

# ADMINISTRATIVE COMMITTEE

**Monday, July 22, 2019**  
**5:00 p.m.**

NOTICE IS HEREBY GIVEN that the Bountiful City Administrative Committee will hold its regular meeting in the Conference Room at **Bountiful City Offices, 150 North Main Street, Suite 103**, Bountiful, Utah, at the time and on the date given above. The public is invited. Persons who are disabled as defined by the Americans with Disabilities Act may request an accommodation by contacting the Bountiful City Planning Office at (801) 298-6190. Notification at least 24 hours prior to the meeting would be appreciated.

## AGENDA

1. Welcome and Introductions.
2. Consider approval of minutes for July 15, 2019.
3. **PUBLIC HEARING:** Consider approval of a Conditional Use Permit to allow for an Accessory Dwelling Unit at 2905 Cave Hollow Way, Grant A. Horsley, applicant.
4. Consider approval of a Conditional Use Permit, in written form, to allow for an Accessory Dwelling Unit at 2881 South 625 West, Michael Brock, applicant.
5. Miscellaneous business and scheduling.

  
Francisco Astorga, Bountiful City Planner

Pending minutes have not yet been approved by the Administrative Committee and are subject to change until final approval has been made.

**Bountiful City  
Administrative Committee Minutes  
July 15, 2019**

**Present:** Chairman – Francisco Astorga; Committee Members – Brad Clawson and Dave Badham; Assistant Planner – Curtis Poole; Recording Secretary – Julie Holmgren; Planning Intern – Kai Uchida

**1. Welcome and Introductions.**

Chairman Astorga opened the meeting at 5:00 p.m. and introduced all present.

**2. Consider approval of minutes for July 8, 2019.**

Mr. Clawson made a motion for approval of the minutes for July 8, 2019. Mr. Astorga seconded the motion.

<u>  A  </u>	Mr. Astorga
<u>  A  </u>	Mr. Clawson
	Mr. Badham (abstained)

Motion passed 2-0.

**3. PUBLIC HEARING: Consider approval of a Conditional Use Permit to allow for an Accessory Dwelling Unit at 445 East 1800 South, Robert & Aari Halpin, applicants.**

Aari Halpin, applicant, was present.

Mr. Poole presented a summary of the staff report (the full staff report follows).

The applicants are requesting approval of an Accessory Dwelling Unit (ADU) which currently exists in their home at this location; however, no prior approvals from the City have been given. The applicants recently purchased the home and want to make the use of the ADU legal. The ADU has two bedrooms, a living area, kitchen and bathroom.

According to City Code, 14-4-124, a Conditional Use Permit for an ADU is required and applicants shall meet all standards of the Code for approval. The existing home is located in the R-4 Single-Family Residential zone and is a single-family dwelling and will be maintained as such by the applicants. The lot is 0.206 acres (8,973 square feet). There will be only one ADU and there will only be one utility connection located at this property. The total home square footage is 2,252 and the ADU is 893 square feet, which is less than the 40% standard in the Code.

The site plan submitted by the applicants indicate there will be 5 total parking spaces off the street with two spaces parked tandem in the garage. The ADU will be accessed in the rear of the home and will not be visible from the street. The home will continue to have the



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appearance of a single-family home and should have minimal impact on the surrounding neighborhood.

Based upon the above findings, staff has determined the applicant would comply with all requirements for the Conditional Use Permit. Staff recommends approval of the Conditional Use Permit with the following conditions:

1. The principal owner(s) of the property must occupy the primary residence or the ADU.
2. The property is to be used only as a single-family use and shall be subject to a deed restriction.
3. There shall be no separate utility service connections.
4. The ADU shall meet all the criteria in 14-14-124 of the City Land Use Ordinance.
5. The Conditional Use Permit is solely for this property and is non-transferable.

Mr. Badham inquired regarding the 40% ADU standard as it applies to this application. Ms. Halpin described a large storage area located in the basement which was not included on the submitted site plan, and which will not be included in the ADU percentage calculation. Mr. Badham noted for the record that the city adopted an ordinance allowing for ADUs, but that he, personally, is against them and feels that most citizens are against them, and he feels a duty to hold ADU applicants to the letter of the law. A discussion ensued regarding access to the storage unit through the ADU, and Mr. Astorga explained that if the access were in a different area, that the applicant would most likely be in compliance with the code. Mr. Badham reiterated his concern that the proposed ADU may be larger than the 40% allowed.

**PUBLIC HEARING:** Mr. Astorga opened the Public Hearing at 5:11 p.m. Steven Hadden (1821 South Oakmont Drive) inquired regarding the feasibility of parking two vehicles side-by-side in the garage. There were no further questions or comments from the public and the Public Hearing was closed at 5:12 p.m.

Mr. Poole addressed Mr. Hadden's question and explained that as it pertains to ADUs the code requires two garage parking spaces be provided. Mr. Astorga further explained that there is no specificity regarding management of who can actually park in the garage, and Mr. Poole noted the code has no exact dimension specifications for the garage. Mr. Badham inquired regarding the size of the Halpin's garage, and Ms. Halpin stated it was about 10 feet wide by 26 feet deep, and the width could be expanded to 16 feet with a different door. A discussion ensued regarding the feasibility of parking two cars in the garage space. Mr. Clawson suggested an additional condition be added requesting a photo showing two cars in the garage, and a short discussion ensued regarding options for the Halpins to provide further garage parking information to the committee. Mr. Astorga suggested that the item be continued in order that the Halpins might provide additional information.

Mr. Astorga made a motion to continue approval of a Conditional Use Permit to allow for an Accessory Dwelling Unit at 445 East 1800 South, Robert & Aari Halpin, applicants, to a date uncertain, in order for the applicant to submit additional information, specifically: (1) exact dimensions of the garage with photos depicting two cars parked in the garage, and (2) a more detailed floor plan including location of all doors. Mr. Astorga explained that it would most



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likely not be appropriate to access the storage through the ADU, as this does not meet the intent of the code. Mr. Badham seconded the motion and added that he would like clarification from the Halpins that two cars can negotiate and utilize garage parking. Mr. Astorga indicated approval of this modification to his motion.

