Streets	104410 425000	Equip Supplies & Maint	1,611.30	240654	0383330	Bulk Oil & DEF - Acct # 000275
4229	TOM RANDALL DIST. CO	Golf Course	555500 425000	Equip Supplies & Maint	3,244.53	240654	0383178	Fuel - Acct # 000276
4285	TYLER TECHNOLOGIES,	Water	515100 429300	Computer Hardware	3,200.00	240656	045-475405	Munis Implementations - Cust # 41630
5304	UTAH VOICES, INC.	Legislative	104110 492080	Community Events-BntflComServC	4,500.00	240659	07122024	Bountiful Concert in the Park
4434	VALLEY PAINT MFG	Streets	104410 448000	Operating Supplies	1,041.15	240554	37053	Misc. Parts/Supplies - Cust ID bountiful
8034	WASATCH SOUND	Legislative	104110 492080	Community Events-BntflComServC	5,050.00	240660	07122024	Sound Equipment for Bountiful Concerts
11910	WORLD PAC	Landfill Operations	585820 474500	Machinery & Equipment	1,875.81	240559	98705105	Misc. Parts/Supplies - Cust # 164806
					TOTAL:			<u><u>1,409,957.10</u></u>

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00
Paid July 24, 2024**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>	
1164	ANIXTER, INC.	Light & Power	535300 448632	Distribution	1,728.00	240667	6084984-00	Misc. Parts - Cust # 6000052	
1415	BOUNTIFUL DAVIS ART	Legislative	104110 492010	Contr-Btfl/Davis Art Ctr	30,000.00	240671	07222024	BDAC 1st half Distribution for Grant	
1415	BOUNTIFUL DAVIS ART	RAP Tax	838300 492020	RAP Tax Grant Award Payments	33,425.00	240671	07222024A	FY2024-2025 RAP Tax Grant Award	
1596	CATE RENTAL & SALES,	Streets	104410 425000	Equip Supplies & Maint	4,562.44	240677	Z39696	Misc. Parts/Supplies - Cust # 02308	
4806	CHEMTECH-FORD, INC	Water	515100 431000	Profess & Tech Services	1,100.00	240679	24G1203	Lab Fees	
14651	CREATIVE TRAILS, INC	Trails	454550 473101	Improv. Other Than Bldg-Bond \$	4,200.00	240683	07232024	Project Management Fees for Jun 25-Jul 23,2024	
9982	DIAMOND TREE EXPERTS	Light & Power	535300 448632	Distribution	8,867.20	240685	76507	Tree Trimming	
9982	DIAMOND TREE EXPERTS	Light & Power	535300 448632	Distribution	10,073.20	240685	76509	Tree Trimming	
2055	ELECTRICAL CONSULTAN	Light & Power	535300 431000	Profess & Tech Services	1,367.50	240745	122008	Arc Flash Study - Project # BCP-022	
2126	FAIRBANKS SCALES	Landfill Operations	585820 426000	Bldg & Grnd Suppl & Maint	11,827.53	240689	1690147	Scale Maintenance & Repairs	
2141	FARWEST LINE SPECIAL	Light & Power	535300 448636	Special Equipment	3,241.53	240690	7146277	Apprentice Belt & Climb Tools	
2141	FARWEST LINE SPECIAL	Light & Power	535300 448636	Special Equipment	4,793.98	240746	7120712	Lineman Belts, Hools and Tools	
2142	FASTENAL CO	Light & Power	535300 448632	Distribution	1,246.76	240691	UTSL1185528	Heat Shrink - Cust # UTSL10068	
2199	FORCE AMERICA, INC.	Streets	104410 425000	Equip Supplies & Maint	4,363.06	240693	IN001-1840546	Misc. Parts/Supplies	
2229	FRODSHAM BETTER LAWN	Parks	104510 426000	Bldg & Grnd Suppl & Maint	1,045.00	240694	107913	Misc. Parts/Supplies - Cust # 38641	
5458	HANSEN, ALLEN & LUCE	Landfill Operations	585820 431300	Environmental Monitoring	3,544.25	240748	52478	2Q24 Ground Water Sampling - Project #374.04	
13969	LAUNCH CONSTRUCTION	Parks	104510 426000	Bldg & Grnd Suppl & Maint	12,006.84	240705	2405-1	Bountiful Parks work and repairs	
13969	LAUNCH CONSTRUCTION	Parks	104510 426000	Bldg & Grnd Suppl & Maint	13,031.11	240705	2403-1	Bountiful Parks work and repairs	
13969	LAUNCH CONSTRUCTION	Parks	104510 426000	Bldg & Grnd Suppl & Maint	15,587.42	240705	2404-1	Bountiful Parks work and repairs	
3195	MOUNTAINLAND SUPPLY	Water	515100 448400	Dist Systm Repair & Maint	4,752.44	240711	S106310367.002	Meter Setters - Cust # 18498	
15142	OLYMPUS REFUSE	Refuse Collection Operations	585800 425000	Equip Supplies & Maint	1,545.83	240715	624482	Refuse Parts	
5553	PURCELL TIRE AND SER	Recycle Collection Operations	585810 425000	Equip Supplies & Maint	4,156.72	240719	280082381	Tire Service - Acct # 2801867	
15197	RANDALL BROTHERS CON	Golf Course	555500 472100	Buildings	18,384.00	240750	07152024	FY24 capital projects Bountiful Ridge Remodel	
15197	RANDALL BROTHERS CON	Golf Course	555500 472100	Buildings	56,310.00	240750	07152024A	FY24 capital projects Bountiful Ridge Remodel	
3830	SALT LAKE COMMUNITY	Light & Power	535300 423001	Education Benefit	1,491.50	240727	70249E03	Apprentice Registration for Braeden Walker	
3830	SALT LAKE COMMUNITY	Light & Power	535300 423001	Education Benefit	8,673.50	240727	BD54577D	Apprentice Registration	
15518	SANBORN	Planning	104610 448000	Operating Supplies	3,000.00	240752	10004	MapGeo Subscription - Project ID 2023-0384	
3951	SMITH POWER PRODUCTS	Streets	104410 425000	Equip Supplies & Maint	1,613.57	240732	3241671	Misc. Parts/Supplies	
4229	TOM RANDALL DIST. CO	Streets	104410 425000	Equip Supplies & Maint	22,700.64	240736	0383714	Fuel - Acct # 000275	
5000	U.S. BANK CORPORATE	Police	104210 423000	Travel & Training	2,525.98	240754	07102024AS	Misc. Supplies - Acct #4246-0445-5571-8851	
5000	U.S. BANK CORPORATE	Police	104210 424000	Office Supplies	1,203.82	240754	07102024AS	Misc. Supplies - Acct #4246-0445-5571-8851	
5000	U.S. BANK CORPORATE	Liquor Control	104218 445100	Public Safety Supplies	2,365.99	240754	07102024AS	Misc. Supplies - Acct #4246-0445-5571-8851	
5000	U.S. BANK CORPORATE	Streets	104410 425000	Equip Supplies & Maint	2,815.43	240754	07102024JE	Misc. Supplies - Acct #4246-0445-5571-8851	
5000	U.S. BANK CORPORATE	Parks	104510 426000	Bldg & Grnd Suppl & Maint	2,606.41	240754	071020204BH	Misc. Parks Supplies- Acct #4246-0445-5571-8851	
5000	U.S. BANK CORPORATE	Storm Water	494900 425000	Equip Supplies & Maint	2,375.47	240754	07102024SR	Misc. Supplies - Acct #4246-0445-5571-8851	
5000	U.S. BANK CORPORATE	Light & Power	535300 423000	Travel & Training	1,721.43	240754	07102024AJ	Trvl&Train Expense- Acct #4246-0445-5571-8851	
5000	U.S. BANK CORPORATE	Light & Power	535300 423002	Travel Board Members	2,502.01	240754	07102024AJ	Trvl&Train Expense- Acct #4246-0445-5571-8851	
5000	U.S. BANK CORPORATE	Light & Power	535300 448635	Vehicles	1,366.24	240754	07102024AJ	Trvl&Train Expense- Acct #4246-0445-5571-8851	
5000	U.S. BANK CORPORATE	Landfill Operations	585820 474500	Machinery & Equipment	1,050.99	240754	07102024JE	Misc. Supplies - Acct #4246-0445-5571-8851	
15515	UES	Light & Power	535300 474790	CIP 09 Dist Sub NW Substation	12,265.00	240755	00834666	NW Sub Geotech Eng. - Project # 4430.2400021.0000	
10811	UTOPIA FIBER	Fiber	505000 473150	Fiber Network Lines/Conduit	23,400.00	240757	CONBF-007	June 2024 Fiber Network Connection Fees	
10811	UTOPIA FIBER	Fiber	505000 473150	Fiber Network Lines/Conduit	942,197.55	240757	07112024	June 2024 Fiber Construction	
4536	WEBER-BOX ELDER	Light & Power	535300 448628	Pineview Hydro Operating Costs	22,243.54	240758	07172024	2Q2024 Generation	
11910	WORLDPAC	Landfill Operations	585820 474500	Machinery & Equipment	1,050.00	240743	99645622	Impact Wrench - minus Sales Tax(exempt)	
					TOTAL:	<u>1,310,328.88</u>			

Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00

Paid July 31, 2024

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECKNO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
13673	4IMPRINT	Police	104210 422000	Public Notices	2,508.41	240760	12651588	Misc. Parts/Supplies - Acct # 4356734
15520	BEJAC CORPORATION	Streets	104410 425000	Equip Supplies & Maint	2,038.63	240776	C29515	Misc. Parts/Supplies - Acct # BOUNT001
1425	BOUNTFUL HISTORICAL	Legislative	104110 492070	Contr-Btfl Historical Soc	25,000.00	240782	7/31/2024	FY 24-25 Grant
1393	BTS LANDSCAPING PROD	Landfill Operations	585820 462400	Contract Equipment	15,234.25	240761	111	June 2024 Tubgrinding
1393	BTS LANDSCAPING PROD	Landfill Operations	585820 462400	Contract Equipment	22,243.50	240761	110	May 2024 Tubgrinding
1605	CEM AQUATICS	Parks	104510 426000	Bldg & Grnd Suppl & Maint	1,015.00	240788	18408	Water Feature chemicals - Cust # BOU05
1889	DAVIS COUNTY GOVERNMENT	Water	515100 431000	Profess & Tech Services	3,024.00	240794	IN0015794	Lab Fees - Acct ID AR0001475
9982	DIAMOND TREE EXPERTS	Light & Power	535300 448632	Distribution	10,888.80	240764	76503	Tree Trimming
5195	ENERGY MANAGEMENT CO	Engineering	454450 474500	Machinery & Equipment	115,013.53	240765	145008	Bountiful Police Station project
2126	FAIRBANKS SCALES	Landfill Operations	585820 426000	Bldg & Grnd Suppl & Maint	2,752.00	240798	1691386	Scale Maintenance - Cust # 95481
2141	FARWEST LINE SPECIAL	Light & Power	535300 448636	Special Equipment	1,262.00	240766	7128418	Lineman Belts - Cust ID 362880
2164	FERGUSON ENTERPRISES	Water	515100 448400	Dist Systm Repair & Maint	3,467.00	240799	1246098	Misc. Parts/Supplies - Cust # 48108
12227	GRAHAM FIRE APPARAT	Streets	104410 425000	Equip Supplies & Maint	1,247.67	240805	688	Misc. Parts/Supplies
2349	GREEN LIGHT BOOKING	Legislative	104110 492080	Community Events-BntflComServC	2,250.00	240806	11323	50% Fleetwood Visions perform on 8/23/24
2350	GREEN SOURCE, L.L.C.	Golf Course	555500 426000	Bldg & Grnd Suppl & Maint	1,135.00	240807	24285	Vivax Applicator
15529	HB WORKPLACES	Parks	104510 426000	Bldg & Grnd Suppl & Maint	6,180.33	240767	129468	Table and Chairs - Cust Acct BOUNTIFUL
2537	HOSE & RUBBER SUPPLY	Streets	104410 425000	Equip Supplies & Maint	2,820.00	240811	01950675	Misc. Parts/Supplies - Cust # B1580
11418	HUMDINGER EQUIPMENT	Landfill Operations	585820 425000	Equip Supplies & Maint	2,408.77	240812	35378	Misc. Parts/Supplies
11418	HUMDINGER EQUIPMENT	Landfill Operations	585820 425000	Equip Supplies & Maint	2,678.27	240812	35377	Misc. Parts/Supplies
2830	KIMBALL EQUIPMENT CO	Landfill Operations	585820 425000	Equip Supplies & Maint	1,070.87	240818	PSO157865-1	Misc. Parts/Supplies - Cust # BP0000215
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	1,684.80	240819	12227	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	11,336.76	240819	12253	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 473200	Road Materials - Overlay	6,811.02	240819	12197	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 473200	Road Materials - Overlay	9,141.66	240819	12208	Patching - Cust # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 473200	Road Materials - Overlay	10,808.64	240819	12284	Patching - Cust # BOUN02610
2886	LAKEVIEW ROCK PRODUC	Water	515100 461300	Street Opening Expense	2,681.98	240820	426048	Road Base - Cust # BCTY07399
2896	LARRY H. MILLER	Streets	104410 425000	Equip Supplies & Maint	1,088.91	240821	2199835W	Misc. Parts/Supplies - Acct # B11785
9151	MARTIN, GREG	Information Technology	104136 428000	Internet & Telephone Expense	1,038.87	240769	7/30/2024	Employee phone reimbursement
15180	MINT GREEN GROUP	Golf Course	555500 448240	Items Purchased - Resale	3,906.79	240828	INV519057	Men's Wear
5429	PERFORMANCE FORD LIN	Streets	104410 425000	Equip Supplies & Maint	1,241.71	240841	22110	Misc. Parts/Supplies - Acct # 243521-W
5429	PERFORMANCE FORD LIN	Light & Power	535300 448635	Vehicles	2,347.80	240841	968993	Service and Repairs - Cust # 255315-W
5553	PURCELL TIRE AND SER	Landfill Operations	585820 425000	Equip Supplies & Maint	5,888.98	240850	280083014	Tires and Service - Acct # 2801867
3649	RASMUSSEN EQUIPMENT	Landfill Operations	585820 425000	Equip Supplies & Maint	1,494.17	240852	10181884	Misc. Parts/Supplies - Acct # 09503
6957	SPRINKLER SUPPLY, CO	Parks	104510 426000	Bldg & Grnd Suppl & Maint	1,484.23	240862	WV4253	Misc. Parts/Supplies
4171	THATCHER COMPANY	Water	515100 448000	Operating Supplies	4,808.25	240869	202410011653	Chlorine Cylinders - Acct # C1303
4229	TOM RANDALL DIST. CO	Streets	104410 425000	Equip Supplies & Maint	21,858.71	240872	0384356	Acct no: 000275
8128	UNITED RENTALS INC	Cemetery	595900 426000	Bldg & Grnd Suppl & Maint	2,950.00	240877	236464429-001	Large Rammer - Customer # 7178818
4331	USA BLUE BOOK	Water	515100 448400	Dist Systm Repair & Maint	1,326.58	240878	INV00421259	Chlorine Sensors - Cust # 228844
4331	USA BLUE BOOK	Water	515100 448400	Dist Systm Repair & Maint	2,151.71	240878	INV00417616	Sensors - Cust # 228844
4341	UTAH ASSOCIATED MUNI	Light & Power	53 213130	UAMPS Accrual	1,102,134.21	240771	07292024	June 2024 payment for power resources

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
	4450 VERIZON WIRELESS	Light & Power	535300 448641	Communication Equipment	1,758.77	240772	9967948817	Account # 371517689-00001
	11111 VISION BAND UTAH	Legislative	104110 492080	Community Events-BntflComServC	4,000.00	240882	07/25/2024	Bountiful City Music in the Park
	15532 VISION ESTATES, LLC	RDA Revolving Loans	727200 461050	Loaned Monies	890,000.00	240883	07302024	RDA Loan for Construction on New Alphagraphics
	4466 VORTEX PRODUCTIONS,	Parks	104510 462090	Handcart Days Celebration	20,000.00	240884	579359	July 20th Fireworks for Bountiful City
	4522 WATERFORD SYSTEMS	Water	515100 448400	Dist System Repair & Maint	6,124.89	240885	192273	Fluoride Pumps
	7732 WINGFOOT CORP	Police	104210 426000	Bldg & Grnd Suppl & Maint	2,363.85	240889	202362	Janitorial Services for July 2024
TOTAL:					<u>2,344,671.32</u>			

City Council Staff Report

Subject: Preliminary June 2024 Financial Reports
Author: Tyson Beck, Finance Director
Department: Finance
Date: August 13, 2024



Background

These reports include summary revenue, expense, and budget information for all of the City's funds. Both revenues and expenses, including capital outlay, have been included. These reports are only preliminary numbers as there will be some additional revenue & expense changes associated with the final fiscal yearend adjustments. The final numbers for fiscal 2024 will be presented to the Council in November 2024 when the Annual Comprehensive Financial Report (ACFR) is complete and audited. These preliminary financials are presented to the City Council to provide some information on the general financial results of fiscal year 2024.

Analysis

Data within the reports and graphs presented provide detail of preliminary revenue, expense, and budget results for the associated period.

Department Review

These reports were prepared and reviewed by the Finance Department.

Significant Impacts

The FY2024 budget portion of these reports is the amended FY2024 budget, approved by the City Council in June of 2024.

Recommendation

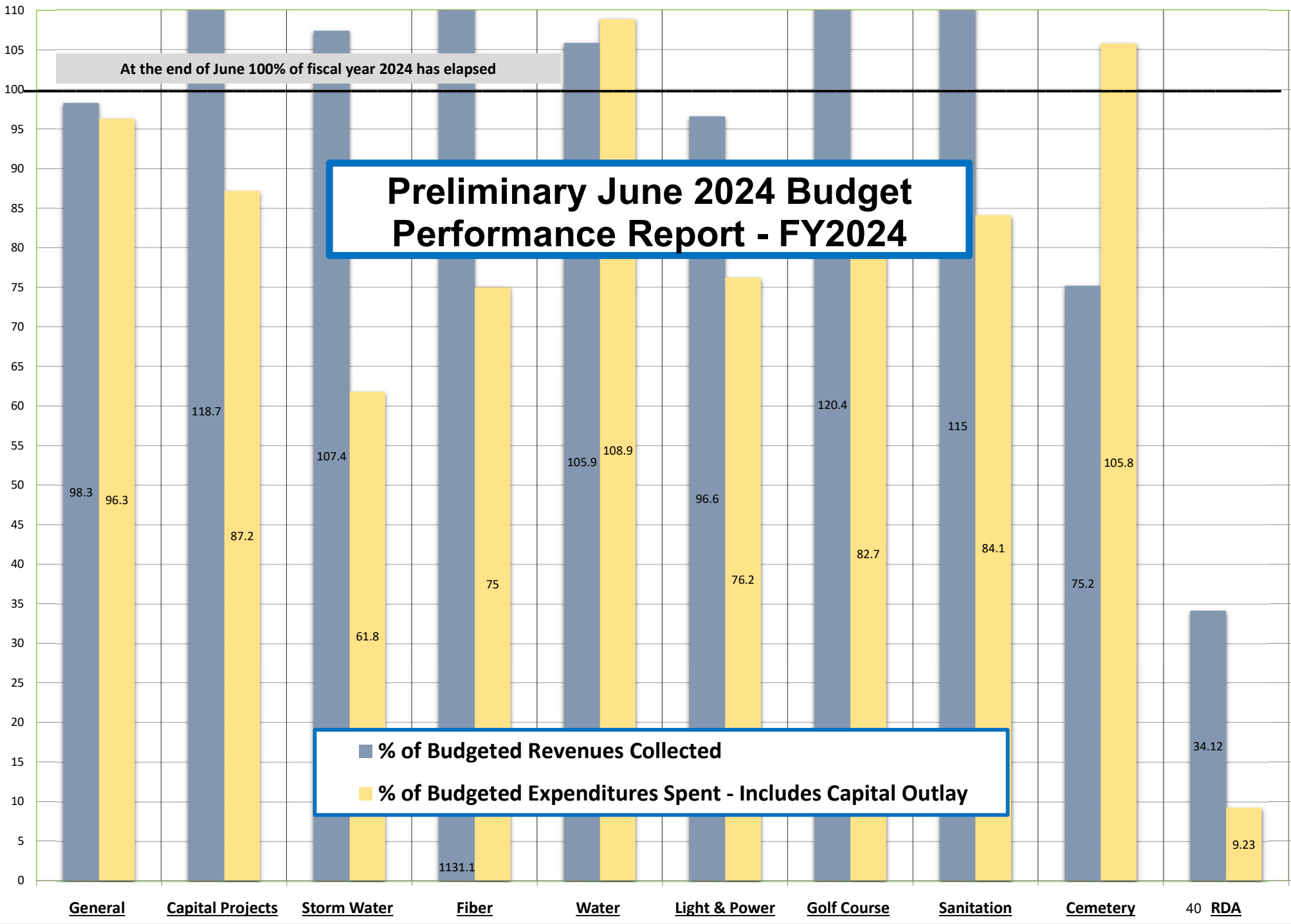
Council should review the attached revenue, expense, and budget reports.

Attachments

- Preliminary June 2024 Revenue & Expense Reports – Fiscal 2024 YTD

Preliminary June 2024 Budget Performance Report - FY2024

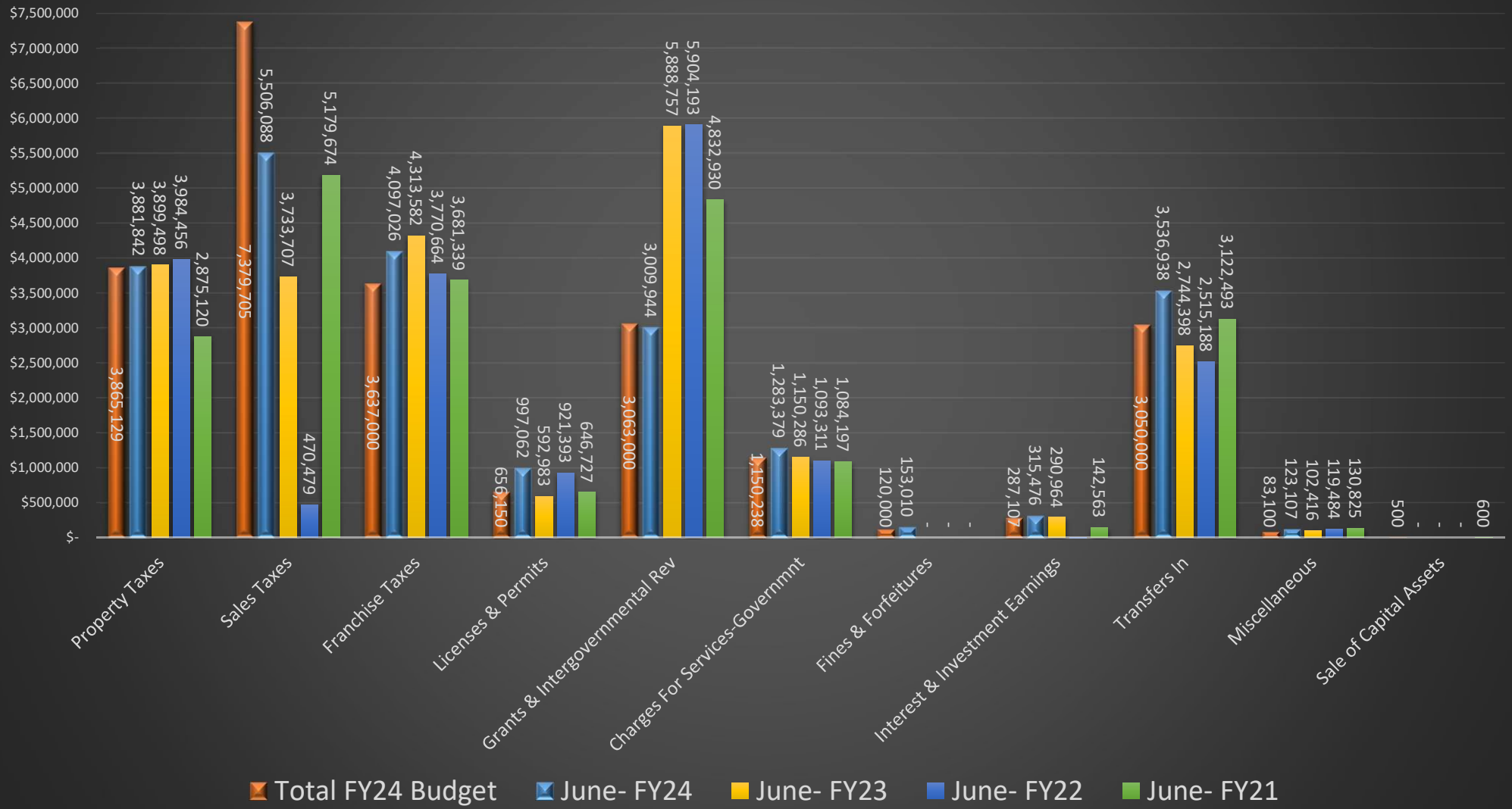
At the end of June 100% of fiscal year 2024 has elapsed



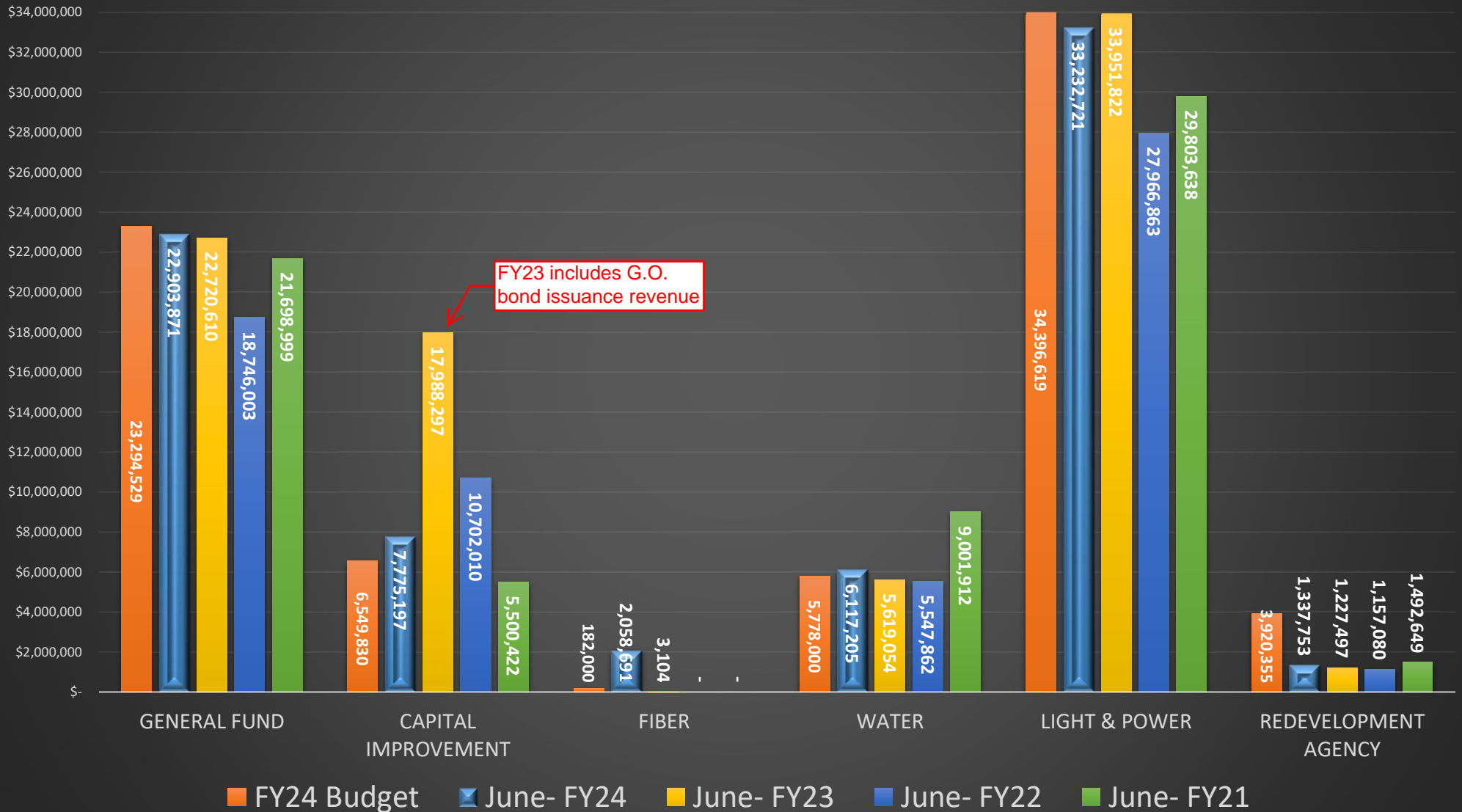
■ % of Budgeted Revenues Collected
 ■ % of Budgeted Expenditures Spent - Includes Capital Outlay

General Fund Detailed Revenues - Preliminary June 2024

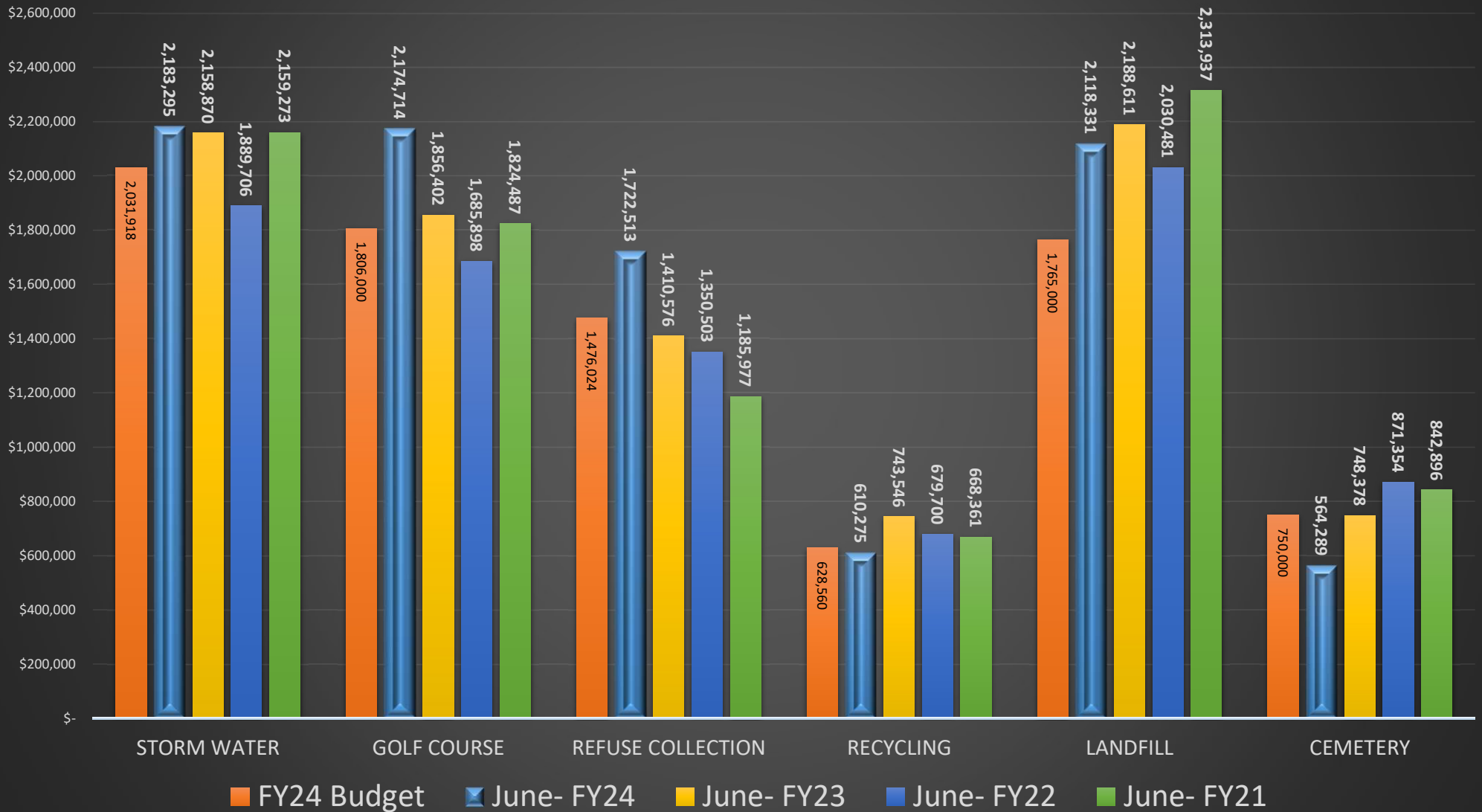
YTD Revenues (Fiscal Year 2024) Compared to Budget and also the Revenues of the Same Timeframe of the Past Three Fiscal Years



Preliminary June 2024 YTD Revenues (Fiscal 2024) Compared to Budget and also the Revenues of Same Timeframe of the Past Three Fiscal Years

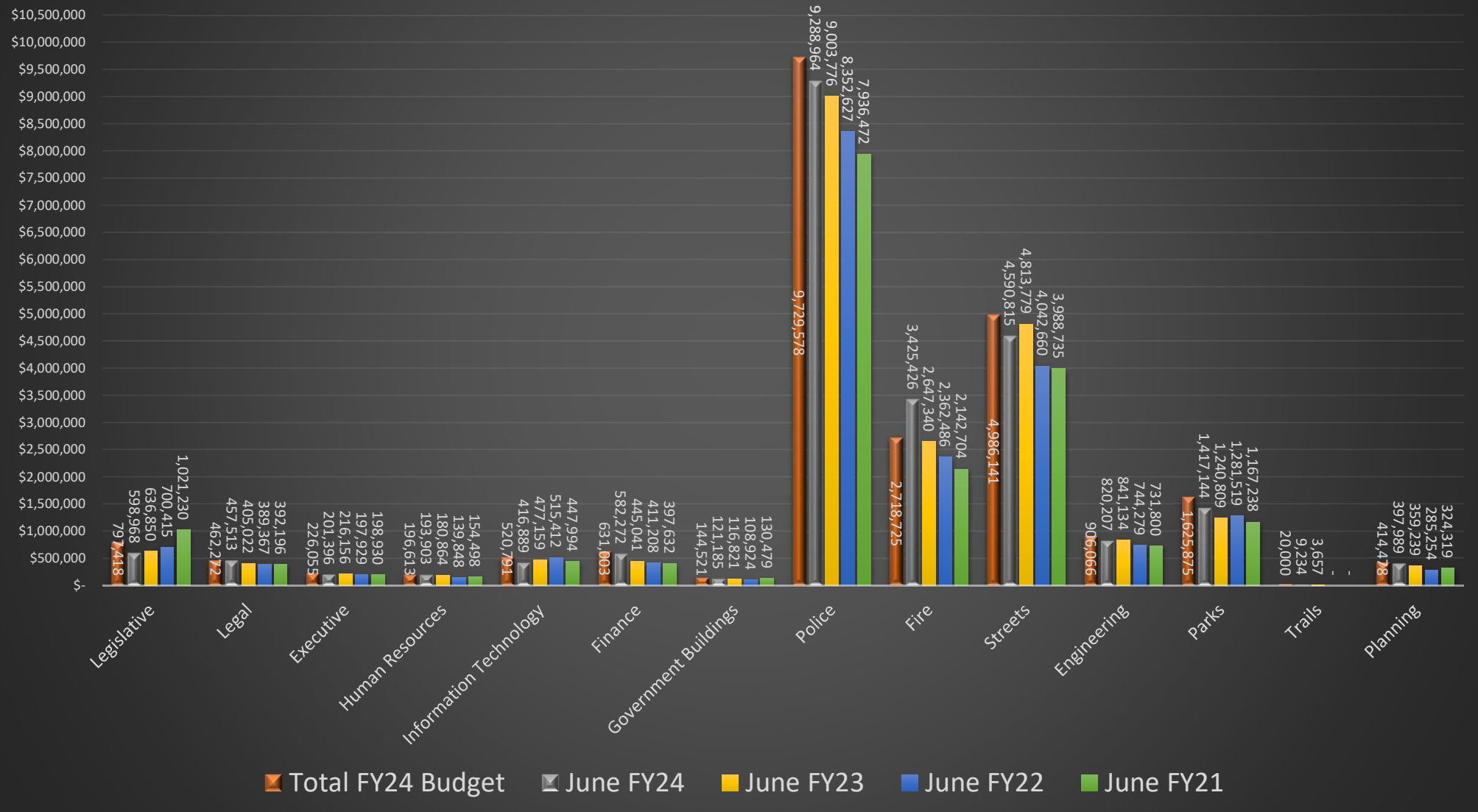


Preliminary June 2024 (Fiscal 2024) YTD Revenues Compared to Budget and also the Revenues of Same Timeframe of the Past Three Fiscal Years

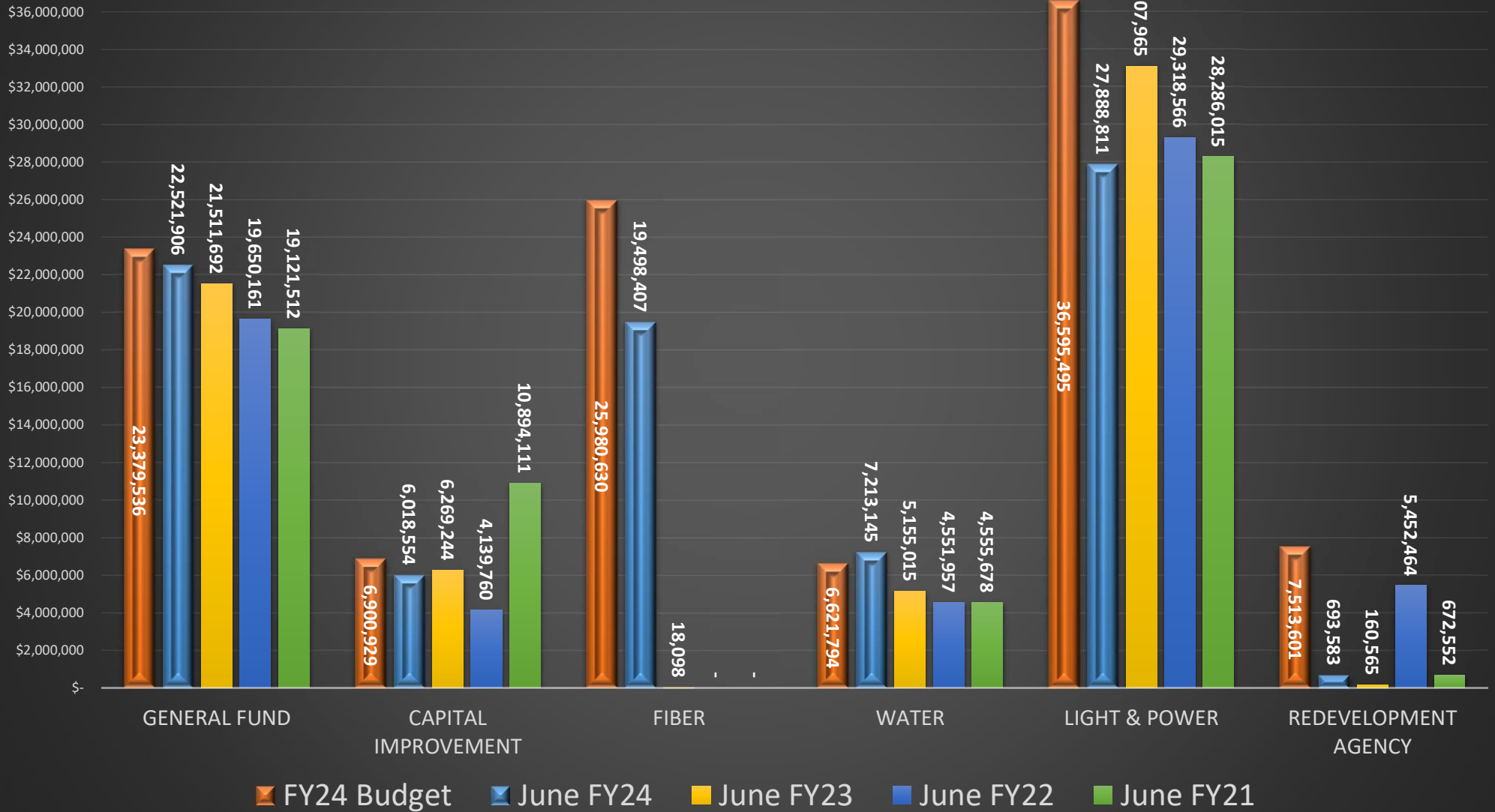


General Fund Detailed Expenditures - Preliminary June 2024

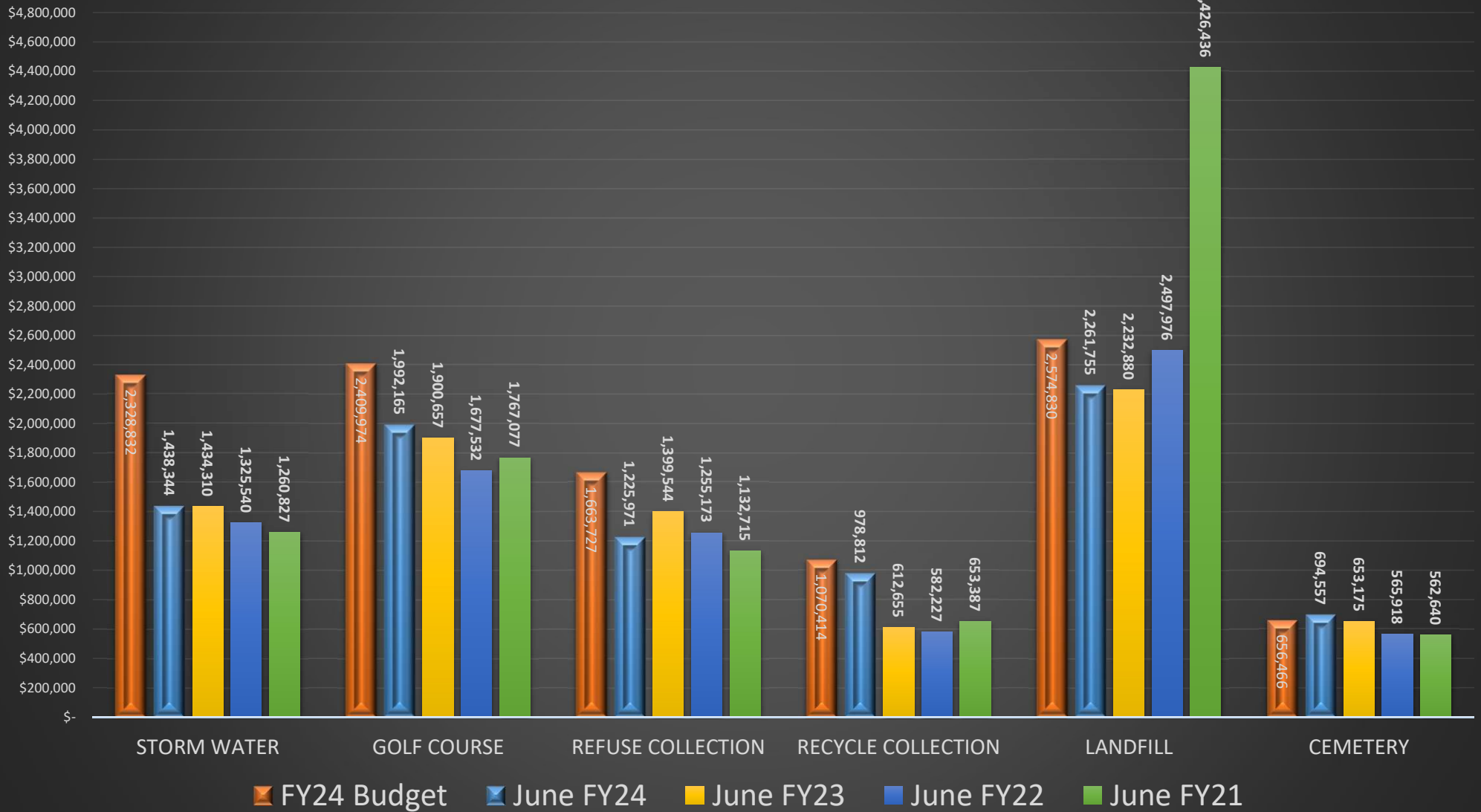
Fiscal 2024 YTD Expenditures Compared to Budget and also the Expenditures of the Same Timeframe of the Past Three Fiscal Years