- A Mr. Astorga
- A Mr. Clawson
- A Mr. Badham

Motion passed 3-0.

**4. PUBLIC HEARING: Consider approval of a Conditional Use Permit to allow for an Accessory Dwelling Unit at 2881 South 625 West, Michael Brock, applicant.**

Michael Brock, applicant, was present.

Mr. Poole presented a summary of the staff report (the full staff report follows).

The applicant is requesting approval of an Accessory Dwelling Unit (ADU) which currently exists in the home at this location; however, no prior approvals from the City have been given. The applicant has recently purchased the home and wants to make the use legal. The ADU will have two bedrooms, a living space, bathroom and full kitchen.

According to City Code, 14-4-124, a Conditional Use Permit for an ADU is required and applicants shall meet all standards of the Code. The existing home is located in the R-4 Single-Family Residential zone and is a single-family dwelling and will be maintained as such by the applicant. The lot is 0.40 acres (approximately 17,424 square feet). There will be only one ADU and there will only be one utility connection located at this property. The primary home is 3,300 square feet and the square footage of the ADU is 890 which is less than the 40% standard in the Code.

The ADU is accessed by a walkway on the north side of the home leading to the door on the side of the home. The site plan indicates at least six parking spaces off the street with four spaces in the garage parked tandem. The home will continue to have the appearance of a single-family home and as such should have minimal impact on the neighboring properties.

Based upon the above findings, staff has determined the applicant would comply with all requirements for the Conditional Use Permit. Staff recommends approval of the Conditional Use Permit with the following conditions:

1. The principal owner(s) of the property must occupy the primary residence or the ADU.
2. The property is to be used only as a single-family use and shall be subject to a deed restriction.
3. There shall be no separate utility service connections.
4. The ADU shall meet all the criteria in 14-14-124 of the City Land Use Ordinance.
5. The Conditional Use Permit is solely for this property and is non-transferable.



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Mr. Badham asked for clarification as to whether the garage has open space for four cars to park. Mr. Brock explained that the garage is 38 feet deep and 21 feet wide, and there are no obstructions that would prevent four cars from parking in the garage space.

**PUBLIC HEARING:** Mr. Astorga opened the Public Hearing at 5:26 p.m. Frank Long (572 West 2900 South) asked regarding tenant parking in the garage and tenant access to the ADU. Mr. Astorga noted that space would be provided for tenant parking in the garage. Mr. Long also inquired regarding potential parking on the private drive located near the Brock home. Mr. Brock noted that prior to his purchase of the home he believes that the ADU had been utilized as a rental, and he wondered when that use was severed. He inquired regarding the difference between an ADU and a duplex. A discussion ensued and the committee outlined several differences. Mr. Astorga noted that the applicant bears the responsibility of proving prior rental use. Sonja Long (572 West 2900 South) explained that she had lived in the neighborhood since 1993 and that the applicant's property was never utilized as a duplex, but the ADU was lived in by the prior owner's daughter and was never advertised as a rental. Ms. Long expressed concern with on-street parking in the area. Karen Rasmussen (2839 South 625 West) expressed her concern with on-street parking and the difficulties involved in navigating the street when cars are parked on the street. As a side note, Ms. Rasmussen also noted the street is in poor condition. The Public Hearing was closed at 5:34 p.m. with no further comment from the public.

Mr. Astorga asked Mr. Brock regarding the management plan for the ADU, specifically in regard to ADU access. Mr. Astorga addressed the question regarding the private drive and noted that he would need information regarding easements to adequately address the issue, and further noted that the applicant is not requesting parking on the public drive. Mr. Astorga explained that the role of the Administrative Committee is to determine compliance with the code. He also explained that parking on the street is generally allowed in the city except during specified winter months. He noted that one of the reasons the code requires the owner to live in one of the units is to manage the parking and address disputes that may arise.

Mr. Badham inquired regarding access to the ADU. Mr. Brock explained his management plan for parking would be to allow one half of the garage for tenant parking and that tenants would have direct access to the ADU through the garage. Mr. Poole expressed his opinion that the ADU meets the spirit of the code and that the unit is accessory to the primary home.

Mr. Clawson made a motion for approval of a Conditional Use Permit to allow for an Accessory Dwelling Unit at 2881 South 625 West, Michael Brock, applicant. Mr. Astorga seconded the motion.

  A        Mr. Astorga  
  A        Mr. Clawson  
  A        Mr. Badham

Motion passed 3-0.

**Pending minutes have not yet been approved by the Administrative Committee and are subject to change until final approval has been made.**

**5. Consider approval of a Conditional Use Permit, in written form, to allow for an Accessory Dwelling Unit at 144 Oakridge Drive, Kelly and Heather Passey, applicants.**

Mr. Clawson made a motion for approval of a Conditional Use Permit, in written form, to allow for an Accessory Dwelling Unit at 144 Oakridge Drive, Kelly and Heather Passey, applicants. Mr. Astorga seconded the motion.

A Mr. Astorga  
A Mr. Clawson  
A Mr. Badham

Motion passed 3-0.

**6. Miscellaneous business and scheduling.**

Mr. Astorga noted that the number of ADU applications being submitted to the Administrative Committee has increased and asked the committee to consider the possibility of changing meeting dates to twice a month rather than as needed. Mr. Badham expressed concern regarding timely turn around of applications, and Mr. Clawson noted that many ADUs accompany building permits and a quick turn around might be necessary. Mr. Astorga also noted that Mr. Badham had recently been re-appointed for an additional four year term on the committee, and the city was seeking an alternate citizen's representative. Mr. Astorga ascertained there were no further items of business. The meeting was adjourned at 5:54 p.m.

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Francisco Astorga, Planning Director





RANDY C. LEWIS  
MAYOR

CITY COUNCIL  
Kate Bradshaw  
Kendalyn Harris  
Richard Higginson  
John Marc Knight  
Chris R. Simonsen

CITY MANAGER  
Gary R. Hill

## Memo

Date: July 17, 2019  
To: Administrative Committee  
From: Curtis Poole, Assistant City Planner  
Re: Staff Report for the Administrative Committee Meeting on Monday, July 22, 2019

## Overview

- 3. PUBLIC HEARING** - Consider approval of a Conditional Use Permit to allow for an Accessory Dwelling Unit at 2905 Cave Hollow Way, Grant and Linda Horsley, applicants.

### Background

The applicants are requesting approval of an Accessory Dwelling Unit (ADU) which will be constructed as part of their new home. The applicants have submitted plans and applied for a building permit. Plans show the ADU will have two bedrooms, a living area, kitchen and bathroom.

### Findings

According to City Code, 14-4-124, a Conditional Use Permit for an ADU is required and applicants shall meet all standards of the Code for approval. The proposed home is located in the R-F Single-Family Residential zone and is a single-family dwelling and will be maintained as such by the applicants. The lot is 0.415 acres (18,077 square feet). There will be only one ADU and there will only be one utility connection located at this property. The total square footage of the proposed home is 5,127 and the ADU will be less than the 40% standard in the Code.

Plans for the proposed home show the applicants will meet the minimum parking standard with garage and driveway spaces. The proposed ADU will be accessed can be accessed by a staircase at the rear of the home and an interior doorway in the basement. The home will continue to have the appearance of a single-family home and should have minimal impact on the surrounding neighborhood.

## **Staff Recommendation**

Based upon the above findings, staff has determined the applicant would comply with all requirements for the Conditional Use Permit. Staff recommends approval of the Conditional Use Permit with the following conditions:

1. The principal owner(s) of the property must occupy the primary residence or the ADU.
2. The property is to be used only as a single-family use and shall be subject to a deed restriction.
3. There shall be no separate utility service connections.
4. The ADU shall meet all the criteria in 14-14-124 of the City Land Use Ordinance.
5. The Conditional Use Permit is solely for this property and is non-transferable.

## **Bountiful Land Use Ordinance**

**14-14-124**

### **ACCESSORY DWELLING UNIT**

- A. *Purpose: The city recognizes that accessory dwelling units (ADUs) in single-family residential zones can be an important tool in the overall housing plan for the city. The purposes of the ADU standards of this code are to:*
1. *Allow opportunities for property owners to provide social or personal support for family members where independent living is desirable;*
  2. *Provide for affordable housing opportunities;*
  3. *Make housing units available to moderate income people who might otherwise have difficulty finding homes within the city;*
  4. *Provide opportunities for additional income to offset rising housing costs;*
  5. *Develop housing units in single-family neighborhoods that are appropriate for people at a variety of stages in the life cycle; and*
  6. *Preserve the character of single-family neighborhoods by providing standards governing development of ADUs.*
- B. *An accessory dwelling unit shall only be approved as a conditional use.*
- C. *An accessory dwelling unit shall not be approved, and shall be deemed unlawful, unless it meets all of the following criteria:*
1. *An accessory dwelling unit shall be conditionally permitted only within a single-family residential zone, and shall not be permitted in any other zone.*
  2. *It is unlawful to allow, construct, or reside in an accessory dwelling unit within a duplex or multi-family residential building or property.*
  3. *It is unlawful to reside in, or allow to reside in, an accessory dwelling unit that has not received a conditional use permit or without written authorization from the Bountiful City Planning Department.*
  4. *A maximum of one (1) accessory dwelling unit shall be permitted as a conditional use on any lot or parcel in a single-family zone.*
  5. *It is unlawful to construct, locate, or otherwise situate an accessory dwelling unit on a lot or parcel of land that does not contain a habitable single-family dwelling.*
  6. *A deed restriction limiting the use of a property to a single-family use, prepared and signed by the Bountiful City Planning Director and all owners of the property on which an accessory dwelling unit is located, shall be recorded with the Davis County Recorder's Office prior to occupancy of the accessory dwelling unit. If a building permit is required, then said deed restriction shall be recorded prior to issuance of the building permit.*



7. *The property owner, which shall include titleholders and contract purchasers, must occupy either the principal unit or the ADU, but not both, as their permanent residence and at no time receive rent for the owner occupied unit. Application for an ADU shall include proof of owner occupancy as evidenced by voter registration, vehicle registration, driver's license, county assessor records or similar means.*
  8. *Separate utility meters shall not be permitted for the accessory dwelling unit.*
  9. *Any property and any structure that contains an approved accessory dwelling unit shall be designed and maintained in such a manner that the property maintains the appearance of a single-family residential use. A separate entrance to the ADU shall not be allowed on the front or corner lot side yard. Any separate entrance shall be located to the side or rear of the principal residence.*
  10. *It is unlawful to construct an accessory dwelling unit, or to modify a structure to include an accessory dwelling unit, without a building permit and a conditional use permit.*
  11. *Adequate off-street parking shall be provided for both the primary residential use and the accessory dwelling unit, and any driveway and parking area shall be in compliance with this Title. In no case shall fewer than four (4) total off street parking spaces be provided with at least 2 of the spaces provided in a garage. Any additional occupant vehicles shall be parked off-street in City Code compliant parking areas.*
- E. *A detached accessory dwelling unit shall meet all of the above criteria, plus the following:*
1. *Shall require a conditional use permit, reviewed and approved by the Bountiful City Administrative Committee.*
  2. *Shall not be located on a lot with less than eight thousand (8,000) square feet buildable land.*
  3. *Shall be configured so that any exterior doors, stairs, windows, or similar features are located as far away from adjoining properties as is reasonably possible to provide privacy to those properties.*
  4. *Shall meet all of the setbacks required of a detached accessory structure requiring a conditional use permit.*