Preliminary June 2024 YTD (Fiscal 2024) Expenditures Compared to Budget and also the Expenditures of the Same Timeframe of the Past Three Fiscal Years



Preliminary June 2024 YTD (Fiscal 2024) Expenses Compared Budget and also the Expenses of the Same Timeframe of the Past Three Fiscal Years



PRELIM. JUNE 2024-FY24 REVENUE & EXPENSE

FOR 2024 12

	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
10 GENERAL FUND							
1010 Property Taxes	-3,865,129	-3,865,129	-3,881,842.06	-68,137.66	.00	16,713.06	100.4%
1020 Sales Taxes	-7,379,705	-7,379,705	-5,506,087.79	.00	.00	-1,873,617.21	74.6%
1030 Franchise Taxes	-3,637,000	-3,637,000	-4,097,026.21	-413,775.05	.00	460,026.21	112.6%
1040 Property Tax Increment	-2,600	-2,600	.00	.00	.00	-2,600.00	.0%
2000 Licenses & Permits	-656,150	-656,150	-997,061.76	-74,675.87	.00	340,911.76	152.0%
3000 Grants & Intergovernmental Re	-3,063,000	-3,063,000	-3,009,943.94	-167,268.51	.00	-53,056.06	98.3%
3100 Fines & Forfeitures	0	-120,000	-153,010.33	-17,036.24	.00	33,010.33	127.5%
4000 Charges For Services-Governmn	-1,150,238	-1,150,238	-1,283,378.60	-49,125.35	.00	133,140.60	111.6%
4110 Legislative	797,418	797,418	598,968.12	36,389.71	.00	198,449.88	75.1%
4120 Legal	462,272	462,272	457,513.48	44,968.22	.00	4,758.52	99.0%
4130 Executive	226,055	226,055	201,396.22	20,018.58	.00	24,658.78	89.1%
4134 Human Resources	196,613	196,613	193,902.92	18,912.00	.00	2,710.08	98.6%
4136 Information Technology	520,791	520,791	416,888.80	39,812.74	.00	103,902.20	80.0%
4140 Finance	631,003	631,003	582,272.31	62,778.47	.00	48,730.69	92.3%
4160 Government Buildings	144,521	144,521	121,184.50	13,622.43	.00	23,336.50	83.9%
4210 Police	7,402,818	7,402,818	7,120,989.76	756,413.31	.00	281,828.24	96.2%
4215 Reserve Officers	10,000	10,000	.00	.00	.00	10,000.00	.0%
4216 Crossing Guards	163,385	163,385	143,054.70	164.00	.00	20,330.30	87.6%
4217 School Resource Officer	475,799	475,799	407,609.22	35,246.98	.00	68,189.78	85.7%
4218 Liquor Control	43,827	43,827	42,452.85	20,061.45	.00	1,374.15	96.9%
4219 PSAP - E911	1,633,749	1,633,749	1,574,857.48	178,828.79	.00	58,891.52	96.4%
4220 Fire	2,693,725	2,718,725	3,425,425.50	707,035.50	.00	-706,700.50	126.0%
4410 Streets	4,986,141	4,986,141	4,590,814.76	547,608.48	.00	395,326.24	92.1%
4450 Engineering	906,066	906,066	820,207.48	77,643.43	.00	85,858.52	90.5%
4510 Parks	1,565,875	1,625,875	1,417,144.46	208,088.01	.00	208,730.54	87.2%
4550 Trails	20,000	20,000	9,234.09	484.64	.00	10,765.91	46.2%
4610 Planning	414,478	414,478	397,988.95	43,761.34	.00	16,489.05	96.0%
5000 Fiber	-120,000	0	.00	.00	.00	.00	.0%
6000 Miscellaneous	-83,100	-83,100	-123,106.96	-8,334.48	.00	40,006.96	148.1%
6010 Interest & Investment Earning	-287,107	-287,107	-315,475.73	-4,371.81	.00	28,368.73	109.9%
6020 Sale of Capital Assets	-500	-500	.00	.00	.00	-500.00	.0%
8010 Transfers In	-3,050,000	-3,050,000	-3,536,937.65	-442,904.16	.00	486,937.65	116.0%
TOTAL GENERAL FUND	7	85,007	-381,965.43	1,566,208.95	.00	466,972.43	-449.3%
TOTAL REVENUES	-23,294,529	-23,294,529	-22,903,871.03	-1,245,629.13	.00	-390,657.97	
TOTAL EXPENSES	23,294,536	23,379,536	22,521,905.60	2,811,838.08	.00	857,630.40	

30 DEBT SERVICE

PRELIM. JUNE 2024-FY24 REVENUE & EXPENSE

FOR 2024 12

30	DEBT SERVICE	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
1010	Property Taxes	-588,611	-588,951	-575,955.19	-10,641.52	.00	-12,995.81	97.8%
4710	Debt Sevice	561,700	562,040	562,027.36	157,600.00	.00	12.64	100.0%
6010	Interest & Investment Earning	-200	-200	-2,991.71	.00	.00	2,791.71	1495.9%
	TOTAL DEBT SERVICE	-27,111	-27,111	-16,919.54	146,958.48	.00	-10,191.46	62.4%
	TOTAL REVENUES	-588,811	-589,151	-578,946.90	-10,641.52	.00	-10,204.10	
	TOTAL EXPENSES	561,700	562,040	562,027.36	157,600.00	.00	12.64	

45 CAPITAL IMPROVEMENT

1020	Sales Taxes	-3,882,027	-3,882,027	-4,587,986.25	-1,709,227.74	.00	705,959.25	118.2%
3000	Grants & Intergovernmental Re	-907,928	-907,928	-1,074,695.50	-125,000.00	.00	166,767.50	118.4%
4110	Legislative	640,000	640,000	591,106.82	.00	.00	48,893.18	92.4%
4136	Information Technology	70,000	70,000	60,871.09	.00	.00	9,128.91	87.0%
4140	Finance	13,200	13,200	3,950.12	.00	.00	9,249.88	29.9%
4210	Police	871,167	871,167	843,927.85	206,566.28	.00	27,239.15	96.9%
4410	Streets	2,564,000	3,374,562	2,713,137.74	138,700.00	.00	661,424.26	80.4%
4450	Engineering	250,000	250,000	214,749.82	104,263.65	.00	35,250.18	85.9%
4510	Parks	50,000	52,000	103,671.49	51,684.49	.00	-51,671.49	199.4%
4550	Trails	730,000	1,630,000	1,487,138.64	24,644.25	.00	142,861.36	91.2%
6010	Interest & Investment Earning	-760,375	-760,375	-1,398,839.82	-4,689.60	.00	638,464.82	184.0%
6020	Sale of Capital Assets	-40,000	-40,000	-96,882.50	.00	.00	56,882.50	242.2%
8000	Contributions	0	0	-21,893.01	.00	.00	21,893.01	100.0%
8010	Transfers In	-959,500	-959,500	-594,900.00	.00	.00	-364,600.00	62.0%
	TOTAL CAPITAL IMPROVEMENT	-1,361,463	351,099	-1,756,643.51	-1,313,058.67	.00	2,107,742.51	-500.3%
	TOTAL REVENUES	-6,549,830	-6,549,830	-7,775,197.08	-1,838,917.34	.00	1,225,367.08	
	TOTAL EXPENSES	5,188,367	6,900,929	6,018,553.57	525,858.67	.00	882,375.43	

49 STORM WATER

3000	Grants & Intergovernmental Re	0	0	-18,000.00	.00	.00	18,000.00	100.0%
4900	Storm Water	2,328,832	2,328,832	1,438,344.09	346,633.80	.00	890,487.91	61.8%
6000	Miscellaneous	-5,800	-5,800	-7,268.26	-576.00	.00	1,468.26	125.3%
6010	Interest & Investment Earning	-15,000	-15,000	-147,710.98	.00	.00	132,710.98	984.7%
7000	Charge For Services-Proprieta	-2,011,118	-2,011,118	-2,006,496.22	-171,326.63	.00	-4,621.78	99.8%
8020	Impact Fees	0	0	-3,820.00	.00	.00	3,820.00	100.0%
	TOTAL STORM WATER	296,914	296,914	-744,951.37	174,731.17	.00	1,041,865.37	-250.9%
	TOTAL REVENUES	-2,031,918	-2,031,918	-2,183,295.46	-171,902.63	.00	151,377.46	
	TOTAL EXPENSES	2,328,832	2,328,832	1,438,344.09	346,633.80	.00	890,487.91	

PRELIM. JUNE 2024-FY24 REVENUE & EXPENSE

FOR 2024 12

50	FIBER	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
50 FIBER								
5000	Fiber	25,980,630	25,980,630	19,498,406.63	5,233,028.22	.00	6,482,223.37	75.0%
6000	Miscellaneous	-500	-500	.00	.00	.00	-500.00	.0%
6010	Interest & Investment Earning	-500	-500	-1,973,403.85	-290,560.58	.00	1,972,903.85	*****%
7000	Charge For Services-Proprieta	-181,000	-181,000	-85,287.03	-11,349.53	.00	-95,712.97	47.1%
	TOTAL FIBER	25,798,630	25,798,630	17,439,715.75	4,931,118.11	.00	8,358,914.25	67.6%
	TOTAL REVENUES	-182,000	-182,000	-2,058,690.88	-301,910.11	.00	1,876,690.88	
	TOTAL EXPENSES	25,980,630	25,980,630	19,498,406.63	5,233,028.22	.00	6,482,223.37	
51 WATER								
3000	Grants & Intergovernmental Re	0	0	-113,835.60	.00	.00	113,835.60	100.0%
5100	Water	6,621,794	6,621,794	7,213,145.15	961,872.71	.00	-591,351.15	108.9%
6000	Miscellaneous	-2,000	-2,000	-3,203.30	.00	.00	1,203.30	160.2%
6010	Interest & Investment Earning	-60,000	-60,000	-123,811.57	.00	.00	63,811.57	206.4%
6020	Sale of Capital Assets	-20,000	-20,000	.00	.00	.00	-20,000.00	.0%
7000	Charge For Services-Proprieta	-5,546,000	-5,546,000	-5,751,158.24	-617,893.39	.00	205,158.24	103.7%
7010	Connection & Servicing	-40,000	-40,000	-19,455.80	-2,031.50	.00	-20,544.20	48.6%
8020	Impact Fees	-60,000	-60,000	-88,258.00	.00	.00	28,258.00	147.1%
8030	Capital Contributions/Donatio	-50,000	-50,000	-17,482.52	12,838.00	.00	-32,517.48	35.0%
	TOTAL WATER	843,794	843,794	1,095,940.12	354,785.82	.00	-252,146.12	129.9%
	TOTAL REVENUES	-5,778,000	-5,778,000	-6,117,205.03	-607,086.89	.00	339,205.03	
	TOTAL EXPENSES	6,621,794	6,621,794	7,213,145.15	961,872.71	.00	-591,351.15	
53 LIGHT & POWER								
5300	Light & Power	36,595,495	36,595,495	27,888,810.53	2,736,124.37	.00	8,706,684.47	76.2%
6000	Miscellaneous	-122,000	-122,000	-179,321.78	-32,099.86	.00	57,321.78	147.0%
6010	Interest & Investment Earning	-402,689	-402,689	-628,089.44	-1,590.05	.00	225,400.44	156.0%
6020	Sale of Capital Assets	-4,000	-4,000	-5,462.50	.00	.00	1,462.50	136.6%
7000	Charge For Services-Proprieta	-33,242,374	-33,242,374	-32,091,859.82	-2,954,383.86	.00	-1,150,514.18	96.5%
7010	Connection & Servicing	-100,000	-100,000	-90,536.26	-8,578.50	.00	-9,463.74	90.5%
7030	Equipment & Facility Rents	-75,556	-75,556	-76,643.18	.00	.00	1,087.18	101.4%
8030	Capital Contributions/Donatio	-450,000	-450,000	-160,807.83	.00	.00	-289,192.17	35.7%
	TOTAL LIGHT & POWER	2,198,876	2,198,876	-5,343,910.28	-260,527.90	.00	7,542,786.28	-243.0%
	TOTAL REVENUES	-34,396,619	-34,396,619	-33,232,720.81	-2,996,652.27	.00	-1,163,898.19	
	TOTAL EXPENSES	36,595,495	36,595,495	27,888,810.53	2,736,124.37	.00	8,706,684.47	

PRELIM. JUNE 2024-FY24 REVENUE & EXPENSE

FOR 2024 12

55	GOLF COURSE	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
55 GOLF COURSE								
5500	Golf Course	2,409,974	2,409,974	1,992,165.14	-60,791.68	.00	417,808.86	82.7%
6000	Miscellaneous	-3,000	-3,000	-5,289.09	-357.92	.00	2,289.09	176.3%
6010	Interest & Investment Earning	-8,000	-8,000	-31,900.21	.00	.00	23,900.21	398.8%
7020	Admission & Lesson Fees	-998,000	-998,000	-1,215,551.33	-218,491.09	.00	217,551.33	121.8%
7030	Equipment & Facility Rents	-491,000	-491,000	-605,545.14	-111,764.98	.00	114,545.14	123.3%
7040	Concession & Merchandise Sale	-306,000	-306,000	-316,428.00	-40,918.94	.00	10,428.00	103.4%
	TOTAL GOLF COURSE	603,974	603,974	-182,548.63	-432,324.61	.00	786,522.63	-30.2%
	TOTAL REVENUES	-1,806,000	-1,806,000	-2,174,713.77	-371,532.93	.00	368,713.77	
	TOTAL EXPENSES	2,409,974	2,409,974	1,992,165.14	-60,791.68	.00	417,808.86	
58 SANITATION								
3000	Grants & Intergovernmental Re	0	0	-18,000.00	.00	.00	18,000.00	100.0%
5800	Refuse Collection Operations	1,663,727	1,663,727	1,225,971.39	143,291.47	.00	437,755.61	73.7%
5810	Recycle Collection Operations	1,070,414	1,070,414	978,812.48	48,177.27	.00	91,601.52	91.4%
5820	Landfill Operations	2,574,830	2,574,830	2,261,754.73	508,344.75	.00	313,075.27	87.8%
6000	Miscellaneous	0	0	-14.88	.00	.00	14.88	100.0%
6002	Miscellaneous - Landfill	-30,000	-30,000	-39,084.62	-2,321.02	.00	9,084.62	130.3%
6010	Interest & Investment Earning	-58,000	-58,000	-283,609.53	.00	.00	225,609.53	489.0%
6012	Interest Earnings - Landfill	0	0	-177,973.59	-16,297.33	.00	177,973.59	100.0%
6022	Sale of Capital Assets-Landfil	0	0	-10,000.00	.00	.00	10,000.00	100.0%
7000	Charge For Services-Proprieta	-1,418,024	-1,418,024	-1,420,889.08	-121,917.23	.00	2,865.08	100.2%
7001	Charge For Services - Recycle	-628,560	-628,560	-610,275.16	-52,337.17	.00	-18,284.84	97.1%
7002	Charge For Services - Landfil	-1,735,000	-1,735,000	-1,891,272.57	-210,076.11	.00	156,272.57	109.0%
	TOTAL SANITATION	1,439,387	1,439,387	15,419.17	296,864.63	.00	1,423,967.83	1.1%
	TOTAL REVENUES	-3,869,584	-3,869,584	-4,451,119.43	-402,948.86	.00	581,535.43	
	TOTAL EXPENSES	5,308,971	5,308,971	4,466,538.60	699,813.49	.00	842,432.40	
59 CEMETERY								
5900	Cemetery	656,466	656,466	694,556.89	79,952.10	.00	-38,090.89	105.8%
6010	Interest & Investment Earning	-11,000	-11,000	-30,279.14	.00	.00	19,279.14	275.3%
7000	Charge For Services-Proprieta	-462,500	-462,500	-418,735.00	-42,595.00	.00	-43,765.00	90.5%
7050	Cemetery Burial Plot Sales	-276,500	-276,500	-115,275.00	-15,850.00	.00	-161,225.00	41.7%

PRELIM. JUNE 2024-FY24 REVENUE & EXPENSE

FOR 2024 12

	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
TOTAL CEMETERY	-93,534	-93,534	130,267.75	21,507.10	.00	-223,801.75	-139.3%
TOTAL REVENUES	-750,000	-750,000	-564,289.14	-58,445.00	.00	-185,710.86	
TOTAL EXPENSES	656,466	656,466	694,556.89	79,952.10	.00	-38,090.89	
61 COMPUTER MAINTENANCE							
4000 Charges For Services-Governmn	-53,869	-53,869	-120,730.00	.00	.00	66,861.00	224.1%
6010 Interest & Investment Earning	-200	-200	-1,897.65	.00	.00	1,697.65	948.8%
6100 Computer Maintenance	74,640	144,640	124,665.03	23,798.92	.00	19,974.97	86.2%
TOTAL COMPUTER MAINTENANCE	20,571	90,571	2,037.38	23,798.92	.00	88,533.62	2.2%
TOTAL REVENUES	-54,069	-54,069	-122,627.65	.00	.00	68,558.65	
TOTAL EXPENSES	74,640	144,640	124,665.03	23,798.92	.00	19,974.97	
63 LIABILITY INSURANCE							
6010 Interest & Investment Earning	-31,000	-31,000	-35,172.84	-505.04	.00	4,172.84	113.5%
6300 Liability Insurance	766,956	963,656	953,686.56	18,925.22	.00	9,969.44	99.0%
7000 Charge For Services-Proprieta	-591,497	-591,497	-706,782.00	.00	.00	115,285.00	119.5%
TOTAL LIABILITY INSURANCE	144,459	341,159	211,731.72	18,420.18	.00	129,427.28	62.1%
TOTAL REVENUES	-622,497	-622,497	-741,954.84	-505.04	.00	119,457.84	
TOTAL EXPENSES	766,956	963,656	953,686.56	18,925.22	.00	9,969.44	
64 WORKERS' COMP INSURANCE							
6000 Miscellaneous	0	0	-235,680.42	-235,680.42	.00	235,680.42	100.0%
6010 Interest & Investment Earning	-21,000	-21,000	-27,749.76	.00	.00	6,749.76	132.1%
6400 Workers' Comp Insurance	361,353	521,353	382,676.76	-74,380.38	.00	138,676.24	73.4%
7000 Charge For Services-Proprieta	-350,973	-350,973	-343,250.95	-34,072.54	.00	-7,722.05	97.8%
TOTAL WORKERS' COMP INSURANCE	-10,620	149,380	-224,004.37	-344,133.34	.00	373,384.37	-150.0%
TOTAL REVENUES	-371,973	-371,973	-606,681.13	-269,752.96	.00	234,708.13	
TOTAL EXPENSES	361,353	521,353	382,676.76	-74,380.38	.00	138,676.24	
72 RDA REVOLVING LOAN FUND							

PRELIM. JUNE 2024-FY24 REVENUE & EXPENSE

FOR 2024 12

72	RDA REVOLVING LOAN FUND	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
6000	Miscellaneous	-513,755	-513,755	-151,471.32	-12,255.72	.00	-362,283.68	29.5%
6010	Interest & Investment Earning	-92,303	-92,303	-156,087.21	-3,672.35	.00	63,784.21	169.1%
7200	RDA Revolving Loans	502,760	2,902,760	392.48	.00	.00	2,902,367.52	.0%
	TOTAL RDA REVOLVING LOAN FUND	-103,298	2,296,702	-307,166.05	-15,928.07	.00	2,603,868.05	-13.4%
	TOTAL REVENUES	-606,058	-606,058	-307,558.53	-15,928.07	.00	-298,499.47	
	TOTAL EXPENSES	502,760	2,902,760	392.48	.00	.00	2,902,367.52	
73 REDEVELOPMENT AGENCY								
1010	Property Taxes	-76,000	-76,000	.00	.00	.00	-76,000.00	.0%
1040	Property Tax Increment	-827,497	-827,497	-992,457.00	.00	.00	164,960.00	119.9%
6010	Interest & Investment Earning	-10,800	-10,800	-37,737.12	.00	.00	26,937.12	349.4%
7300	Redevelopment Agency	2,210,841	4,610,841	693,191.01	52,043.52	.00	3,917,649.99	15.0%
8010	Transfers In	0	-2,400,000	.00	.00	.00	-2,400,000.00	.0%
	TOTAL REDEVELOPMENT AGENCY	1,296,544	1,296,544	-337,003.11	52,043.52	.00	1,633,547.11	-26.0%
	TOTAL REVENUES	-914,297	-3,314,297	-1,030,194.12	.00	.00	-2,284,102.88	
	TOTAL EXPENSES	2,210,841	4,610,841	693,191.01	52,043.52	.00	3,917,649.99	
74 CEMETERY PERPETUAL CARE								
6010	Interest & Investment Earning	-44,400	-44,400	-76,797.40	.00	.00	32,397.40	173.0%
7050	Cemetery Burial Plot Sales	-93,000	-93,000	-65,725.00	-8,150.00	.00	-27,275.00	70.7%
7400	Cemetery Perpetual Care	2,055	2,055	311.79	.00	.00	1,743.21	15.2%
	TOTAL CEMETERY PERPETUAL CARE	-135,345	-135,345	-142,210.61	-8,150.00	.00	6,865.61	105.1%
	TOTAL REVENUES	-137,400	-137,400	-142,522.40	-8,150.00	.00	5,122.40	
	TOTAL EXPENSES	2,055	2,055	311.79	.00	.00	1,743.21	
78 LANDFILL CLOSURE								
6010	Interest & Investment Earning	-37,200	-37,200	-51,648.26	-4,356.27	.00	14,448.26	138.8%
	TOTAL LANDFILL CLOSURE	-37,200	-37,200	-51,648.26	-4,356.27	.00	14,448.26	138.8%
	TOTAL REVENUES	-37,200	-37,200	-51,648.26	-4,356.27	.00	14,448.26	
83 RAP TAX								

PRELIM. JUNE 2024-FY24 REVENUE & EXPENSE

FOR 2024 12

83	RAP TAX	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
1050	RAP Taxes	-770,000	-770,000	-726,276.96	-124,977.38	.00	-43,723.04	94.3%
6010	Interest & Investment Earning	-10,000	-10,000	-8,631.88	.00	.00	-1,368.12	86.3%
8300	RAP Tax	1,350,185	1,350,185	818,736.53	.00	.00	531,448.47	60.6%
	TOTAL RAP TAX	570,185	570,185	83,827.69	-124,977.38	.00	486,357.31	14.7%
	TOTAL REVENUES	-780,000	-780,000	-734,908.84	-124,977.38	.00	-45,091.16	
	TOTAL EXPENSES	1,350,185	1,350,185	818,736.53	.00	.00	531,448.47	
91 GFAAG								
4136	Information Technology	0	0	9,400.84	.00	.00	-9,400.84	100.0%
4210	Police	0	0	2,537.50	.00	.00	-2,537.50	100.0%
4510	Parks	0	0	17,848.90	.00	.00	-17,848.90	100.0%
	TOTAL GFAAG	0	0	29,787.24	.00	.00	-29,787.24	100.0%
	TOTAL EXPENSES	0	0	29,787.24	.00	.00	-29,787.24	
92 OPEB TRUST								
6010	Interest & Investment Earning	0	0	-31,682.82	-216.71	.00	31,682.82	100.0%
9200	OPEB Trust	0	0	645,679.54	177,613.05	.00	-645,679.54	100.0%
	TOTAL OPEB TRUST	0	0	613,996.72	177,396.34	.00	-613,996.72	100.0%
	TOTAL REVENUES	0	0	-31,682.82	-216.71	.00	31,682.82	
	TOTAL EXPENSES	0	0	645,679.54	177,613.05	.00	-645,679.54	
99 INVESTMENT								
4100	Non-Departmental	0	0	43.25	43.25	.00	-43.25	100.0%
6010	Interest & Investment Earning	0	0	-1,589,435.74	-469,823.50	.00	1,589,435.74	100.0%
	TOTAL INVESTMENT	0	0	-1,589,392.49	-469,780.25	.00	1,589,392.49	100.0%
	TOTAL REVENUES	0	0	-1,589,435.74	-469,823.50	.00	1,589,435.74	
	TOTAL EXPENSES	0	0	43.25	43.25	.00	-43.25	
	GRAND TOTAL	31,444,770	36,069,032	8,544,359.89	4,790,596.73	.00	27,524,672.11	23.7%

** END OF REPORT - Generated by Tyson Beck **

City Council Staff Report

Subject: Police Dispatch PLC Remodel
Author: Greg Martin
Department: Information Technology
Date: August 13, 2024



Background

The existing Police PLC (Programmable Logic Control) system is used to monitor holding cells in the basement of the police building and the courts in the upstairs of the building. The PLC has also intercom functionality. The system runs on electrified relays, and it is difficult to find capable support.

Analysis

As part of the Police Dispatch remodel, we are updating to digital controls for increased reliability and support. It will also reduce physical space requirements due to the existing PLC cabinet which measures 3' X 4' X 2'. This cabinet can be eliminated with a new digital system. The police no longer use the holding cells in the basement as a secure prisoner holding space. Those cells will not be upgraded. The only cells that are used are in the upstairs courts area.

Staff requested bids from three separate vendors, but only two responded. The bids received were:

- Structure Works \$29,827
- Convergent \$63,708

Staff has evaluated the bidders and their proposals and recommends that the City enter into a contract with Structure Works to purchase and install the equipment.

Department Review

The report was reviewed by the City Manager, Police Chief, and IT Director.

Significant Impacts

This was an anticipated cost with funding coming from the capital project in the police department.

Recommendation

The Information Technology department recommends that City Council approve the purchase of the replacement Intercom system from Structure Works at the cost of \$29,827.

Attachments

None. Bids available upon request.

City Council Staff Report

Subject: Tyler Technologies Software Maintenance
Author: Greg Martin
Department: Information Technology
Date: August 13, 2024



Background

Tyler Technologies provides support for all Bountiful City financial software. Software Support Maintenance Agreements (SSMA) are usual and customary in the computer software industry.

Analysis

Through this maintenance agreement we receive all updates and enhancements to the Munis software. The contract also provides full access to Tyler's technical support staff to resolve issues or get general processing help. Tyler System Management Services Support (TSM) provides comprehensive real-time system analysis and management of all servers and updates.

Department Review

During the budget process the Information Technology staff provides each department with a detailed analysis of expected computer-related costs. The projected Tyler Technologies software maintenance costs are included in that report.

- Note: We have replaced the Citizen Self Service module with the Resident Access module at a cost of \$1,816

Significant Impacts

Keeping our software up to date is critical. Accurate processing of all transactions related to Finance, Payroll, Accounts Payable, Utility Billing, Permits & Inspections, etc. is vital to the day-to-day operations of the City. City departments share in the cost of this software maintenance. Sufficient funding has been included in the budgets of all affected departments. This price reflects a 5% increase over last year.

Recommendation

The Information Technology staff recommends that City Council approve the annual Tyler Technologies Software Maintenance contract as follows:

• Financial Software Support & Update Licensing:	\$66,305
• Tyler System Management Service Support:	\$20,417
• <u>Tyler Unlimited Client Access Licensing:</u>	<u>\$ 1,650</u>
Total	\$88,372

City Council Staff Report



Subject: Preliminary/Final Architectural and Site Plan
for Outdoor Vehicle Storage
Address: 2773 South Main Street
Author: Amber Corbridge, Senior Planner
Department: Planning
Date: August 13, 2024

Background

The applicant, Patrick Budion, with *Summit Fleet Rental*, is requesting Preliminary/Final Architectural Site Plan Approval at 2773 South Main Street to use the existing site for outdoor vehicle storage. The site is approximately 2.9 acres and includes a 17,122 square ft building 17.5' tall. The site was previously used as a car dealership. The site would offer indoor basic preventive maintenance services. The front office would have 10-15 employees to handle nationwide operations, and 2-7 employees to handle vehicle maintenance. The facility would not be used to sell any vehicles. (See Attached Narrative).

The Planning Commission reviewed this application on Tuesday, August 6, 2024. The Planning Commission approved the Conditional Use Permit for the outdoor vehicle storage and forwarded a positive recommendation (5-0) to the City Council to approve the site plan with the conditions noted below.

Analysis

The property is in the Heavy Commercial (C-H) Zone, where Bountiful Land Use Code 14-6-111 states that Site Plan Approval shall be required for any new construction or change in use in the (C) Zone. Also, this proposed use is listed as a conditional use in the Heavy Commercial (C-H) Zone.

Conditional Use Standards

The Planning Commission considered how the proposed use 1) relates to the surrounding uses, 2) impacts the existing surrounding developments, and 3) appropriate buffering of uses and buildings, proper parking and traffic circulation, and the use of building materials and landscaping, which are in harmony with the area (See Code 14-2-506(C)).

The proposed use would fit in with the surrounding properties along this corridor, as there are many car dealerships along the same side of the street, such as Bountiful Mazda and Rand's Auto Sales (See Figure 1, below). Also, Main Street in this area is primarily zoned commercial and includes other commercial uses (See Figure 2, below). The applicant indicated that Summit Fleet would operate like a dealership, except instead of retail they would lease and rent vehicles to customers throughout the United States. The proposed use has appropriate buffering, parking, and traffic circulation, like the previously approved use.

Site Plan Approval Standards

The Council shall determine if the proposed architectural and site development plans submitted are consistent with the purpose and objectives of the Code (14-2-301). The purpose of the architectural and site plan review and approval process is:

1. To determine compliance with the Land Use Code
2. To promote the orderly and safe development of land in the City
3. To implement the policies and goals established in the Bountiful City General Plan
4. To promote the orderly layout of site improvements.

The plans have been reviewed by staff, where landscaping, parking, lighting, screening, and all other applicable standards are reviewed for compliance. The site meets parking (18 stalls are required, where 61 are provided); however, the site does not meet the minimum ten foot (10') front yard landscaping setback due to the orientation of the existing building and twenty-four foot (24') wide drive aisle in the front (see red bubbled area in Figure 3 below). The site is considered noncompliant; however, Staff finds this existing drive access aisle necessary to maintain, as it promotes the orderly layout of site improvements.

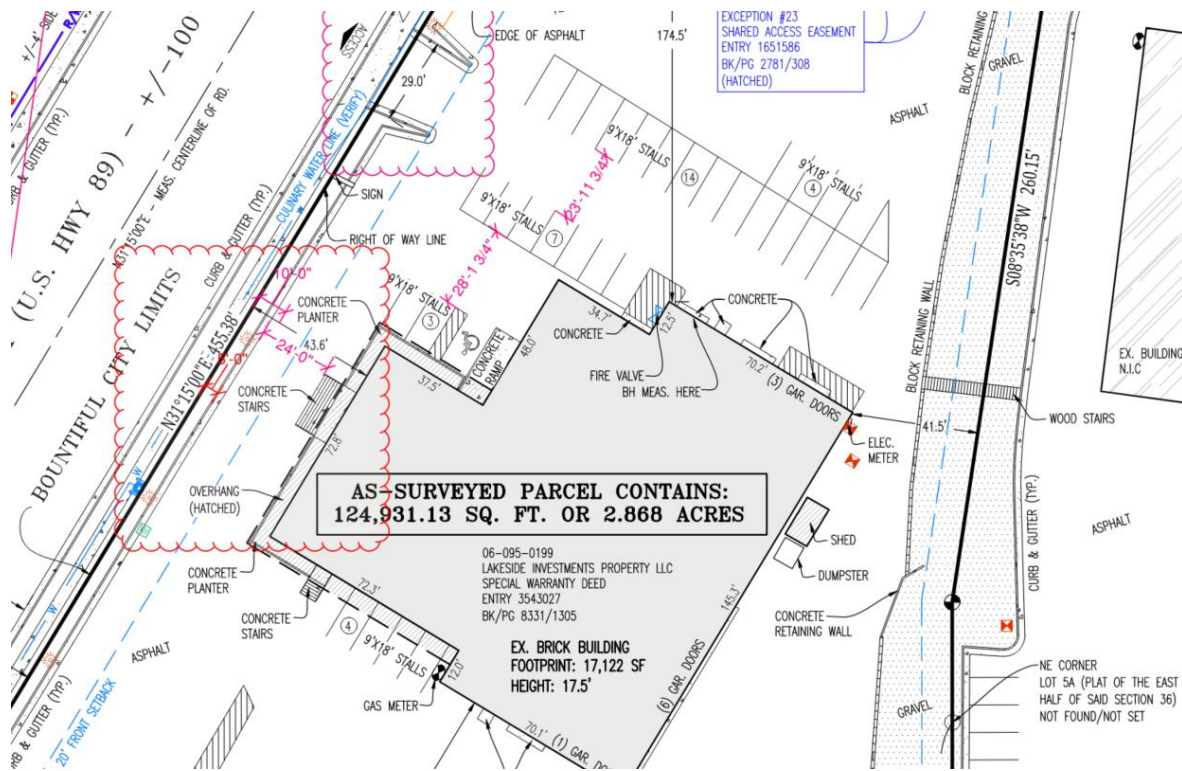


Figure 3. Survey Plan

The applicant is proposing to add plant materials to the landscaped rock bed on the east side of the lot (as shown in the attached Landscape Plan) and add a new dumpster enclosure to match the existing main structure to bring the existing site into compliance.

Department Review

This staff report was written by the Senior Planner and was reviewed by the City Attorney, City Engineer, and Planning Director.

Significant Impacts

There are minimal impacts of this proposed development on the property and surrounding uses, as the proposed use and site does not require additional parking, landscaping, or traffic flow. The existing infrastructure, such as water, sewer, culinary water, and transportation are in place to support this development.

Recommendation

Planning Commission and Staff recommend that the City Council approve the Preliminary/Final Architectural and Site Plan application for the outdoor vehicle sales and site changes subject to meeting all staff review comments.

Attachments

1. Application Narrative
2. Site Photos
3. Landscape Plan
4. Site Plan

Statement of Intent for 2773 S Main Street (former Truck World)

Our usage for the 2773 S Main Street Property in Bountiful will carry almost all the same functions as Truck World carried before as the facility will be our local Salt Lake City hub for the storage of our vehicles before they go out on Rent or lease to our Commercial customers and a site in which the trucks will be returned by our Commercial customers. Once the vehicles are on site they will use 2 bays for service and the rest will be used for detailing of our vehicles that will be assessed by our internal team for any damage and then shipped out to the local collision and service centers for work to be completed. For all our units that are not being moved to be sold they will be providing Basic Preventive Maintenance services in our back-of-house service facility there and then moving to have a full detail completed to bring it back to Company Cleanliness standards. Any of our units that are deemed for sale will be moved to our Auction Partners facilities in the Salt Lake City area, which currently is Manheim, to then be processed and sold.

So, for our front of house portion of the building it will hold of a staff between 10 to 15 individuals at most who will handle our Nationwide Operations department for the United States. Our back of house will be staffed with between 2 to 7 individuals who are handling our Preventive Maintenance and Detailing of our vehicles. We will use the facility as it previously was being used minus the selling of vehicles to Retail customers out of the lot since we do not rent or lease to retail consumers just Commercial customers.

If you have any further questions please do not hesitate to reach out to myself at 612-554-7493 or email at pbudion@summitfleet.com

Patrick Budion

Summit Fleet

Director of Branch Operations for North America

How does the proposed project fit with the surrounding properties and uses?

We are in a retail and commercial automotive area as we are positioned between Les Schwab and Mazda with Jiffy Lube across the street. There are numerous other dealerships and auto repair facilities in this specific area of town. We operate like a dealership except in the direct to retail sales, we do leasing and renting of vehicles to customers throughout the entire United States.

In what ways does the project not fit with the surrounding properties and uses?

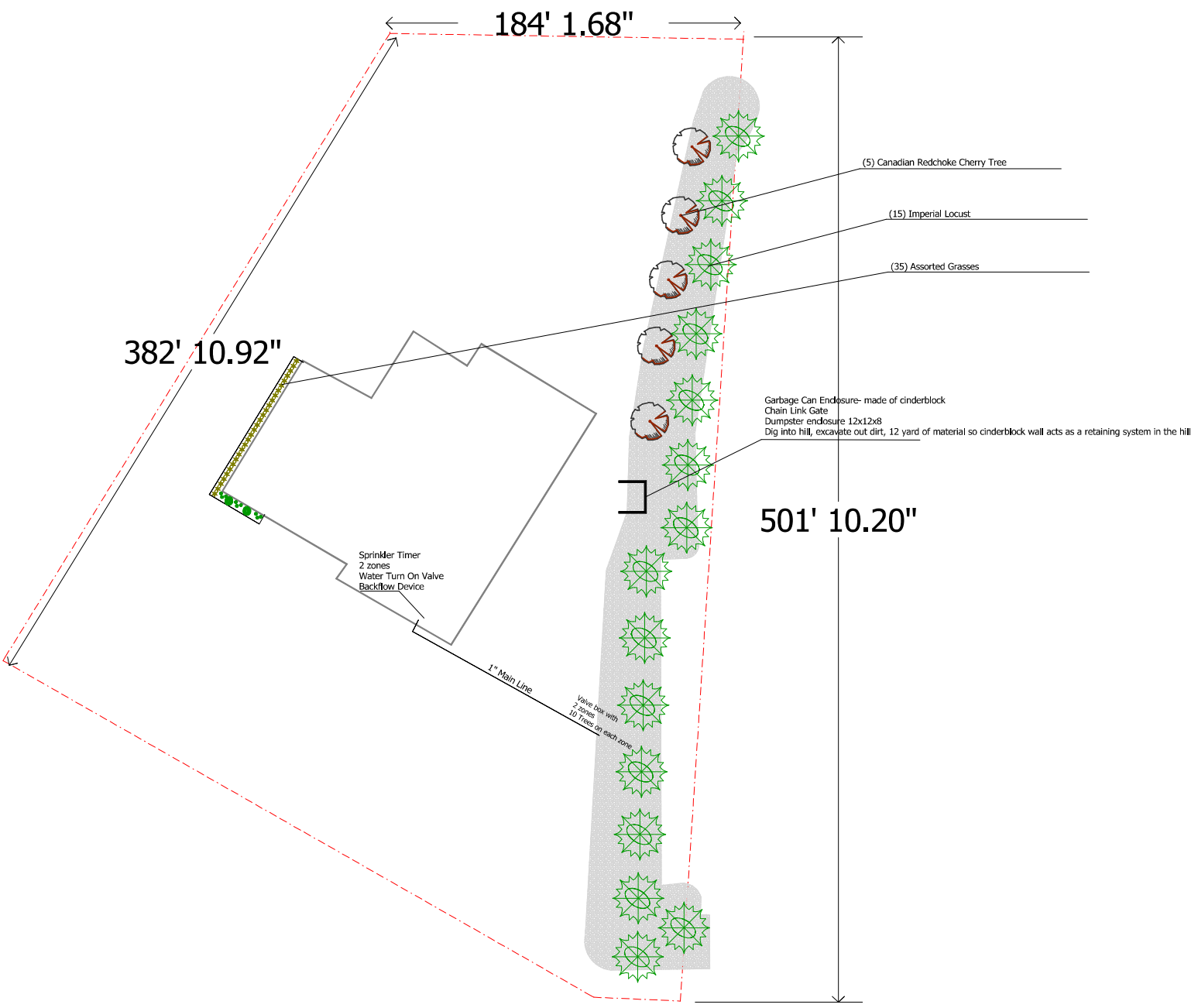
Our property and usage fits with the surrounding area as to the auto segment population that is in this area.

What will you do to mitigate the potential conflicts with surrounding properties and uses?

If there is any issues or conflicts as it pertains to the usage of our property we will work to have a discussion with the property owner as we have done already with Les Schwab and Mazda to ensure we are good neighbors and business partners with them. If we were to have any issues that would require city of county involvement we would reach out to the proper organization to get those issues resolved to the code and regulations in which it must ran.