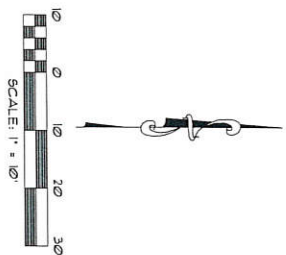
## Aerial Map









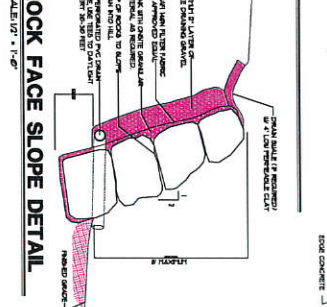


**LOT #116**  
**MAPLE HILLS**

**ADDRESS:**  
**CAVE HOLLOW WAY**  
**BOUNTIFUL UTAH**

- LINE LEGEND**
- LOT BOUNDARY
  - BUILDING FOOT
  - PAVING DRIVE
  - PAVING DRIVE
  - PAVING DRIVE

- SITE PLAN GENERAL NOTES**
1. ALL CONSTRUCTION SHALL BE COMPLETED BY 12:00 PM ON THE DAY OF THE PERMIT EXPIRES.
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- NOTES:**
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  2. ALL CONSTRUCTION SHALL BE COMPLETED BY 12:00 PM ON THE DAY OF THE PERMIT EXPIRES.
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**SITE PLAN, NOTES & DWG. SCHEDULE**

**HORSLEY RESIDENCE**  
TORREY HOME PLAN

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**DATE:** \_\_\_\_\_

**REVISION:** \_\_\_\_\_

**NO.:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

**DESIGNED:** \_\_\_\_\_

**REVISION:** \_\_\_\_\_

**CAD TECH:** \_\_\_\_\_

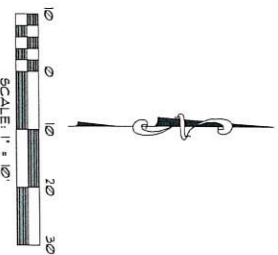
**DATE:** 4-14-15

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**LOT #116 SUBDIVISION, MAPLE HILLS**  
**CITY BOUNTIFUL**  
PLEASE REFER TO LANDFORMS DESIGN OF ANY UNLAWFUL USE.  
**STATE UTAH** DATE 5-16-15





**LOT #116**  
**MAPLE HILLS**

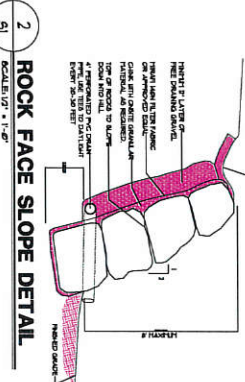
**SWPP GENERAL NOTES**

NOTE: ALL STORM WATER AND DEBRIS SHALL BE KEPT ON THE DRIVE CONSTRUCTION UNTIL THE DRIVE IS COMPLETE. ALL DEBRIS SHALL BE REMOVED FROM THE DRIVE AND PLACED IN THE DRIVE DURING AND AFTER CONSTRUCTION. DRIVE DURING AND AFTER CONSTRUCTION. DRIVE DURING AND AFTER CONSTRUCTION. DRIVE DURING AND AFTER CONSTRUCTION.

- 1 LOCATION OF TRUCK
- 2 LOCATION OF MATERIALS
- 3 CONSTRUCTION MATERIALS
- 4 BROWSE AREA
- 5 CONVALED DESIGNATED CONCRETE
- 6 LOCATION OF DRIVEWAY
- 7 (FOR CONSTRUCTION DESIGN)
- 8 PROVIDE A BOLT TRICE TO RETAIN STORM WATER
- 9 ROCK FACE SLOPE CONSTRUCTION



**STORM WATER POLLUTION PREVENTION PLAN**  
SCALE: 1" = 10'-0"



- 1 CONSTRUCTION MATERIALS SHALL BE STORED IN THE AREA OF THE CONSTRUCTION SITE.
- 2 CONSTRUCTION MATERIALS SHALL BE STORED IN THE AREA OF THE CONSTRUCTION SITE.
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**S2**

DESIGNER	TITLE
LANDFORMS DESIGN	DESIGNER
DATE	4-28-19

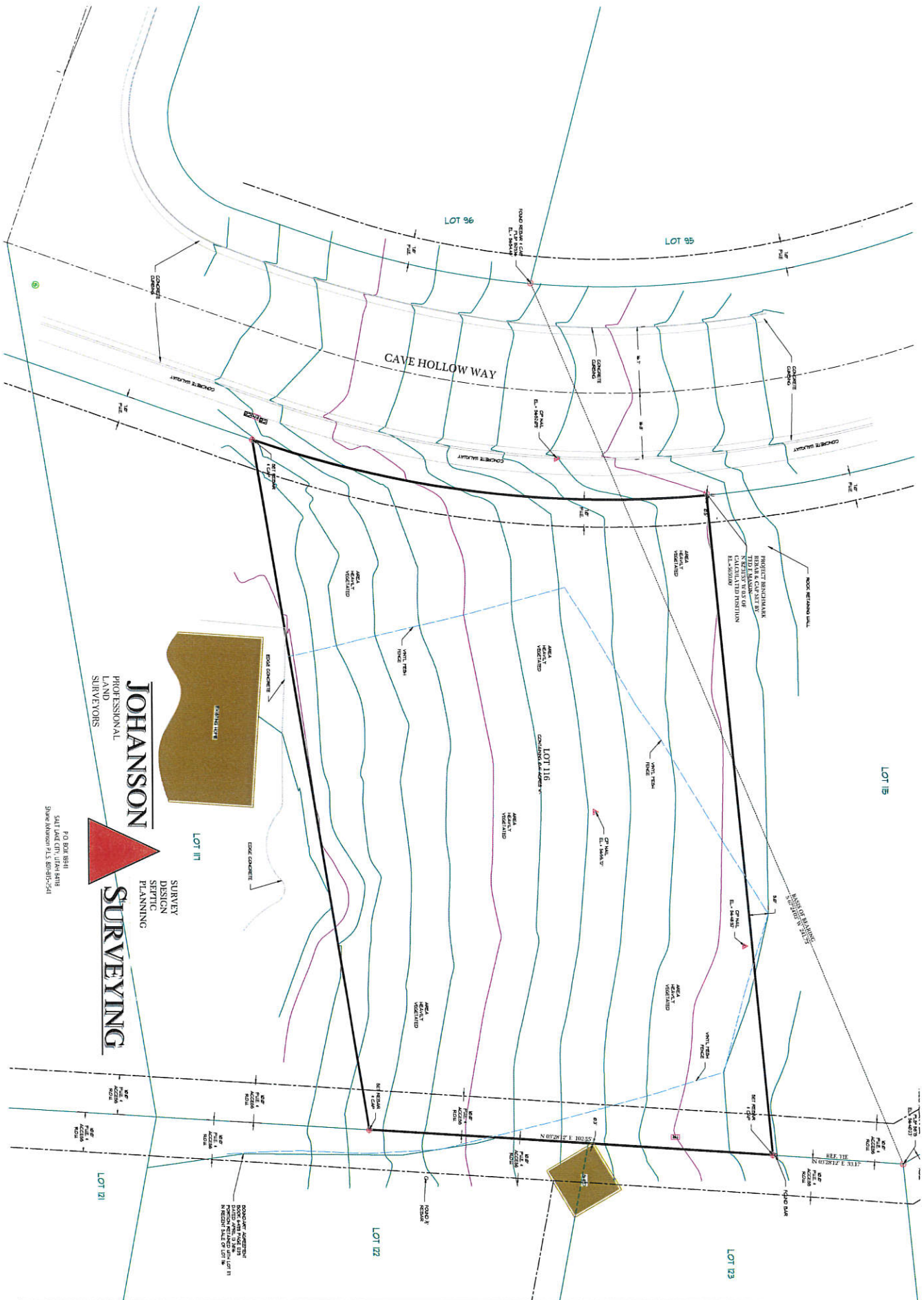
**SWPP PLAN**  
**HORSLEY RESIDENCE**  
TORREY HOME PLAN

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**LOT #116 SUBDIVISION MAPLE HILLS**  
CITY: **BOUNTIFUL**  
PLEASE NOTIFY LANDFORMS DESIGN OF ANY UNLAWFUL USE. STATE: **UTAH** DATE: **6-16-19**





**JOHANSON**  
PROFESSIONAL  
LAND  
SURVEYORS

PO BOX 8841  
SALT LAKE CITY, UTAH 84118  
Shane Johanson PLS 80340-5241

**SURVEYING**  
SURVEY  
DESIGN  
SEPTIC  
PLANNING

**S3**

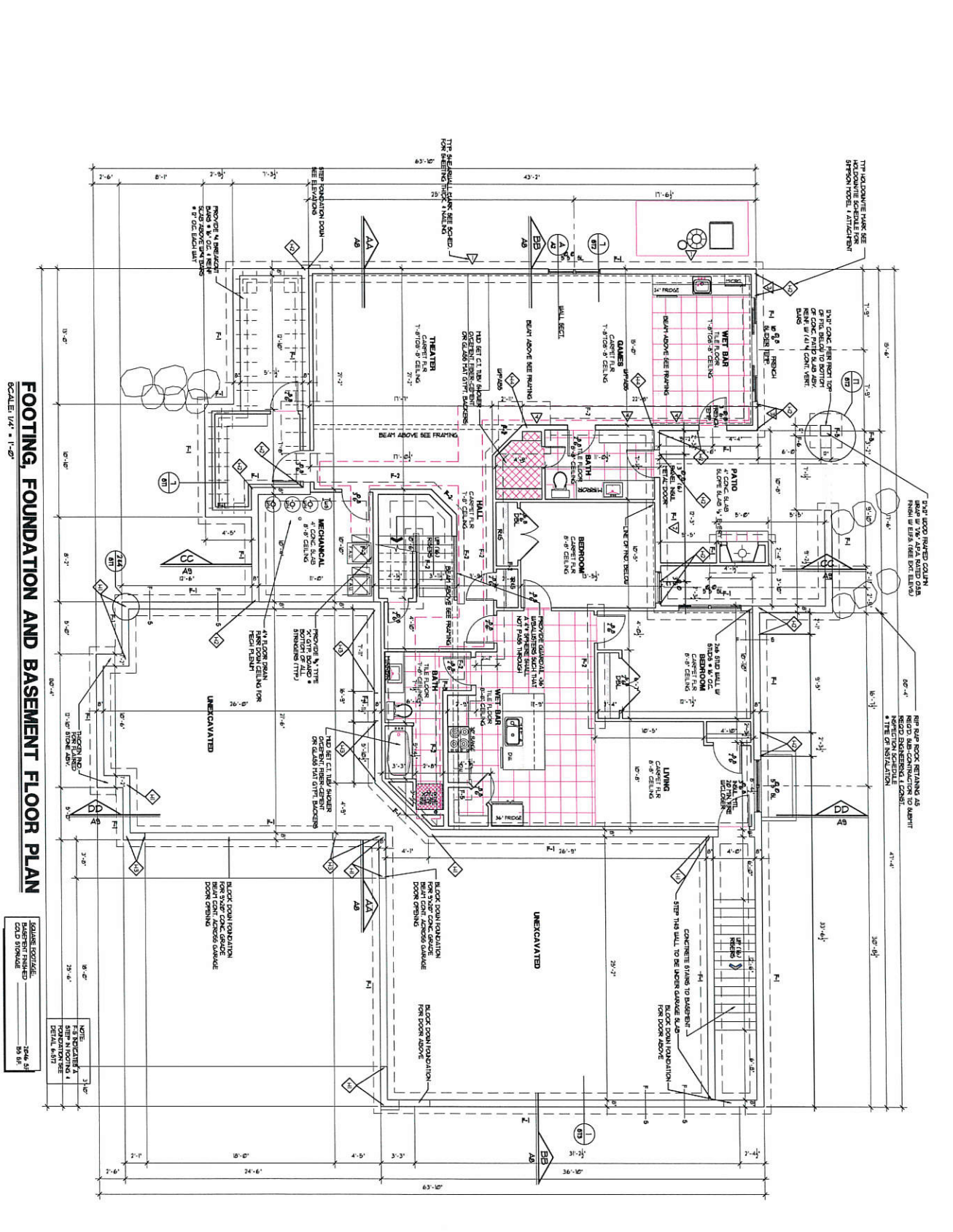
DESIGNED BY	TORREY
REVISION	
CAD TECH	MMH
RELEASE DATE	4-16-19

SECTION	DATE	TIME

EXISTING TOPOGRAPHY  
**HORSLEY RESIDENCE**  
TORREY HOME PLAN  
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RELEASED FOR ONE TIME USE FOR CONSTRUCTION ON THE  
SITE DESCRIBED. ALL  
LOT 119 SUBDIVISION **MAPLE HILLS**  
CITY OF **BOUNTIFUL**  
PLEASE NOTIFY LANDFORMS DESIGN OF ANY UNLAWFUL USE.  
STATE **UTAH** DATE **5-16-19**