Landscape Design by:
 Jim Larkin
 Larkin Landscaping

Date: 6/12/2024

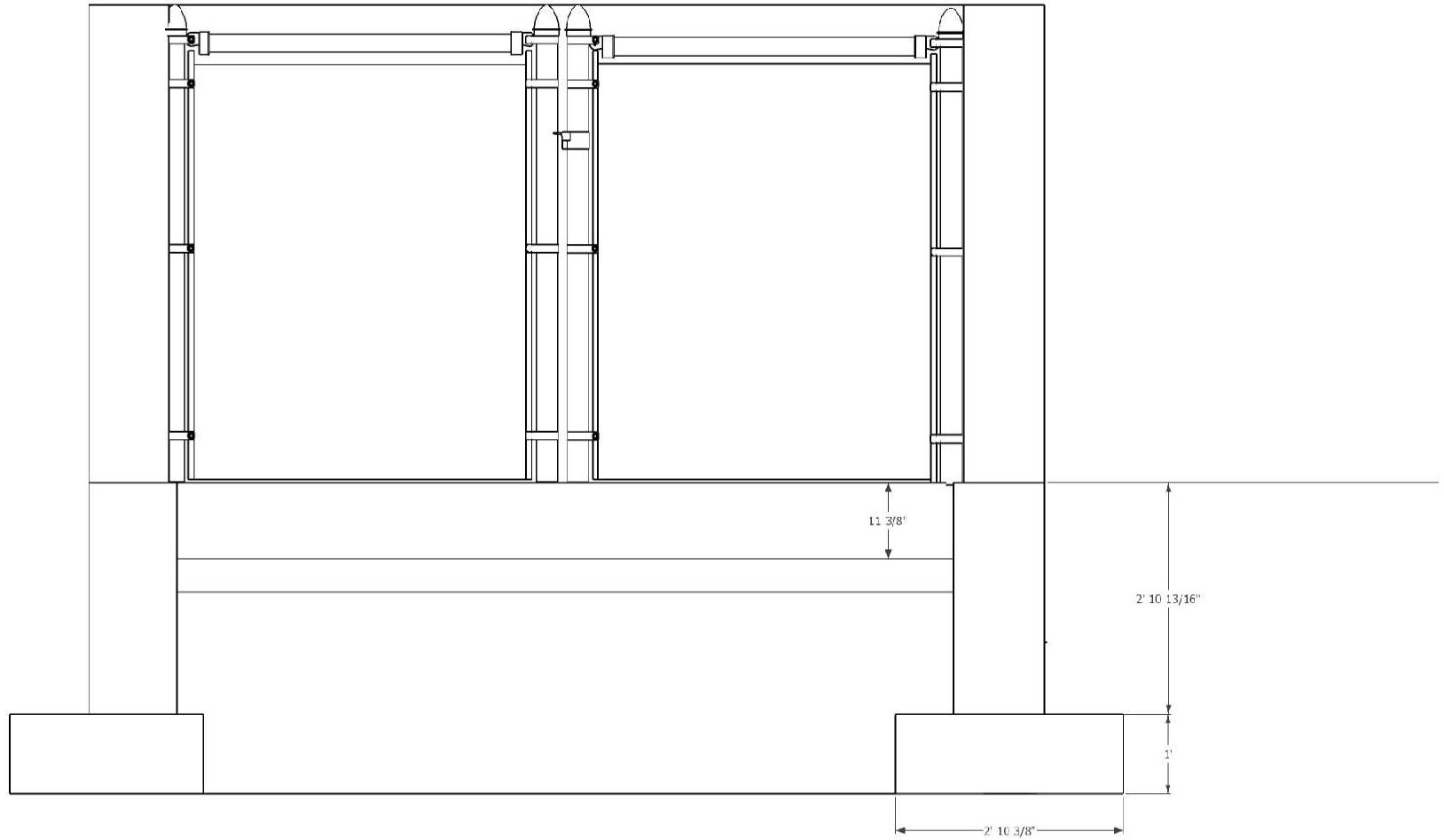
Landscape Plan:

Scale: 1" = 50'
 Revision #:

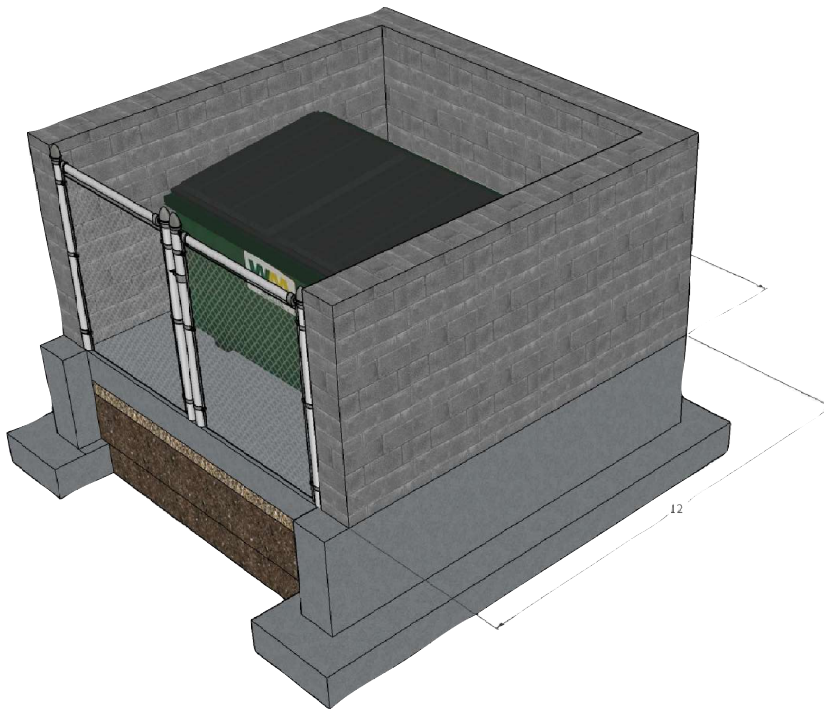
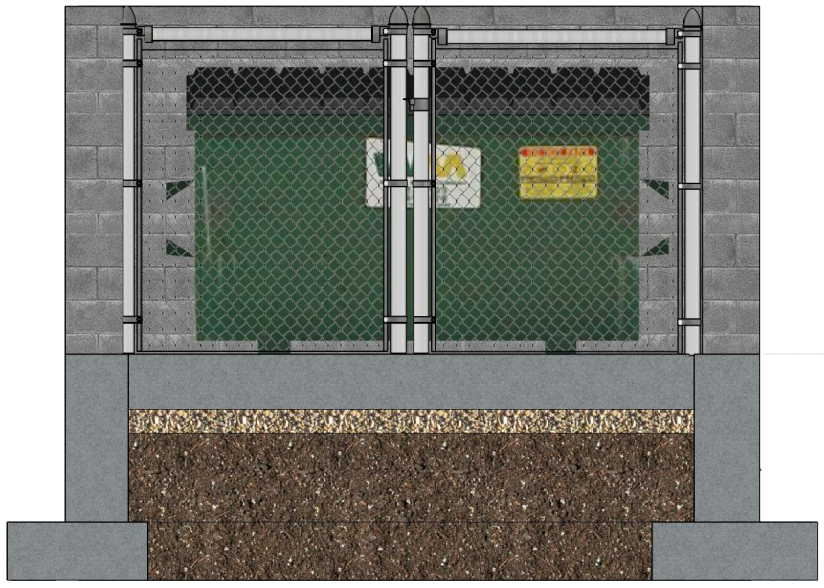
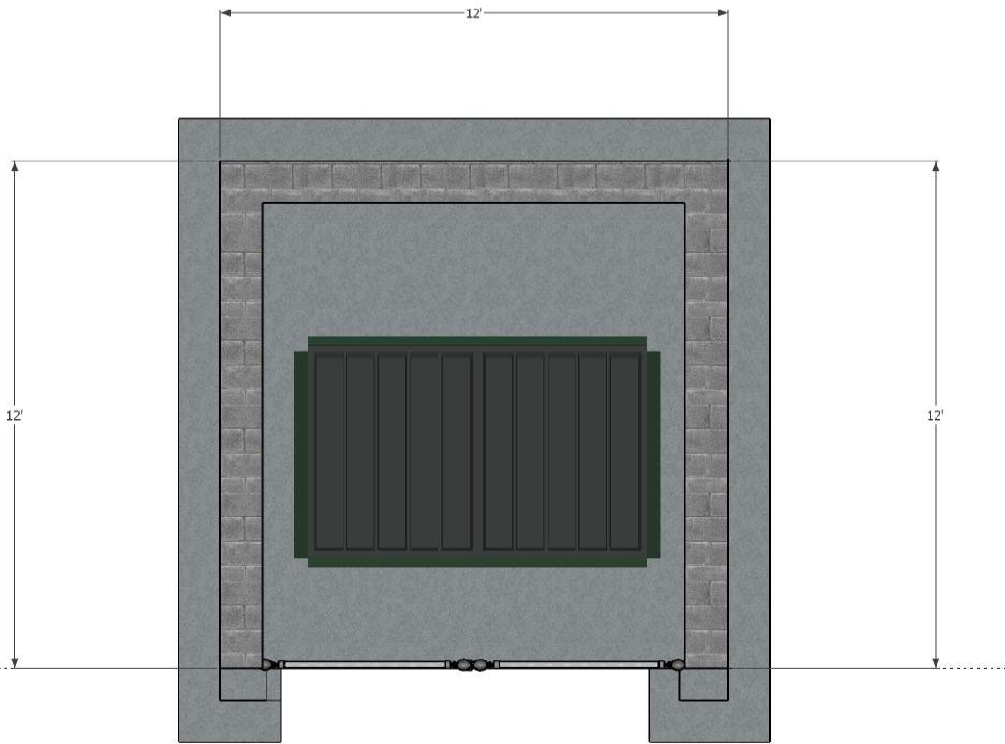
Patrick Budion
 pbudion@summitfleet.com
 Kwok Kwan
 kkwan@summitfleet.com
 Jeff Romeril
 jeffromeril@kaizenauto.com

Print on 17x11

Dumpster Enclosure



Dumpster Enclosure



Dumpster Enclosure



City Council Staff Report



Subject: Preliminary/Final Architectural and Site Plan
for a New Lube Center at 77 South 500 West

Author: Amber Corbridge, Senior Planner

Department: Planning

Date: August 13, 2024

Background

The applicant, Christopher Argyle, project manager for *KEC Lube Center*, is requesting Preliminary/Final Architectural Site Plan Approval at 77 South 500 West for a new lube center. The site is approximately .44 acres. This proposal includes demolition of an existing structure previously used for offices, then constructing a new 2,880 square ft. building at about 22' tall (one-story).

The Planning Commission reviewed this application on Tuesday, August 6, 2024. The Planning Commission forwarded a positive recommendation (5-0) to the City Council to approve the site plan with the conditions noted below.

Analysis

The property is in the Heavy Commercial (C-H) Zone, where the Bountiful Land Use Code 14-6-111 states that Site Plan Approval shall be required for any new construction or change in use in this zone. The C-H Zone lists a vehicle service and wash as a permitted use. The building would include a main entrance facing 500 West and include three service bays. The building exterior includes gray concrete masonry unit (CMU) walls, high-end glass overhead doors, and black metal canopies, as shown in the attached Building Elevations.

Site Plan Approval Standards

The City Council shall determine if the proposed architectural and site development plans submitted are consistent with the purpose and objectives of the Code (14-2-301). The purpose of the architectural and site plan review and approval process is:

- 1. To determine compliance with the Land Use Code.*
- 2. To promote the orderly and safe development of land in the City.*
- 3. To implement the policies and goals established in the Bountiful City General Plan.*
- 4. To promote the orderly layout of buildings, landscaping, walkways, lighting, and other site improvements.*

The architectural and site plans have been reviewed by staff, where building design, setbacks, height, landscaping, screening, parking, lighting, and all other applicable standards are reviewed for compliance. There are outstanding conditions of approval (COA) regarding the site plan, which need to be satisfied prior to building permit approval.

The Site Plan shows a hatched area which may indicate a potential access to the property to the north, see red shaded area in Figure 1 below. Staff recommends the applicant submit a copy of a recorded access easement.

In addition to the shared access agreement with the Big-O property to the north, UDOT has given the applicant the option of closing the north access to this property by removing the drive approach and installing curb and gutter AND provide a cross-access agreement with the Cache Valley Bank property to the south. The applicant stated they will comply with this requirement (stated in the Planning Commission meeting on August 6, 2024).

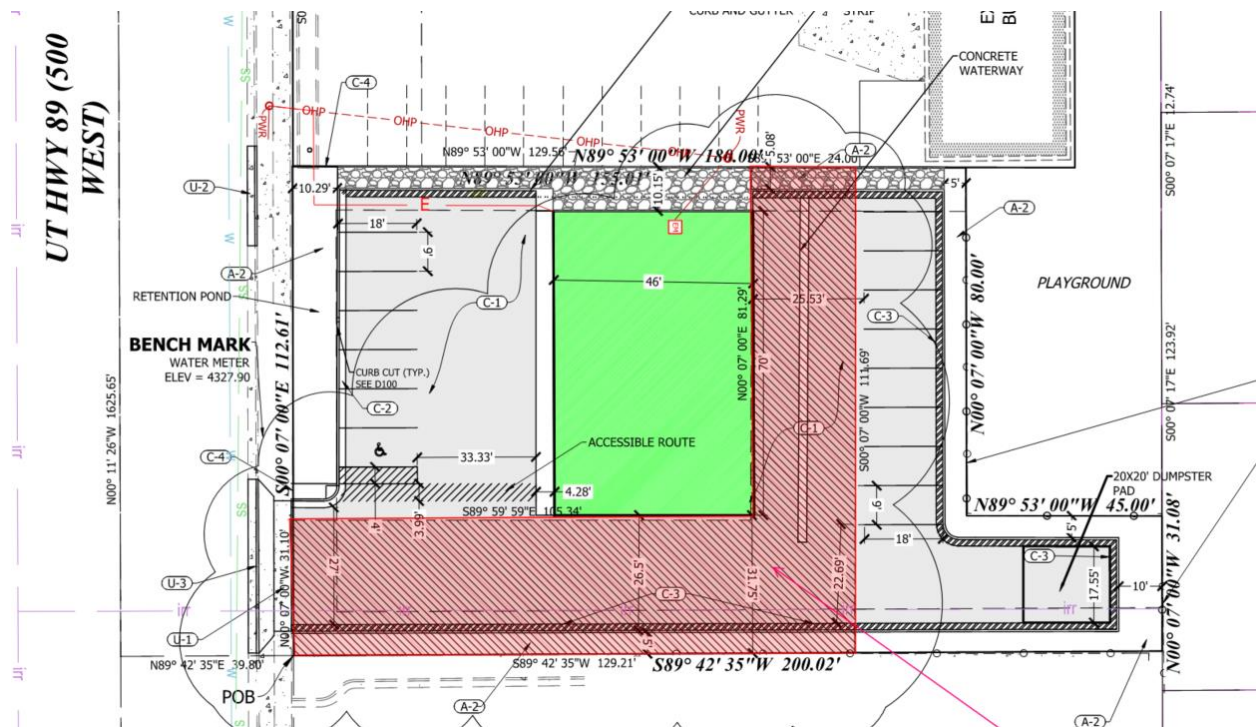


Figure 1. Submitted Site Plan

Department Review

This staff report was written by the Senior Planner and was reviewed by the City Engineer, City Attorney, and Planning Director.

Significant Impacts

There are minimal impacts of this proposed development on the property and surrounding uses. The existing infrastructure, such as water, sewer, culinary water, and transportation are in place to support this development.

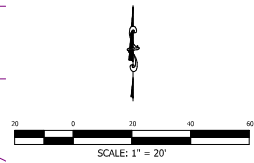
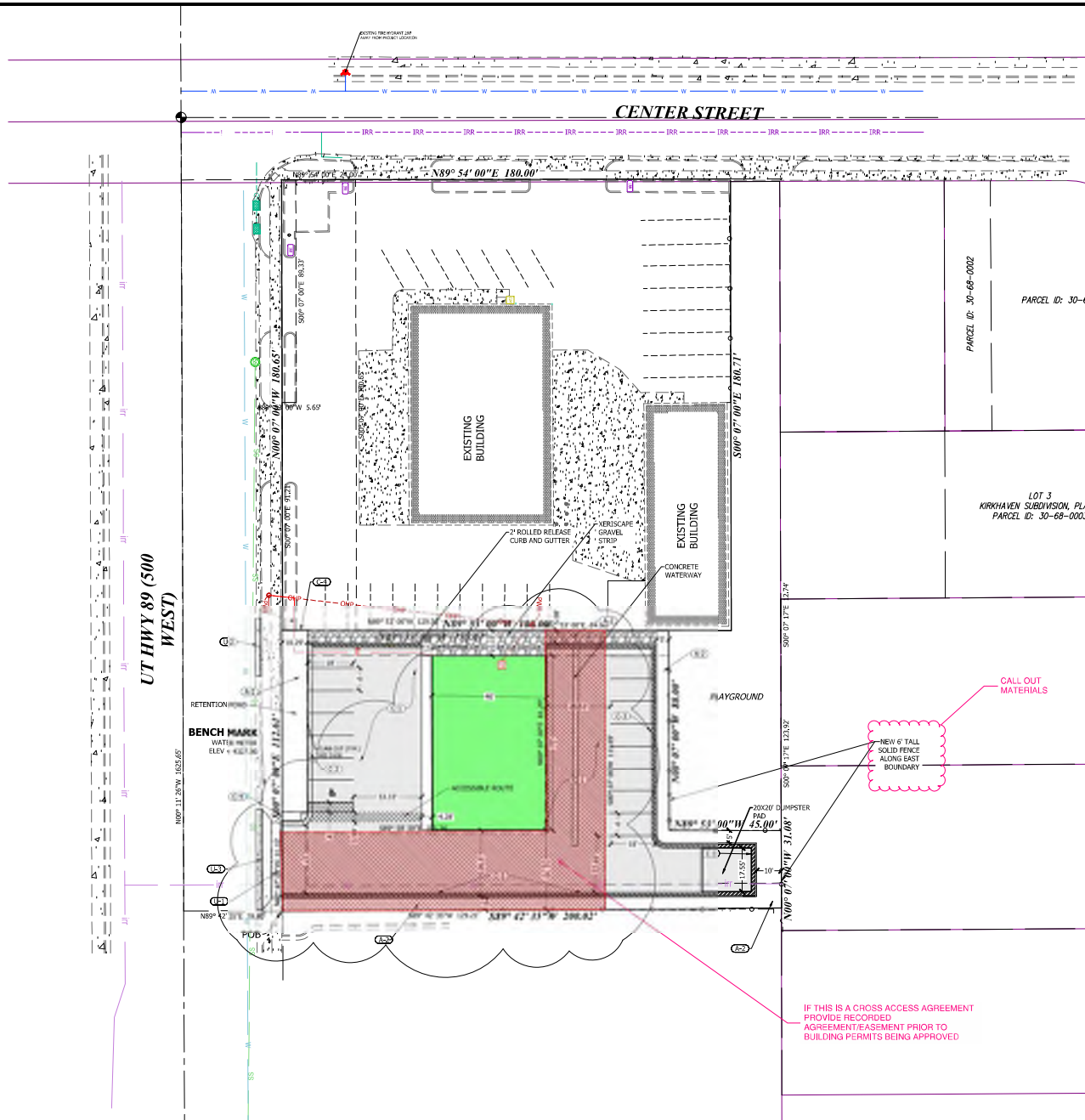
Recommendation

Planning Commission and Staff recommend that the City Council approve the Preliminary/Final Architectural and Site Plan application for the lube center, subject to:

1. Submit a copy of a recorded access agreement between the property to the north.
2. Meet all department review comments prior to building permit approval.
3. Comply with UDOT requirements for access approval and construction standards in the UDOT right-of-way.
4. Add a Conditional of Approval (COA) regarding material changes in the future.

Attachments

1. Final Site Plan
2. Planting Plan
3. Landscape Plan
4. Civil Set
5. Building Elevations
6. UDOT Comments



Reviewed by Planning
 Department
 Amber Coltridge, Senior Planner
 06/25/2024

SYMBOL LEGEND

- (C1) ASPHALT & BASE PER DETAIL, SHEET DT100
- (C2) 24" CONCRETE HIGH-BACK CATCH CURB & GUTTER PER DETAIL, SHEET DT100
- (C3) 24" CONCRETE HIGH-BACK RELEASE CURB & GUTTER PER DETAIL, SHEET DT100
- (C4) CONCRETE CURB WALL PER DETAIL, SHEET DT100
- (C5) CONCRETE CURB CUT PER DETAIL, SHEET D100
- (C6) 6" CONCRETE SLAB PER DETAIL, SHEET DT100
- (C7) CONCRETE SIDEWALK REPLACEMENT PER UDOT STANDARD DRAWING GW-3A, SECTION A-A, SHEET DT200
- (C8) CONCRETE CURB AND GUTTER REPLACEMENT PER UDOT STANDARD DRAWING GW-2A, TYPE B1, SHEET DT200
- (C9) CONCRETE DRIVE APPROACH PER UDOT STANDARD DRAWING GW-3A, SHEET DT200
- (C10) ADA ACCESSIBLE PARKING SIGN PER DETAIL, SHEET DT100
- (C11) LANDSCAPE AREA

ALL ITEMS WITHIN THE PUBLIC RIGHT-OF-WAY TO CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.

CALL OUT MATERIALS

NEW 6' TALL SOLID FENCE ALONG EAST BOUNDARY

IF THIS IS A CROSS ACCESS AGREEMENT PROVIDE RECORDED AGREEMENT/EASEMENT PRIOR TO BUILDING PERMITS BEING APPROVED

1470 South 600 West
 Woods Cross, UT 84010
 Phone: 801.298.2236
 www.Entellus.com



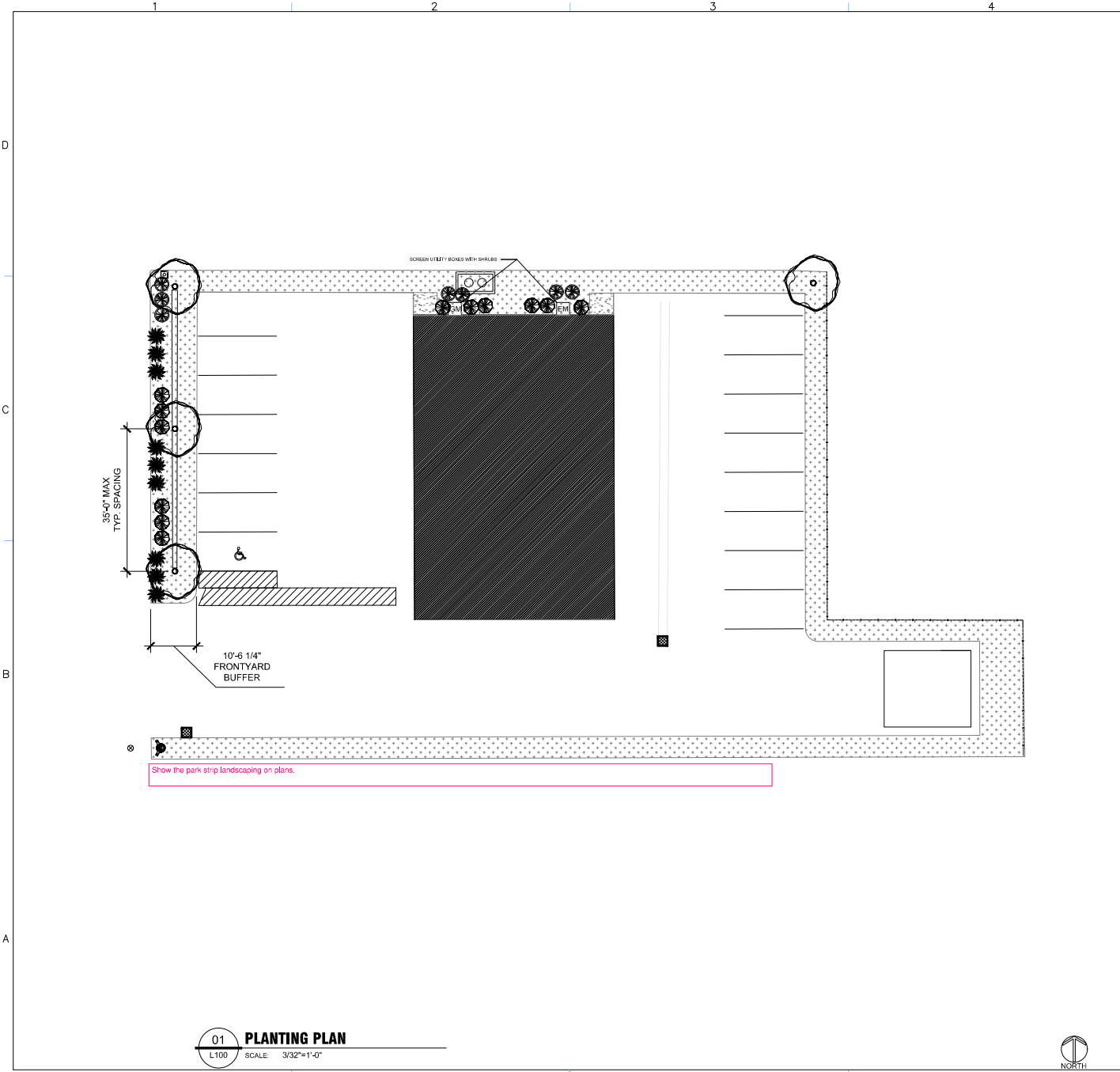
KEC LUBE CENTER

77 SOUTH 500 WEST
 TAX PARCEL # 20-25-0123
 LOCATED IN THE SW 1/4 OF SECTION 19, T.2N., R.1E., S.1.R.A.M.
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DATE	DESCRIPTION	BY	DATE	DESCRIPTION	BY

APPROVED: STA
 PROJECT NO: 1488865
 SHEET NO: 1488865
 2024-06-16-2024

C400
 SITE PLAN



35'-0" MAX
TYP. SPACING

10'-6 1/4"
FRONTYARD
BUFFER

Show the park strip landscaping on plans.

01 PLANTING PLAN
L100 SCALE: 3/32"=1'-0"



GENERAL PLANTING NOTES:

- A. ALL TREES TO BE PLANTED BY EXCAVATING A HOLE TWICE THE SIZE OF THE ROOT BALL. MIX IN PROPER SOIL ADDITIVES TO REDUCE THE TRANSPLANT IMPACT ON TREE.
- B. ALL TURF GRASS TO BE PLANTED OVER 4" OF SCREENED TOP SOIL.

PLANTING LEGEND

- ACER MIYABE MORTON
"STATE STREET MAPLE"
2" CALIPER
QTY: 4
FRONT SETBACK TREES: 3
OTHER: 1
- CALAMAGROSTIS X ACUTIFLORA
FOERSTER'S FEATHER REED GRASS
5 GALLON
QTY: 7
- FESTUCA CLAUCA
Blue Fescue
1 GALLON
QTY: 9
- L. ANGLUSTIFOLIA
ENGLISH LAVENDER
5 GALLON
QTY: 12

TOTAL LANDSCAPED AREA	3,382 SF
1 SHRUB REQ'D PER 200 SF = 17 SHRUBS	
TOTAL SHRUBS PROVIDED:	
5 GALLON:	19
1 GALLON:	9
TOTAL:	28 SHRUBS

2"-3" BROWN CANYON BLONDE SANDSTONE OR CHARCOAL GRAY GRAVEL, OVER COMMERCIAL GRADE WOVEN FABRIC WEED BARRIER.

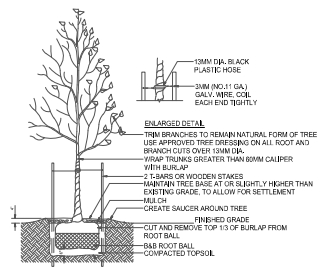
#1/2" PVC SLEEVE FOR IRRIGATION PIPING

14-16-109 (A)(4) In addition to required front yard trees, each lot or parcel shall include the following:
 a. At least one (1) ornamental tree of at least one (1) inch caliper, and/or one (1) screening tree of at least two (2) inch caliper, for each lot.
 b. Five hundred (500) square feet of required landscaping in developments that are two (2.0) acres or larger, or
 c. Seven hundred fifty (750) square feet of required landscaping in all developments that are less than 2.0 acres in size.

GENERAL IRRIGATION NOTES:

- A. ALL LANDSCAPING TO BE DESIGNED/INSTALLED WITH A DRIP EMITTING SYSTEM AT SHRUBS AND AS NOTED IN TURF AREAS BY LANDSCAPE CONTRACTOR.
- B. IRRIGATION CONTROLLERS TO BE INSTALLED ON THE FRONT AND REAR OF THE BUILDING(S) AS ANNOTATED ON THE PLANS.
- C. FOR ALL DRIP IRRIGATION SYSTEMS, A REDUCED PRESSURE BACKFLOW PREVENTIONS ASSEMBLY (RPB) TO BE INSTALLED AT POINT OF CONNECTION.
- D. EACH DRIP STATION TO IRRIGATE A MAX OF 240 GPH @ 4 GPM.
- E. EACH TURF GRASS STATION TO HAVE A MAXIMUM OF 8 SPRINKLERS.
- F. DRIP EMITTERS TO BE INSTALLED AT EACH TREE.

Reviewed by Planning Department
 Amber Corbridge, Senior Planner
 06/25/2024



- SPECIFICATIONS:**
1. TOPSOIL, MIX, SEE SPEC.
 2. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.
 3. WATER THOROUGHLY AFTER INSTALLATION.
 4. REMOVE TREE BRIMS AND STAKES TWO WEEKS AFTER INSTALLATION.
 5. PROVIDE DRAINAGE FOR PLANTING PIT IN DIFFERENT SOIL.
 6. ALL TREES MUST BE TAGGED AND APPROVED BY CONSULTANT WITHIN 14 DAYS AFTER SETTLING CORING.

UNLESS A PROFESSIONAL SEAL IS FURNISHED AND SIGNED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION OR RECORDING PURPOSES OR IMPLEMENTATION.

GL+D
 GALBRAITH LANDSCAPE DESIGN
 3386 CANYON ESTATES DRIVE
 BOUNTIFUL, UT 84010
 801.586.8885
 JONGALBRAITH@GMAIL.COM

THE PLANES SHOWN ARE CONSIDERED TO BE THE FINAL DESIGN. ANY CHANGES TO THE PLAN SHALL BE MADE BY THE CLIENT. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM GALBRAITH LANDSCAPE DESIGN.

PROJECT:
BOUNTIFUL BIG-O
 BOUNTIFUL, UT

REVISIONS:

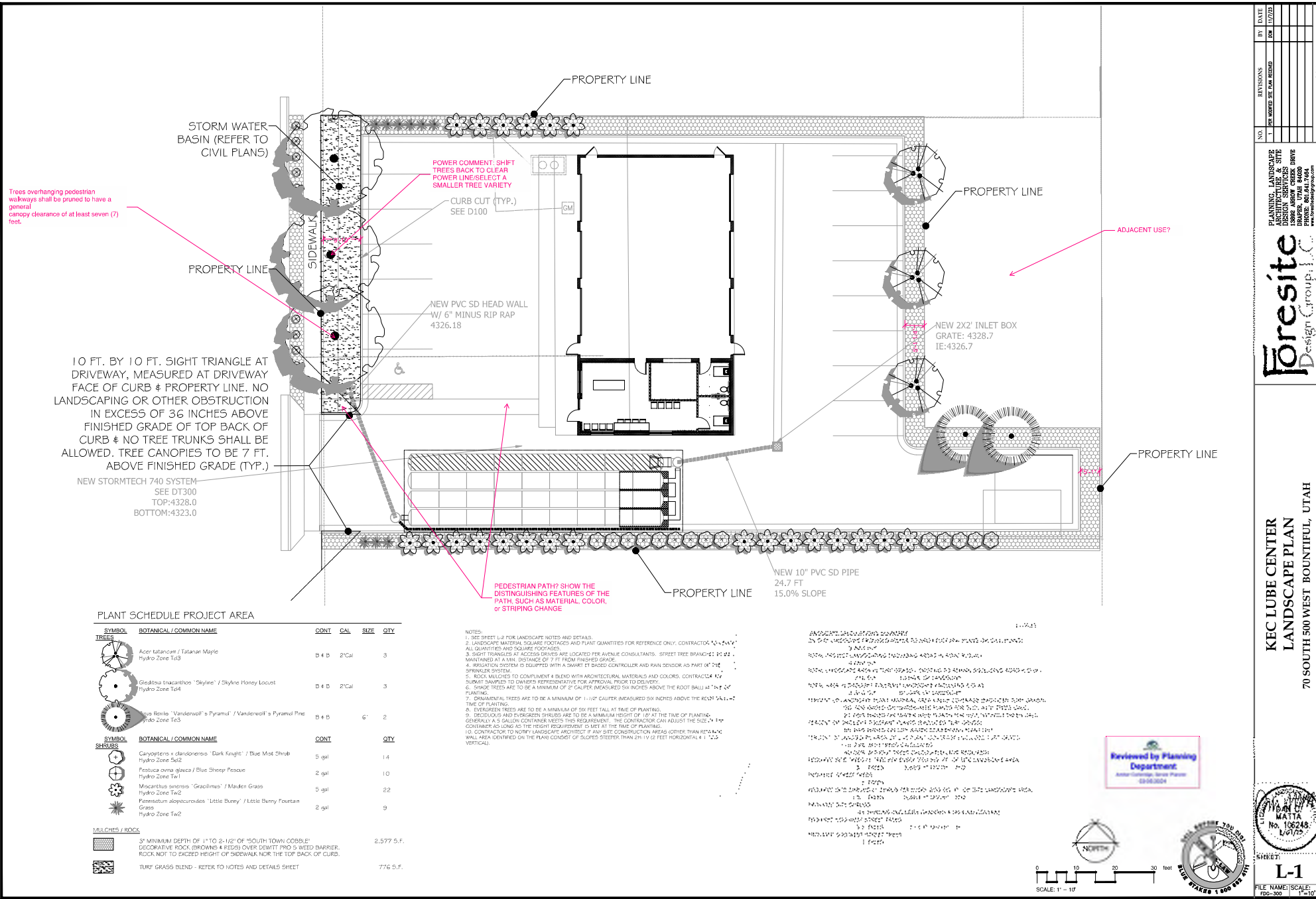
TITLE:
LANDSCAPE PLAN

SHEET:
L100

ISSUE DATE: 06/17/2024

SITE PLAN APPROVAL

This document, together with the concepts and designs presented herein, is submitted solely for the specific purpose and client for which it was prepared. Review of any important details on this document should be without liability to Foresite Design Group, LLC.



10 FT. BY 10 FT. SIGHT TRIANGLE AT DRIVEWAY, MEASURED AT DRIVEWAY FACE OF CURB & PROPERTY LINE. NO LANDSCAPING OR OTHER OBSTRUCTION IN EXCESS OF 36 INCHES ABOVE FINISHED GRADE OF TOP BACK OF CURB & NO TREE TRUNKS SHALL BE ALLOWED. TREE CANOPIES TO BE 7 FT. ABOVE FINISHED GRADE (TYP.)

NEW STORMTECH 740 SYSTEM
SEE D1300
TOP:4328.0
BOTTOM:4323.0

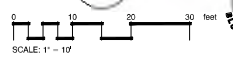
PLANT SCHEDULE PROJECT AREA

SYMBOL	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE	QTY
	<i>Acer talianum</i> / Tatarian Maple Hydro Zone Td3	0.4 B	2' Cal	3	
	<i>Gleditsia tracanthos</i> "Skyline" / Skyline Honey Locust Hydro Zone Td4	0.4 B	2' Cal	3	
	<i>Quercus flexilis</i> "Vanderwolf's Pyramid" / Vanderwolf's Pyramid Pine Hydro Zone Td3	0.4 B	6"	2	
SYMBOL	BOTANICAL / COMMON NAME	CONT.	QTY		
	<i>Caryopteris x clandonensis</i> "Dark Knight" / Blue Mist Shrub Hydro Zone Sd2	5 gal	14		
	<i>Fraxinus viridis</i> / Blue Shrimp Posaune Hydro Zone Tw1	2 gal	10		
	<i>Miscanthus sinensis</i> "Gracilipes" / Maiden Grass Hydro Zone Tw2	5 gal	22		
	<i>Fernandus alpestris</i> "Little Bunny" / Little Bunny Fountain Grass Hydro Zone Tw2	2 gal	9		
MULCHES / ROCK					
	3" MINIMUM DEPTH OF 1" TO 2-1/2" OF "SOUTH TOWN COBBLE" DECORATIVE ROCK (BROWNS & REDS) OVER DEWITT PRO 5 WEED BARRIER. ROCK NOT TO EXCEED HEIGHT OF SIDEWALK NOR THE TOP BACK OF CURB.		2,577 S.F.		
	TURF GRASS BLEND - REFER TO NOTES AND DETAILS SHEET		776 S.F.		

- NOTES**
- SEE SHEET L-2 FOR LANDSCAPE NOTES AND DETAILS.
 - LANDSCAPE MATERIAL SQUARE FOOTAGES AND PLANT QUANTITIES FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES AND SQUARE FOOTAGES.
 - SIGHT TRIANGLES AT DRIVEWAYS ARE LOCATED PER AVIATION CONSULTANTS. STREET TREE BRANCHES TO BE MAINTAINED AT A MIN. DISTANCE OF 7 FT. FROM FINISHED GRADE.
 - IRRIGATION SYSTEM IS EQUIPPED WITH A SMART ET BASED CONTROLLER AND RAIN SENSOR AS PART OF THE SPRINKLER SYSTEM.
 - ROCK MULCHES TO COMPLEMENT & BLEND WITH ARCHITECTURAL MATERIALS AND COLORS. CONTRACTOR TO SUBMIT SAMPLES TO OWNERS REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY.
 - SHADE TREES ARE TO BE A MINIMUM OF 2" CALIBER (MEASURED SIX INCHES ABOVE THE ROOT BALL) AT TIME OF PLANTING.
 - ORNAMENTAL TREES ARE TO BE A MINIMUM OF 1-1/2" CALIBER (MEASURED SIX INCHES ABOVE THE ROOT BALL) AT TIME OF PLANTING.
 - EVERGREEN TREES ARE TO BE A MINIMUM OF SIX FEET TALL AT TIME OF PLANTING.
 - DECIDUOUS AND EVERGREEN SHRUBS ARE TO BE A MINIMUM HEIGHT OF 18" AT THE TIME OF PLANTING. GENERALLY A 5 GALLON CONTAINER MEETS THIS REQUIREMENT. THE CONTRACTOR CAN ADJUST THE SIZE, BUT CONTAINER SIZE AS TO THE HEIGHT REQUIREMENTS IS SET BY THE TIME OF PLANTING.
 - CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IF ANY SITE CONSTRUCTION AREAS (OTHER THAN RETAINING WALL AREA IDENTIFIED ON THE PLAN) CONFLICT WITH SLOPES STEEPER THAN 2H:1V (2 FEET HORIZONTAL 1" VERTICAL).

PROPOSED LANDSCAPE PLANTING

ON SITE CONSTRUCTION AREAS TO BE MAINTAINED THROUGHOUT CONSTRUCTION. PLANTS TO BE PLANTED IN AREAS TO BE MAINTAINED THROUGHOUT CONSTRUCTION. PLANTS TO BE PLANTED IN AREAS TO BE MAINTAINED THROUGHOUT CONSTRUCTION.



SHEET: **L-1**
FILE NAME: SCALE: FDC-300 1"=10'

NO.	REVISIONS	BY	DATE
1	REVISED FOR PERM	DM	1/10/22

PLANNING, LANDSCAPE ARCHITECTURE, SITE DESIGN SERVICES
Foresite Design Group, LLC
 70 SOUTH 500 WEST BOUNTIFUL, UTAH
 PHONE: 801.841.7404
 www.foresitedesigngroup.com

**KEC LUBE CENTER
 LANDSCAPE PLAN**
 70 SOUTH 500 WEST BOUNTIFUL, UTAH

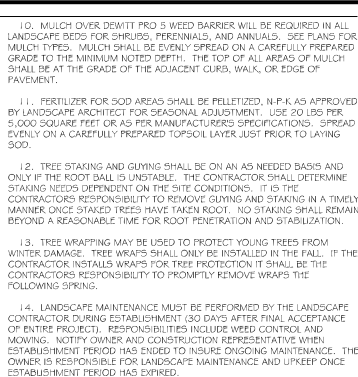
DESIGNED: DCM

PLANTING NOTES:

- LANDSCAPE BIDS MUST BE IN A DETAILED UNIT PRICE FORMAT SHOWING COST BREAKDOWN OF ALL LANDSCAPE ELEMENTS. ANY ELEMENT MAY BE ADDED OR DELETED BY THE LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR COMPENSATION WILL BE ADJUSTED ACCORDING TO THE UNIT PRICE BIDS. ANY SUBSTITUTION MUST BE BY LANDSCAPE ARCHITECT APPROVAL. LANDSCAPE ARCHITECT OR OWNER WITHOUT JUSTIFICATION MAY DISALLOW BIDS AND SELECT CONTRACTOR REGARDLESS OF BID FIGURES. THE SELECTED CONTRACTOR MUST OBTAIN THE OWNER'S CONSTRUCTION REPRESENTATIVE BEFORE BEGINNING CONSTRUCTION TO SCHEDULE A PRE CONSTRUCTION MEETING. CONTRACTOR OR SUBCONTRACTORS PARTICIPATION IN CONSTRUCTION OF THIS PLAN MUST BE LICENSED BY THE STATE OF UTAH FOR THE TYPE OF WORKS BEING PERFORMED.
- CODES, LAWS, REGULATIONS, AND PERMITS BY FEDERAL, STATE, COUNTY AND CITY AGENCIES FOR DESIGN CONCEPT, MATERIALS AND WORKMANSHIP MUST BE RESEARCHED AND SATISFIED BY THE CONTRACTOR. REPORT ANY PROBLEMS OR REQUIREMENTS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST VERIFY THE REGULATIONS FOR AND SECURE ANY PERMITS BEFORE BEGINNING CONSTRUCTION. THE COST FOR THE PERMIT FEES MAY BE SUBMITTED TO THE OWNER FOR REIMBURSEMENT. CALL BLUE STAKES AND REFER TO DRAINAGE AND CIVIL PLANS BEFORE ANY TRENCHING OR EXCAVATION.
- CONSTRUCTION SAFETY AND CLEANUP MUST MEET OSHA STANDARDS AT ALL TIMES. ALL CONTRACTORS MUST HAVE ADEQUATE LIABILITY, PERSONNEL, INJURY AND PROPERTY DAMAGE INSURANCE. CLEAN UP MUST BE PERFORMED DAILY, AND ALL HARDSCAPE ELEMENTS MUST BE WASHED FREE OF DIRT AND MUD ON FINAL CLEAN UP. CONSTRUCTION MUST OCCUR IN A TIMELY MANNER.
- LANDSCAPE PLANS AND DETAIL DRAWINGS ARE SCHEMATIC ONLY. DISCREPANCIES MAY EXIST, INCLUDING BUT NOT LIMITED TO BUILDING LOCATION, PROPERTY LINES, ANY DIMENSIONS SPECIFIED OR IMPLIED. THE CONTRACTOR WILL BE REQUIRED TO ADJUST PLANS AS NECESSARY TO RETAIN CONCEPT INTEGRITY. CONTACT LANDSCAPE ARCHITECT IF DISCREPANCIES EXIST.
- PLANT MATERIAL EXCAVATION: CALL BLUE STAKE AND MAKE REFERENCE TO DRAWING FOR 1/2 NATIVE SOIL TAKEN FROM EXCAVATED PLANT PIT. 1/3 TOPSOIL, AND 1/3 ORGANIC COMPOSTED MATERIAL. DEEP WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING. ADD BACKFILL MATERIAL TO DEPRESSIONS AS NECESSARY.
- EXCEPT FOR TREES, PLANT MATERIAL BACKFILL MUST BE A WELL MIXED COMBINATION OF 1/2 NATIVE SOIL TAKEN FROM EXCAVATED PLANT PIT, 1/3 TOPSOIL, AND 1/3 ORGANIC COMPOSTED MATERIAL. DEEP WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING. ADD BACKFILL MATERIAL TO DEPRESSIONS AS NECESSARY.
- SOIL AMENDMENTS SHALL INCLUDE COMPOSTED ORGANIC MATERIAL, TO BE ADDED AT A RATE OF THREE CUBIC YARDS PER 1,000 SQUARE FEET, TILL INTO THE SUBGRADE SOIL PRIOR TO PLACING TOPSOIL. TILL AMENDMENTS IN TO A DEPTH OF 6". ALL SOD AREAS SHALL HAVE THE SOIL AMENDED.
- TOP SOIL MUST BE A PREMIUM QUALITY DARK SANDY LOAM, FREE OF ROCKS, CLODS, ROOTS, AND PLANT MATTER. THE TOPSOIL SHALL BE EVENLY SPREAD AND SMOOTH GRADED ON A CAREFULLY PREPARED AMENDED SUBGRADE. TOPSOIL SHALL BE SPREAD TO A DEPTH OF FIVE INCHES (5") IN ALL SOD AND SHRUB AREAS.
- SOD MUST BE PREMIUM QUALITY, ULTRA GREEN, EVENLY CUT, ESTABLISHED, HEALTHY, WEED AND DISEASE FREE, AND FROM AN APPROVED SOURCE. SOD MUST BE DELIVERED AND Laid IMMEDIATELY AFTER CUTTING. SOD MUST BE Laid WITH NO GAPS BETWEEN PIECES ON A CAREFULLY PREPARED TOPSOIL LAYER. THE LAID SOD MUST BE IMMEDIATELY WATERED AFTER INSTALLATION. ANY BURNED AREAS WILL REQUIRE REPAIRS. ADJUST SPRINKLER SYSTEM TO ASSURE HEALTHY GREEN SURVIVAL OF THE SOD WITH WATER WASTE. TURF GRASS TO BE CHAINHARE PERMANENT IMPERIAL BULLDOG (OR EQUIVALENT) WHICH IS A WATER-WISE TURF. INSTALL AND MAINTAIN PER-GROWERS SPECIFICATIONS.