**FOOTING, FOUNDATION AND BASEMENT FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

DATE: 03-15-19  
 DRAWN BY: J. H. HARRIS  
 CHECKED BY: J. H. HARRIS  
 APPROVED BY: J. H. HARRIS

**A1**

NO.	DATE	REVISION

**FTG., FNDN. AND BASEMENT FLOOR PLAN**  
**HORSLEY RESIDENCE**  
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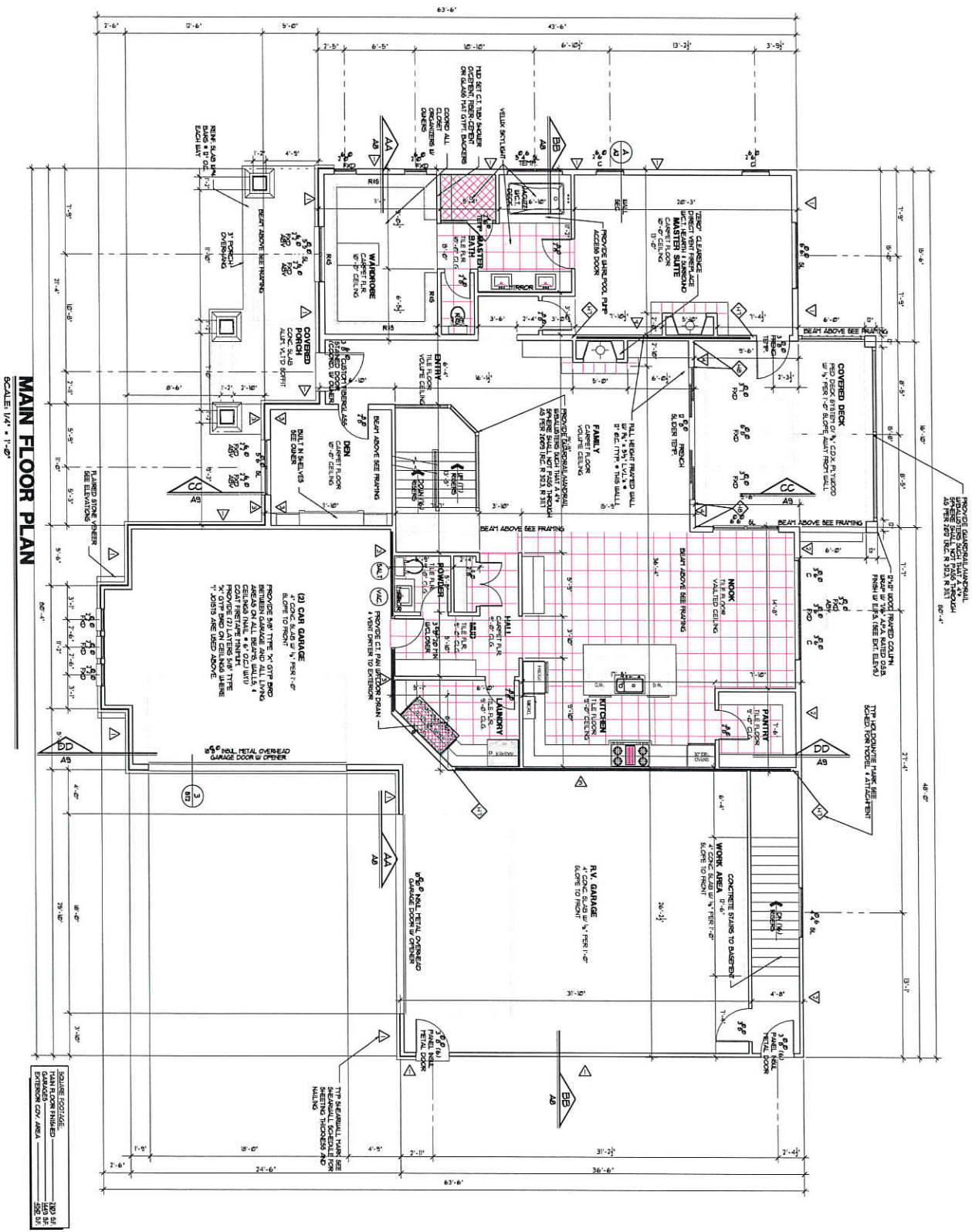
### FRAMING GENERAL NOTES 2015 IRC

1. ALL EXTERIOR DOORS AND WINDOWS SHALL BE LOCATED 9" OR GREATER AWAY FROM CORNERS AND SHALL BE LOCATED 9" OR GREATER FROM THE END OF THE STUD OR JOIST. ALL EXTERIOR DOORS SHALL BE LOCATED 9" OR GREATER FROM THE END OF THE STUD OR JOIST. ALL EXTERIOR DOORS SHALL BE LOCATED 9" OR GREATER FROM THE END OF THE STUD OR JOIST.
2. ALL EXTERIOR DOORS AND WINDOWS SHALL BE LOCATED 9" OR GREATER FROM THE END OF THE STUD OR JOIST. ALL EXTERIOR DOORS SHALL BE LOCATED 9" OR GREATER FROM THE END OF THE STUD OR JOIST.
3. ALL EXTERIOR DOORS AND WINDOWS SHALL BE LOCATED 9" OR GREATER FROM THE END OF THE STUD OR JOIST. ALL EXTERIOR DOORS SHALL BE LOCATED 9" OR GREATER FROM THE END OF THE STUD OR JOIST.
4. ALL EXTERIOR DOORS AND WINDOWS SHALL BE LOCATED 9" OR GREATER FROM THE END OF THE STUD OR JOIST. ALL EXTERIOR DOORS SHALL BE LOCATED 9" OR GREATER FROM THE END OF THE STUD OR JOIST.
5. ALL EXTERIOR DOORS AND WINDOWS SHALL BE LOCATED 9" OR GREATER FROM THE END OF THE STUD OR JOIST. ALL EXTERIOR DOORS SHALL BE LOCATED 9" OR GREATER FROM THE END OF THE STUD OR JOIST.