- MULCH OVER DEWITT PRO 5 WEED BARRIER WILL BE REQUIRED IN ALL LANDSCAPE BEDS FOR SHRUBS, PERENNIALS, AND ANNUALS. SEE PLANS FOR MULCH TYPES. MULCH SHALL BE EVENLY SPREAD ON A CAREFULLY PREPARED GRADE TO THE MINIMUM NOTED DEPTH. THE TOP OF ALL AREAS OF MULCH SHALL BE AT THE GRADE OF THE ADJACENT CURB, WALK, OR EDGE OF PAVEMENT.
- FERTILIZER FOR SOD AREAS SHALL BE FELLETTED, N-P-K AS APPROVED BY LANDSCAPE ARCHITECT FOR SEASONAL ADJUSTMENT. USE 20 LBS PER 5,000 SQUARE FEET OR AS PER MANUFACTURER'S SPECIFICATIONS. SPREAD EVENLY ON A CAREFULLY PREPARED TOPSOIL LAYER. JUST PRIOR TO LAYING SOD.
- TREE STAKING AND GUNNING SHALL BE ON AN AS NEEDED BASIS AND ONLY IF THE ROOT BALL IS UNSTABLE. THE CONTRACTOR SHALL DETERMINE STAKING NEEDS DEPENDENT ON THE SITE CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE GUNNING AND STAKING IN A TIMELY MANNER ONCE STAKED TREES HAVE TAKEN ROOT. NO STAKING SHALL REMAIN BEYOND A REASONABLE TIME FOR ROOT PENETRATION AND STABILIZATION.
- TREE WRAPPING MAY BE USED TO PROTECT YOUNG TREES FROM WINTER DAMAGE. TREE WRAPS SHALL ONLY BE INSTALLED IN THE FALL. IF THE CONTRACTOR INSTALLS WRAPS FOR TREE PROTECTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROMPTLY REMOVE WRAPS THE FOLLOWING SPRING.
- LANDSCAPE MAINTENANCE MUST BE PERFORMED BY THE LANDSCAPE CONTRACTOR DURING ESTABLISHMENT (30 DAYS AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT). RESPONSIBILITIES INCLUDE WEED CONTROL AND MOWING. NOTIFY OWNER AND CONSTRUCTION REPRESENTATIVE WHEN THE ESTABLISHMENT PERIOD HAS ENDED TO INSURE ONGOING MAINTENANCE. THE OWNER IS RESPONSIBLE FOR LANDSCAPE MAINTENANCE AND KEEP-ONCE ESTABLISHMENT PERIOD HAS ENDED.
- ALL PLANT MATERIAL AND LANDSCAPE ELEMENTS THAT WILL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE. ANY ITEMS THAT ARE NOT FIRST CLASS PREMIUM QUALITY WILL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. ANY PLANT MATERIAL THAT IS NOT PREMIUM QUALITY OR APPEARS STRESSED IN ANY WAY DURING THE GUARANTEE PERIOD MAY REQUIRE REPLACEMENT. THE CONTRACTOR MUST SCHEDULE A FREE AND POST GUARANTEE MEETING WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION. FAILURE TO DO SO WILL MEAN THE ORIGINAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DEACTIVATED.
- SUBMITTALS OF ALL LANDSCAPE MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK. PROVIDER INFORMATION AND SAMPLES SHALL BE SUBMITTED OF ANY GRAVEL OR WOOD MULCHES. NURSERY STOCK SUBMITTAL SHALL INCLUDE PROVIDER INFORMATION WITH A LIST OF PLANT MATERIALS BEING PROVIDED BY THE NURSERY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES LISTED ON THE PLANS AND THE AVAILABILITY OF ALL PLANT MATERIALS IN THEIR SPECIFIC SIZES PRIOR TO SUBMITTING A BID. THE CONTRACTOR MUST NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A BID IF THE CONTRACTOR DETERMINES A QUANTITY DEFICIENCY OR AVAILABILITY PROBLEM WITH SPECIFIED MATERIAL.
- SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION CONSTRUCTION SHALL BE THE 2007 APWA MANUAL OF STANDARD SPECIFICATIONS.
- ALL LANDSCAPE MATERIAL SHALL BE FULLY IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM (DESIGN BUILD). IRRIGATION DESIGN SHALL BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- TREE REMOVAL OR TREE PLANTING IN THE PUBLIC RIGHT-OF-WAY REQUIRES APPROVAL FROM THE SANDY CITY URBAN FORESTER OR SUBMIT PLANS CONTAINING AN URBAN FORESTER APPROVAL.

- IRRIGATION REQUIREMENT NOTES:
 - MULCH: AFTER COMPLETION OF ALL PLANTING, ALL IRRIGATED NON-TURF AREAS SHALL BE COVERED WITH A MINIMUM LAYER OF 2-4 INCHES OF MULCH TO RETAIN WATER, INHIBIT WEED GROWTH AND MODERATE SOIL TEMPERATURE. NON-POROUS MATERIAL SHALL NOT BE PLACED UNDER THE MULCH. 4" MULCH IN ALL IRRIGATED NON-TURF AREAS. IF ROCK MULCH, MINIMUM IS 3".
 - LANDSCAPE WATER METER: A WATER METER AND BACKFLOW PREVENTION ASSEMBLY THAT ARE IN COMPLIANCE WITH STATE CODE SHALL BE INSTALLED FOR LANDSCAPE IRRIGATION SYSTEMS, AND THE LANDSCAPE WATER METER AND BACKFLOW PREVENTION ASSEMBLY SHALL BE SEPARATE FROM THE WATER METER AND BACKFLOW PREVENTION ASSEMBLY INSTALLED FOR INDOOR USE. THE SIZE OF THE METER SHALL BE DETERMINED BASED ON IRRIGATION DEMAND.
 - PRESSURE REGULATION: A PRESSURE REGULATING VALVE SHALL BE INSTALLED AND MAINTAINED BY THE CONSUMER IF THE STATIC SERVICE PRESSURE EXCEEDS 80 POUNDS PER SQUARE INCH (PSI). THE PRESSURE REGULATING VALVE SHALL BE LOCATED BETWEEN THE LANDSCAPE WATER METER AND THE FIRST POINT OF WATER USE, OR FIRST POINT OF DIVISION IN THE PIPE, AND SHALL BE SET AT THE MANUFACTURER'S RECOMMENDED PRESSURE FOR SPRINKLERS.
 - AUTOMATIC CONTROLLER: ALL IRRIGATION SYSTEMS SHALL INCLUDE AN ELECTRIC AUTOMATIC CONTROLLER WITH MULTIPLE PROGRAM AND MULTIPLE REPEAT CYCLE CAPABILITIES AND A FLEXIBLE CALENDAR PROGRAM. ALL CONTROLLERS SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE.
 - ON SLOPES EXCEEDING 30%, THE IRRIGATION SYSTEM SHALL CONSIST OF DRIP EMITTERS, BUBBLERS, OR SPRINKLERS WITH A MAXIMUM PRECIPITATION RATE OF 0.85 INCHES PER HOUR AND ADJUSTED SPRINKLER CYCLE TO ELIMINATE RUNOFF.
 - EACH VALVE SHALL IRRIGATE A LANDSCAPE WITH SIMILAR SITE, SLOPE AND SOIL CONDITIONS AND PLANT MATERIALS WITH SIMILAR WATERING NEEDS. TURF AND NON-TURF AREAS SHALL BE IRRIGATED ON SEPARATE VALVES.
 - DRIP EMITTERS OR A BUBBLER SHALL BE PROVIDED FOR EACH TREE WHERE PRACTICABLE. BUBBLERS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE PER DEVICE. BUBBLERS FOR TREES SHALL BE ON SEPARATE VALVE UNLESS SPECIFICALLY EXEMPTED BY THE SANDY CITY PUBLIC UTILITIES DEPARTMENT DUE TO THE LIMITED NUMBER OF TREES ON THE PROJECT SITE.
 - NO SPRINKLERS SHALL HAVE MATCHED PRECIPITATION RATE WITH EACH CONTROL VALVE CIRCUIT.
 - CHECK VALVES SHALL BE REQUIRED WHERE ELEVATION DIFFERENCES WILL CAUSE LOW-HEAD DRAINAGE. PRESSURE COMPENSATING VALVES AND SPRINKLERS SHALL BE REQUIRED WHERE A SIGNIFICANT VARIATION IN WATER PRESSURE WILL OCCUR WITHIN THE IRRIGATION SYSTEM DUE TO ELEVATION DIFFERENCES.
 - DRIP IRRIGATION LINES SHALL BE PLACED UNDERGROUND OR OTHERWISE PERMANENTLY COVERED, EXCEPT FOR DRIP EMITTERS AND WHERE APPROVED AS A TEMPORARY INSTALLATION. FILTERS AND END FLUSH VALVES SHALL BE PROVIDED AS NECESSARY.



1 TREE PLANTING AND STAKING

N.T.S.

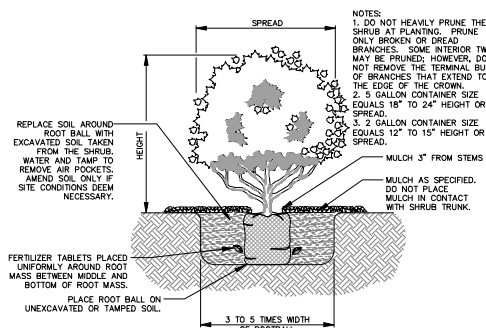
1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES, CROSS LIMBS, OR CO-DOMINANT LEADERS. SOME INTERIOR TWIGS MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- PAINT ALL CUTS OVER 1 INCH DIAMETER.
- STAKE ONLY IF ROOT BALL IS UNSTABLE.
- IF STAKING IS NECESSARY, STAKE ABOVE FIRST BRANCHES AND AS NECESSARY FOR FIRM SUPPORT.
- MULCH AS SPECIFIED. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.
- 4 INCH HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL. CUT AND REMOVE BURLAP, TWINE, AND WIRE FROM TOP 3/8 OF ROOTBALL.
- IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8 INCHES INTO PLANTING HOLE.
1. DO NOT HEAVILY PRUNE THE SHRUB OR BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- 5 GALLON CONTAINER SIZE EQUALS 18" X 24" HEIGHT OR SPREAD.
- 2 GALLON CONTAINER SIZE EQUALS 12" X 15" HEIGHT OR SPREAD.
- MULCH 3" FROM STEMS
- MULCH AS SPECIFIED. DO NOT PLACE MULCH IN CONTACT WITH SHRUB TRUNK.
- FERTILIZER TABLETS PLACED UNIFORMLY AROUND ROOT MASS BETWEEN MIDDLE AND BOTTOM OF ROOT MASS.
- PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
- 3 TO 5 TIMES WIDTH OF ROOTBALL

3 SHRUB AND ORNAMENTAL GRASS PLANTING

N.T.S.

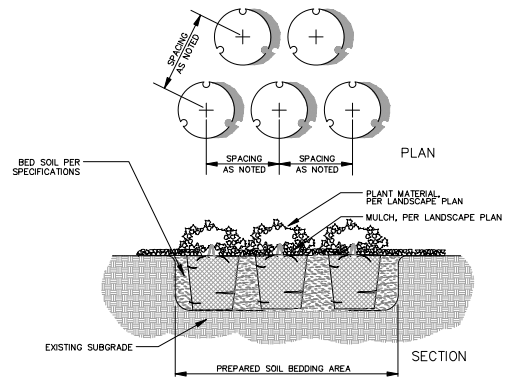
1. IRRIGATION ZONES WITH OVERHEAD SPRAY OR STREAM SPRINKLERS SHALL BE DESIGNED TO OPERATE BETWEEN 6:00 P.M. AND 10:00 A.M. TO REDUCE WATER LOSS FROM WIND AND EVAPORATION. THIS WOULD EXCLUDE DRIP OR BUBBLER ZONES.
- PROGRAM VALVES FOR MULTIPLE REPEAT CYCLES WHERE NECESSARY TO REDUCE RUNOFF, PARTICULARLY SLOPES AND SOILS WITH SLOW INFILTRATION RATES.
- FOLLOWING CONSTRUCTION AND PRIOR TO RELEASE OF THE SECONDARY BOND GUARANTEE POSTED FOR THE PROJECT, A WATER USE EFFICIENCY REVIEW WILL BE CONDUCTED BY A LANDSCAPE IRRIGATION AUDITOR. THE AUDITOR SHALL BE INDEPENDENT OF THE CONTRACTOR, DESIGN FIRM, AND OWNER/DEVELOPER OF THE PROJECT. THE WATER PERFORMANCE AUDIT WILL VERIFY THAT THE IRRIGATION SYSTEM COMPLIES WITH THE MINIMUM STANDARDS REQUIRED BY SANDY CITY ORDINANCE. THE MINIMUM EFFICIENCY REQUIRED FOR THE IRRIGATION SYSTEM IS 60% FOR DISTRIBUTION EFFICIENCY FOR ALL FIRED SPRAY SYSTEMS AND 70% DISTRIBUTION EFFICIENCY FOR ALL ROTOR SYSTEMS. THE AUDITOR SHALL FURNISH A CERTIFICATE TO THE CITY, DESIGNER, INSTALLER AND OWNER/DEVELOPER. COMPLIANCE WITH THE MINIMUM DISTRIBUTION REQUIREMENTS, COMPLIANCE WITH THIS PROVISION IS REQUIRED BEFORE THE CITY WILL RELEASE THE BOND FOR THE PROJECT.
- PLANTS WHICH REQUIRE DIFFERENT AMOUNTS OF WATER SHALL BE IRRIGATED BY SEPARATE VALVES. IF ONE VALVE IS USED FOR A GIVEN AREA, ONLY PLANTERS WITH SIMILAR WATER USE SHALL BE USED IN THAT AREA. LAWN AREAS AND PLANTERS SHALL BE IRRIGATED BY SEPARATE VALVES.
- A SEPARATE BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED FOR THE IRRIGATION SYSTEM.
- A RAIN SENSING OVERRIDING DEVICE SHALL BE UTILIZED SO THAT THE IRRIGATION SYSTEM WILL AUTOMATICALLY TURN OFF IN THE EVENT OF RAIN.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT OVERTIRRIGATION AND WATER RUN OFF ONTO ADJACENT PROPERTY, NON-IRRIGATED AREAS, WALKS, ROADWAYS OR STRUCTURES.
- AN AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLER HEADS SHALL BE REQUIRED FOR ALL NEW LANDSCAPES, LOW FLOW SPRINKLER HEADS SHALL BE USED WHEREVER POSSIBLE.
- NO IRRIGATION OF WALKS OR DRIVE.
- WATER AUDIT IS REQUIRED PRIOR TO BOND BEING RELEASED. SUGGEST THE AUDIT BE DONE WITHIN 60 DAYS OF INSTALLING IRRIGATION AND LANDSCAPE.

- LANDSCAPE REQUIREMENT NOTES:**
- TREES SHALL BE PLANTED IN PUBLIC PARKS STRIPS LESS THAN 8 FEET WIDE. CENTERLINE OF TREES SHALL BE PLANTED MINIMUM OF 4 FEET AWAY FROM BACK OF CURB AND EITHER SIDE OF SIDEWALK.
 - 2:1H:1V MAXIMUM SLOPE IN LANDSCAPED AREAS.



2 EVERGREEN TREE PLANTING

N.T.S.



4 GROUND COVER, ANNUAL, AND/OR PERENNIAL PLANTINGS

N.T.S.

TOPSOIL QUALITY GUIDELINES

Category	Salinity salt (dS/m or mmol/mole)	pH	CEC (meq/100g)	OM (%)	Clay (%)	Total (clay)	Organic Matter (%)	% Cations (pH 7.0) (Ca, Mg, K)	Soil Acidity (pH)
Ideal	< 2	5.5 to 7.5	> 70	> 70	< 30	> 15	≥ 2.0	≤ 2	< 3 for any texture
Acceptable	< 4	5.0 to 8.0	> 70	> 70	< 30	30.1 to 50.0	≥ 1.0	2.1 to 5.0	3 to 7 for 36.0 to 3 to 10 for 10.0 to 1.0
Unacceptable	> 4	4.5 to 8.5	> 70	> 70	> 30	10, 50, 50.1 to 50.0	< 1.0	> 5.0	> 10 for any texture

* 1 = loam; Ss = silt; SC = sandy clay; SL = sandy loam; C = clay; Sp = silty clay; SCL = silty loam; SCS = silty clay sand; SC = sandy clay; SC = silty clay; S = silt; Ss = silty; C = clay. *This guideline also includes no fragments larger than 1/8 inch in diameter.

Category	Nitrate-nitrogen (ppm or mg/kg soil)	Phosphorus (ppm or mg/kg soil)	Potassium (ppm or mg/kg soil)	Iron (ppm or mg/kg soil)
Acceptable	> 20	> 15	> 150	> 10

Source: Utah State University, "Topsoil Quality Guidelines for Landscaping", December 2010.

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NO.	REVISIONS	BY	DATE
1	REVISED PER OWNER REQUEST	DR	1/10/22

PLANNING, LANDSCAPE ARCHITECTURE, DESIGN SERVICES, SITE DESIGN, CONSTRUCTION ADMINISTRATION, UTAH LICENSE NO. 160248 (1/07/15) PHONE: 801.841.7464 EMAIL: info@foresitegroup.com



KEC LUBE CENTER
LANDSCAPE NOTES AND DETAILS
70 SOUTH 500 WEST BOUNTIFUL, UTAH

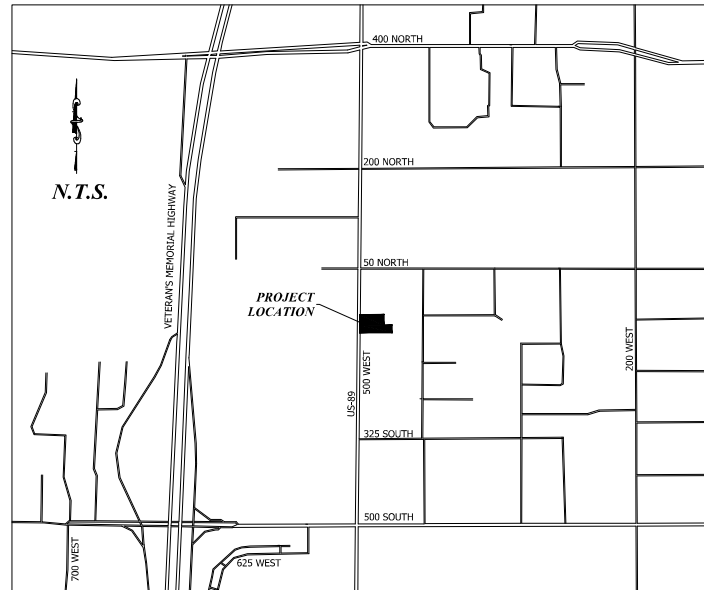


SHEET: **L-2**
FILE NAME: SCALE: 1/4"=1'-0"

KEC LUBE CENTER

77 SOUTH 500 WEST
 TAX PARCEL # 30-25-0125
 LOCATED IN THE SW 1/4 OF SECTION 19, T.2N., R.1E., S.L.B.&M.
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

VICINITY MAP



DRAWING INDEX

C100	COVER AND INDEX
C101	NOTES & LEGEND
C200	TOPOGRAPHIC SURVEY
C300	DEMOLITION PLAN
C400	SITE PLAN
C401	LANDSCAPING PLAN
C500	GRADING/UTILITY PLAN
C800	UDOT EXHIBIT
DT100	SITE DETAILS
DT200	UDOT DETAILS
DT300	STORMTECH DETAILS
EC100	EROSION CONTROL PLAN
TOTAL SHEETS	12

UDOT NOTES

- All construction within the UDOT right-of-way shall conform to the most current UDOT standard (including supplemental) drawings and specifications.
- The contractor is to obtain an encroachment permit from the applicable UDOT Region Permit office prior to commencing work within UDOT right-of-way. Working hour limitations will be listed in the limitations section of the encroachment permit.
- UDOT reserves the right, at its option, to install a raised median island or restrict the access to a right-in or right-cut at any time.
- Owner, developer, and contractor are responsible for any damages directly or indirectly within the UDOT right-of-way as a result of development activities.
- Owner, developer, and/or contractor is required to hire an independent company for all testing within the UDOT right-of-way.
- All signs installed on the UDOT right-of-way must be high intensity grade (Type XI sheeting) with a B3 slip base. Install all signs per UDOT SN series Standard Drawings.
- Comply with the requirements of Utah Code 17-23-14 (Disturbed Corners - County surveyor to be notified - Coordination with certain state agencies).

GENERAL NOTES

- ALL WORK WITHIN A PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNERS STANDARDS & SPECIFICATIONS.
- ALL UTILITY WORK SHALL CONFORM TO THE UTILITY OWNERS STANDARDS & SPECIFICATIONS.
- THESE PLANS DO NOT INCLUDE DESIGN OF DRY UTILITIES. THESE PLANS MAY CALL FOR RELOCATION AND/OR REPAIR AND/OR CONSTRUCTION OF DRY UTILITIES, BUT ARE NOT OFFICIAL DRAWINGS FOR SUCH. DESIGN AND COORDINATION OF DRY UTILITIES IS BY OTHERS.
- THE CONTRACTOR SHALL COORDINATE AND OBTAIN ANY PERMITS REQUIRED FOR THE WORK SHOWN HEREON.
- THE LOCATION AND ELEVATIONS OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS IS A BEST ESTIMATE BASED ON UTILITY COMPANY RECORDS, BLUESTAKES, AND FIELD MEASUREMENTS OF READILY OBSERVABLE ABOVE-GROUND FEATURES. AS SUCH, THIS INFORMATION MAY NOT BE COMPLETE, UP-TO-DATE, OR ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STOP WORK AND NOTIFY THE ENGINEER IF CONFLICTING INFORMATION IS FOUND IN THE FIELD.
- THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION AND ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES PRIOR TO STAKING AND CONSTRUCTION.
- CALL BLUESTAKES AT LEAST 48 HOURS PRIOR TO DIGGING. DO NOT PROCEED UNTIL BLUESTAKES ARE MARKED.
- IT SHALL BE THE CONTRACTORS AND SUBCONTRACTORS RESPONSIBILITY TO MEET ALL APPLICABLE HEALTH AND SAFETY REGULATIONS, AND SHALL ASSUME SOLE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING CONSTRUCTION OF THIS PROJECT, SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK, AND THE PUBLIC IS PROTECTED.

Know what's below.
 Call **811** before you dig.

BLUE STAKES OF UTAH
 UTILITY NOTIFICATION CENTER, INC.
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COVER	REV.	BY	DATE
	1	CSA	05/08/24
DRAWN:			
MM	1/20/2020		
APPROVED:			
STA	6/19/24		
PROJECT:			
	1608005		
DWG: Lube Center 1608005 2024-06-11.dwg			



1470 South 600 West
 Woods Cross, UT 84010
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GENERAL NOTES	UTILITY NOTES	GRADING NOTES	LEGEND	ABBREVIATIONS
<p>1. ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY. CONTACT THE PUBLIC WORKS OFFICE BEFORE BEGINNING.</p> <p>2. CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND AVAILABILITY OF EXISTING UTILITIES. UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE. SEE UTILITY NOTE 3.</p> <p>3. ALL DIMENSIONS ARE IN FOOT UNITS AND ARE TO THE TOP BACK OF CURB UNLESS SHOWN OR NOTED OTHERWISE.</p> <p>4. PROVIDE HANDICAP RAMPS AT ENDS OF WALKWAYS, END 0.1' ABOVE FLOWLINE OF CURB.</p> <p>5. CURB AND GUTTER SHALL BE AS PER APWA STD DWG 205 TYPE.</p> <p>6. UTILITY INFORMATION INDICATED ON DRAWINGS IS BASED UPON VISUAL OBSERVATION OR INFORMATION FURNISHED BY MUNICIPAL AUTHORITIES WHICH MAY NOT BE VALID. LATERAL LOCATIONS AND ELEVATIONS ARE ASSUMED. SEE UTILITY NOTE 3.</p> <p>7. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A QUALIFIED SOILS ENGINEER WHO SHALL VERIFY THAT ALL FILL HAS BEEN PLACED IN ACCORDANCE WITH PROVISIONS IN CURRENT INTERNATIONAL BUILDING CODE.</p> <p>8. COMPACTION TEST REPORTS SHALL BE MADE AVAILABLE TO THE ENGINEER WITHIN 24 HOURS OF A REQUEST. FINAL REPORTS AS SPECIFIED IN CURRENT INTERNATIONAL BUILDING CODE SHALL BE SUBMITTED TO THE ENGINEER WITHIN TEN DAYS AFTER COMPLETION OF GRADING.</p> <p>9. ALL STORM DRAIN PIPE SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND THE LOCAL GOVERNING MUNICIPALITY'S STANDARDS AND SPECIFICATIONS.</p> <p>10. STORM DRAIN PIPE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNERS SPECIFICATIONS. PRIVATE STORM DRAIN PIPE OPTIONS SHALL CONSIST OF THE FOLLOWING MATERIALS.</p> <ol style="list-style-type: none"> PVC PIPE, ASTM D3034, SDR 35, HELL & SPROGOT TYPE. RIP PIPE, ASTM D3034, SDR 35, HELL & SPROGOT TYPE. HIGH DENSITY CORRUGATED POLYETHYLENE SHEATH INTERIOR PIPE, ASTM D3535 WITH WATERGIGHT JOINTS. <p>11. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CHECK CONDITIONS AT THE SITE BEFORE STARTING WORK AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.</p> <p>12. TYPICAL DETAILS SHALL APPLY IN GENERAL. CONSTRUCTION UNLESS SPECIFICALLY DETAILED. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION WILL BE AS FOR SIMILAR WORK. DO NOT SCALE DRAWINGS.</p> <p>13. ANY OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.</p> <p>14. PIPE BEDDING SHALL BE 3/8" MAXIMUM AGGREGATE. USE 3/4" MAXIMUM SIZE ROAD BASE FOR BACKFILL MATERIAL. COMPACT TO 95% STANDARD PROCTOR DENSITY. MAXIMUM LIFT 8 INCHES.</p> <p>15. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC AND OSHA STANDARDS.</p> <p>16. ALL WORK SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION UTAH CHAPTER (APWA) MANUAL OF STANDARD SPECIFICATIONS 2007 EDITION WITH ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT PIPING AND CONDUITS, STRUCTURES AND OTHER SUPPLEMENTS AND AMENDMENTS AND THE MANUAL OF STANDARD PLANS 2007 EDITION. SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE THE REQUIREMENTS.</p> <p>17. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTAINED AND THE WORK TO BE COMPLETED IN ACCORDANCE WITH THESE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITING AUTHORITY FROM THE OWNER AND/OR ENGINEER.</p> <p>18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUAINTANCE SURVEILLANCE INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER. ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.</p> <p>19. THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT PIPING AND CONDUITS, STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXS, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED, WHERE NECESSARY. SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.</p> <p>20. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND QUOTATIONS REFINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.</p>	<p>1. ALL SERVICE LATERALS SHALL BE EXTENDED 2 FEET PAST THE 10 FOOT P.U.E. TO THE PROPERTY LINE AND TO THE PUBLIC WORKS OFFICE BEFORE BEGINNING.</p> <p>2. ALL CONSTRUCTION SHALL COMPLY WITH LOCAL GOVERNING MUNICIPALITY DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.</p> <p>3. LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO FIELD VERIFY DEPTHS AND INVERT ELEVATIONS WITH EXISTING UTILITIES, INCLUDING LOCATIONS AND INVERT ELEVATIONS OF ALL EXISTING STRUCTURES OR PIPES, BEFORE STARTING OR CONSTRUCTING ANY NEW UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.</p> <p>4. CONTRACTOR IS RESPONSIBLE TO EXPOSE ALL UTILITY SERVICES STUBBED INTO PROJECT PROPERTY AND GIVE 184 ENTELLUS, INC. 48 HOURS PRIOR NOTICE SO 184 ENTELLUS CAN VERIFY DEPTHS AND INVERT ELEVATIONS TO DETERMINE IF CONFLICTS EXIST. ALSO ANY EXISTING UTILITIES THAT RUN ACROSS PROJECT PROPERTY WHICH MAY CAUSE POTENTIAL CONFLICT NEED TO BE EXPOSED AND LOCATED BOTH HORIZONTALLY AND VERTICALLY. CONTRACTOR PROCEEDS AT OWN RISK IF 184 ENTELLUS IS NOT NOTIFIED TO FIELD VERIFY THE ABOVE MENTIONED CONDITIONS.</p> <p>5. CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS WHERE APPLICABLE.</p> <p>6. NO GROUNDWATER OR DEBRIS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION, THE OPEN END OF ALL PIPES IS TO BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAYS WORK.</p> <p>7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS FOR H=20 LOAD REQUIREMENTS.</p> <p>8. ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.</p> <p>9. ALL SEWER LINES AND LATERALS ARE TO BE 50R 35 PVC PIPE.</p> <p>10. SEWER LATERALS WILL BE INSTALLED AT A UNIFORM SLOPE OF NOT LESS THAN 2% GRADE AND THEY SHALL HAVE A MINIMUM OF 4 FEET OF COVER, UNLESS OTHERWISE NOTED.</p> <p>11. ALL NEW CULVERT AND DRAINAGE WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.</p> <p>12. WATER LINES SHALL BE PVC-C900. WATER LINES SHALL BE A MINIMUM OF 10" HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET ALL HEALTH STANDARDS. MECHANICAL JOINTS REQUIRED WHEN LESS THAN 18" VERTICAL OR 10' HORIZONTAL SEPARATION FROM SEWER LINES.)</p> <p>13. ALL WATER LINES SHALL BE 6" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 1/2" MINIMUM UNLESS OTHERWISE NOTED.</p> <p>14. WATER SERVICE LATERALS TO INCLUDE ALL BRASS SADDLE, COPP STOP LATERAL, DOUBLE CHECK VALVE AND BACKFLOW PREVENTION DEVICE, AND SHUTOFF VALVE IN BOX NEAR BUILDING EDGE.</p> <p>15. ALL WATER LINES SHALL BE A MINIMUM 48" BELOW FINISH GROUND TO TOP OF PIPE. ALL VALVE BOXES AND MANHOLES SHALL BE RAISED OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE COLLAR IN PAVED AREAS.</p> <p>16. CONTRACTOR TO NOTIFY PUBLIC UTILITIES FOR CHLORINE TEST PRIOR TO FLUSHING LINES. CHLORINE TEST IN PIPE 24 HOURS MINIMUM WITH 25 PPM RESIDUAL. ALL TURNING MAINLINE VALVES, CHLORINATION, FLUSHING, PRESSURE TESTING, BACTERIA TESTING, ETC. TO BE COORDINATED WITH LOCAL GOVERNING MUNICIPALITY. ALL TESTS TO BE IN ACCORDANCE WITH ANWA STANDARDS.</p> <p>17. BOTTOM FLANGE OF FIRE HYDRANTS TO BE SET TO APPROXIMATELY 4" INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TEE, 6" LINE VALVE, AND HYDRANT COMPLETE TO MEET CITY STANDARDS.</p> <p>18. ALL NEW STORM DRAIN/LAND DRAIN CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.</p> <p>19. ALL STORM WATER CONVEYANCE PIPING TO BE RCP - CLASS 3 OR EQUAL, UNLESS OTHERWISE NOTED.</p> <p>20. CONTRACTOR IS TO SUBMIT SITE PLANS/SUBDIVISION PLAT TO DOMINION ENERGY GAS FOR DESIGN OF GAS SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH DOMINION ENERGY GAS FOR CONTRACT LIMITS OF WORK VERSUS DOMINION ENERGY GAS LIMITS.</p> <p>21. ALL GAS LINE TAPS TO BE HDPE WITH COPPER TRACER WIRE AND DETECTA TAP. TERMINATE TRACER WIRE AT APPROVED LOCATIONS.</p> <p>22. ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO-FUSION TECHNOLOGY.</p> <p>23. ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40 OR BETTER.</p> <p>24. ALL PHONE AND TV CONDUITS TO BE PVC SCH 40 OR BETTER.</p> <p>25. CONTRACTOR IS TO SUBMIT SITE PLANS/SUBDIVISION PLAT TO COMCAST FOR DESIGN OF CABLE TV SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH COMCAST FOR CONTRACT LIMITS OF WORK VERSUS COMCAST LIMITS.</p> <p>26. CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW TELEPHONE SERVICE TO NEW BUILDINGS OR LOTS WITH CENTURYLINK, A PVC CONDUIT, FLYWOOD BACKBOARD, AND GROUND WIRE IS REQUIRED FOR SERVICE THROUGH PROPERTY. COORDINATE LOCATION WITH CENTURYLINK.</p> <p>27. ALL UTILITIES ARE TO BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING AGENCY/DISTRICT STANDARDS AND SPECIFICATIONS: WATER - BOULDER CITY SEWER - BOULDER CITY IRRIGATION - OWNER ELECTRICAL - ROCKY MOUNTAIN POWER TELEPHONE - CENTURYLINK CITY NATURAL GAS - DOMINION ENERGY</p>	<p>1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, HEAVING OR UNSATURABLE MATERIALS AND REPLACING IT WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.</p> <p>EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 95% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 2% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.</p> <p>2. THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THE PROJECT. SPECIFIC DETAILS SHOWN SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.</p> <p>3. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTORS FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSURED INCLUDED IN THE CONTRACT.</p> <p>4. IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER.</p> <p>5. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.</p> <p>6. WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OF CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSED SURVIVOR VERIFY THE GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS. THE CONTRACTOR SHALL SUBMIT THE SLOPE AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR THE PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR TYPICAL CROSS SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POURS WITHOUT THE APPROVAL OF THE ENGINEER.</p>	<p>SECTION CORNER</p> <p>MONUMENT</p> <p>EXISTING SPOT ELEVATION</p> <p>PROPOSED SPOT ELEVATION</p> <p>DOWNWARD GRADE</p> <p>EXISTING INDEX CONTOUR</p> <p>EXISTING MINOR CONTOUR</p> <p>PROPOSED MINOR CONTOUR</p> <p>LOT OR BOUNDARY LINE</p> <p>PUBLIC UTILITY EASEMENT</p> <p>BUILDABLE AREA SETBACK</p> <p>CENTER LINE OF ROAD</p> <p>EXISTING FENCE</p> <p>PROPOSED FENCE</p> <p>EXISTING BUILDING</p> <p>PROPOSED BUILDING</p> <p>EXISTING ASPHALT</p> <p>PROPOSED ASPHALT</p> <p>EXISTING CONCRETE</p> <p>PROPOSED CONCRETE</p> <p>EXISTING CURB & GUTTER</p> <p>PROPOSED CURB & GUTTER</p> <p>ADA PARKING</p> <p>STREET LIGHT</p> <p>POWER POLE</p> <p>TELEPHONE POLE</p> <p>UTILITY POLE</p> <p>STREET SIGN</p> <p>ROCK WALL</p>	<p>DIAMETER</p> <p>DEGREES</p> <p>MINUTES, FEET</p> <p>SECONDS, INCHES</p> <p>ALGEBRAIC DIFFERENCE</p> <p>ADA AMERICAN DISABILITIES ACT</p> <p>ADS CORRUGATED BLACK PLASTIC PIPE</p> <p>ARCH ARCHITECT ARCHITECTURAL</p> <p>B&C BAR & CAB</p> <p>B/L BOUNDARY LINE AGREEMENT</p> <p>BLDG BUILDING</p> <p>BR BENCHMARK</p> <p>IND BOUNDARY</p> <p>IND BOUNDARY</p> <p>CR CATCH BASIN</p> <p>CH CHRD</p> <p>CH CHRD BEARING</p> <p>CI CAST IRON</p> <p>CP CAST IN PLACE</p> <p>CL CENTERLINE</p> <p>CMP CORRUGATED METAL PIPE</p> <p>CONC CONCRETE</p> <p>COMM COMMUNICATIONS</p> <p>CONSTR CONSTRUCTION</p> <p>CONV CONVEYANCE</p> <p>CU CULINARY WATER</p> <p>CU CULINARY WATER</p> <p>DEM DEMOLITION</p> <p>DIAM DIAMETER</p> <p>DIST DISTANCE</p> <p>E EAST</p> <p>EASE EASEMENT</p> <p>EL ELEVATION</p> <p>ELV ELEVATION</p> <p>END END OF ASPHALT</p> <p>END END OF CURB</p> <p>END END VERTICAL CURVE ELEVATION</p> <p>END END VERTICAL CURVE STATION</p> <p>FIN FINISH FLOOR ELEVATION</p> <p>FIN FINISH GRADE</p> <p>FIN FINISH GRADE</p> <p>FL FLOWLINE</p> <p>FR FIRE PROTECTION</p> <p>FR FIRE PROTECTION</p> <p>FTG FOOTING</p> <p>G GAS, NATURAL GAS</p> <p>GB GRADE BREAK</p> <p>GV GATE VALVE</p> <p>HDP HIGH-DENSITY POLYETHYLENE PIPE</p> <p>HP HIGH POINT</p> <p>HPE HIGH POINT ELEVATION</p> <p>HPS HIGH POINT STATION</p> <p>ID INSIDE DIAMETER</p> <p>INT INVERT</p> <p>IRB IRRIGATION MANHOLE</p> <p>K RADIUS OF CURVATURE</p> <p>LENGTH</p> <p>LAT LATERAL SERVICE</p> <p>LD LAND DRAIN</p> <p>LDH LAND DRAIN MANHOLE</p> <p>LG LG OF GUTTER</p> <p>LP LOW POINT</p> <p>LPK LOW POINT ELEVATION</p> <p>LPS LOW POINT STATION</p> <p>M MECHANICAL</p> <p>MECH MECHANICAL</p> <p>MECH MECHANICAL</p> <p>MON MONUMENT</p> <p>NE NORTH EAST</p> <p>NE NATURAL GRADE</p> <p>NR NON-RADIAL</p> <p>NW NORTHWEST</p> <p>OD OUTSIDE DIAMETER</p> <p>OP OVERHEAD POWER</p> <p>PC POINT OF CURVATURE</p> <p>PC PORTLAND CONCRETE CEMENT</p> <p>PI POINT OF INFLECTION</p> <p>PIR PROPERTY LINE</p> <p>PROP PROPERTY</p> <p>PT POINT OF TANGENCY</p> <p>PUB PUBLIC UTILITY EASEMENT</p> <p>PURGE PUBLIC UTILITY EASEMENT & DRAINAGE EASEMENT</p> <p>R RADIUS</p> <p>RC REBAR & CAP</p> <p>RCL ROADWAY CENTERLINE</p> <p>RCP REINFORCED CONCRETE PIPE</p> <p>ROW RIGHT OF WAY</p> <p>S SOUTH</p> <p>SD STORM DRAIN</p> <p>SDCR STORM DRAIN CATCH BASIN</p> <p>SDH STORM DRAIN CLEANOUT</p> <p>SDMH STORM DRAIN MANHOLE</p> <p>SEC SOUTH EAST</p> <p>SEC SECONDARY</p> <p>SEC SECTION</p> <p>SBLBM SALT LAKE BASE & MERIDIAN</p> <p>SPEC SPECIFICATION</p> <p>SPEC SPECIFICATION</p> <p>SPR STEEL PIPE</p> <p>SS SANITARY SEWER</p> <p>SSCO SANITARY SEWER CLEANOUT</p> <p>STD STANDARD</p> <p>STD STANDARD</p> <p>SW SECONDARY WATER</p> <p>SW SECONDARY WATER</p> <p>SW SECONDARY WATERLINE</p> <p>TW TRAVEL</p> <p>TB THRUST BLOCK</p> <p>TBC TOP BACK OF CURB</p> <p>TOW TOP BACK OF WALK</p> <p>TEL TELEPHONE</p> <p>TCW TOP OF CURB/WALK</p> <p>TOA TOP OF ASPHALT</p> <p>TOC TOP OF CONCRETE</p> <p>TOE TOE OF SLOPE OR WALL</p> <p>TOP TOP OF GATE</p> <p>TOW TOP OF WALL</p> <p>UTL UTILITY</p> <p>UD UNDERDRAIN</p> <p>UGP UNDERGROUND POWER</p> <p>VC VERTICAL CURVE</p> <p>W WEST WATER</p> <p>WS SECONDARY WATER</p> <p>WL WATERLINE</p> <p>WM WATER METER</p> <p>WP WORK POINT</p>
<p>SEQUENCE OF CONSTRUCTION</p>				
<p>1. CONSTRUCTION EXT IS TO BE CONSTRUCTED AT TIME OF ENTRY TO SITE.</p> <p>2. CLEAR AND GRUB AREAS FOR SEDIMENT MEASURES.</p> <p>3. INSTALL SILT FENCES.</p> <p>4. COMPLETE CLEARING OF SITE AND BEGIN ROUGH GRADING.</p> <p>5. FILL AREAS SHALL BE FILLED IN 12 INCH MAXIMUM LIFTS AND COMPACTED TO AT LEAST 95% MAXIMUM DENSITY.</p> <p>6. DRAINAGE WILL BE CONTROLLED AND GROUND SLOPED SO AS TO DIRECT RUNOFF TO SEDIMENT CONTROLLED AREAS.</p> <p>7. INSTALL REMAINDER OF STORM DRAIN.</p> <p>8. INSTALL UTILITY LINES, WATER, ETC.</p> <p>9. INSTALL CURBS, WALKS, ETC., AND STABILIZE ALL DISTURBED AREAS.</p> <p>10. INSTALL BASE COURSE.</p> <p>11. REMOVE SEDIMENT CONTROL MEASURES, CLEAN OUT TEMPORARY SEDIMENTATION BASINS AND REGRADE, CLEAN OUT SEDIMENT TRAPS AND CONVERT THEM TO STORM WATER MANAGEMENT STRUCTURES.</p> <p>12. PAVE SITE.</p> <p>13. OWNER TO BE RESPONSIBLE TO CHECK CLEAN OUT INLET BOXES FOR SEDIMENT AND OIL AND CLEAN AS NECESSARY</p>				

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 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DATE	REVISION	DATE	REVISION	DATE	REVISION
REV. 1	DATE	REV. 2	DATE	REV. 3	DATE
REV. 4	DATE	REV. 5	DATE	REV. 6	DATE
REV. 7	DATE	REV. 8	DATE	REV. 9	DATE
REV. 10	DATE	REV. 11	DATE	REV. 12	DATE

APPROVED: **SB**

DATE: 06/12/2024

PROJECT: 18888888

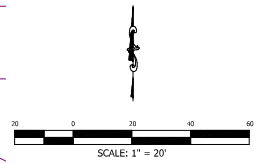
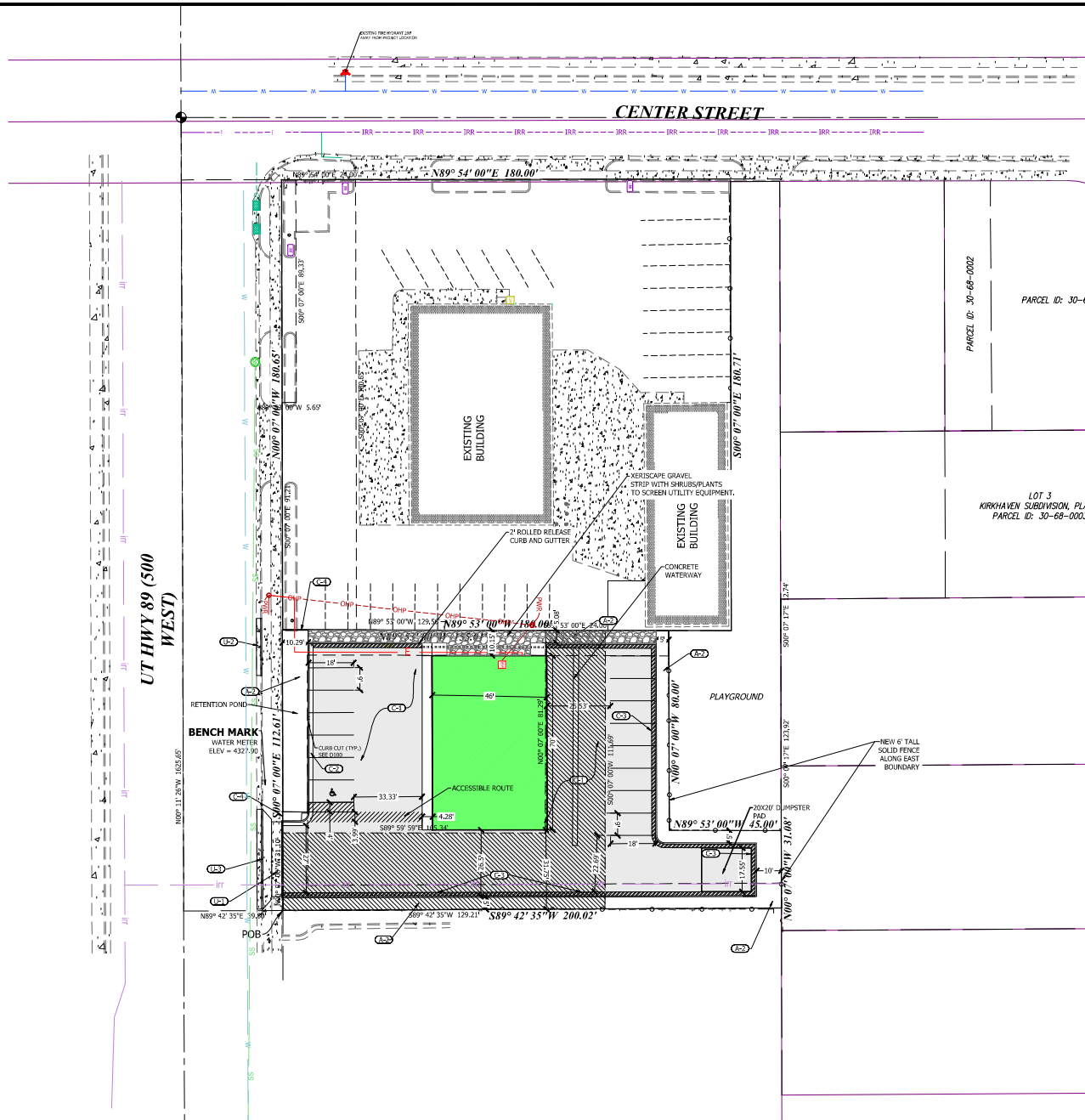
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 NOTES & LEGEND

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SYMBOL LEGEND

- (C-1) ASPHALT & BASE
PER DETAIL, SHEET DT100
- (C-2) 24" CONCRETE HIGH-BACK CATCH CURB & GUTTER
PER DETAIL, SHEET DT100
- (C-3) 24" CONCRETE HIGH-BACK RELEASE CURB & GUTTER
PER DETAIL, SHEET DT100
- (C-4) CONCRETE CURB WALL
PER DETAIL, SHEET DT100
- (C-5) CONCRETE CURB CUT
PER DETAIL, SHEET D100
- (C-6) 6" CONCRETE SLAB
PER DETAIL, SHEET DT100
- (C-7) CONCRETE SIDEWALK REPLACEMENT
PER UDOT STANDARD DRAWING GW-3A, SECTION A-A, SHEET DT200
- (C-8) CONCRETE CURB AND GUTTER REPLACEMENT PER UDOT STANDARD DRAWING GW-2A, TYPE B1, SHEET DT200
- (C-9) CONCRETE DRIVE APPROACH PER UDOT STANDARD DRAWING GW-3A, SHEET DT200
- (C-10) ADA ACCESSIBLE PARKING SIGN
PER DETAIL, SHEET DT100
- (C-11) LANDSCAPE AREA

ALL ITEMS WITHIN THE PUBLIC RIGHT-OF-WAY TO CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.

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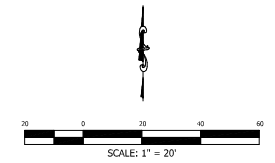
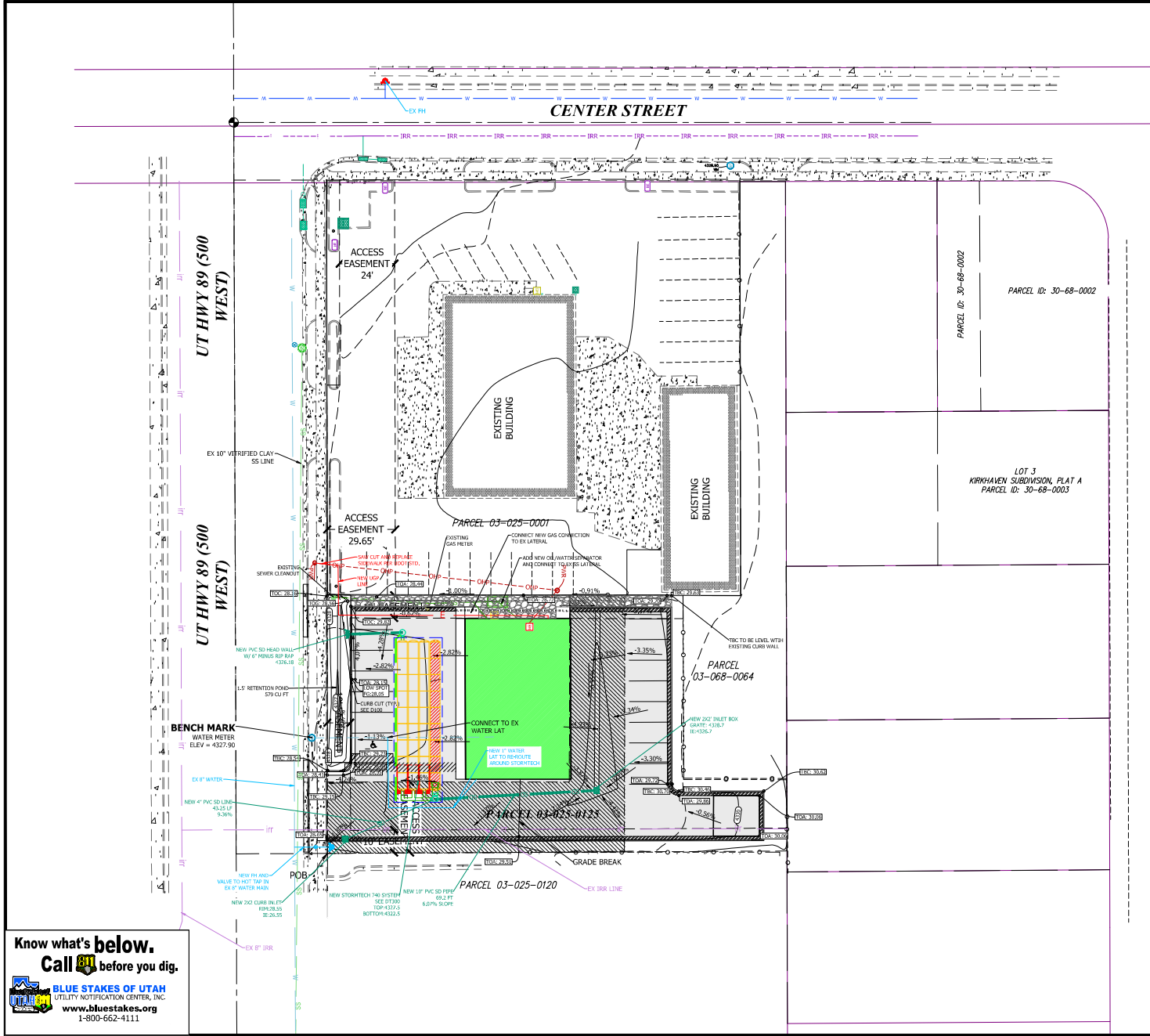


KEC LUBE CENTER

77 SOUTH 500 WEST
TAX PARCEL # 20-25-0123
LOCATED IN THE SW 1/4 OF SECTION 19, T.2N., R.1E., S.1.R.A.M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DATE	DESCRIPTION	BY	DATE

DRAWN: MM
APPROVED: STA
PROJECT NO: 1400005
DATE: 10/20/2023
104-006-0000
C400
SITE PLAN



NEW PARKING DRAINAGE CALCULATIONS

18 Mar 24

Pre-Development Area Analysis			
Area	Area	Area	C
Parking	2,514	5.36	0.05
Impervious	15,721	3.37	0.08
Grassland	4,573	3.22	0.12
Total	22,808	3.43	0.25

Post-Development Area Analysis			
Area	Area	Area	C
Parking	2,880	5.36	0.05
Impervious	13,789	3.38	0.08
Grassland	3,551	3.22	0.12
Total	20,220	3.43	0.24

Runoff Storage Analysis			
Area	Area	Area	C
Impervious	18,299	0.58	0.05
Grassland	1,921	0.14	0.12
Total	20,220	0.72	0.17

Required Volume: 3523 CU FT
 Pond Volume: 1828 CU FT
 Stormtech Volume: 1625 CU FT
 Total Provided: 3653 CU FT

REQUIRED VOLUME: 3523 CU FT
 POND VOLUME: 1828 CU FT
 STORMTECH VOLUME: 1625 CU FT
 TOTAL PROVIDED: 3653 CU FT

- NOTES:
- SEE DETAIL DRAWING ON SHEET DT101 FOR DIMENSIONS AND SIZE OF RETENTION TANKS.
 - ALL EXCESS RUNOFF TO BE RETAINED WITHIN PROPERTY.
 - THE CLOSEST FIRE HYDRANT IS LOCATED 280 FEET NORTH IN THE NORTHEAST CORNER OF THE US-89 AND CENTER STREET INTERSECTION.
 - EXIST PAVEMENT IMPROVEMENTS ARE NOT CHANGING AROUND THE BUILDING, NO DRAINAGE CALCULATION REQUIRED.
 - CONTRACTOR TO VERIFY EX UTILITY LINE LOCATION AND DEPTHS PRIOR TO NEW CONSTRUCTION.

1470 South 600 West
 Woods Cross, UT 84010
 Phone 801.298.2236
 www.Entellus.com

5-8-84
 No. 180988
 SCOTT T. ARBUTT
 PROFESSIONAL ENGINEER

KEC LUBE CENTER

77 SOUTH 500 WEST
 TAX PARCEL # 20-25-0123
 LOCATED IN THE SW 1/4 OF SECTION 19, T.2N., R.1E., S.1.R.4.M.
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DATE	REVISION	DATE

APPROVED: **STA**

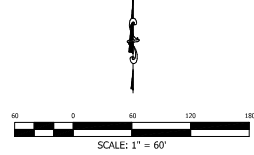
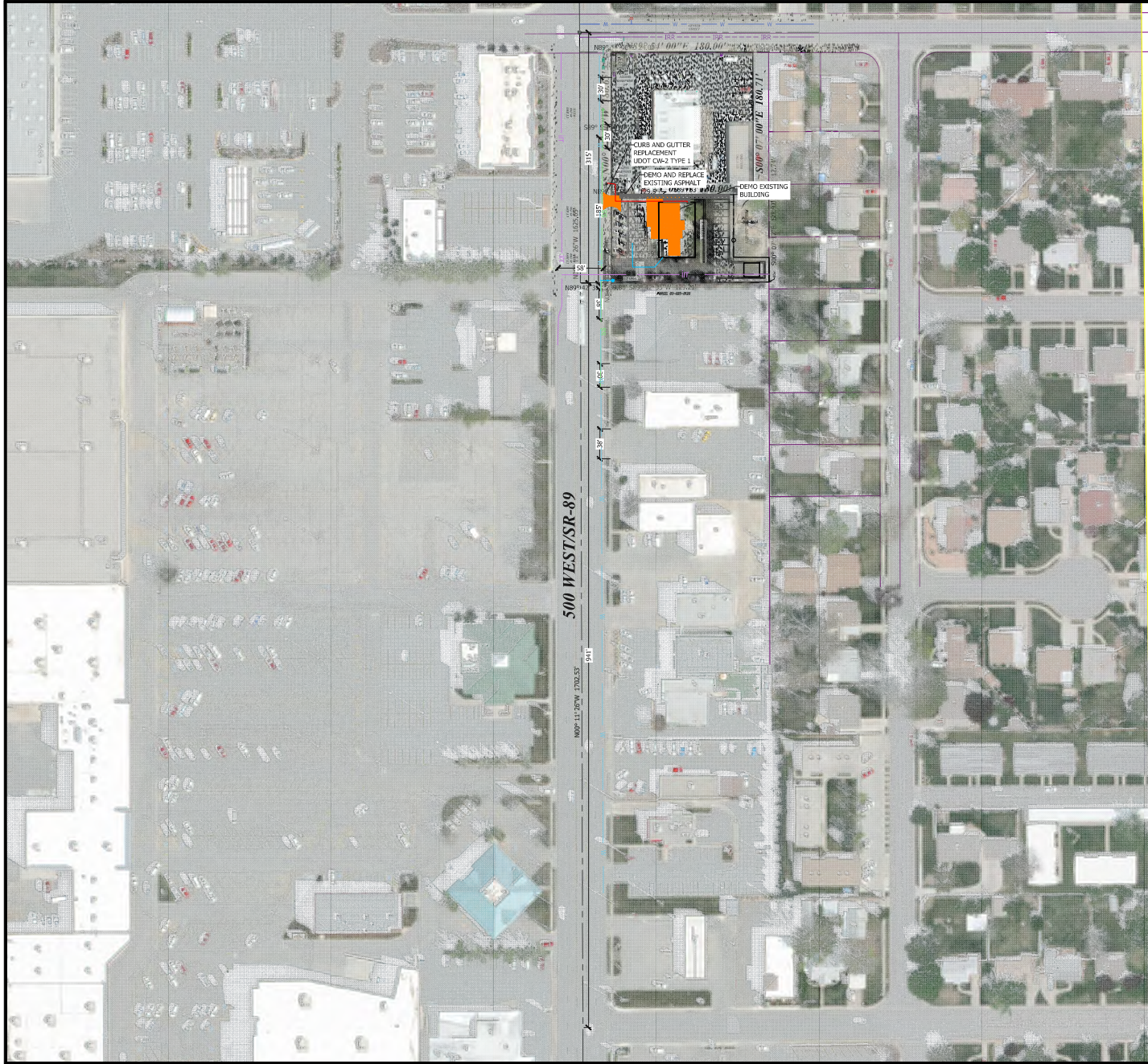
PROJECT: **KEC LUBE CENTER**

C500

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KBC VEHICLE LUBE CENTER

77 SOUTH 500 WEST
 TAX PARCEL # 20-25-0123
 LOCATED IN THE SW 1/4 OF SECTION 19, T.2N., R.1E., S.1.R.4M.
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

REVISION	DATE	REVISION	DATE
REV 1	DATE	REVISION	DATE
REV 2	DATE	REVISION	DATE
REV 3	DATE	REVISION	DATE
REV 4	DATE	REVISION	DATE
REV 5	DATE	REVISION	DATE
REV 6	DATE	REVISION	DATE
REV 7	DATE	REVISION	DATE
REV 8	DATE	REVISION	DATE

DRAWN: SB
 APPROVED: STA

PROJECT NO: 2024-001
 903-666-6666

C800
 UDOT EXHIBIT

NOTES

- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
- PLACE MATERIAL PER APWA SECTION 32 05 10.

PRIVATE ASPHALT SECTION

C-1
C400
TYPICAL
N.T.S.

NOTES

- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
- CONCRETE IS TO BE 4,000 PSI TEST.
- CONTROL JOINTS AT 10' INTERVALS.
- BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.

PRIVATE 24" CATCH CURB & GUTTER

C-2
C400
TYPICAL
N.T.S.

NOTES

- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
- CONCRETE IS TO BE 4,000 PSI TEST.
- CONTROL JOINTS AT 10' INTERVALS.
- BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.

PRIVATE 24" RELEASE CURB & GUTTER

C-3
C400
TYPICAL
N.T.S.

NOTES

- CONCRETE IS TO BE 4,000 PSI TEST.
- CONTROL JOINTS AT 10' INTERVALS.
- BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.
- STEEL REINFORCEMENT IS TO BE DEFORMED GRADE 60 STEEL, GALVANIZED OR EPOXY COATED.

PRIVATE CONCRETE 6"x18" CURB WALL

C-4
C400
TYPICAL
N.T.S.

PRIVATE DRAINAGE CURB CUT HI-BACK CURB & GUTTER

C-5
C400
TYPICAL
N.T.S.

PLAN VIEW

SECTION VIEW

DUMPSTER ENCLOSURE

C-6
C400
TYPICAL
N.T.S.

NOTES

- SIGN IS TO BE REFLECTIVE MATERIAL ON AN ALUMINUM BACKING PLATE.
- WHITE ADA SYMBOL ON A BLUE SQUARE.
- WHITE BACKGROUND.
- LETTERING IS TO BE BLUE OR GREEN.

ADA RESERVED PARKING SIGN

POLE-MOUNTED SIGN

A-1
C400
TYPICAL
N.T.S.

PRIVATE STORM DRAIN 2'X2' CATCH BASIN

SD-1
C600
TYPICAL
N.T.S.

NOTES

- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
- CONCRETE IS TO BE 4,000 PSI TEST.
- CONTROL JOINTS AT 10' INTERVALS.
- BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.
- STEEL REINFORCEMENT IS TO BE DEFORMED GRADE 60 STEEL, GALVANIZED OR EPOXY COATED.

PRIVATE 36" CONCRETE WATERWAY

C-5
C400
TYPICAL
N.T.S.

DETAIL AREA A

SECTION VIEW

PRIVATE STORM DRAIN CONTROL BOX WITH OVERFLOW WEIR

SD-1
C600
TYPICAL
N.T.S.

PRIVATE DRAINAGE CURB CUT ROLL CURB

C-8
C400
TYPICAL
N.T.S.

PRIVATE 24" RELEASE ROLL CURB

C-3
C400
TYPICAL
N.T.S.

NOTES

- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
- CONCRETE IS TO BE 4,000 PSI TEST.
- CONTROL JOINTS AT 10' INTERVALS.
- BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.

PRIVATE 24" RELEASE ROLL CURB

C-3
C400
TYPICAL
N.T.S.

NOTES

- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
- CONCRETE IS TO BE 4,000 PSI TEST.
- CONTROL JOINTS AT 10' INTERVALS.
- BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.

PRIVATE 24" RELEASE ROLL CURB

C-3
C400
TYPICAL
N.T.S.

1470 South 600 West
Woods Cross, UT 84010
Phone: 801.298.2236
www.Entellus.com

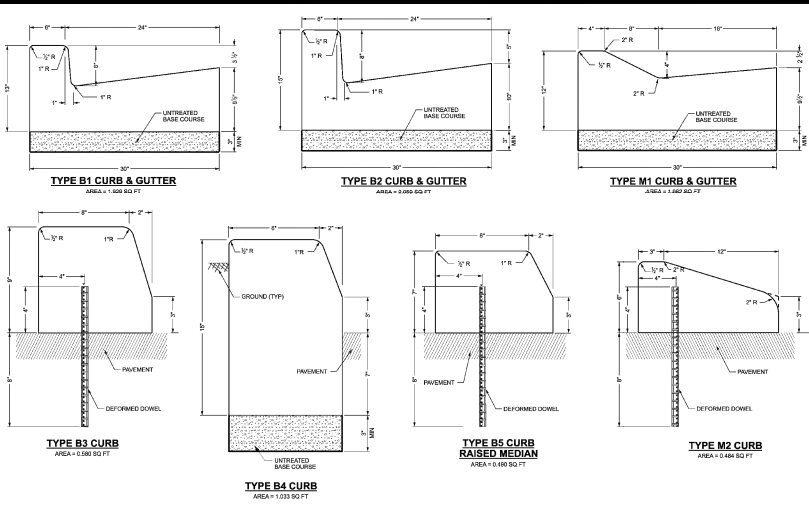
5-8-24
No. 180988
SCOTT T. ARDULT
P.E.

KEC LUBE CENTER

77 SOUTH 500 WEST
TAX PARCEL # 20-25-0123
LOCATED IN THE SW 1/4 OF SECTION 19, T.2N., R.1E., S.1&2 R.A.M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

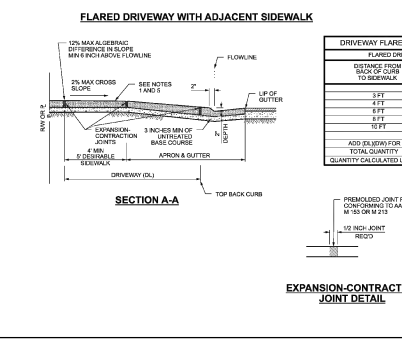
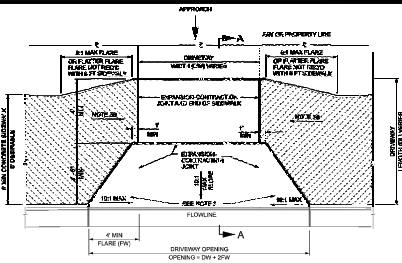
DATE	DESCRIPTION	DATE	DATE	DATE	DATE	DATE	DATE

DRAWN: ANX
APPROVED: STA
PROJECT: 180988
180988-01-01-01
DT100
SITE DETAILS SHEET



- NOTES:**
- USE 3/8" DEFORMED DOWELS ON 5 FT MAXIMUM CENTERS.
 - PRECAST CURBS:
 - MINIMUM OF 1/4" RADIUS.
 - DOWELS AT A MINIMUM OF 2 IN. TO 3 FT LEAD-IN.
 - INCLUDE ADEQUATE REINFORCING STEEL TO WITHSTAND HORIZONTAL STRESSES.
 - MEASURE CURB HEIGHT VERTICALLY FROM THE FLOW LINE OF THE GUTTER TO TOP BACK OF CURB.
 - REFER TO STD DWG 28 FOR CURB AND GUTTER AT ADA ACCESSIBLE.

UTAH DEPARTMENT OF TRANSPORTATION
 STANDARD DRAWING FOR CONSTRUCTION
 2024 Standard Drawing
 CONCRETE CURB AND GUTTER TYPES
 STD. DWG. NO. GW 2A



DRIVEWAY FLARE AREA CHART	
FLARED DRIVEWAY	
DISTANCE FROM BACK OF CURB TO SIDEWALK	FLARE AREA
3 FT	18 FT ²
4 FT	24 FT ²
5 FT	30 FT ²
6 FT	36 FT ²
7 FT	42 FT ²
8 FT	48 FT ²
9 FT	54 FT ²
10 FT	60 FT ²
ADD 2% SEVERAL TOTAL QUANTITY	
QUANTITY CALCULATED USING 4% SLOPE CURB	

- NOTES:**
- SIDEWALK CROSS SLOPE DIMENSIONS SHOWN ARE NOT SUBJECT TO CONVENTIONAL REDUCTION FOR MINIMUM. CONTRACTOR SHALL VERIFY THAT THE MAXIMUM OR MINIMUM VALUES ARE NOT EXCEEDED. WORK THAT EXCEEDS THOSE VALUES WILL NOT BE ACCEPTED.
 - MAXIMUM DISTANCE BETWEEN CONTROL JOINTS 10 FT LATERALLY AND LONGITUDINALLY UNLESS OTHERWISE SPECIFIED.
 - PROVIDE EXPANSION-CONTRACTION JOINTS IN CONCRETE SIDEWALK AT 30 FT INTERVALS AND WHERE CONCRETE SIDEWALK BUTTS AGAINST DRIVEWAY.
 - SEVERAL ABOVE THE DRIVEWAY LIMITS IS TWO AS PART OF DRIVEWAY, NOT AS PART OF SIDEWALK.
 - FLARED CONCRETE DRIVEWAY SIDEWALK - 6 INCH THICK, COMMERCIAL - 7 INCH THICK. USE THESE THICKNESSES FOR RESIDENTIAL SIDEWALK WITHIN DRIVEWAY AREA, APPROACH AND PAVEMENT. DETERMINE LONGITUDINAL SLOPE OF THE SIDEWALK AT MAXIMUM RATE OF FALLEN TO BEAT THE PAVEMENT APPROACH SLOPE. IF THE GRADES SHOWN ON THE SLOPE LISTING CANNOT BE MET, THE TOP BACK OF SIDEWALK IS TO BE MINIMUM 6 INCHES ABOVE THE FLOORLINE OF CURB AND GUTTER AT ALL TIMES.
 - USE CLASS A AND C CONCRETE FOR SIDEWALK AND DRIVEWAYS.
 - USE UNTREATED BASE COURSE UNDER ALL SIDEWALKS AND DRIVEWAYS.
 - QUANTITIES FOR DRIVEWAYS AND JOINT FLARES TO TOP BACK OF CURB, CURB AND GUTTER AND SEVERALS THROUGH DRIVEWAY LOCATIONS.
 - REMOVE EXISTING SIDEWALK AND REPLACE BACK TO NEAREST EXPANSION-CONTRACTION JOINT.
 - APPROACH IS FROM EXISTING DRIVEWAY TO TOP BACK CURB AND IS PART OF DRIVEWAY QUANTITIES.
 - DRIVEWAY DIMENSIONS (AREA AND LINE) ARE LOCATED IN UTAH ADMINISTRATIVE RULE RESIDUAL ACCESS MANAGEMENT.

UTAH DEPARTMENT OF TRANSPORTATION
 STANDARD DRAWING FOR CONSTRUCTION
 2024 Standard Drawing
 CONCRETE DRIVEWAYS AND SIDEWALKS
 STD. DWG. NO. GW 3A

KEC LUBE CENTER

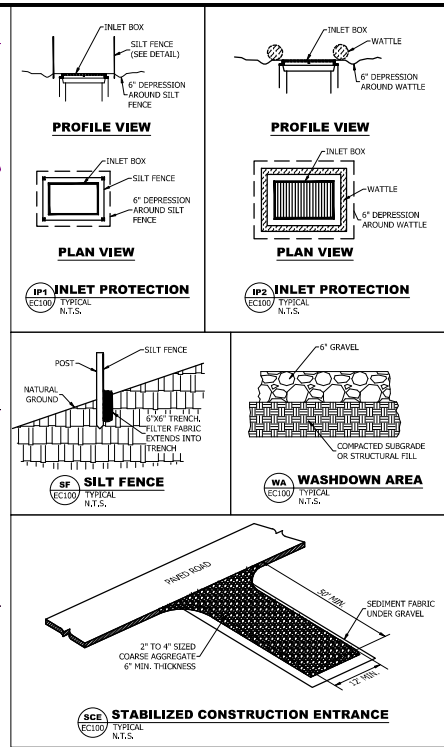
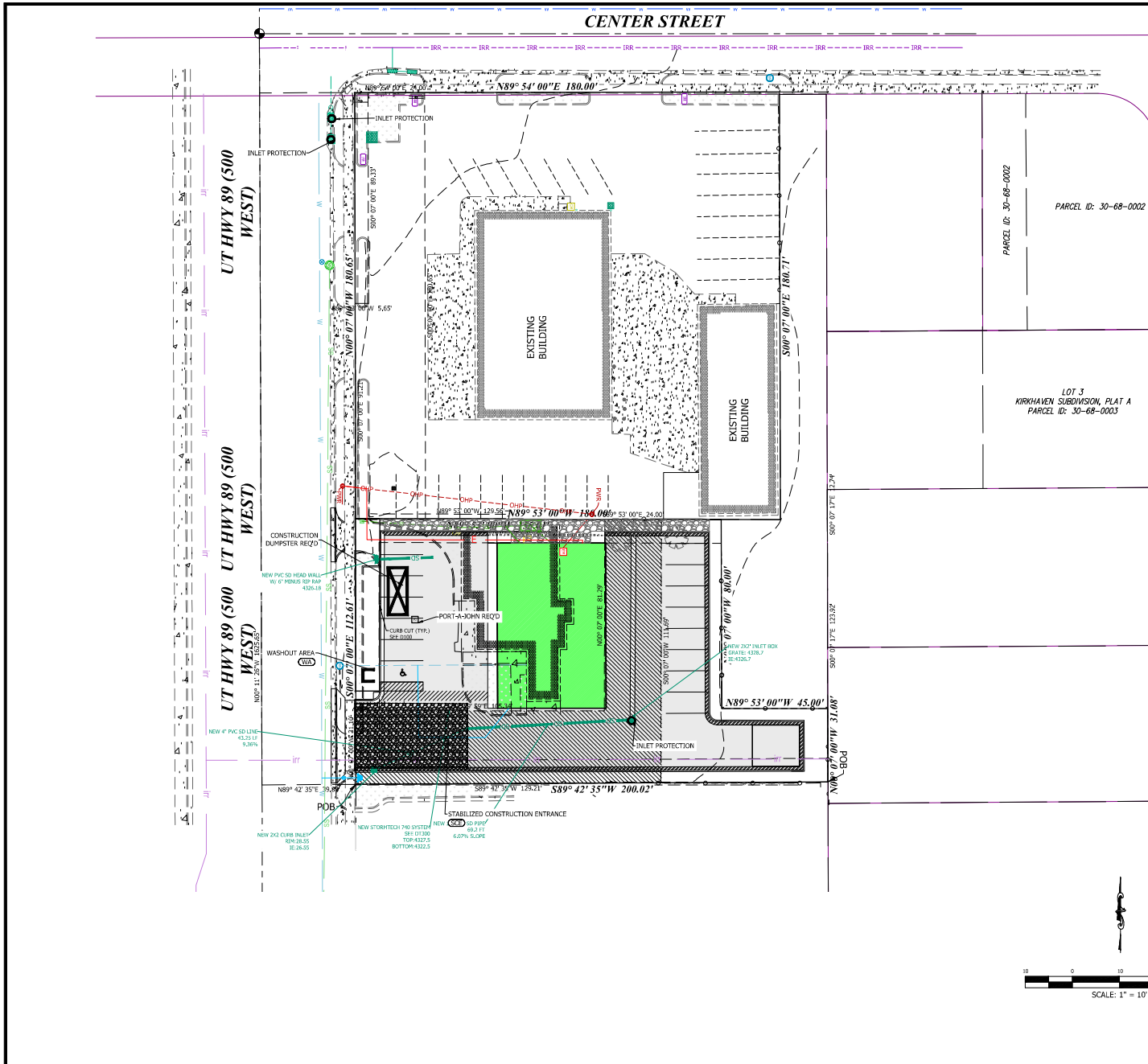
77 SOUTH 500 WEST
 TAX PARCEL # 20-25-0123
 LOCATED IN THE SW 1/4 OF SECTION 19, T.2N., R.1E., S.1 & 2 R.A.M.
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

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 Woods Cross, UT 84010
 Phone 801.298.2236
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Entellus

DATE	DESCRIPTION	BY	CHKD

APPROVED: **STA**
 PROJECT NO. **2024-0123**
 DRAWN: **XXX**
DT200
 RETENTION DETAILS



CONSTRUCTION NOTES:

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL, STATE, AND FEDERAL PERMITS PRIOR TO COMMENCING CONSTRUCTION.

CONTRACTOR TO MAINTAIN A COPY OF THE SWPPP ON SITE.

CONTRACTOR TO INSPECT SITE TO ENSURE THE SWPPP IMPROVEMENTS ARE IN PLACE AND FUNCTIONAL.

CONTRACTOR TO MAINTAIN TEMPORARY EROSION AND SEDIMENT CONTROLS AND HOUSEKEEPING MEASURES.

ALL SOLID WASTE SHALL BE STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER SHALL MEET ALL STATE AND LOCAL WASTE MANAGEMENT REGULATIONS.

ALL HAZARDOUS WASTE SHALL BE DISPOSED OF IN THE MANNER AS SPECIFIED BY THE MANUFACTURER AND STATE AND LOCAL REGULATIONS.

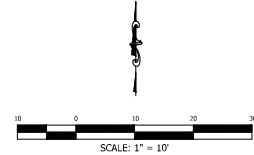
A WASHOUT AREA SHALL BE CONSTRUCTED FOR THE TEMPORARY COLLECTION OF EXCESS CONCRETE AND NON-STORM WATER DISCHARGES FROM VEHICLE WASHING. THE CONCRETE WILL BE TAKEN TO THE CITY LANDFILL WITHIN 1 WEEK OF PLACING IN THE WASHOUT AREA.

A STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO REDUCE VEHICLE TRACKING OF SEDIMENTS ONTO PUBLIC RIGHT OF WAYS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE EXCESS DIRT.

INSPECTION SHALL BE MADE MONTHLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. ALL NON-STORM WATER FLOWS SHALL BE DIRECTED TOWARD THE WASHOUT AREA OR SEDIMENT BASIN. THE SWPPP WILL BE REVISED AS SITE CONDITIONS AND PROJECT WARRANTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND SWEEPING PUBLIC STREETS ON A DAILY BASIS, OR MORE IF NECESSARY.

CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE DUST CONTROL THROUGHOUT THE COURSE OF THE PROJECT.



1470 South 600 West
Woods Cross, UT 84010
Phone 801.298.2236
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PROFESSIONAL ENGINEER
5-8-84
No. 180988
SCOTT T. SCOTT
ARCHITECT

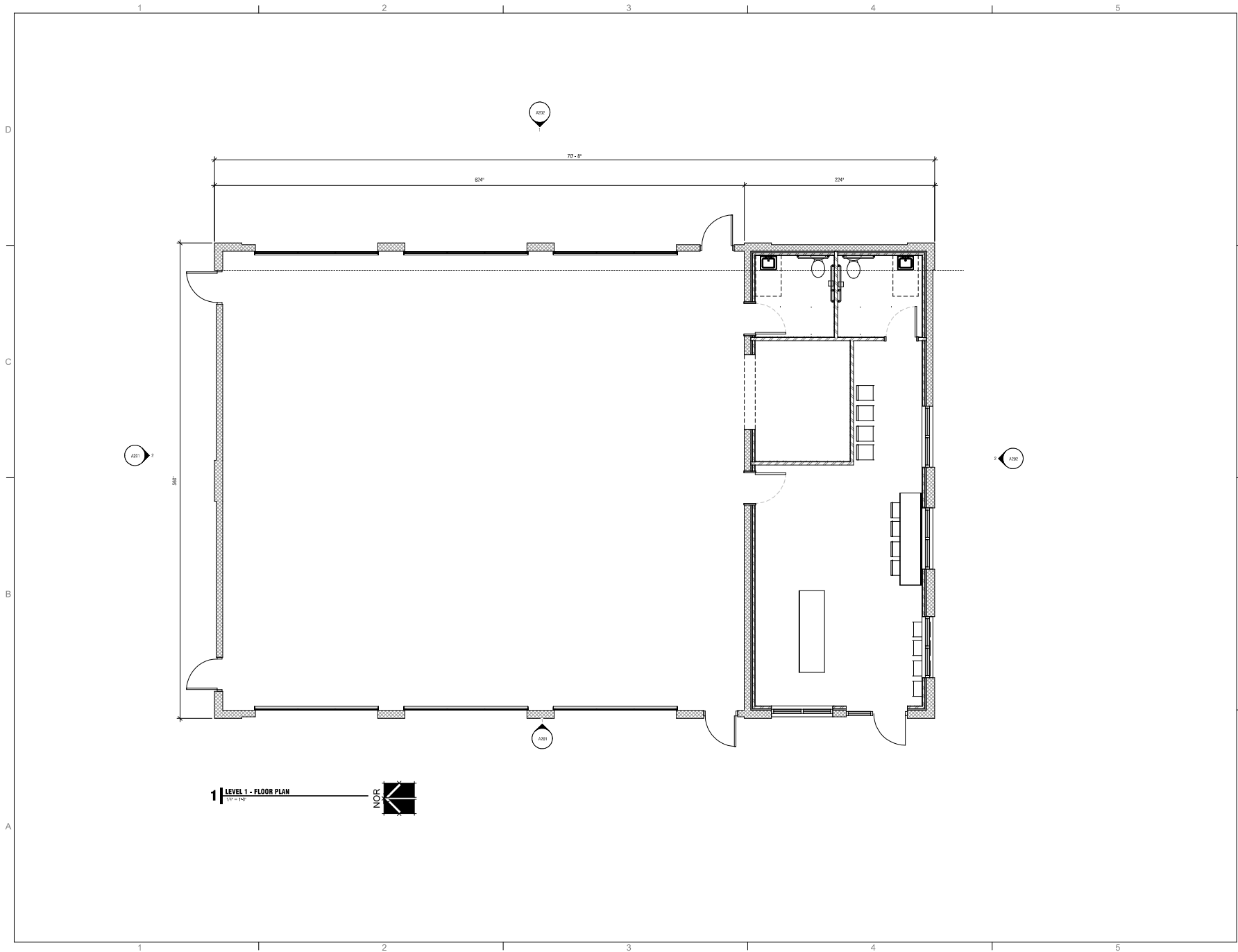
KEC LUBE CENTER

77 SOUTH 500 WEST
TAX PARCEL # 20-25-0123
LOCATED IN THE SW 1/4 OF SECTION 19, T.2N., R.1E., S.1.R.A.M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DATE	REVISION	DATE

DATE: 6/19/24
ENGINEER: STA 6/19/24
PROJECT: LUBE CENTER
DRAWN BY: 16060001
CHECKED BY: 16060001
SCALE: 1/8\"/>

EC100
EROSION CONTROL PLAN



UNLESS A PROFESSIONAL SEAL, SIGNATURE AND DATE ARE APPLIED, THIS DOCUMENT IS PREPARED FOR CONCEPTUAL PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION, RECORDING PURPOSES, OR FOR CONTRACTING.



THE DESIGN SHOWN HAS BEEN PREPARED BY AN ARCHITECTURAL FIRM AND DOES NOT CONSTITUTE A GUARANTEE OF ACCURACY OR COMPLETION. THE DESIGN IS SUBJECT TO CHANGE WITHOUT NOTICE AND WITHOUT LIABILITY TO THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF ANY OTHER PROFESSIONAL SERVICES PROVIDED BY OTHER PROFESSIONALS.

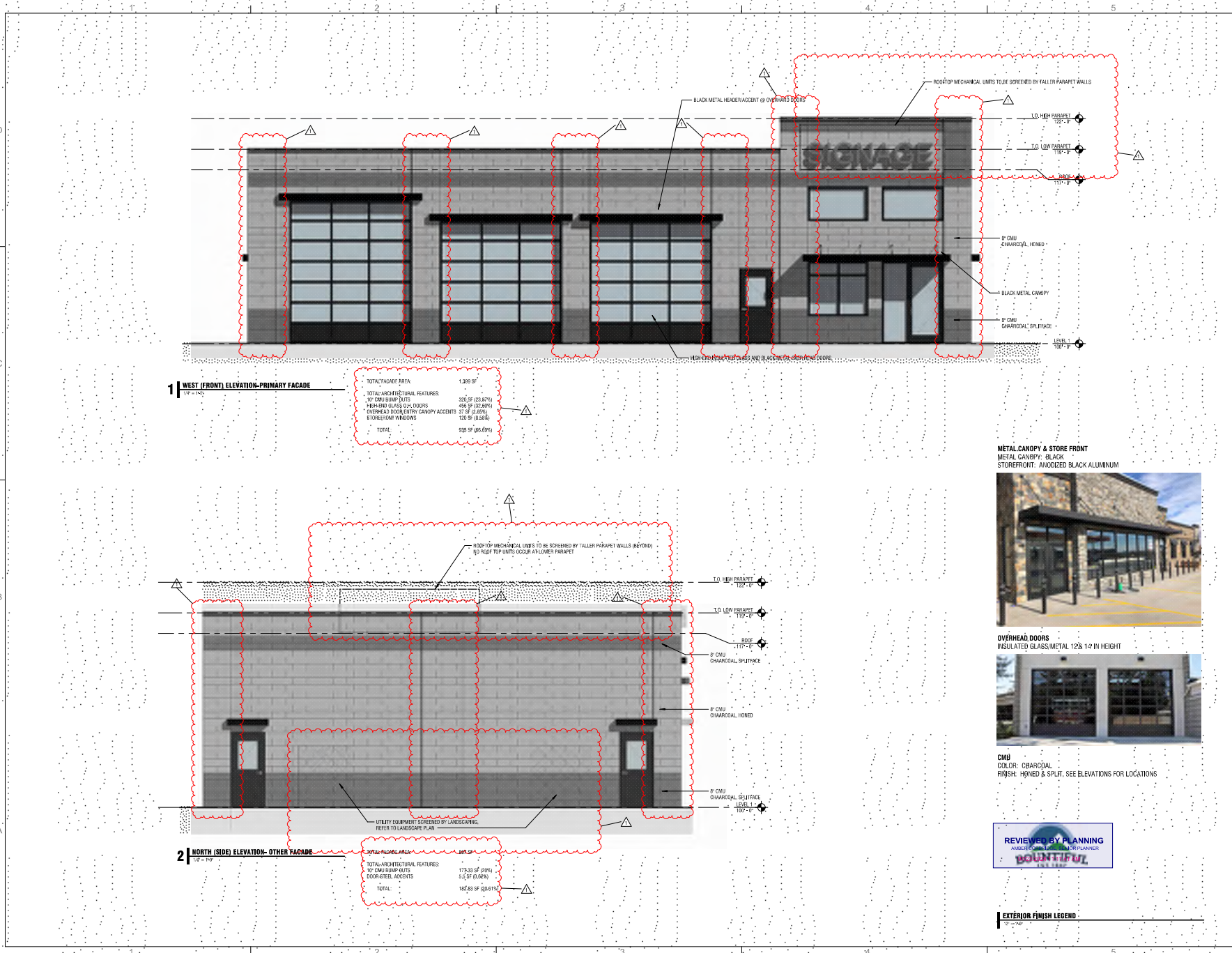
PROJECT
BOUNTIFUL BIG-O LUBE CENTER
 70 SOUTH 800 WEST, BOUNTIFUL, UT 84010

REVISIONS:

TITLE:
LEVEL 1 FLOOR PLAN

SHEET:
A112

ISSUE DATE: 09.20.2023
 CONCEPTUAL DESIGN



1. ALL AREAS SHOWN ARE APPROXIMATE. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE DESIGN AND HAS FOUND IT TO BE REASONABLY ACCURATE. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE DESIGN AND HAS FOUND IT TO BE REASONABLY ACCURATE.