### HOLDOWN SCHEDULE: 2015 IRC

WIND SPEED (MPH)	WIND CATEGORY	WIND SPEED (MPH)	WIND CATEGORY
70	1	115	3
80	2	130	4
90	3	150	5
100	4	170	6
110	5	190	7
120	6	210	8
130	7	230	9
140	8	250	10
150	9	270	11
160	10	290	12
170	11	310	13
180	12	330	14
190	13	350	15
200	14	370	16
210	15	390	17
220	16	410	18
230	17	430	19
240	18	450	20
250	19	470	21
260	20	490	22
270	21	510	23
280	22	530	24
290	23	550	25
300	24	570	26
310	25	590	27
320	26	610	28
330	27	630	29
340	28	650	30
350	29	670	31
360	30	690	32
370	31	710	33
380	32	730	34
390	33	750	35
400	34	770	36
410	35	790	37
420	36	810	38
430	37	830	39
440	38	850	40
450	39	870	41
460	40	890	42
470	41	910	43
480	42	930	44
490	43	950	45
500	44	970	46
510	45	990	47
520	46	1010	48
530	47	1030	49
540	48	1050	50
550	49	1070	51
560	50	1090	52
570	51	1110	53
580	52	1130	54
590	53	1150	55
600	54	1170	56
610	55	1190	57
620	56	1210	58
630	57	1230	59
640	58	1250	60
650	59	1270	61
660	60	1290	62
670	61	1310	63
680	62	1330	64
690	63	1350	65
700	64	1370	66
710	65	1390	67
720	66	1410	68
730	67	1430	69
740	68	1450	70
750	69	1470	71
760	70	1490	72
770	71	1510	73
780	72	1530	74
790	73	1550	75
800	74	1570	76
810	75	1590	77
820	76	1610	78
830	77	1630	79
840	78	1650	80
850	79	1670	81
860	80	1690	82
870	81	1710	83
880	82	1730	84
890	83	1750	85
900	84	1770	86
910	85	1790	87
920	86	1810	88
930	87	1830	89
940	88	1850	90
950	89	1870	91
960	90	1890	92
970	91	1910	93
980	92	1930	94
990	93	1950	95
1000	94	1970	96
1010	95	1990	97
1020	96	2010	98
1030	97	2030	99
1040	98	2050	100
1050	99	2070	101
1060	100	2090	102
1070	101	2110	103
1080	102	2130	104
1090	103	2150	105
1100	104	2170	106
1110	105	2190	107
1120	106	2210	108
1130	107	2230	109
1140	108	2250	110
1150	109	2270	111
1160	110	2290	112
1170	111	2310	113
1180	112	2330	114
1190	113	2350	115
1200	114	2370	116
1210	115	2390	117
1220	116	2410	118
1230	117	2430	119
1240	118	2450	120
1250	119	2470	121
1260	120	2490	122
1270	121	2510	123
1280	122	2530	124
1290	123	2550	125
1300	124	2570	126
1310	125	2590	127
1320	126	2610	128
1330	127	2630	129
1340	128	2650	130
1350	129	2670	131
1360	130	2690	132
1370	131	2710	133
1380	132	2730	134
1390	133	2750	135
1400	134	2770	136
1410	135	2790	137
1420	136	2810	138
1430	137	2830	139
1440	138	2850	140
1450	139	2870	141
1460	140	2890	142
1470	141	2910	143
1480	142	2930	144
1490	143	2950	145
1500	144	2970	146
1510	145	2990	147
1520	146	3010	148
1530	147	3030	149
1540	148	3050	150
1550	149	3070	151
1560	150	3090	152
1570	151	3110	153
1580	152	3130	154
1590	153	3150	155
1600	154	3170	156
1610	155	3190	157
1620	156	3210	158
1630	157	3230	159
1640	158	3250	160
1650	159	3270	161
1660	160	3290	162
1670	161	3310	163
1680	162	3330	164
1690	163	3350	165
1700	164	3370	166
1710	165	3390	167
1720	166	3410	168
1730	167	3430	169
1740	168	3450	170
1750	169	3470	171
1760	170	3490	172
1770	171	3510	173
1780	172	3530	174
1790	173	3550	175
1800	174	3570	176
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1910	185	3790	187
1920	186	3810	188
1930	187	3830	189
1940	188	3850	190
1950	189	3870	191
1960	190	3890	192
1970	191	3910	193
1980	192	3930	194
1990	193	3950	195
2000	194	3970	196
2010	195	3990	197
2020	196	4010	198
2030	197	4030	199
2040	198	4050	200
2050	199	4070	201
2060	200	4090	202
2070	201	4110	203
2080	202	4130	204
2090	203	4150	205
2100	204	4170	206
2110	205	4190	207
2120	206	4210	208
2130	207	4230	209
2140	208	4250	210
2150	209	4270	211
2160	210	4290	212
2170	211	4310	213
2180	212	4330	214
2190	213	4350	215
2200	214	4370	216
2210	215	4390	217
2220	216	4410	218
2230	217	4430	219
2240	218	4450	220
2250	219	4470	221
2260	220	4490	222
2270	221	4510	223
2280	222	4530	224
2290	223	4550	225
2300	224	4570	226
2310	225	4590	227
2320	226	4610	228
2330	227	4630	229
2340	228	4650	230
2350	229	4670	231
2360	230	4690	232
2370	231	4710	233
2380	232	4730	234
2390	233	4750	235
2400	234	4770	236
2410	235	4790	237
2420	236	4810	238
2430	237	4830	239
2440	238	4850	240
2450	239	4870	241
2460	240	4890	242
2470	241	4910	243
2480	242	4930	244
2490	243	4950	245
2500	244	4970	246
2510	245	4990	247
2520	246	5010	248
2530	247	5030	249
2540	248	5050	250
2550	249	5070	251
2560	250	5090	252
2570	251	5110	253
2580	252	5130	254
2590	253	5150	255
2600	254	5170	256
2610	255	5190	257
2620	256	5210	258
2630	257	5230	259
2640	258	5250	260
2650	259	5270	261
2660	260	5290	262
2670	261	5310	263
2680	262	5330	264
2690	263	5350	265
2700	264	5370	266
2710	265	5390	267
2720	266	5410	268
2730	267	5430	269
2740	268	5450	270
2750	269	5470	271
2760	270	5490	272
2770	271	5510	