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METAL CANOPY & STORE FRONT
 METAL CANOPY: BLACK
 STOREFRONT: ANODIZED BLACK ALUMINUM



OVERHEAD DOORS
 INSULATED GLASS/METAL 126" 14" IN HEIGHT



CMU
 COLOR: CHARCOAL
 FINISH: HONED & SPLIT. SEE ELEVATIONS FOR LOCATIONS



EXTERIOR FINISH LEGEND

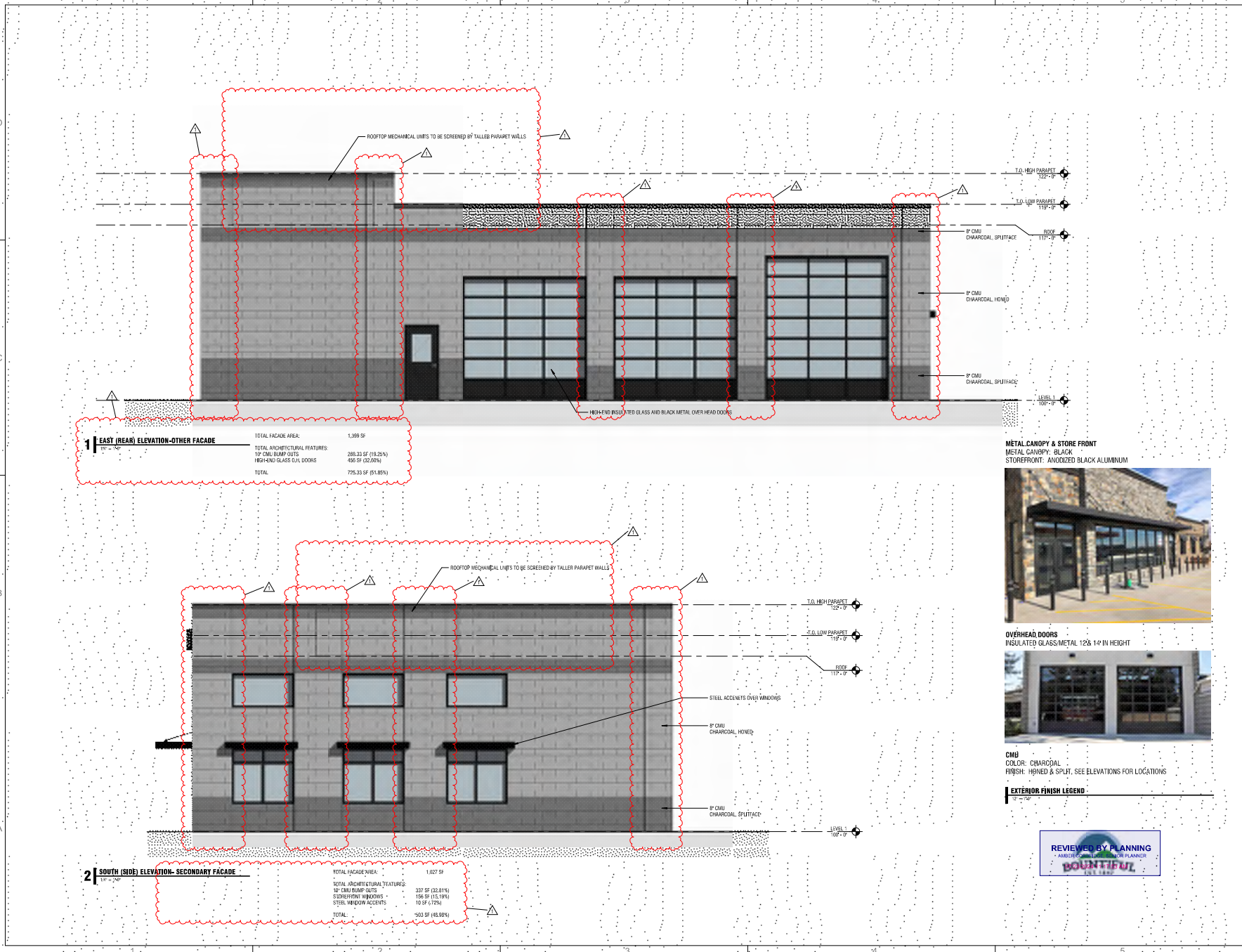
PROJECT
BOUNTIFUL BIG-O LUBE CENTER
 70 SOUTH 500 WEST, BOUNTIFUL, UT 84010

REVISIONS:
 1. CITY COMMENTS 08.04.2024

TITLE:
EXTERIOR ELEVATIONS

SHEET:
A201

ISSUE DATE: 08.20.2023
 CONCEPTUAL DESIGN



1. ALL AREAS SHOWN ARE APPROXIMATE. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE DESIGN AND HAS FOUND IT TO BE REASONABLY ACCURATE. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE DESIGN AND HAS FOUND IT TO BE REASONABLY ACCURATE.



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PROJECT
BOUNTIFUL BIG-O LUBE CENTER
 70 SOUTH 500 WEST, BOUNTIFUL, UT 84010

METAL CANOPY & STORE FRONT
 METAL CANOPY: BLACK
 STORE FRONT: ANODIZED BLACK ALUMINUM



OVERHEAD DOORS
 INSULATED GLASS/METAL 126" 14" IN HEIGHT



CMU
 COLOR: CHARCOAL
 FINISH: HONED & SPLIT. SEE ELEVATIONS FOR LOCATIONS

EXTERIOR FINISH LEGEND



REVISIONS:
 1. CITY COMMENTS 08.04.2024

TITLE:
EXTERIOR ELEVATIONS

SHEET:
A202

ISSUE DATE: 08.20.2023
 CONCEPTUAL DESIGN

City Council Staff Report



Subject: Preliminary/Final Architectural and Site Plan for a Fast-Food Restaurant at 386 West 500 South

Author: Amber Corbridge, Senior Planner

Department: Planning

Date: August 13, 2024

Background

The applicant, Karen Wallace, project manager for *Jack in the Box*, is requesting Preliminary/Final Architectural Site Plan Approval for a new fast-food restaurant, with a dual drive-through, at 386 West 500 South. The site is approximately 34,944 square ft. (0.8 acres) and includes a 2,378 square ft. new building, at about 24' tall (one-story).

The Planning Commission reviewed this application on Tuesday, August 6, 2024. The Planning Commission approved the Conditional Use Permit for the fast-food restaurant and forwarded a positive recommendation (5-0) to the City Council to approve the site plan with the conditions noted below.

Analysis

The property is in the General Commercial (C-G) Zone, where Bountiful Land Use Code 14-6-111 states that Site Plan Approval shall be required for any new construction or change in use in this zone. The proposed use, consisting as a Fast Food Restaurant with a drive-up, is also listed as a conditional use.

Conditional Use Standards

The Planning Commission considered how the proposed use 1) relates to the surrounding uses, 2) impacts the existing surrounding developments, and 3) appropriate buffering of uses and buildings, proper parking and traffic circulation, and the use of building materials and landscaping, which are in harmony with the area (See Code 14-2-506(C)).

The proposed use would fit in with the surrounding properties along this corridor, as there are many fast-food restaurants, including drive-through options, as shown in Figure 1 below. The proposed use and site plan has appropriate buffering, parking, and traffic circulation with dual drive-through lanes, a walk-up window, and extra parking. The twenty-three (23) parking stall requirement is based on forty-six (46) seats provided in the dining area, where thirty-one (31) proposed parking stalls would be provided. The proposed attached landscape plan meets the ten-foot (10') landscape buffering requirement for commercial properties abutting residential uses (Bountiful Land Use Code 14-6-109(5)).



Figure 1. Recent Aerial of 386 West 500 South

Site Plan Approval Standards

The City Council shall determine if the proposed architectural and site development plans submitted are consistent with the purpose and objectives of the Code (14-2-301). The purpose of the architectural and site plan review and approval process is:

1. *To determine compliance with the Land Use Code;*
2. *To promote the orderly and safe development of land in the City;*
3. *To implement the policies and goals established in the Bountiful City General Plan;*
4. *To promote the orderly layout of buildings, landscaping, walkways, lighting, and other site improvements.*

This proposal includes new plans for the main building, parking lot, landscaping, and dumpster. The exterior architectural elements include varying rooflines, projections, overhangs, and materials (stucco and brick) which are shown in the attached building elevations.

The site plan shows the site meeting landscaping area, parking counts, walkway connections, and setbacks, as shown in the attached site plan. However, the site plan shows two stalls which do not meet the Code 14-18-108 for *Size of Parking Stalls*. The removal of these two stalls would not affect the proposed use meeting minimum parking requirements. Staff recommends these two stalls be converted to landscaping, as shown in Figure 2 below.

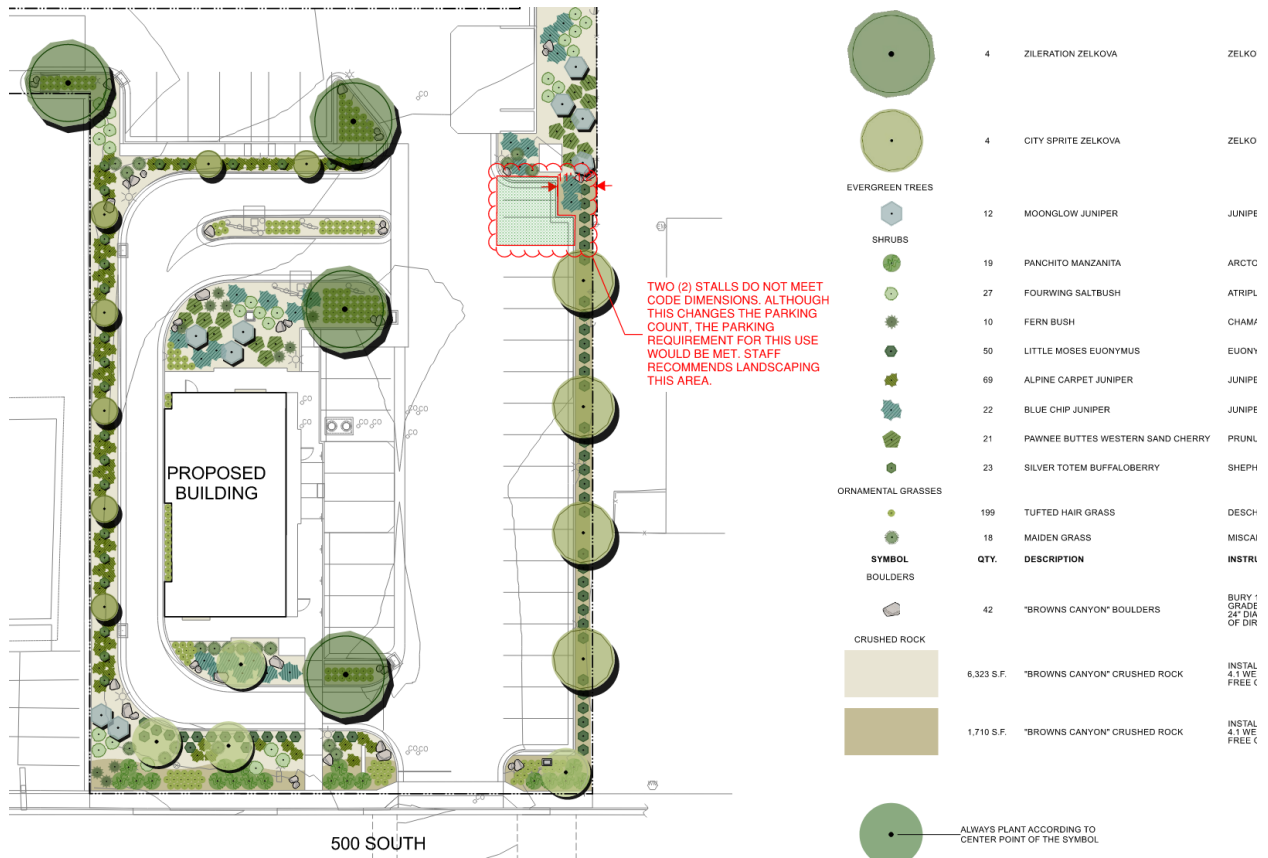


Figure 2. Landscape Plan with Staff Review Comment

The proposed site plan meets safe, adequate pedestrian and vehicle access, which is an improvement of the existing site. The proposed use and adjacent property to the north would use the same access through the parking lot, which is approved by Utah Department of Transportation (UDOT). The UDOT plan, shown in Figure 3 below, shows six (6) parking stalls on the proposed parcel, which requires access through the property to the north. Staff recommends the applicant to provide the City with a recorded access agreement with the adjacent property to ensure access is established prior to building permit approval.

The new structure and updated landscaping are also improvements to the site and surrounding area. This proposal meets the goals and objectives of the General Plan, where old commercial areas need to be redeveloped (Bountiful City 2009 General Plan – Land Use Master Plan pg.2)



Figure 3. UDOT Plan

Department Review

This staff report was written by the Senior Planner and was reviewed by the City Engineer, City Attorney, and Planning Director.

Significant Impacts

There are minimal impacts of this proposed development on the property and surrounding uses. The property was previously used as a restaurant and is now a vacant lot. The existing infrastructure, such as water, sewer, culinary water, and transportation are in place to support this development.

Recommendation

Planning Commission and Staff recommends that the City Council approve the Preliminary/Final Architectural and Site Plan application for the fast-food restaurant, *Jack in the Box*, subject to the following:

1. Update the Landscape and Site Plan to replace two (2) noncomplying parking stalls with landscaping.
2. Provide a copy of a recorded access agreement between the property to the north prior to building permit approval.

Attachments

1. Final Site Plan
2. Landscape Plan
3. Floor Plan
4. Building Elevations

PLAN REVIEW
 07/08/2024 4:58:17 PM
 Lloyd Cheney, Bountiful City Engineer
 TYPICAL COMMENTS BLUE TEXT (BY BACKSPOUR)

Reviewed by 07/08/2024
 Building Department
 Don Simons, Building Official
 REVIEWED, NO COMMENTS.

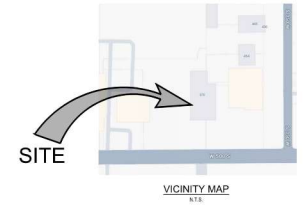
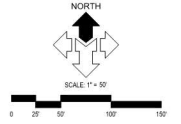
COORDINATE INSTALLATION OF CULINARY
 WATER INFRASTRUCTURE WITH BOUNTIFUL CITY
 WATER DEPT.

REVIEWED BY PLANNING
 AMBER CORBRIDGE, SENIOR PLANNER
 07/08/2024 1:00:40 PM
 P.L.S. 11/17

JACK IN THE BOX - BOUNTIFUL

CONSTRUCTION PLANS

386 WEST 500 SOUTH 
 BOUNTIFUL, UTAH



DRAWING INDEX

SHEET	DESCRIPTION
CE-00	CIVIL COVER SHEET
CE-01	GENERAL NOTES, LEGEND AND ABBREVIATIONS
CE-02	LOT EXIST
CE-03	CIVIL SITE PLAN
CE-04	EROSION AND SEDIMENT PLAN
CE-05	EROSION CONTROL PLAN
CE-06	SITE UTILITY PLAN
CE-07	MISCELLANEOUS SITE DETAILS
CE-08	MISCELLANEOUS SITE DETAILS
CE-09	MISCELLANEOUS EROSION DETAILS

ALL WORK AND MATERIALS FOR WATER
 MUST CONFORM TO BOUNTIFUL CITY
 STANDARDS AND SPECIFICATIONS

ALL WORK AND MATERIALS FOR SEWER
 MUST CONFORM TO SOUTH DAVIS
 SEWER DISTRICT STANDARDS AND
 SPECIFICATIONS

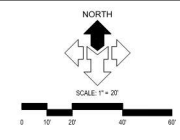
ALL WORK AND MATERIALS MUST
 CONFORM TO BOUNTIFUL CITY AND
 UDOT STANDARDS AND SPECIFICATIONS

DEVELOPER & OWNER
 WE STOCKTON LAGALE
 FAUSTRA LLC
 801-904-9854
 572 E CHERRY COVER
 SALT LAKE CITY, UT 84103
 EGS@STOCKTONLAGALE.COM

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Client: UDOT - 1400 West 1000 North, Salt Lake City, Utah 84119



NOTES:

- * ALL UTILITIES, FURNISHMENTS LOCATED WITHIN UDOT RIGHT-OF-WAY MUST NOT BE IN THE PATH.
- * ADA MARKS WITHIN UDOT RIGHT-OF-WAY TO BE INSTALLED BY A UDOT CERTIFIED CONTRACTOR.

UDOT NOTES:

1. All construction within the UDOT right-of-way shall conform to the most current UDOT standard (including approved elevations and specifications).
2. The contractor is to obtain an environmental permit from the applicable UDOT Region-Permit office prior to commencing work within UDOT right-of-way. The contractor shall be held responsible for the maintenance and/or the environmental permit.
3. UDOT reserves the right, at its option, to install a steel median island or curb to the access to a right-of-way or typical at-grade.
4. Utility, developer, and contractor are responsible for any damage directly or indirectly within the UDOT right-of-way as a result of development activities.
5. Utility, developer, and contractor is required to file an independent engineer for all utility within the UDOT right-of-way.
6. All 60" minimum or more UDOT right-of-way shall be high-visibility painted (yellow) marked with a 60" diameter. Install all signs per UDOT 2023 Utility Standard Drawings.
7. Comply with the requirements of Utah Code 19-10-10 (Revised) Chapter 1 - Clearly survey to be installed. Consultation with local state agencies.

ALL WORK WITHIN THE MAIN STREET (SR-68) PUBLIC RIGHT-OF-WAY SHALL CONFORM TO UDOT 2023 STANDARDS AND SPECIFICATIONS.

UTILITIES ACCESS UNDER UDOT ROW MUST BE BORED

NO STORM WATER TO DRAIN ON/TO SR-68

UDOT ACCESS # PA-139919

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

NOTICES:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RECONSTRUCTION OF ALL BORED OR ABOVE-GROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.

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JACK IN THE BOX - BOUNTIFUL
386 WEST 500 SOUTH
BOUNTIFUL, UTAH
 LOCATED IN THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 2 NORTH, RANGE 1 EAST, S.L.B. & M.

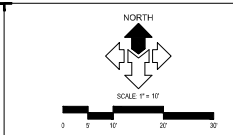
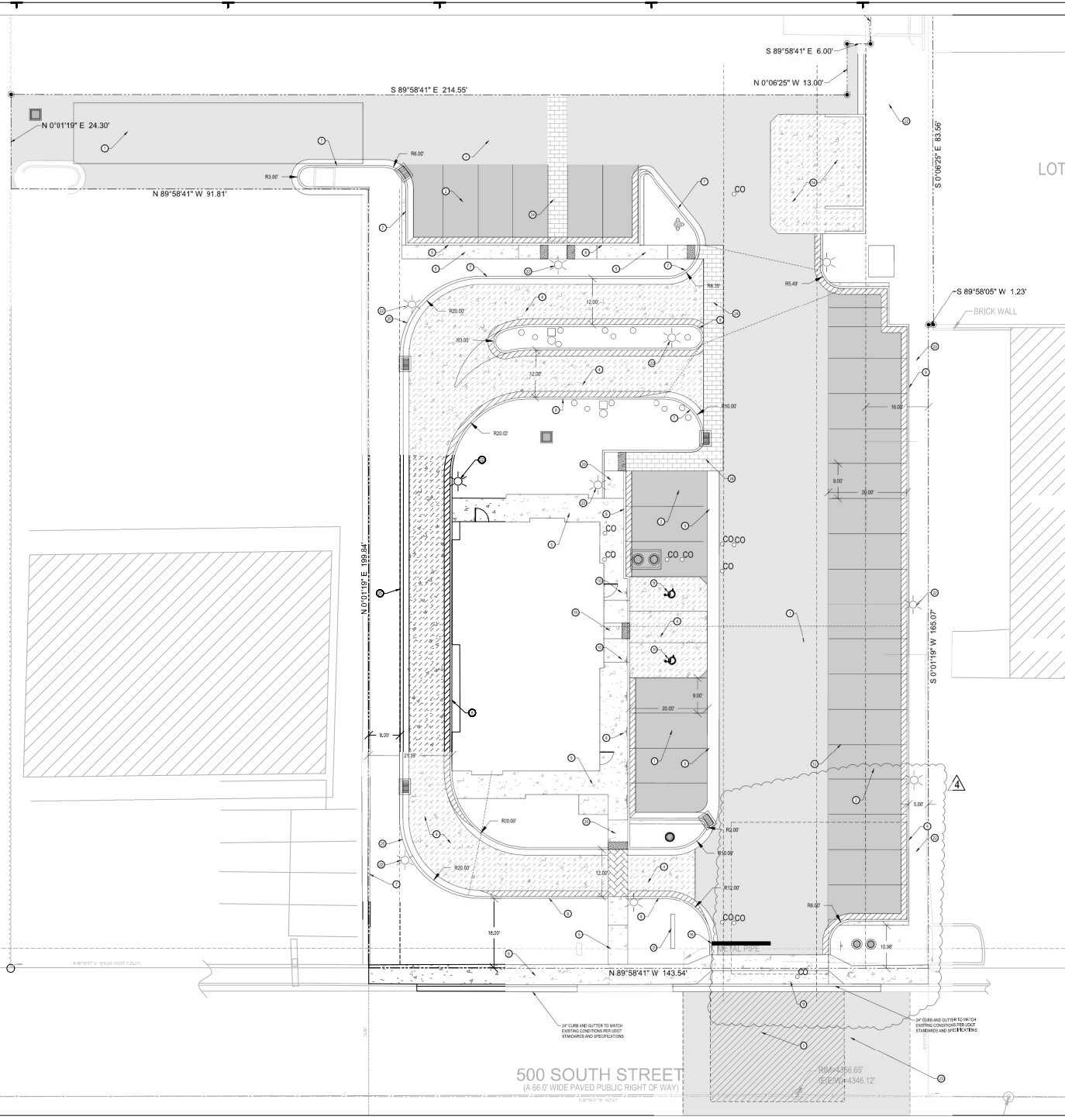
REVISIONS	DATE	DESCRIPTION

PROJECT NO: 202556
 DESIGNED BY: GRL
 CHECKED BY: TJD
 DATE: 7/1/2024

UDOT EXHIBIT

UDOT-1

Client: UDC-1281\Projects\1281\1281.dwg, 8/22/2024 10:58:23 AM, P:\Users\lguyen\cad\1281.dwg




GENERAL NOTES:


- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- SEE ARCHITECTURE SITE PLAN FOR ADDITIONAL INFORMATION.
- SEE LANDSCAPE PLANS FOR INFORMATION AND PLANTING.
- ALL WORK TO COMPLY WITH GOVERNING AGENCIES STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH CITY STANDARDS AND REQUIREMENTS.

KEYED NOTES:

- 1. CONCRETE PAVEMENT TO BE PLACED AND FINISHED TO THE SPECIFIED FINISH GRADE PER THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS.
- 2. STANDING CURE PLAN FOR ADDITIONAL INFORMATION.
- 3. STANDING CURE ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL, SEE SHEET 02-11.
- 4. CONTRACTOR TO MATCH EXISTING SPALL DEPTH WITH EXISTING ASPHALT PAVEMENT TO MATCH EXISTING SPALL DEPTH AND UNPAVED LOT TO MATCH EXISTING SPALL DEPTH AND UNPAVED LOT TO MATCH EXISTING SPALL DEPTH.
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
386 WEST 500 SOUTH

BOUNTIFUL, UTAH

LOCATED IN THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 2 NORTH, RANGE 1 EAST, S.L.B. & M.

NO.	DATE	DESCRIPTION

PROJECT NO: 23098
 DESIGNED BY: GRL
 CHECKED BY: TJD
 DATE: 7/1/2024



CALL BEFORE YOU DIG
 1-800-4-A-DIG
 1-800-4-ADIG

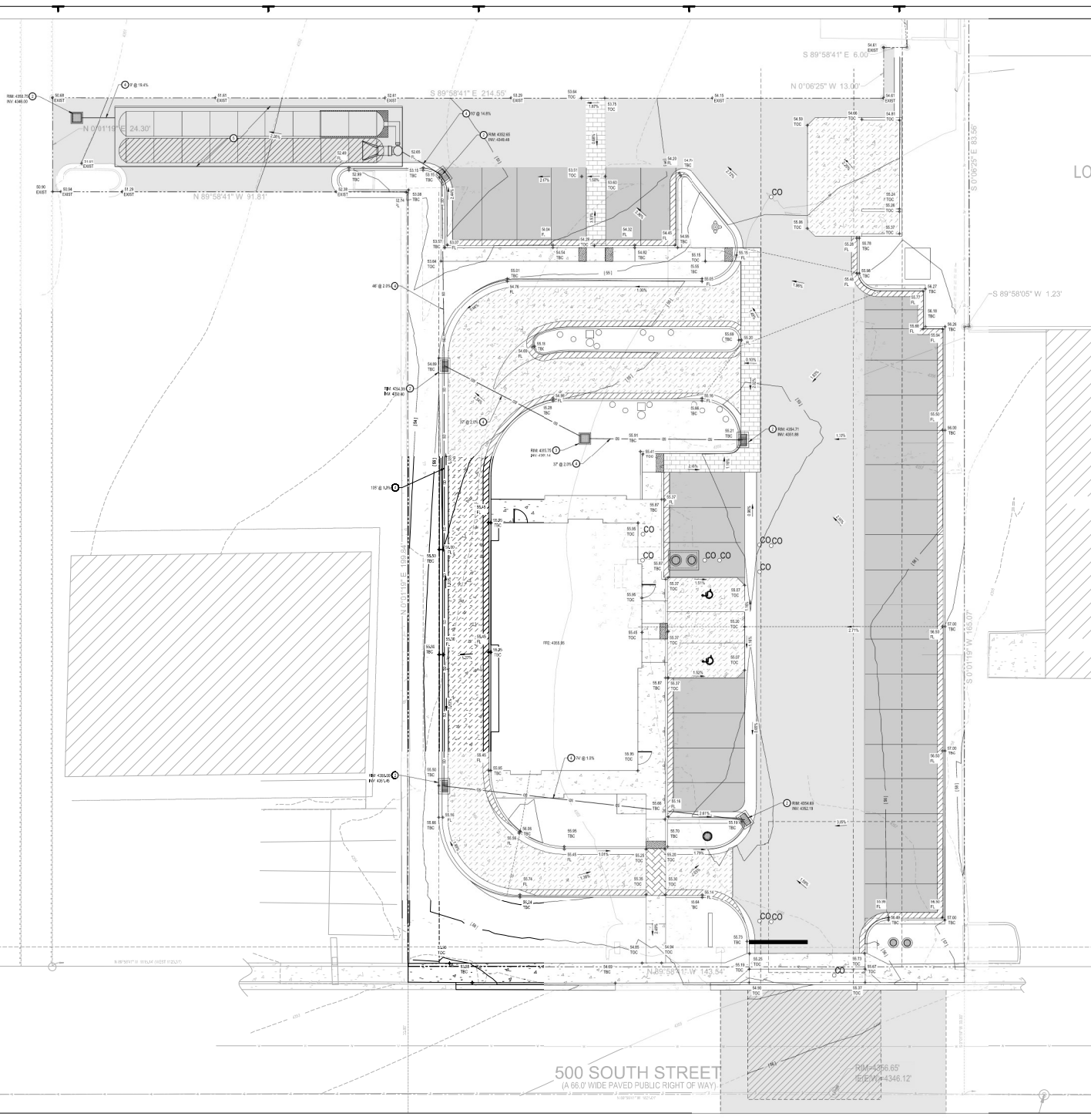
NOTICE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RECONSTRUCTION OF ALL UTILITIES AND STRUCTURES OF ALL KINDS BEFORE ANY EXCAVATION OR CONSTRUCTION BEGINS OR NOT SHOWN ON THE PLANS.

HORIZONTAL CONTROL PLAN

C1.01

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GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS AND AGENCIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS AND AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS AND AGENCIES.

KEYED NOTES:

- GRADE TO BE FINISHED AND SHOWN ON SHEET.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE LOCAL JURISDICTIONS AND AGENCIES.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE LOCAL JURISDICTIONS AND AGENCIES.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE LOCAL JURISDICTIONS AND AGENCIES.

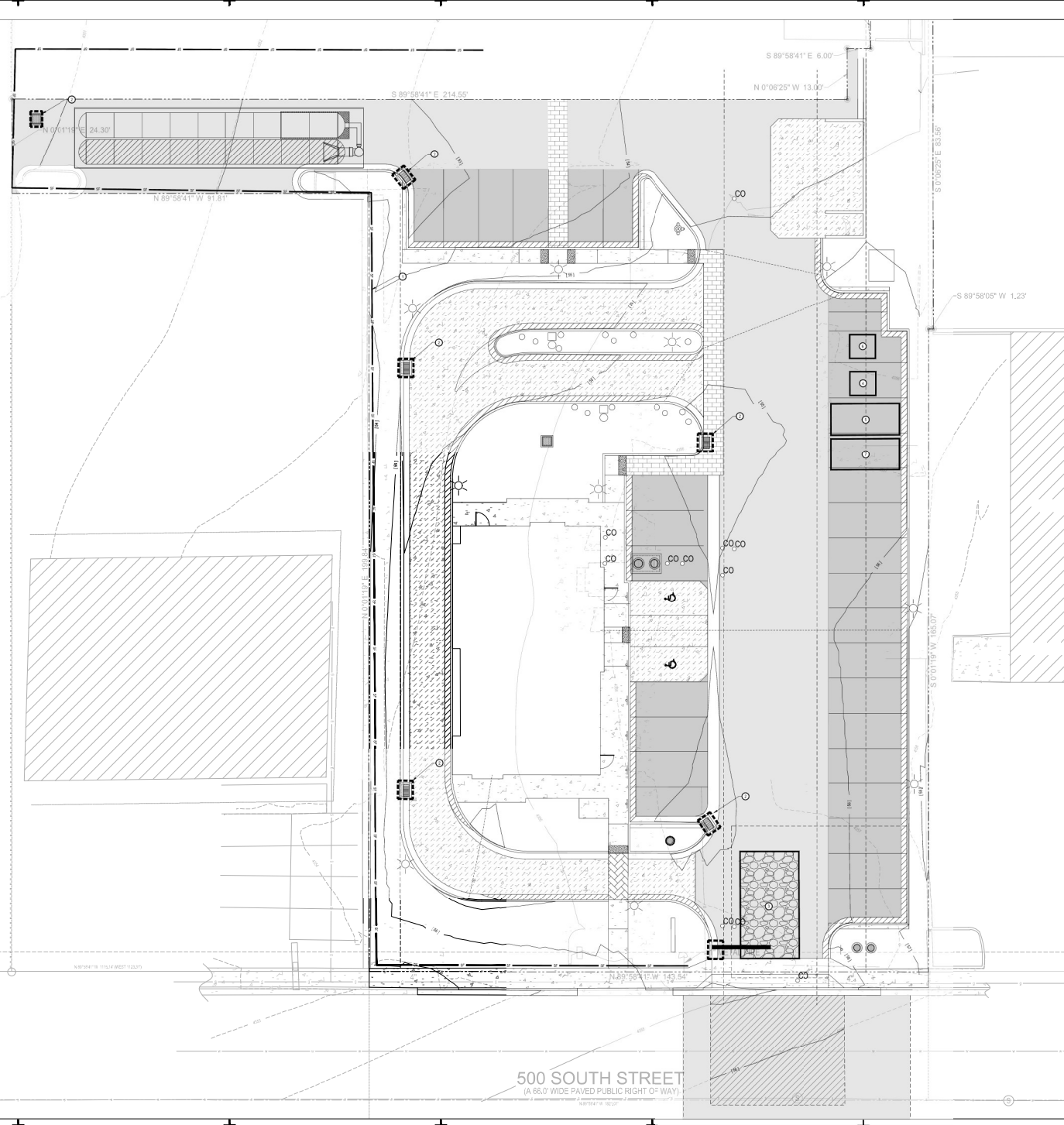
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RESTORATION OF ALL UTILITIES AND SERVICES OF ALL KINDS, WHETHER OR NOT SHOWN ON THE PLANS.


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PROJECT NO: 23098
 DESIGNED BY: GRL
 CHECKED BY: TJD
 DATE: 7/1/2024

GRADING AND DRAINAGE PLAN
C2.01

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 SCALE 1" = 10'
 0 5 10 20 30

GENERAL NOTES:

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS FOR ALL EROSION CONTROL MEASURES FOR CONSTRUCTION OF THE PROJECT AND BE RESPONSIBLE FOR CORRECTING ANY ERRORS OR OMISSIONS IN COORDINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

ALL MEASURES FOR EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE AGENCY OR THE PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF THE LOCATION OF ALL EROSION CONTROL MEASURES.

THE CONTRACTOR SHALL PROVIDE ADEQUATE CLEAR CHANNELS.

WHEN CHANGING OR REMOVING MEASURES HAVE BEEN CONSIDERED TO BE THE ENGINEER'S DISCRETION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF THE LOCATION OF ALL EROSION CONTROL MEASURES.

THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

MAINTENANCE:

THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL EVENT AT THE LEAST ONCE PER WEEK DURING CONSTRUCTION.

CLOSE CUTTER SHALL BE USED TO THE REPAIR OF DAMAGED SILT FENCE, CHAINS, AND UNDERCUTTING BEHIND SILT FENCE.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SILT FENCE SHALL BE ACCOMPLISHED PROMPTLY.

EROSION CONTROL MEASURES SHALL BE REMOVED AFTER EACH RAINFALL EVENT AT THE LEAST ONCE PER WEEK DURING CONSTRUCTION.

CONSTRUCTION OF EROSION CONTROL MEASURES SHALL BE SUBJECT TO INSPECTION BY THE AGENCY OR THE PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF THE LOCATION OF ALL EROSION CONTROL MEASURES.

KEYED NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

2. ALL EROSION CONTROL MEASURES SHALL BE SUBJECT TO INSPECTION BY THE AGENCY OR THE PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF THE LOCATION OF ALL EROSION CONTROL MEASURES.

3. CONCRETE WASHOUT AREAS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

4. SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL EVENT AT THE LEAST ONCE PER WEEK DURING CONSTRUCTION.

5. CONSTRUCTION OF EROSION CONTROL MEASURES SHALL BE SUBJECT TO INSPECTION BY THE AGENCY OR THE PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF THE LOCATION OF ALL EROSION CONTROL MEASURES.

6. MAINTENANCE OF EROSION CONTROL MEASURES SHALL BE ACCOMPLISHED PROMPTLY.

REVISIONS

NO.	DATE	DESCRIPTION

NOTICE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF THE LOCATION OF ALL EROSION CONTROL MEASURES.


PROJECT INFORMATION:

PROJECT NO: 22098
 DESIGNED BY: GRL
 CHECKED BY: TJD
 DATE: 7/3/2024

EROSION CONTROL PLAN

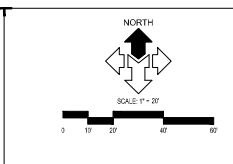
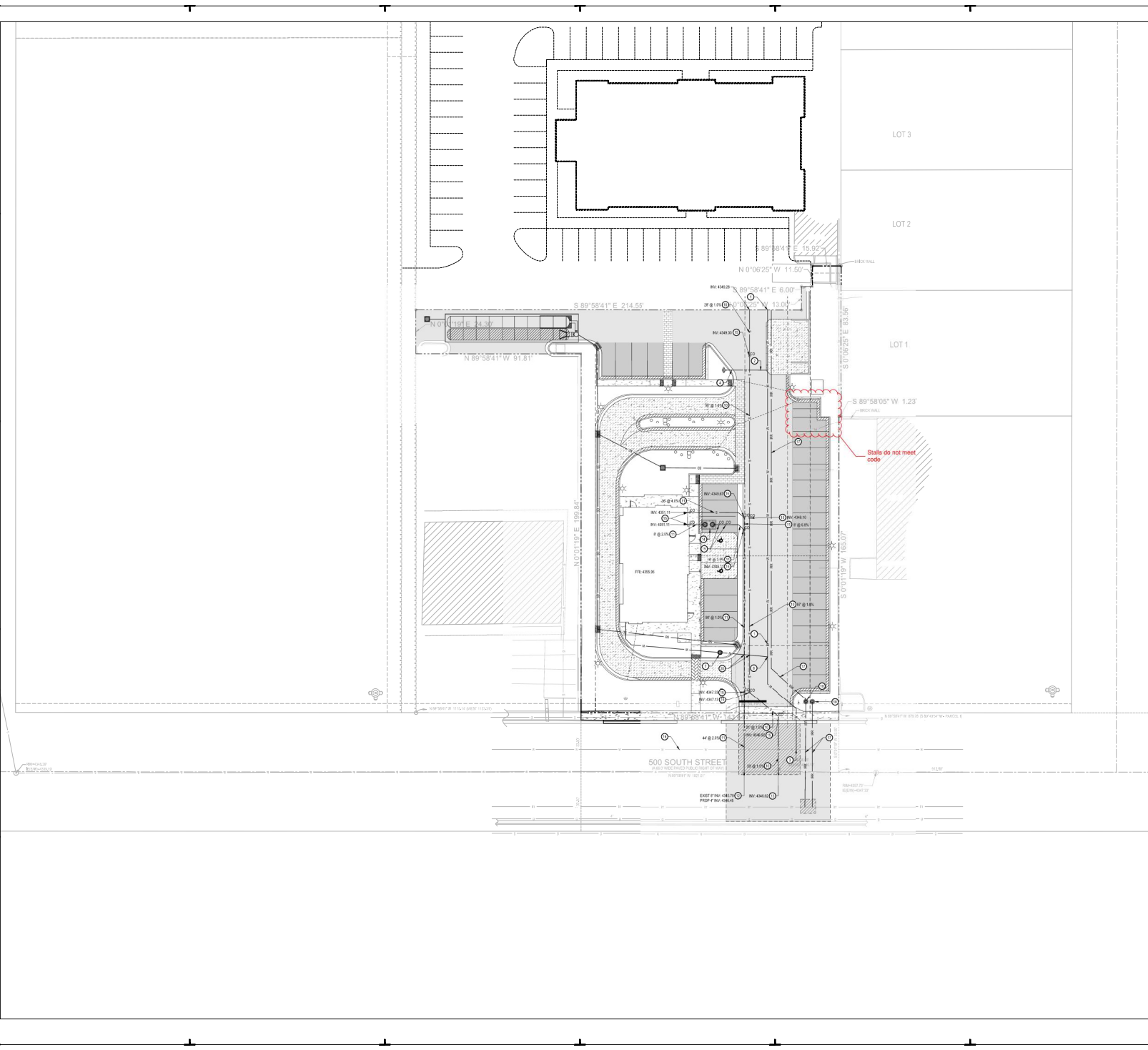
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386 WEST 500 SOUTH
BOUNTIFUL, UTAH
 LOCATED IN THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 2 NORTH, RANGE 1 EAST, S.L.B. & M.

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GENERAL NOTES:
 CONTRACTOR SHALL VERIFY ALL UTILITIES WITH HIGH-VOLTAGE OWNERS.
 ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND REGULATIONS. QUALITY WATER INSTALLATION TO BE COMPLETED BY BOULDER CITY WATER DEPARTMENT OR THEIR AUTHORIZED CONTRACTOR. PROJECT CONTRACTOR TO COORDINATE ALL NEW GAS/SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND REGULATIONS.
 CONTRACTOR TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE TO BUILDING WITH CENTURY LINK. ANY CONDUIT, MANHOLE BOXES, AND CLOSURES MUST BE INSTALLED FOR SERVICE THROUGH PROPERTY. COORDINATE WITH CENTURY LINK FOR SERVICE.
 CONTRACTOR TO VERIFY ALL GAS TO BE USED FOR COOKING GAS AND SERVICE TO BUILDING. CONTRACTOR TO COORDINATE WITH GAS SERVICE PROVIDER FOR CONNECTION TO BE AT WORKER'S GREATER RISK.

NOTE: ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND SHALL REPAIR AND RESTORE TO ORIGINAL CONDITION.
 UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND REGULATIONS.
 WATER: WATER PROPERTY OWNER'S RESPONSIBILITY.
 SEWER: SEWER PROPERTY OWNER'S RESPONSIBILITY.
 GAS: GAS SERVICE PROVIDER'S RESPONSIBILITY.
 ELECTRICAL: POWER PROVIDER'S RESPONSIBILITY.
 TELEPHONE: CENTURY LINK.

- KEYED NOTES:**
- 1. REFER TO GENERAL NOTES FOR THE FOLLOWING AND THE SPECIFICATIONS SHEET FOR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.
 - 2. FINISH GRADE WATER LINES INCLUDING ALL FITTINGS AND JOINTS SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND REGULATIONS.
 - 3. IF ANY CLASS IS SHOWN WITH POLYETHYLENE GLASS REINFORCED AND THIN WALL THICKNESS, SEE THE LOCAL GOVERNING MUNICIPALITY STANDARDS AND REGULATIONS.
 - 4. CONNECT NEW PVC CARBON WATER MAIN TO EXISTING WATER MAIN.
 - 5. IF EXISTING WATER MAIN IS NOT COMPLETE, SEE DETAIL, SEE SHEET C4.01.
 - 6. IF GATE VALVE WITH VALVE BOX, SEE DETAIL, SEE SHEET C4.01.
 - 7. IF GATE VALVE WITH VALVE BOX, SEE DETAIL, SEE SHEET C4.01.
 - 8. 15\"/>

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386 WEST 500 SOUTH
BOUNTIFUL, UTAH
 LOCATED IN THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 2 NORTH, RANGE 1 EAST, S.L.B. & M.

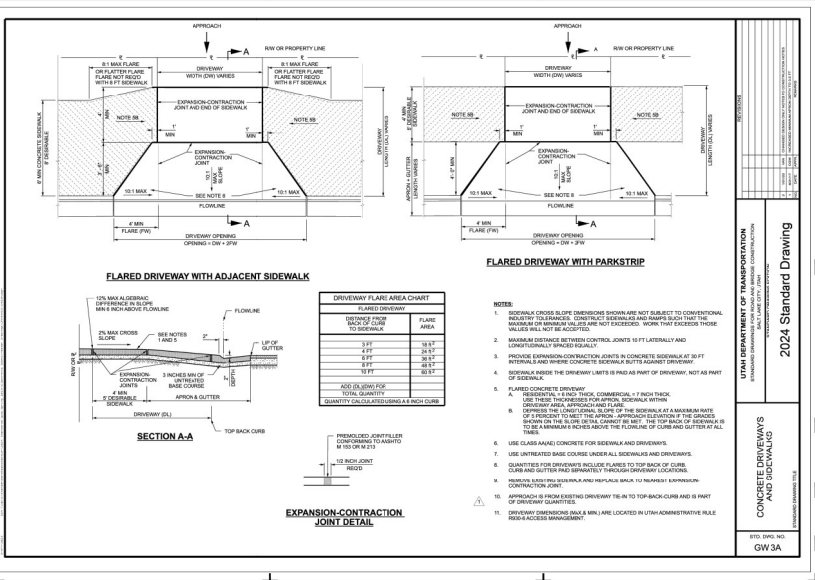
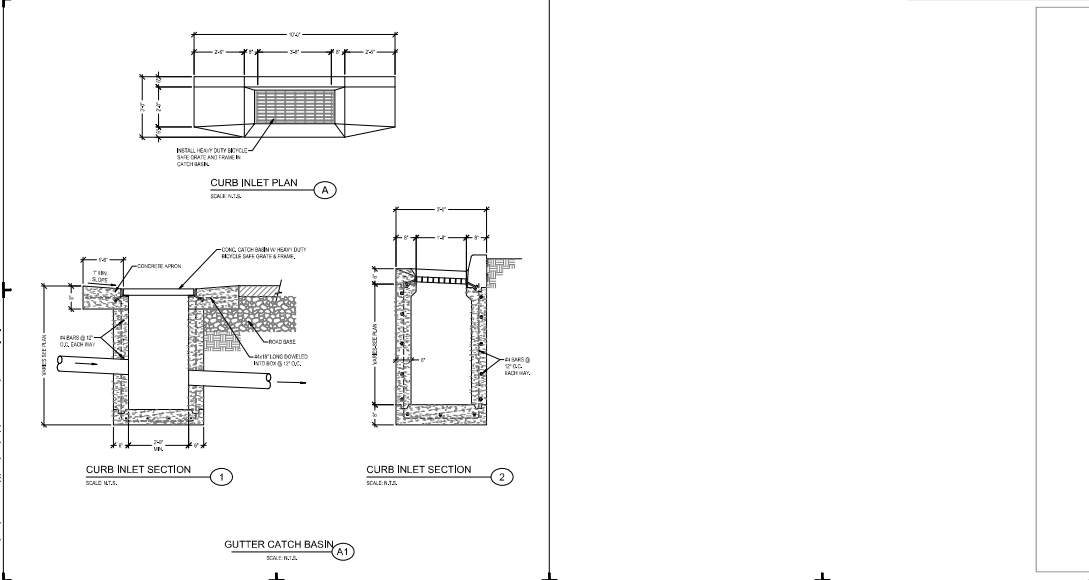
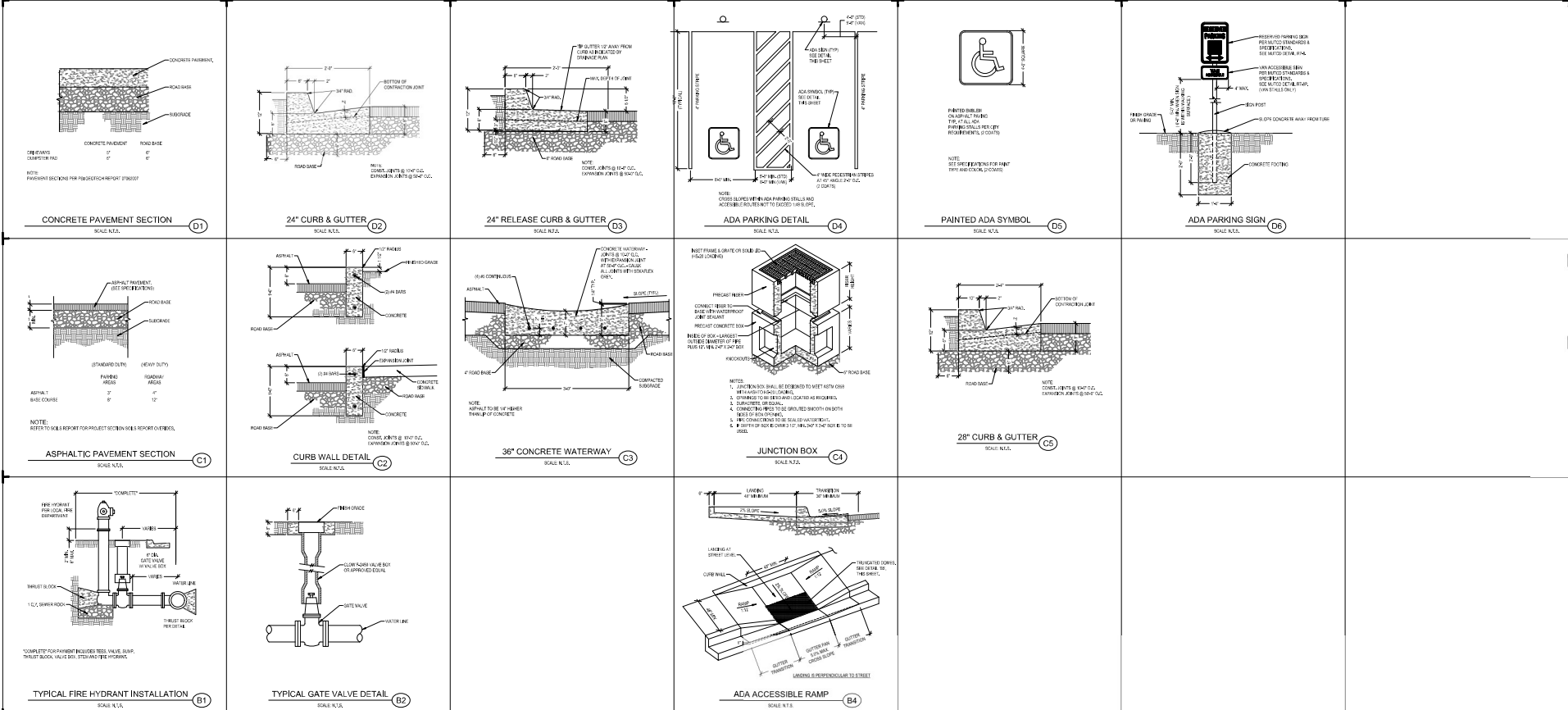
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 DESIGNED BY: GRL
 CHECKED BY: TJD
 DATE: 7/1/2024

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3	7/1/2024	ISSUED FOR PERMIT
4	7/1/2024	ISSUED FOR PERMIT
5	7/1/2024	ISSUED FOR PERMIT

NOTHING UNDERGROUND UNLESS IT SHOWS
Call Digs
 800.485.1111

NOTICE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES OR RECORDS OR ANY OTHER UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.

SITE UTILITY PLAN
C4.01



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386 WEST 500 SOUTH
BOUNTIFUL, UTAH
 LOCATED IN THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 2 NORTH, RANGE 1 EAST, S.L.B. & M.

2024 Standard Drawing

CONCRETE DRIVEWAYS AND SIDEWALKS

REVISED: 7/1/2024

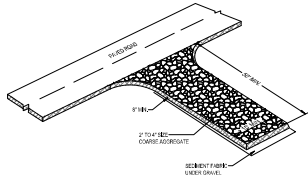
CIVIL DETAILS

C5.01

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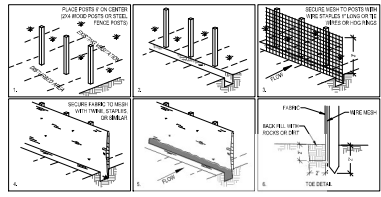


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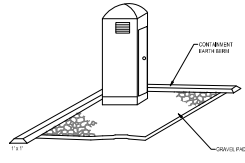
- OBJECTIVES**
- MINIMIZE PRACTICES
 - CONTROL WASTE
 - STABILIZE DISTURBED AREA
 - PREVENT EROSION
 - CONTROL LIFE-HAZARDOUS
 - CONTROL INTERNAL EMISSION
- TARGETED POLLUTANTS**
- SEDIMENT
 - NUTRIENTS
 - TOXIC MATERIALS
 - OIL & GREASE
 - PLASTIC MATERIALS
 - OTHER WASTE
- INSTALLATION/OPERATION CRITERIA**
- CLEAR DRIVELANE AND SPACE TO PERMIT MINIMUM SPEED OF 20 MPH
 - COMPACT AND PLACE THE TOP OF THE FILTER FABRIC AND SOCK TO THE EXISTING TO REMAIN AT THE SAME ELEVATION
 - PLACE CONCRETE APPROXIMATELY 1/4" ABOVE THE CURB TO A MINIMUM WIDTH OF 3 FEET
- LIMITATIONS**
- NOT TO BE USED FOR STRENGTHENING NEIGHBORHOODS
 - SHOULD BE USED TO PROTECT ADJACENT PUBLIC HIGHWAYS
- MAINTENANCE**
- INSPECT FOR HOLES OR DAMAGE TO THE CURB
 - INSPECT FOR HOLES OR DAMAGE TO THE FILTER FABRIC
 - INSPECT FOR HOLES OR DAMAGE TO THE FILTER SOCK
 - REPAIR HOLES AND DAMAGE TO THE CURB, FILTER FABRIC, AND FILTER SOCK AS NECESSARY TO MAINTAIN CONTROL IN THE ENTRANCE
 - REPAIR HOLES AND DAMAGE TO THE CURB, FILTER FABRIC, AND FILTER SOCK AS NECESSARY TO MAINTAIN CONTROL IN THE ENTRANCE
- PERFORMANCE REQUIREMENTS**
- OAK COSTS
 - OAK COSTS
 - MAINTENANCE
 - TRAINING
- HIGH • MEDIUM • LOW

STABILIZED CONSTRUCTION ENTRANCE
SCALE: N/A



- DESCRIPTION**
- A TRENCH WITH A 2% SLOPE TO THE DOWNSTREAM SIDE. THE TRENCH IS TO BE FILLED WITH A 12" DEEP LAYER OF 1/2" GRAVEL. THE TRENCH IS TO BE REINFORCED WITH A 12" DEEP LAYER OF 1/2" GRAVEL. THE TRENCH IS TO BE REINFORCED WITH A 12" DEEP LAYER OF 1/2" GRAVEL.
- OBJECTIVES**
- MINIMIZE PRACTICES
 - CONTROL WASTE
 - STABILIZE DISTURBED AREA
 - PREVENT EROSION
 - CONTROL LIFE-HAZARDOUS
 - CONTROL INTERNAL EMISSION
- TARGETED POLLUTANTS**
- SEDIMENT
 - NUTRIENTS
 - TOXIC MATERIALS
 - OIL & GREASE
 - PLASTIC MATERIALS
 - OTHER WASTE
- INSTALLATION/OPERATION CRITERIA**
- TRENCHES SHALL BE INSTALLED AT THE TOP OF THE DISTURBED AREA
 - TRENCHES SHALL BE INSTALLED AT THE TOP OF THE DISTURBED AREA
 - TRENCHES SHALL BE INSTALLED AT THE TOP OF THE DISTURBED AREA
- LIMITATIONS**
- NOT TO BE USED FOR STRENGTHENING NEIGHBORHOODS
 - SHOULD BE USED TO PROTECT ADJACENT PUBLIC HIGHWAYS
- MAINTENANCE**
- INSPECT FOR HOLES OR DAMAGE TO THE TRENCH
 - REPAIR HOLES AND DAMAGE TO THE TRENCH AS NECESSARY TO MAINTAIN CONTROL IN THE ENTRANCE
- PERFORMANCE REQUIREMENTS**
- OAK COSTS
 - OAK COSTS
 - MAINTENANCE
 - TRAINING
- HIGH • MEDIUM • LOW

SILT FENCE
SCALE: N/A



- DESCRIPTION**
- A PORTABLE TOILET SHALL BE PROVIDED FOR CONSTRUCTION PERSONNEL. THE TOILET SHALL BE PROVIDED FOR CONSTRUCTION PERSONNEL. THE TOILET SHALL BE PROVIDED FOR CONSTRUCTION PERSONNEL.
- OBJECTIVES**
- MINIMIZE PRACTICES
 - CONTROL WASTE
 - STABILIZE DISTURBED AREA
 - PREVENT EROSION
 - CONTROL LIFE-HAZARDOUS
 - CONTROL INTERNAL EMISSION
- TARGETED POLLUTANTS**
- SEDIMENT
 - NUTRIENTS
 - TOXIC MATERIALS
 - OIL & GREASE
 - PLASTIC MATERIALS
 - OTHER WASTE
- INSTALLATION/OPERATION CRITERIA**
- TOILETS SHALL BE PROVIDED FOR CONSTRUCTION PERSONNEL
 - TOILETS SHALL BE PROVIDED FOR CONSTRUCTION PERSONNEL
 - TOILETS SHALL BE PROVIDED FOR CONSTRUCTION PERSONNEL
- LIMITATIONS**
- NOT TO BE USED FOR STRENGTHENING NEIGHBORHOODS
 - SHOULD BE USED TO PROTECT ADJACENT PUBLIC HIGHWAYS
- MAINTENANCE**
- INSPECT FOR HOLES OR DAMAGE TO THE TOILET
 - REPAIR HOLES AND DAMAGE TO THE TOILET AS NECESSARY TO MAINTAIN CONTROL IN THE ENTRANCE
- PERFORMANCE REQUIREMENTS**
- OAK COSTS
 - OAK COSTS
 - MAINTENANCE
 - TRAINING
- HIGH • MEDIUM • LOW

PORTABLE TOILETS
SCALE: N/A

FILTER SOCK SPECIFICATION

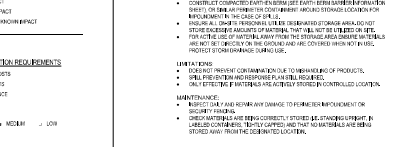
- 1.0 DESCRIPTION**
- THE FILTER SOCK SHALL BE MADE OF A NON-WOVEN, POLYPROPYLENE FIBER. THE FILTER SOCK SHALL BE MADE OF A NON-WOVEN, POLYPROPYLENE FIBER. THE FILTER SOCK SHALL BE MADE OF A NON-WOVEN, POLYPROPYLENE FIBER.
- 2.0 COMPONENT PRODUCTS USED TO MAKE FILTER SOCKS**
- COMPACT, COMPACTED FIBER
 - COMPACT, COMPACTED FIBER
 - COMPACT, COMPACTED FIBER
- 3.0 CONSTRUCTION AND INSTALLATION OF THE FILTER SOCK**
- THE FILTER SOCK SHALL BE INSTALLED AT THE TOP OF THE DISTURBED AREA
 - THE FILTER SOCK SHALL BE INSTALLED AT THE TOP OF THE DISTURBED AREA
 - THE FILTER SOCK SHALL BE INSTALLED AT THE TOP OF THE DISTURBED AREA

CONCRETE WASTE MANAGEMENT

- DESCRIPTION**
- CONCRETE WASTE SHALL BE STORED IN A CONTAINED AREA. CONCRETE WASTE SHALL BE STORED IN A CONTAINED AREA. CONCRETE WASTE SHALL BE STORED IN A CONTAINED AREA.
- OBJECTIVES**
- MINIMIZE PRACTICES
 - CONTROL WASTE
 - STABILIZE DISTURBED AREA
 - PREVENT EROSION
 - CONTROL LIFE-HAZARDOUS
 - CONTROL INTERNAL EMISSION
- TARGETED POLLUTANTS**
- SEDIMENT
 - NUTRIENTS
 - TOXIC MATERIALS
 - OIL & GREASE
 - PLASTIC MATERIALS
 - OTHER WASTE
- INSTALLATION/OPERATION CRITERIA**
- CONCRETE WASTE SHALL BE STORED IN A CONTAINED AREA
 - CONCRETE WASTE SHALL BE STORED IN A CONTAINED AREA
 - CONCRETE WASTE SHALL BE STORED IN A CONTAINED AREA
- LIMITATIONS**
- NOT TO BE USED FOR STRENGTHENING NEIGHBORHOODS
 - SHOULD BE USED TO PROTECT ADJACENT PUBLIC HIGHWAYS
- MAINTENANCE**
- INSPECT FOR HOLES OR DAMAGE TO THE CONTAINER
 - REPAIR HOLES AND DAMAGE TO THE CONTAINER AS NECESSARY TO MAINTAIN CONTROL IN THE ENTRANCE
- PERFORMANCE REQUIREMENTS**
- OAK COSTS
 - OAK COSTS
 - MAINTENANCE
 - TRAINING
- HIGH • MEDIUM • LOW



SEDIMENT BARRIER / FILTER SOCK PROTECTION
SCALE: N/A



MATERIALS STORAGE
SCALE: N/A

MCNEIL ENGINEERING
Environmental and Sustainable Design, Professional You Know and Trust
841 West Valley Parkway, Suite 200, Salt Lake City, UT 84119 (801) 221-7770
www.mcneileng.com

REGISTERED PROFESSIONAL ENGINEER
STATE OF UTAH
7150024
No. 28889
THEODORE A. MCNEIL
1997

JACK IN THE BOX - BOUNTIFUL
3866 BOUNTIFUL UTAH
BOUNTIFUL UTAH
LOCATED IN THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 7 NORTH, RANGE 1 EAST, S.L.B. & M.

PROJECT NO.: 23936
DESIGNED BY: GRL
CHECKED BY: TJD
DATE: 7/1/2024

CIVIL DETAILS

C5.02

REVISIONS	DATE	DESCRIPTION

SITE LEGEND

—	PROPERTY BOUNDARY LINE	⊠	PROPOSED SITE LIGHTING BUILDING
---	EXISTING EASEMENT PROPOSED EASEMENT	⊠	ENTRANCE WHEEL STOP
▨	PROPOSED ASPHALT PAVING	⊠	ACCESSIBLE PARKING SPACES
▨	PROPOSED CONCRETE PAVING	⊠	BIKE RACK
▨	EXISTING SIDEWALK	⊠	PROPOSED TRANSFORMER LOCATION
▨	PROPOSED SIDEWALK	⊠	PROPOSED WATER METER LOCATION
▨	EXISTING CURB AND GUTTER	⊠	PROPOSED GREASE INTERCEPTOR LOCATION
▨	PROPOSED CURB AND GUTTER	⊠	NUMBER OF PARKING STALLS
▨	CURB RAMPS	▬	LIMITS OF WORK
		⚠	VEHICLE STACKING

GENERAL CONDITIONS

GENERAL CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CASSONS, WALLS, ETC. AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.

LEGAL DESCRIPTION

BEG ON THE N LINE OF 500 SOUTH STR AT A PT WH IS S 89°05'4" W 879.78 FT FOR THE SE COR OF LOT 4, BLK 3, MND PLAT, BOUNTIFUL TS SURVEY; TH W ALG THE N LINE OF SD 500 SOUTH STR 143.54 FT; TH N 200 FT; TH W 91.81 FT; TH N 24.3 FT; TH E 214.4 FT; TH N 13 FT; TH E 6 FT; TH N 11.5 FT; TH E 15 FT; TH S 248.80 FT TO THE POB. CONT. 0.80 ACRES.

SITE INFORMATION

PARCEL NUMBER: 030250122
 PARCEL AREA: ±39,444 SF (0.80 ACRES)
 ZONE: C-G (GENERAL COMMERCIAL)

GENERAL NOTES

- A. REFER TO THE ACCESSIBILITY AND DIMENSIONING PLAN, SHEET SD1.1, FOR HORIZONTAL CONTROL INFORMATION AND JOINT DETAILING.
- B. GENERAL CONTRACTOR SHALL PROVIDE, AS REQUESTED BY CONSTRUCTION MANAGER, 'COMING SOON' SIGNAGE, SEE DETAIL 8/SD2.1.
- C. ALL SITE CONCRETE PAVING SHALL BE SPRAYED WITH A CURING COMPOUND AS SOON AS CONCRETE IS SET UP.
- D. GENERAL CONTRACTOR SHALL PROVIDE 12"x12" LANDSCAPE PAVING AT WINDOWS WHEN LANDSCAPE IS PROVIDED AROUND WINDOW AREAS.

PARKING REQUIREMENTS

THE PARKING REQUIREMENTS FOR THIS PARCEL ARE AS FOLLOWS:
 BUILDING FOOTPRINT SQUARE FOOTAGE = 2,420 SQFT

1 STALL / 2 DINING SEATS OR 1 STALL / 200 SQF WHEN NUMBER OF SEATS IS UNKNOWN, 48/2 = 24 STALLS
 TOTAL PARKING REQUIRED: 23 STALLS

ACCESSIBLE PARKING PROVIDED: 2 STALLS
 STANDARD PARKING PROVIDED: 30 STALLS
 TOTAL PARKING PROVIDED: 32 STALLS

MINIMUM OF 2 BICYCLE SPACES REQUIRED
 TOTAL BICYCLE SPACES REQUIRED: 2 SPACES
 TOTAL BICYCLE SPACES PROVIDED: 2 SPACES

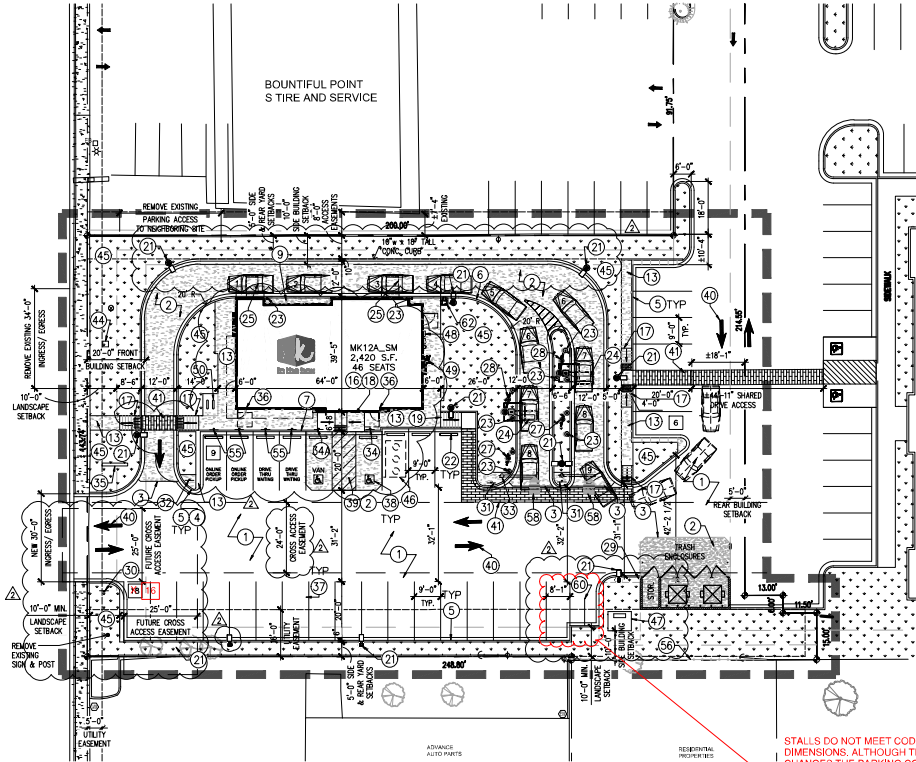
COMMENT MISSING

31 STALLS

KEYNOTES

1. INSTALL ASPHALT PAVING; REFER TO THE CIVIL DRAWINGS AND GEOTECHNICAL RECOMMENDATIONS UNDER SEPARATE COVER.
2. INSTALL CONCRETE PAVING; REFER TO THE CIVIL DRAWINGS AND GEOTECHNICAL RECOMMENDATIONS UNDER SEPARATE COVER.
3. PROVIDE THICKENED CONCRETE EDGE AT PAVING INTERFACE; SEE DETAIL 8/SD2.0.
4. CONSTRUCT CONCRETE CURB AND GUTTER; SEE DETAIL 1/SD2.0.
5. CONSTRUCT CONCRETE CURB AT ASPHALT PAVING; SEE DETAIL 2/SD2.0.
6. CONSTRUCT CONCRETE CURB AT CONCRETE PAVING; SEE DETAIL 3/SD2.0.
7. CONSTRUCT MONOLITHIC CONCRETE CURB AND SIDEWALKS; SEE DETAIL 4/SD2.0.
8. NOT USED - (CONSTRUCT MONOLITHIC CONCRETE CURB AND PAVING; SEE DETAIL 5/SD2.0.)
9. CONSTRUCT CONCRETE CURB AT BUILDING SIDE OF DRIVE-THRU LANE; SEE DETAIL 6/SD2.0.
10. NOT USED - (CONSTRUCT CONCRETE CURB & GUTTER AT BOTTOM RAMP; SEE DETAIL 12/SD2.0.)
11. NOT USED - (SAW CUT AND REMOVE EXISTING PAVING AND/OR SIDEWALK. REMOVE A MINIMUM 2'-FEET ASPHALT PAVING TO ENSURE PROPER INSTALLATION OF PATCH BACK. ASPHALT PATCH BACK TO MUNICIPALITY STANDARDS.)
12. NOT USED - (INSTALL CONCRETE CROSS PAN (DRIVE APPROACH) TO MUNICIPALITY STANDARDS.)
13. INSTALL 4-INCH (MIN) THICK CONCRETE SIDEWALK WITH LIGHT BROOM FINISH. SEE DETAIL 2/SD2.1.
14. NOT USED - (INSTALL TALL & THICK LANDSCAPING TO PROHIBIT THE PASSAGE OF PATRONS FROM PATIO INTO DRIVE-THRU AREAS & PARKING.)
15. NOT USED - (DOWEL TO EXISTING CONCRETE PAVING WITH 18-INCH NO. 4 BARS AT 18-INCHES O.C.; MINIMUM OF TWO BARS - REDUCE SPACING AS NECESSARY.)
16. CONSTRUCT FLARE SIDED (WINGED) CURB RAMP; SEE DETAIL 13/SD2.0.
17. CONSTRUCT IN-LINE CURB RAMP; SEE DETAIL 14/SD2.0.
18. NOT USED - PROVIDE RAMP AND LANDINGS AT HANDICAP ACCESSIBLE PARKING SPACES; SEE DETAIL 15/SD2.0.
19. CONSTRUCT DELIVERY RAMP; SEE DETAIL 17/SD2.0.
20. NOT USED - PROVIDE PUBLIC RIGHT-OF-WAY ACCESS RAMPS PER THE MUNICIPALITY STANDARDS.
21. INSTALL LIGHT POLE BASE; SEE DETAIL 16/SD2.1. REFER TO SHEET ES1.1 FOR POLE AND FIXTURE REQUIREMENTS.
22. INSTALL CONCRETE WHEEL STOP TYPICAL AT HANDICAP SPACES AND STANDARD SPACES FRONTING 6'-FOOT OR LESSER WIDTH SIDEWALKS; SEE DETAIL 8/SD2.0. SEE KEYNOTE 55.
23. INSTALL BARRIER POSTS AT PREVIEW BOARD, MENU BOARD, AND PERIPHERAL TO BUILDING CORNERS; SEE DETAIL 4/SD2.1. CONTRACTOR TO PROVIDE SLEEVES THROUGH CURB AND GUTTER WHERE APPROPRIATE. SEE A1.0 FOR DIMENSIONING CONTROL & BARRIERS ADJACENT TO BUILDING.
24. INSTALL DETECTOR LOOP FOR ORDER BOARD; SEE DETAIL 18/SD2.1.
25. INSTALL DETECTOR LOOP AT PICK UP WINDOW AND CASH WINDOW; SEE DETAIL 10/SD2.1.
26. NOT USED - PROVIDE TRASH RECEPTACLE. LOCATE AS REQUIRED FOR SITE CONDITIONS.
27. INSTALL PREVIEW BOARD; SEE DETAIL 20/SD2.0.
28. INSTALL ORDER/SPEAKER BOARD AND WEATHER PROTECTION CANOPY; SEE DETAIL 18/SD2.1.
29. CONSTRUCT MASONRY BLOCK TRASH ENCLOSURE; SEE DETAIL 16/SD2.2.
30. SITE 'ENTRY' SIGN UNDER SEPARATE COVER. GENERAL CONTRACTOR REFER TO SHEET ES1.0 FOR CONDUIT AND WIRING REQUIREMENTS.
31. SITE 'DRIVE-THRU' SIGN UNDER SEPARATE COVER. GENERAL CONTRACTOR REFER TO SHEET ES1.0 FOR CONDUIT AND WIRING REQUIREMENTS.
32. SITE 'THANK YOU/DO NOT ENTER' SIGN UNDER SEPARATE COVER. GENERAL CONTRACTOR REFER TO SHEET ES1.0 FOR CONDUIT AND WIRING REQUIREMENTS.
33. INSTALL DOUBLE BAR HEIGHT CLEARANCE (9'-0") AND WARNING POLE SIGN; SEE DETAIL 20/SD2.0. DO NOT INCLUDE SITE 'DRIVE-THRU' SIGN.
34. INSTALL SINGLE BAR HEIGHT CLEARANCE (9'-0") AND WARNING POLE SIGN; SEE DETAIL 20/SD2.1. INCLUDE SITE 'DRIVE-THRU' SIGN; SEE NOTE 31.
35. INSTALL DRIVE-THRU ENTRY PORTAL; SEE DETAIL 1/SD2.0. DO NOT INCLUDE SITE 'DRIVE-THRU' SIGN.
36. INSTALL ACCESSIBLE PARKING SIGN. SEE DETAIL 8/SD2.1.
37. INSTALL ACCESSIBLE PARKING SIGN WITH 'VAN' PLACARD. SEE DETAIL 8/SD2.1.
38. PROJECT MONUMENT SIGN. GENERAL CONTRACTOR TO PROVIDE CONDUIT AND WIRING PER SHEET ES1.0. INSTALLATION BY SIGN CONTRACTOR.
39. APPLY INTERNATIONAL SYMBOL OF ACCESSIBILITY DECAL ON DOOR.
40. PAINT 4-INCH SOLID WHITE PARKING STRIPES TO MUNICIPALITY STANDARDS. SEE KEYNOTE 55.
41. PAINT ACCESSIBLE PARKING SYMBOLS, TEXT, AND DIAGONALS; SEE DETAIL 13/SD2.2.
42. (PAINT 4-INCH SOLID WHITE STRIPES AT 8-INCHES O.C. AND 45-DEGREES TO TRAFFIC DIRECTION, BORDER WITH 6-INCH SOLID WHITE STRIPS. TYPICAL LOADING SPACES AS SHOWN.)
43. PAINT TRAFFIC DIRECTIONAL ARROWS; SOLID WHITE AND TYPICAL AS SHOWN.
44. DECORATIVE PAVEMENT AT PEDESTRIAN CROSSINGS. DECORATIVE PAVEMENT TO BE STAMPED AND COLORED CONCRETE. MANUFACTURER: BROOKFORM. COLOR/PATTERN: RUNNING BOND NEW BRICK.
45. NOT USED - (INSTALL OUTDOOR SEATING PER PLAN. VERIFY WITH J6 IF PATIO FURNITURE IS TO BE USED; VERIFY WITH LOCAL AUTHORITY IF PATIO ALLOWED. SEE DETAIL 1. & 2/SD2.3.)
46. NOT USED - INSTALL PEDESTRIAN GUARD RAILING; SEE DETAIL 3/SD2.1.
47. PROPOSED WATER METER. CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. REFER TO SHEET PS1.0.
48. PROVIDE SCHEDULE 40 PVC SLEEVES AT 2X DIAMETER OF PROPOSED IRRIGATION PIPING. TYPICAL OF ALL LANDSCAPE AREAS. REFER TO SHEET I1.1.
49. PROPOSED GREASE INTERCEPTOR. CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. REFER TO SHEET SP1.0.
50. PROPOSED TRANSFORMER LOCATION. CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. BOLLARDS INSTALLED PER PROVIDER STANDARDS. REFER TO SHEETS PS1.0 AND ES1.0.
51. PROPOSED ELECTRIC METER AND CABINET MOUNTING. CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. REFER TO SHEET SP1.0.
52. PROPOSED GAS METER LOCATION. CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. BOLLARDS INSTALLED PER PROVIDER STANDARDS. REFER TO SHEETS PS1.0 AND PS3.0.
53. INSTALL U-BAR BIKE RACK(S); SEE DETAIL 2/SD2.2.
54. NOT USED - (CONSTRUCT CONCRETE ROOF DRAIN SWALE; SEE DETAIL 15/SD2.2. COORDINATE W/ CIVIL DWGS IF STORM WATER IS TO BE PROVIDED.)
55. NOT USED - (PAINT 4-INCH SOLID WHITE STRIPE TO MUNICIPALITY STANDARDS.)
56. NOT USED - (POSSIBLE CROSS ACCESS DRIVE IF REQUIRED.)
57. NOT USED - (LOCATION OF EXTERIOR WATER METER AND BACKFLOW PREVENTER IF REQUIRED. SEE DETAIL 18/SD2.2.)
58. DEDICATED WAITING STALL PARKING SIGN. SEE DETAIL 8/SD2.1. PAINT PARKING STALL STRIPING IMPULSIVE PURPLE FOR ONLINE ORDERING/DELIVERY PARKING SPOTS. PAINT WHEEL STOPS AT THE DEDICATED WAITING SPACES IMPULSIVE PURPLE.
59. EXISTING FENCE. GC TO CONFIRM CONDITION OF EXISTING FENCE. IF IN NEED OF REPAIR, REPLACE WITH 4" HIGH CEDAR FENCE WITH CLEAR STAN. PLACE TREATED 4X4 POSTS EVERY 8' WITH TREATED 2X4 RAILS.
60. NOT USED - (2) 44" x 32" W METAL RAILING. SEE DETAIL 3/SD2.1.
61. DRIVE-THRU ARROW, PAINTED IMPULSIVE PURPLE. SEE DETAIL 20/SD2.2.
62. NOT USED - (EXPRESS LANE ARROW, PAINTED WHITE. SEE DETAIL 20/SD2.2.)
63. MOTORCYCLE PARKING
64. NOT USED - (PAINT 18" WIDE SOLID STRIPE. ADD STENCIL "WAIT HERE".)
65. 0F-WR2 TRASH RECEPTACLE ON 3' x 3' CONCRETE PAD
66. NOT USED - (PAINT 4" WIDE SOLID STRIPE FOLLOWING EXTENT OF DRIVE THRU LANE.)
67. NOT USED - (0F-WR1 TRASH & RECYCLING RECEPTABLES. SEE ENLARGED PLAN ON 6 & 16/SD2.2.)

WEST 500 SOUTH (HWY 68)
 PUBLIC RIGHT-OF-WAY



SITE PLAN

SCALE: 1" = 20'

Reviewed by 07/08/2024
 Building Department
 Don Simons, Building Official

PLAN REVIEW
 07/08/2024 1:49:54 PM
 Lloyd Cheney, Bountiful City Engineer

REVIEWED BY PLANNING
 AMBER CHENEY, PLANNING PLANNER
 BOUNTIFUL EST. 1847

CALL STATE UTILITY NOTIFICATION CENTER
 1-801-208-2100
 2-BUSINESS DAYS IN ADVANCE BEFORE CALLING TO LOCATE OR EXPOSE FOR THE MARKING OF UNDERGROUND UTILITIES

Jack
 In the box
 9357 SPECTRUM CENTER BLVD
 SAN DIEGO, CA 92123
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DATES
 RELEASE: OCTOBER 2022
 P.M. UPDATES: SEPTEMBER 2023
 SUBMITTAL DATE:
 1: 01/30/2024
 2: 04/15/2024
 3:

REVISIONS

Magellan
 ARCHITECTS
 6881 158th Avenue Northwest, Suite 280
 Everett, WA 98203
 Tel: (425) 885-4300 Fax: (425) 885-4305
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STATE OF UTAH
 ARCHITECTS
 #1019241005

SITE INFORMATION
 BLDG TYPE: MK12A_SM
 JB # : 01326
 ADDRESS:
 386 W 500 SOUTH
 BOUNTIFUL, UT 84010

SITE PLAN
 MK12A_SM
SD1.0



LANDSCAPE SCHEDULE

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	DETAIL
DECIDUOUS TREES					
	7	PRAIRIE SENTINEL COMMON HACKBERRY	CELTIS OCCIDENTALIS 'JFS-KSU1' PRAIRIE SENTINEL®	2" CAL.	DL5.01
	4	SUMMER SPRITE LINDEN	TILIA CORDATA 'HALKA'	2" CAL.	DL5.01
	4	ZILERATION ZELKOVA	ZELKOVA SERRATA 'ZILERATION'	2" CAL.	DL5.01
	4	CITY SPRITE ZELKOVA	ZELKOVA SERRATA 'JFS-KW1'	2" CAL.	DL5.01
EVERGREEN TREES					
	12	MOON GLOW JUNIPER	JUNPERUS SCOPULORUM 'MOON GLOW'	6' HT.	EL5.01
SHRUBS					
	19	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	5 GAL.	BL5.01
	27	FOURWING SALTBUUSH	ATRIPLEX CANESCENS	5 GAL.	BL5.01
	10	FERN BUSH	CHAMAEBATARIA MILLEFOLIUM	5 GAL.	BL5.01
	50	LITTLE MOSES EUONYMUS	EUONYMUS ALATUS 'ODOM' PP13166 LITTLE MOSES	5 GAL.	BL5.01
	69	ALPINE CARPET JUNIPER	JUNPERUS COMMUNIS 'MONDAP'	5 GAL.	BL5.01
	22	BLUE CHIP JUNIPER	JUNPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL.	BL5.01
	21	PAWNEE BUTTES WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL.	BL5.01
	23	SILVER TOTEM BUFFALO BERRY	SHEPHERDIA ARGENTEA 'TOTEM'	5 GAL.	BL5.01
ORNAMENTAL GRASSES					
	199	TUFTED HAIR GRASS	DESCHAMPSIA CESPITOSA 'PIKIE FOUNTAIN'	1 GAL.	AL5.01
	16	MAIDEN GRASS	MISCANTHUS SINENSIS 'ORACILLIMUS'	3 GAL.	AL5.01
SYMBOL	QTY.	DESCRIPTION	INSTRUCTIONS	SIZE	DETAIL
	42	'BROWNS CANYON' BOULDERS	BURY 1/3 THE DEPTH OF THE BOULDER INTO FINISH GRADE. DO NOT USE BOULDERS THAT ARE LESS THAN 24" DIAMETER. BOULDER SHALL BE WASHED AND FREE OF DIRT AND OTHER FOREIGN DEBRIS.	2'-4" DIAMETER IN ALL DIRECTIONS	HL5.01
	6,323 S.F.	'BROWNS CANYON' CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWETTS & 4" WELD BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	3/4" DIAMETER	GL5.01
	1,710 S.F.	'BROWNS CANYON' CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWETTS & 4" WELD BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	2" DIAMETER	GL5.01
		ALWAYS PLANT ACCORDING TO CENTER POINT OF THE SYMBOL			

TWO (2) STALLS DO NOT MEET CODE DIMENSIONS. ALTHOUGH THIS CHANGES THE PARKING COUNT, THE PARKING REQUIREMENT FOR THIS USE WOULD BE MET. STAFF RECOMMENDS LANDSCAPING THIS AREA.

BOUNTIFUL CITY DATA

CU, 6: COMMERCIAL
 CH, 16: LANDSCAPING AND FENCING

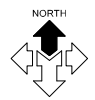
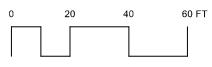
ZONED AS	GENERAL COMMERCIAL (C-G)	
TOTAL SITE AREA	34,044 S.F.	
ON-SITE LANDSCAPE AREA	8,075 S.F.	
	REQUIRED	PROVIDED
GENERAL:		
REQUIRED LANDSCAPE AREA	15% MIN. = 5,242 S.F.	8,075 S.F. = 23%
REQUIRED TREES - 1 PER 750 S.F. OF REQUIRED LANDSCAPE AREA (EXCL. REQUIRED BUFFER & PARKING LOT TREES)	5,242 S.F. / 750 = 7	14
REQUIRED SHRUBS - 1 PER 200 S.F. OF REQUIRED LANDSCAPE AREA	5,242 S.F. / 200 = 26	>26
LAWN AREAS	20% MAX. = 6,989 S.F.	0%
FRONTAGE:		
FRONTAGE LANDSCAPE AREA	MIN. 10' WIDE	YES
STREET TREES - 1 PER 35' OF FRONTAGE	144' / 35 = 4	4
SETBACKS:		
FRONT YARD	20' MIN.	YES
SIDE YARD	10' MIN.	YES
REAR YARD	10' MIN.	YES
YARD ABUTTING RESIDENTIAL	20' MIN. ON THE ABUTTING SIDE(S)	YES
BUFFER:		
LANDSCAPE BUFFER ADJACENT TO RESIDENTIAL PROPERTIES	10' MIN.	YES
REQUIRED TREES (FROM TREE SELECTION LIST) - 1 PER 30' ALONG BUFFER	11	YES
PARKING LOT:		
REQUIRED LANDSCAPE AREA	5% = 1,496 S.F.	1,864 S.F. = 6%
LANDSCAPE BUFFER ADJACENT TO PROPERTY LINE	5' MIN.	YES
REQUIRED TREES - 1 PER 40' OF LANDSCAPE MEDIAN		YES

GENERAL NOTE

- REFER TO COMMON EARTHWORK, TOPSOIL & GRADING, AND PLANTING NOTES ON SHEET L0.01

REFERENCE NOTES

- EXISTING LANDSCAPE TO REMAIN



AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.
Call Djs
 563-966-1111

NOTICE!
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RESTORATION OF ALL EXPOSED OR REVEALED GROUND UTILITIES, SPECIAL OR NOT SHOWN ON THE PLANS.

McNEIL ENGINEERING
 8485 South Sand Prairie Dr., Suite 200, South Jordan, UT 84095 (801) 253-2700 mce@mcneileng.com
 Civil Engineering • Consulting & Landscape Architecture
 Structural Engineering • Land Surveying & RDS



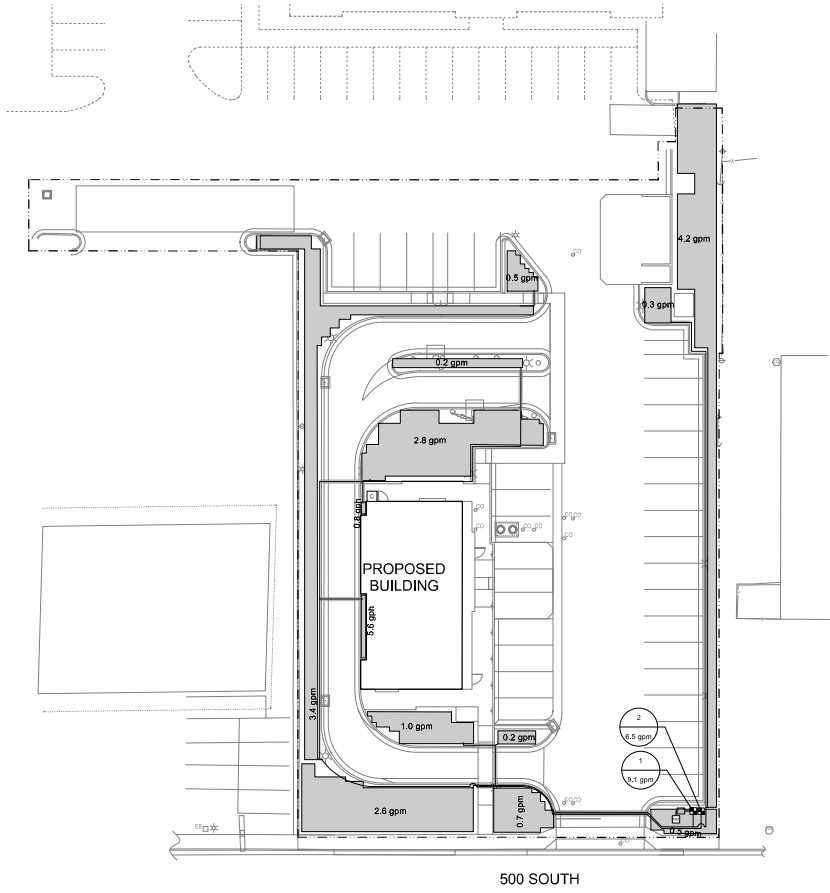
JACK IN THE BOX - BOUNTIFUL
 370 WEST 500 SOUTH
 BOUNTIFUL, UTAH

REV.	DATE	DESCRIPTION
1	07/08/2024	CITY REVIEW COMMENTS
2		REVISION CITY REVIEW COMMENTS

PROJECT NO: 23556
 DRAWN BY: TG
 CHECKED BY: SS
 DATE: JANUARY 2024

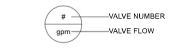
PROPERTY NO:
 LANDSCAPE PLANTING PLAN

L2.01



IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	SERIES	DETAIL
[Symbol]	DRIPPER LINE SPACED @ 18" O.C.	Netafim	TLCV4-18	DL5.02
VALVES				
[Symbol]	DRIP CIRCUIT CONTROL VALVE	RAIN BRD	XCZ-100-PRB-COM DRIP ZONE KIT WITH 100-PEE CONTROL VALVE AND DISINFECTOR WITH BULK-ON PRV	CL5.02
OTHER EQUIPMENT				
[Symbol]	IRRIGATION CONTROLLER WITH RAIN SHUTOFF DEVICE	RAIN BRD	ESPELXME	GL5.03
[Symbol]	POINT OF CONNECTION			AL5.03
[Symbol]	CONCRETE PAD FOR FILTER ASSEMBLY			CL5.03
PIPE				
[Symbol]	1" PVC MAIN LINE		SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 PVC FITTINGS	AL5.02
[Symbol]	3/4" PVC LATERAL LINE		SCHEDULE 40 PVC PIPE & FITTINGS	AL5.02
[Symbol]	PIPE SLEEVE UNDER NEW PAVING		SCHEDULE 40 PVC	BL5.02



GENERAL NOTE

- REFER TO IRRIGATION NOTES ON SHEET L.0.01

McNEIL ENGINEERING
 1445 South State Parkway, Suite 200 South, Salt Lake City, Utah 84119
 Phone: 801.225.7700 Fax: 801.225.7700
 www.mcneil-engineering.com
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 Structural Engineering • Land Surveying & TDS



JACK IN THE BOX - BOUNTIFUL
 370 WEST 500 SOUTH
 BOUNTIFUL, UTAH

REV.	DATE	DESCRIPTION

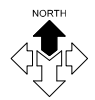
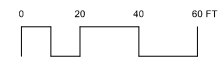
PROJECT NO: 23556
 DRAWN BY: TG
 CHECKED BY: SS
 DATE: JANUARY 2024

PROPERTY NO:
 LANDSCAPE IRRIGATION PLAN

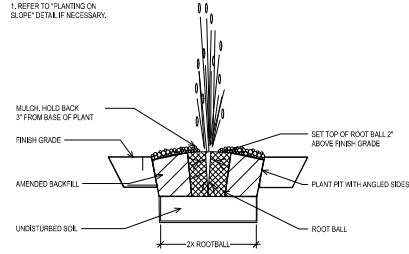
L3.01

Call Before You Dig
 800-468-1111

NOTICE!
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RESTORATION OF ALL EXISTING OR REVEAL GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

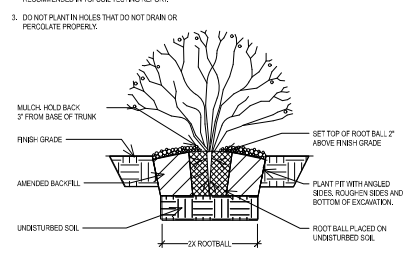


NOTE
1. REFER TO "PLANTING ON SLOPE" DETAIL IF NECESSARY.

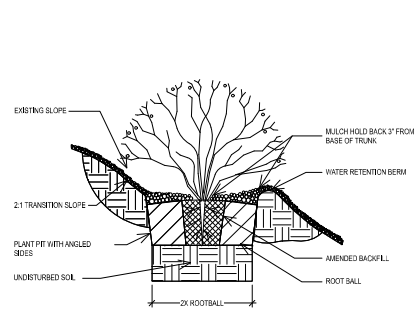


A GRASSES AND PERENNIALS
NO SCALE

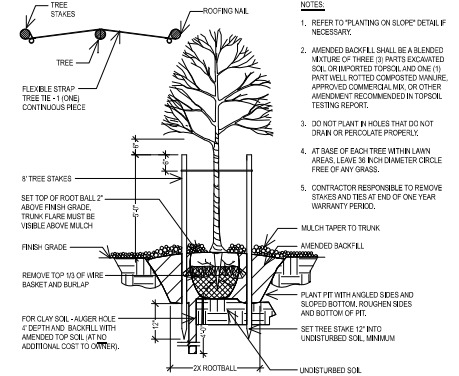
NOTES
1. REFER TO "PLANTING ON SLOPE" DETAIL IF NECESSARY.
2. AMENDED BACKFILL SHALL BE A BLENDED MIXTURE OF THREE (3) PARTS EXCAVATED SOIL OR IMPORTED TOPSOIL AND ONE (1) PART WELL ROTTED COMPOSTED MANURE, APPROVED COMMERCIAL MIX, OR OTHER AMENDMENT RECOMMENDED IN TOPSOIL TESTING REPORT.
3. DO NOT PLANT IN HOLES THAT DO NOT DRAIN OR PERCOLATE PROPERLY.



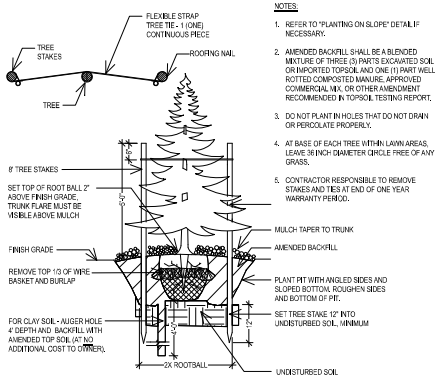
B SHRUB PLANTING
NO SCALE



C PLANTING ON SLOPE
NO SCALE



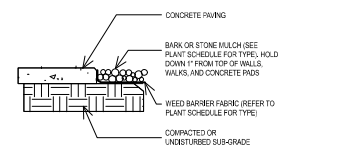
D DECIDUOUS TREE
NO SCALE



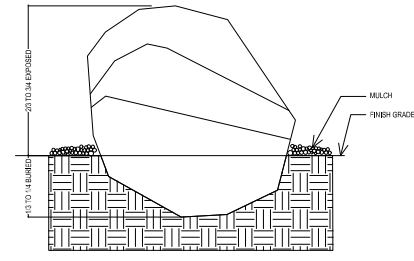
E EVERGREEN TREE
NO SCALE

NOTES
1. REFER TO "PLANTING ON SLOPE" DETAIL IF NECESSARY.
2. AMENDED BACKFILL SHALL BE A BLENDED MIXTURE OF THREE (3) PARTS EXCAVATED SOIL OR IMPORTED TOPSOIL AND ONE (1) PART WELL ROTTED COMPOSTED MANURE, APPROVED COMMERCIAL MIX, OR OTHER AMENDMENT RECOMMENDED IN TOPSOIL TESTING REPORT.
3. DO NOT PLANT IN HOLES THAT DO NOT DRAIN OR PERCOLATE PROPERLY.
4. AT BASE OF EACH TREE WITHIN LAWN AREAS, LEAVE 3/8 INCH DIAMETER CIRCLE FREE OF ANY GRASS.
5. CONTRACTOR RESPONSIBLE TO REMOVE STAKES AND TIES AT END OF ONE YEAR WARRANTY PERIOD.

NOTES
1. APPLY PRE-EMERGENT HERBICIDE TO SHRUB AND GRASS-FREE AREAS AT TREES IN LAWN PRIOR TO PLACEMENT OF WEED BARRIER FABRIC AND MULCH.
2. PRE-EMERGENT SHALL BE "SURFLAN AS" (LIQUID) BY LIMITED PROSOURCES INC., TRENTON, NJ, OR APPROVED EQUAL.
3. INSTALL MULCH TO UNIFORM DEPTH AND RAKE TO NEAT FINISHED APPEARANCE FREE OF HUMPS AND DEPRESSIONS.



G MULCH
NO SCALE



H BOULDER
NO SCALE

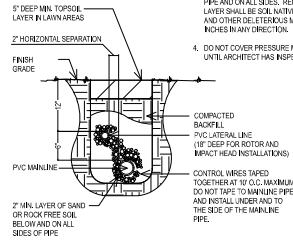
REV	DATE	DESCRIPTION

PROJECT NO: 23556
DRAWN BY: TG
CHECKED BY: SS
DATE: JANUARY 2024
PROPERTY NO:
LANDSCAPE DETAILS

L5.01

NOTES

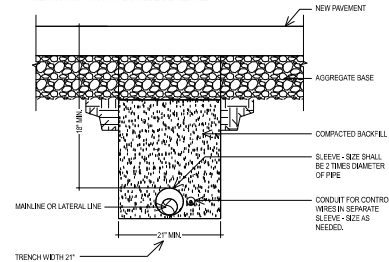
- PULLING OF PIPE IS NOT PERMITTED.
- EXCAVATE TRENCHES TO SPECIFIED DEPTH, REMOVE ROCKS LARGER THAN 1/2" IN ANY DIRECTION FROM BOTTOM OF TRENCH. SEPARATE OUT ROCKS LARGER THAN 1/2" INCH IN ANY DIRECTION UNCOVERED IN TRENCHING OPERATION FROM EXCAVATED MATERIAL AND REMOVE FROM AREAS TO RECEIVE LANDSCAPE.
- INSTALL A 2" MIN. LAYER OF ROCK-FREE SOIL OR SAND UNDER THE PIPE AND ON ALL SIDES. REMAINS OF BACKFILL TO THE TOPSOIL LAYER SHALL BE SOIL NATIVE TO THE PROJECT SITE FREE OF WOOD AND OTHER DELICIOUS MATERIALS AND ROCKS OVER 1/2" INCHES IN ANY DIRECTION.
- DO NOT COVER PRESSURE MAIN, IRRIGATION PIPE, OR FITTINGS UNTIL ARCHITECT HAS INSPECTED AND APPROVED SYSTEM.



A TRENCH
NO SCALE

NOTES

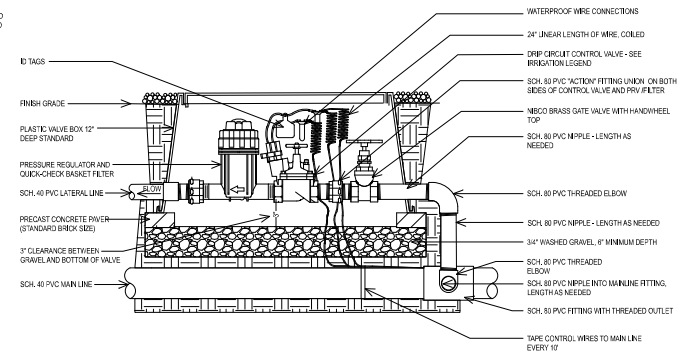
- SLEEVE WATER LINES AND CONTROL WIRES UNDER WALKS AND PAVING. EXTEND SLEEVES 6 INCHES MINIMUM BEYOND WALK OR PAVEMENT EDGE. COVER SLEEVE ENDS WITH PIPS AND WIRES ARE INSTALLED TO KEEP SLEEVE CLEAN AND FREE OF DIRT AND DEBRIS.
- POSITION SLEEVES WITH RESPECT TO BUILDINGS AND OTHER OBSTRUCTIONS SO PIPE CAN BE EASILY REMOVED.



B TRENCH UNDER NEW PAVEMENT
NO SCALE

NOTES

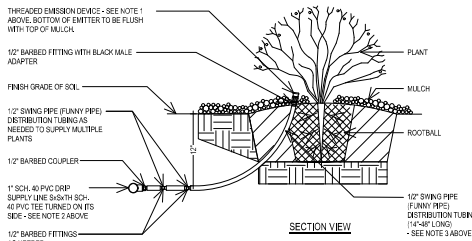
- UNIT (1) DRIP VALVE ASSEMBLY PER BOX
- INSTALL GREEN COLORED VALVE BOXES AND LEAK IN THE MAIN HEADS AND TAN COLORED BOXES AND LIDS IN THE PLANTING BEDS
- ALL FITTINGS WITH VALVE BOX SHALL BE SCH. 80 PVC AND SAME SIZE AS THE VALVE
- CONTRACTOR TO REPLACE EXISTING 200 MESH (WHITE) SCREEN WITH A NEW 100 MESH (RED) SCREEN



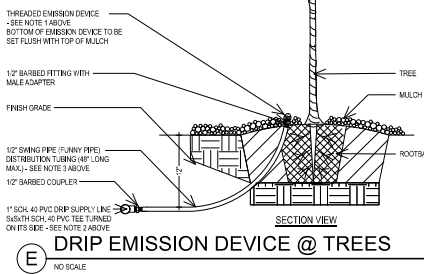
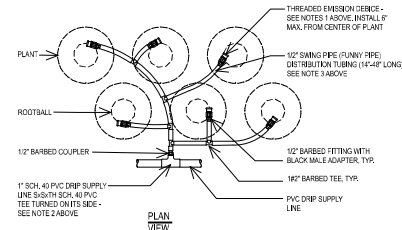
C CONTROL VALVE - DRIP CIRCUIT
NO SCALE

NOTES

- SEE EMISSION DEVICE SCHEDULE ON IRRIGATION PLAN FOR TYPE, QUANTITY AND SIZE OF EMISSION DEVICES PER PLANT.
- INSTALL A MAX. OF (6) EMISSION DEVICES PER PVC CONNECTION.
- DISTRIBUTION TUBING SHALL BE INSTALLED A MINIMUM OF 12" BELOW FINISHED GRADE AND ONLY BE BROUGHT TO THE SURFACE AT EACH PLANT.



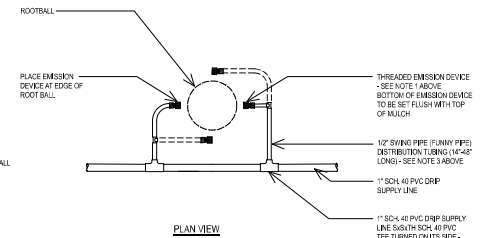
D DRIP EMISSION DEVICE @ SHRUBS
NO SCALE



E DRIP EMISSION DEVICE @ TREES
NO SCALE

NOTES

- SEE EMISSION DEVICE SCHEDULE ON IRRIGATION PLAN FOR TYPE, QUANTITY AND SIZE OF EMISSION DEVICES PER PLANT.
- INSTALL A MAX. OF (2) EMISSION DEVICES PER PVC CONNECTION.
- DISTRIBUTION TUBING SHALL BE INSTALLED A MINIMUM OF 12" BELOW FINISHED GRADE AND ONLY BE BROUGHT TO THE SURFACE AT EACH PLANT.

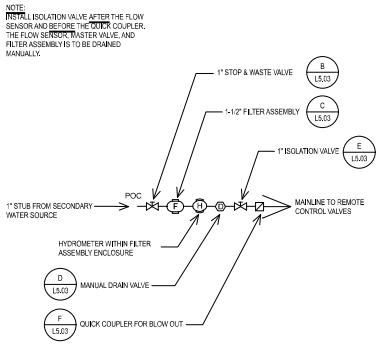


REV	DATE	DESCRIPTION

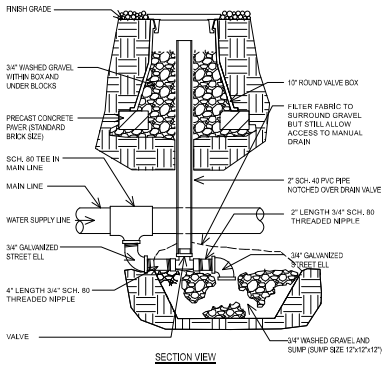
PROJECT NO: 23556
DRAWN BY: TG
CHECKED BY: SS
DATE: JANUARY 2024

PROPERTY NO:
LANDSCAPE IRRIGATION DETAILS

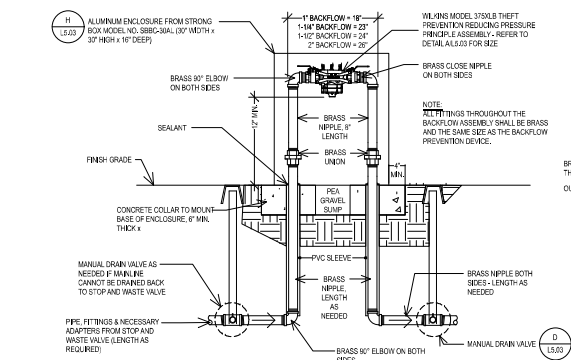
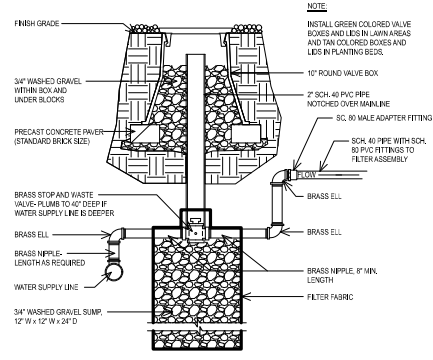
L5.02



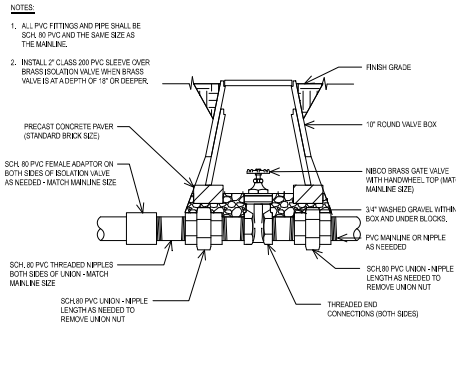
A POC SCHEMATIC LAYOUT
NO SCALE



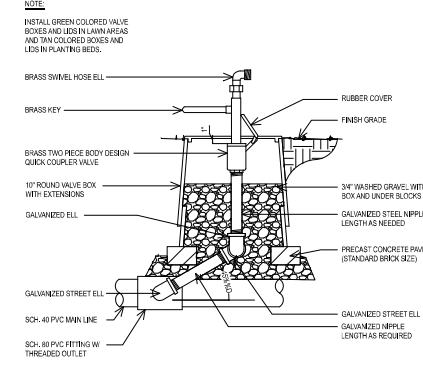
B STOP & WASTE VALVE
NO SCALE



C BACKFLOW PREVENTER
NO SCALE

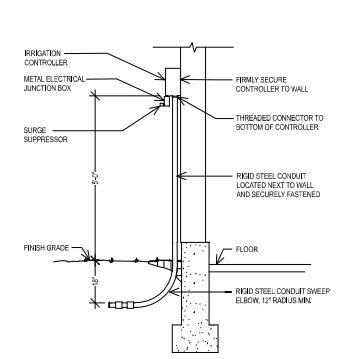


D MAINLINE DRAIN VALVE
NO SCALE

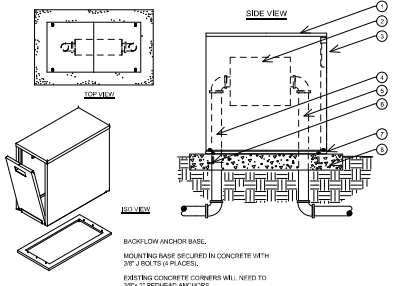


E ISOLATION VALVE - THREADED
NO SCALE

F QUICK COUPLER VALVE
NO SCALE



G CONTROLLER
NO SCALE



LEGEND

1. ALUMINUM BACKFLOW ENCLOSURE.
2. BACKFLOW PREVENTER.
3. HINGED DROP DOWN DOOR/PADLOCK AT TOP.
4. WATER SERVICE INLET PIPING.
5. WATER SERVICE OUTLET PIPING.
6. 3/8" x 1/2" STYLE ANCHOR BOLTS.
7. ANCHOR PLATE MOUNTINGS.
8. POURED CONCRETE BASE - 6" MIN. THICKNESS - EXTENDS 4" BEYOND OUTSIDE DIMENSIONS OF ENCLOSURE.

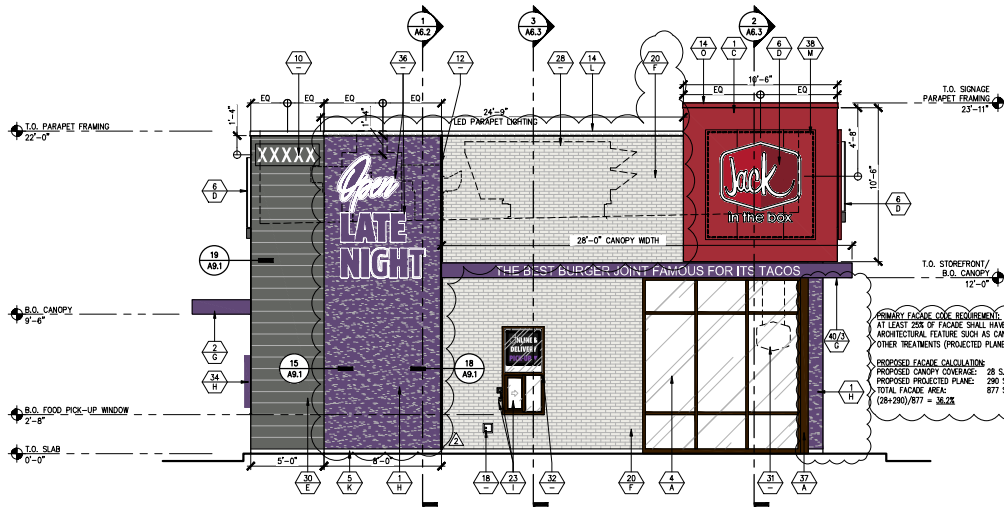
H BACKFLOW ENCLOSURE
NO SCALE

REV	DATE	DESCRIPTION

PROJECT NO: 23556
DRAWN BY: TG
CHECKED BY: SS
DATE: JANUARY 2024

PROPERTY NO:
LANDSCAPE IRRIGATION DETAILS

L5.03



1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A. REFER TO A1.0 FOR DOOR & WINDOW TAGS & A8.0 SHEET SERIES FOR DOOR & WINDOW TYPES & SCHEDULES.
- B. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.L.C.)
- C. ALL PLASTER ACCESSORIES, FLASHING, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES (U.O.A)
- D. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.
- E. ALL FINISHES, LIGHTING, & EQUIPMENT ARE TO SUBMITTED TO ARCHITECT FOR REVIEW & APPROVAL.
- F. SEE ID4 SHEET SERIES FOR EQUIPMENT, FURNITURE, SIGNAGE, & INTERIOR FINISH SCHEDULES DESIGNATED BY "XX-XXX".

COLORS

- A. DARK BRONZE ANODIZED ALUMINUM
- B. COLOR / FINISH TO MATCH ADJACENT SURFACE
- C. SHERWIN WILLIAMS: SW 7588 "SHOW STOPPER"
- D. JOB LOGOS: WHITE TEXT - RED BACKGROUND
- E. SHERWIN WILLIAMS: SW 7068 "GRIZZLE GRAY"
- F. THIN-BRICK VENEER: WIRE CUT, "ICEBERG"
- G. CANOPY: SW 6832 "MIRALISSE PURPLE"
- H. SHERWIN WILLIAMS: SW 6832 "MIRALISSE PURPLE"
- I. FOOD LOCKER & DOOR PULL: RAL 3001 "SIGNAL RED"
- J. SHERWIN WILLIAMS: SW 7005 "PURE WHITE"
- K. CONCRETE: NATURAL / GRAY
- L. COPING: DURALAST "BONE WHITE"
- M. ACM PANELS: "CLASSIC RED"
- N. THIN-BRICK VENEER: "MIDNIGHT SKY"
- O. COPING: DURALAST "BRITE RED"

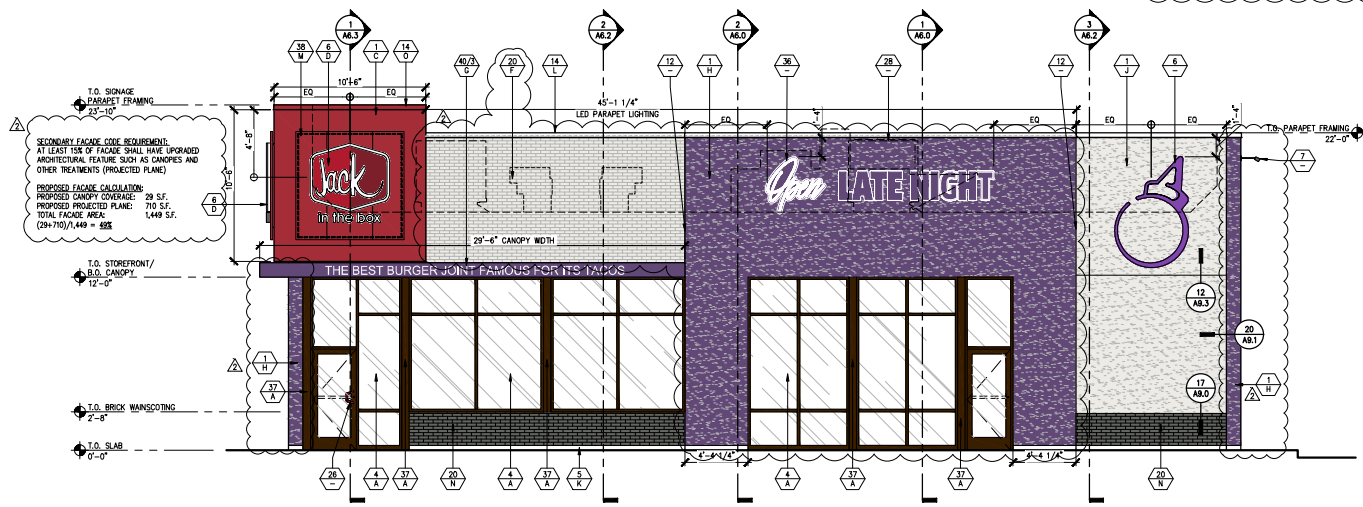
EXTERIOR ELEVATION LEGEND

- Material/Finish
- Color
- LED ROPE LIGHT FACE MOUNTED BY JB VENDOR. SEE EXTERIOR ELEVATIONS, DETAILS, & ELECTRICAL DWGS.
- LED ROPE LIGHT IN COPING COVE BY JB VENDOR. SEE EXTERIOR ELEVATIONS, DETAILS, & ELECTRICAL DWGS.

PROPOSED MATERIAL USAGE:
 TOTAL MATERIAL AREA: 4,538 S.F.
 PRIMARY MATERIAL (STUCCO, BRICK & GLAZING): 3,797 S.F.
 3,797 S.F./4,538 S.F. = 83.6% OF TOTAL MATERIAL AREA
 SECONDARY MATERIAL (HORIZONTAL LAP SIDING): 729 S.F.
 729 S.F./4,538 S.F. = 16.1% OF TOTAL MATERIAL AREA

EXTERIOR FINISH SCHEDULE

1. EXTERIOR CEMENT PLASTER-SAND FLOAT FINISH & INTEGRAL COLOR, SEE SPECIFICATIONS.
2. PRE-FAB CANOPY BY JB VENDOR, SEE DETAIL Z/A8.5 (O.F.O.I.)
3. MOUNT LIGHTING FIXTURE WITHIN CANOPY, COORDINATE WITH VENDOR MOUNTING REQUIREMENTS.
4. ALUMINUM STOREFRONT SYSTEM, SEE WINDOW TYPES & SPECIFICATIONS.
 - 1" CLEAR INSULATED GLASS
 - 1" CLEAR INSULATED
 - PER LOCAL AHJ REQUIREMENTS
 - ANTI GRAFFITI FILM
 - W/ SOLARBAN TOOL COATING
 - W/ SOLARBAN CO COATING
5. EXPOSED CONCRETE CURB/ STEM WALL.
6. INTERNALLY ILLUMINATED SIGNAGE BY JB VENDOR (O.F.O.I.) UNDER SEPARATE SUBMITTAL.
7. WALL MOUNTED LIGHT FIXTURE, SEE DETAIL 6/A8.5 FOR FIXTURE ATTACHMENT.
8. NOT USED
9. DRIVE-UP WINDOW, SEE A1.0 & A8.1.
10. INTERNALLY ILLUMINATED SIGNAGE, MIN. 12"H, WHITE LETTERS (CF-E08), OR AS REQUIRED PER LOCAL JURISDICTION (O.F.O.I.) UNDER SEPARATE SUBMITTAL.
11. MAIN ELECTRICAL SERVICE, SEE ELECTRICAL & CIVIL DWGS.
12. CONTROL JUNCTION, SEE DETAIL 11/A8.3.
13. HOLLOW METAL DOORS & FRAMES, MISCELLANEOUS TRIM.
14. ALUMINUM COPING WITH FACTORY APPLIED FINISH, VERIFY W/ ROOF PLAN COPING AT LED ROPE LIGHTING LOCATION, SEE DETAILS 6, 7, & 8/A8.6.
15. CO2 FILL BOX, SEE DETAIL 5/A8.3.
16. BULK OIL FILL BOX (OPTION), SEE DETAIL 3/A8.3. VERIFY W/ JB CONSTRUCTION IF REQUIRED.
17. GREASE TANK RECOVERY TAP-IN (STANDARD), SEE DETAIL 4/A8.3.
18. RECESSED, LOCKABLE, NON-FREEZE HOSE-BIB ENCLOSURE.
19. NOT USED
20. THIN-BRICK VENEER, SEE SPECIFICATIONS.
21. DISPLAY POSTER PANEL & SURROUND, SEE DETAIL 9/A8.3.
22. EXTERIOR WALL PACK LIGHT FIXTURE
23. WALK-UP FOOD WINDOW W/ CASHIER WINDOW MODEL #SC3030-B, BELL PUSH BUTTON (CF-E05) & INTERCOM (CF-E12) / (CF-E13)
24. NOT USED
25. DOWNSPOUT OUTLET, SEE DETAIL Z/A8.0.
26. JB CUSTOM STOREFRONT DOOR PULL, SEE HARDWARE SCHEDULES (CF-E09).
27. NOT USED
28. ROOF TOP MECHANICAL EQUIPMENT BEYOND, SEE MECHANICAL & HOOD DWGS.
29. NOT USED
30. FIBER CEMENT 9.25" LAP SIDING BY JAMES HARDIE (SMOOTH/ PRIMED), SEE SECTIONS, DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
31. WINDOW SIGN (CF-E07)
32. WINDOW SIGN (CF-E04)
33. "PAY HERE" BLADE SIGN (CF-E07A)
34. "PICK-UP" BLADE SIGN (CF-E07B)
35. GRAPHIC PANEL BY JB SIGN VENDOR (O.F.O.I.) UNDER SEPARATE SUBMITTAL.
36. INTERNALLY ILLUMINATED SIGN WITH WHITE LETTERS WITH "PURPLE" BACKGROUND PROVIDED BY JB VENDOR (O.F.O.I.) UNDER SEPARATE SUBMITTAL.
37. BRAKE METAL WRAP & COLUMN, SEE SHEET A1.0 & DETAILS ON A8.2.
38. METAL PANEL VENER SYSTEM BY JB VENDORS, SEE SECTIONS & DETAILS.
39. GAS METER, SEE A1.0, MECHANICAL, & CIVIL DWGS.
40. PRE-FABRICATED CANOPY FASCIA W/ INTERNALLY ILLUMINATED LETTERS, BY JB VENDOR.



2 SIDE ELEVATION

SCALE: 1/4" = 1'-0"



9357 SPECTRUM CENTER BLVD
 SAN DIEGO, CA 92123
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DATES
 RELEASE: OCTOBER 2022
 P.M. UPDATES: SEPTEMBER 2023
 SUBMITTAL DATE:
 1: 01/30/2024
 2: 04/15/2024
 3:

BID:

CONSTRUCTION:

REVISIONS

NO.	DESCRIPTION
1	ADD PER LOCAL JURISDICTION
2	ADD PER LOCAL JURISDICTION

Mageian ARCHITECTS
 6881 158th Avenue Northwest, Suite 290
 Bountiful, UT 84002
 Tel: (435) 885-4300 Fax: (435) 885-4300
 www.mageianarchitects.com
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SITE INFORMATION

BLDG TYPE: MK12A_SM
 JOB #: 01326
 ADDRESS:
 386 W 500 SOUTH
 BOUNTIFUL, UT 84010
 DRAWN BY: NAME
 PROJECT #: 22-082
 SCALE: AS NOTED

EXTERIOR ELEVATIONS
 MK12A_SM
 A4.0

City Council Staff Report



Subject: Vehicle Purchase
Author: Chief Biehler
Department: Police Department
Date: August 7, 2024

Background

The following is a request to approve the purchase of four police vehicles. Funding for these vehicles is included in our FY 2025 budget.

Analysis

The vehicles to be purchased are:

Two Dodge Durangos assigned to the patrol division. These Dodge Durangos will be purchased from the Young Automotive Group for \$42,287 each. No other bids were attempted due to Young Automotive having these vehicles on state contract pricing.

One Chevrolet Traverse assigned to the detective division. This vehicle will be purchased from Young Automotive for \$39,114. This vehicle is also on the state contract pricing and no other bids were received.

One Toyota Camry assigned to the detective division. This vehicle will be purchased from Young Automotive for \$27,302. This vehicle is on a state contract and no other bids were received.

We will sell four vehicles in our fleet to be replaced:

2017 Ford Explorer with 75,486 miles
2015 Toyota Camry with 91,198 miles
2019 Dodge Charger with 85,732 miles
2019 Dodge Charger with 90,424 miles

Department Review

The Police Department and City Manager have reviewed this staff report.

Significant Impacts

No significant issues. These vehicles were included in the Ten Year Capital Plan and funding is included in the budget.

Recommendation

I respectfully request your approval to purchase police vehicles in the amount of \$150,990. Thank you for your consideration in this matter.

Attachments

None

City Council Staff Report

Subject: Pipe Purchase
Author: Kraig Christensen
Department: Water
Date: August 13, 2024



Background

Part of our pipe replacement plan each year is to replace the main lines pipes in areas with an extensive leak history, water quality issues, or areas with undersized pipe by today's fire protection and service needs. We strive to replace 1.5 miles of pipe a year for our in-house crews.

Analysis

We requested bid pricing for 3,000 ft of 8" and 1,500 ft of 6" C900 pipe from four water works suppliers and received four bids.

Bids are as follows.

- Ferguson Waterworks; \$76,125
- Mountain Land Supply Company; \$82,425
- Core & Main; \$77,070
- Western Water Works Supply Company; \$79,170

Department Review

This purchase has been reviewed by the City Manager and Public Works Director.

Significant Impacts

The purchase of water line replacement materials by our water Department crews was included in the FY 24-25 budget. We anticipated the C900 pipe would cost \$100,000 for this year's replacement projects.

Recommendation

It is staff recommendation that the City Council approve the purchase of C900 style main line pipe from Ferguson Waterworks for \$76,125.

Attachments

None

City Council Staff Report

Subject: 2024 Cave Hollow Way Guardrail Project
Author: Lloyd Cheney, City Engineer
Department: Engineering
Date: Aug 13, 2024



Background

A curve in Cave Hollow Way just above Bountiful Boulevard has been the site of several car accidents in which vehicles have left the roadway in slippery conditions and damaged property in the High Pointe PUD common area below the road. Discussions with concerned residents in the homeowners' association led to the design of a guardrail to be installed behind the sidewalk along the section of road where the accidents occurred. The guardrail will start on the west side of High Pointe Drive and run behind the sidewalk along the north side of Cave Hollow Way for a little over two hundred feet. A Midwest 31-Inch W-Beam design, commonly used by UDOT and other municipalities for roadways, will be used.

This project is unique as the High Pointe HOA has agreed to participate in the installation of the guardrail by paying 50% of the project cost with the City owning and providing any future maintenance of the guardrail.

Analysis

A Bid Opening for this project was held on July 2, 2024, with one contractor submitting a bid. The Bidder, Ohmega Electric, submitted a price of \$26,946.92. The Engineer's Estimate was \$26,848.00

Ohmega Electric is a new contractor to Bountiful City. They provided references, of which one responded prior to writing this memo. The reference, Northrup Grumman, provided positive feedback, noting Ohmega Electric's responsiveness and ability to adapt to changing needs during a project. Their experience does include constructing fencing and barriers similar in nature to this project.

Department Review

This report has been reviewed by the City Manager.

Significant Impacts

No significant impacts are anticipated. Funding for the project will come from Street Department's Operations & Maintenance funds.

Recommendation

- Staff recommends the City Council accept the proposal of Ohmega Electric for the 2024 Cave Hollow Way Guardrail Project

Attachments



Figure 1 Proposed Guard Rail Installation

City Council Staff Report

Subject: Architectural Design Services Contract
for 135 S. Main St.

Author: City Engineer

Department: Engineering, RDA

Date: August 13, 2024



Background

Design West presented their findings and recommendations for the remodel of the City-owned property at 135 S Main St. in June of this year. Based on Council direction, staff requested, and has received a proposal from Design West and their consultant team for the remaining design services that will develop the plans and specifications for the remodel project.

Analysis

Design West has proposed a total fee of \$126,764.00 for design and construction services for the project. This amount includes work to be performed by the architect, structural, electrical, and mechanical (HVAC) consultants. This amount represents approximately 8.3% of the estimated project cost, and is within the typical range of expenses for this type of project.

Department Review

This memo has been reviewed by the City Manager.

Significant Impacts

Funding for the design will be included in the RDA's Capital Projects account.

Recommendation

- It is recommended that the City Council accept the proposal of Design West and award the contract at the prices noted in their Proposal.

Attachments

None. Design West's proposal is available, upon request.

City Council Staff Report



Subject: Administrative Law Judge Appointment
Author: Bradley Jeppsen
Dept: City Attorney
Date: August 13, 2024

Background

In 2014, the City Council approved an amendment to Chapter 8 of Title 2 of the Bountiful City Municipal Code. The amendment empowered an Administrative Law Judge to hear certain appeals provided for in the Bountiful City Municipal Code. The Municipal Code states that the Bountiful City Administrative Law Judge shall serve for a period of two years.

Analysis

The use of an administrative law judge for certain appeals contained within the Municipal Code has been an effective and efficient method of appeal for the public as well as the City. The previous Administrative Law Judge has declined to be reappointed for another term. City Staff is recommending that Brandon Hill be appointed as the Bountiful City Administrative Law Judge.

Brandon Hill graduated from the UCLA School of Law in 2011. Prior to graduation, he interned for the Los Angeles City Attorney's Office, the U.S. Attorney's Office in Salt Lake City, and served as a judicial extern for Judge Nuffer and Judge Kimball in federal district court. Since 2011, he has served as an Assistant City Attorney for West Valley City. Brandon's primary responsibilities include counseling the Planning Commission and Board of Adjustment on land use applications and appeals. Brandon also represents various City departments in property acquisitions, eminent domain proceedings, and matters referred to the Office of the Property Rights Ombudsman.

Department Review

This Staff Report was prepared by the City Attorney and reviewed by the City Manager.

Significant Impacts

No significant impacts.

Recommendation

It is recommended that the City Council approve the reappointment of Brandon Hill as the Bountiful City Administrative Law Judge.

City Council Staff Report



Subject: Planning Commission Re-Appointment of Krissy Gilmore
Author: Francisco Astorga, AICP, Planning Director
Department: Planning
Date: August 13, 2024

Background

In February of 2022 Bountiful resident, Krissy Gilmore was appointed to the Planning Commission. Her term was scheduled to end in June 2024 as she was filling a mid-term vacancy. Commission members typically serve four-year terms until a successor is appointed. Planning Commission members may be reappointed for successive terms. The Planning Commission is made up of seven (7) individuals: six (6) Bountiful City residents appointed by the Mayor with the advice and consent of the City Council, and one (1) Council member appointed by the Mayor. See attachment 1.

Analysis

The Planning Department and the Commission have expressed appreciation for Krissy Gilmore's service to the City as a valued member of the Commission. She has lived in the City for nine (9) years. She has worked both for the public and the private sector as a city planner and project manager, and currently as a planning manager for a municipality. She has a Master of City and Metropolitan Planning and holds a certification by the American Institute of Certified Planners. Krissy has indicated that it would be an honor to continue to serve on the Planning Commission and a way to give back to help shape and give input on the future for the City. Her experience and knowledge of planning has been, and will continue to be, an asset to the Planning Commission.

Department Review

This recommended appointment by the Mayor was reviewed by the Planning Director.

Significant Impacts

None.

Recommendation

It is recommended that the City Council approve the appointment of Krissy Gilmore to the Bountiful Planning Commission for a four (4) year term.

Attachments

1. Updated Planning Commission Roster (August 2024), *if appointed*

Attachment 1 – Updated Planning Commission Roster (August 2024), *if appointed*

Commissioner	Current Term Start Date	Current Term End Date	Additional
Krissy Gilmore	Jul. 2024	Jun. 2028	Member since Mar. 2022
Jim Clark	Jul. 2021	Jun. 2025	Member since Dec. 2017
Lynn Jacobs*	Jul. 2022	Jun. 2026	Member since Jan. 2020
Sean Monson	Jul. 2022	Jun. 2026	Member since Jan. 2011
Alan Bott†	Jul. 2023	Jun. 2027	Member since Nov. 2021
Beverly Ward	Jul. 2023	Jun. 2027	
Richard Higginson‡	Jan. 2023	TBD	

* 2024 Planning Commission Chair

† 2024 Planning Commission Vice-Chair

‡ 2024 City Council Appointment