**A3**

DATE	6-13-18
DESIGNED BY	MLH
CHECKED BY	
DATE	

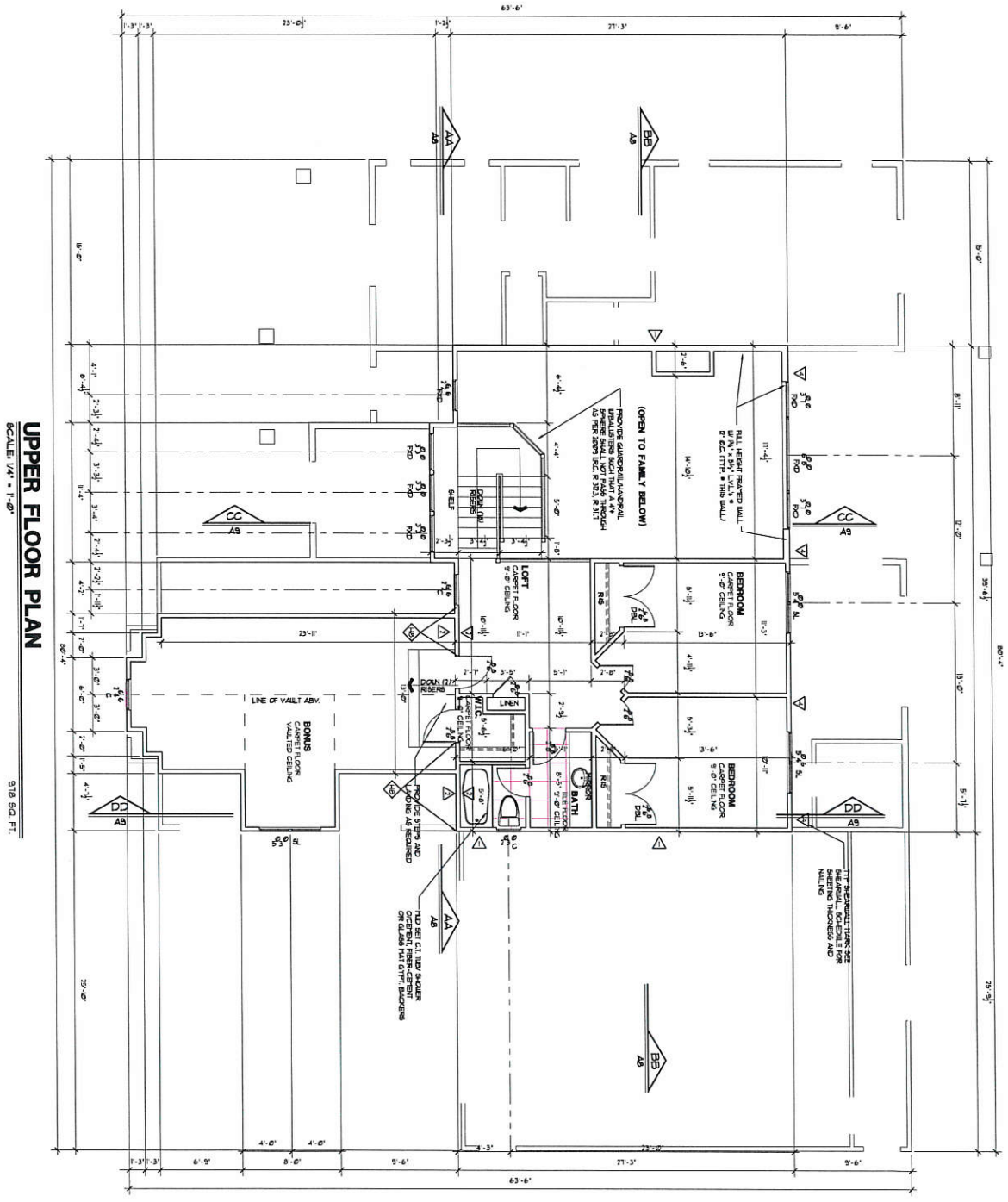
**MAIN FLOOR PLAN**  
**HORSLEY RESIDENCE**  
TORREY HOME PLAN



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**LOT 116 SUBDIVISION, MAPLE HILLS**  
**CITY: BOUNTIFUL**  
**STATE: UTAH**  
DATE: 5-16-19





**A4**

DATE	REVISION

DATE	REVISION

**UPPER FLOOR PLAN**  
**HORSLEY RESIDENCE**  
 TORREY HOME PLAN  
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 LOT# 116 SUBDIVISION MAPLE HILLS  
 CITY: BOUNTIFUL  
 PLEASE NOTE LANDFORMS DESIGN OF ANY UNLAWFUL USE  
 STATE UTAH DATE 5-16-19



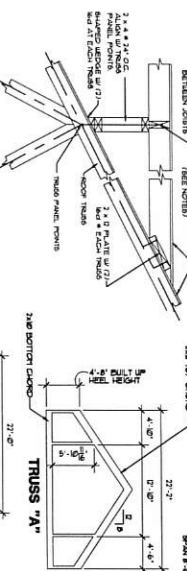




(RFB) ROOF BEAM SCHEDULE

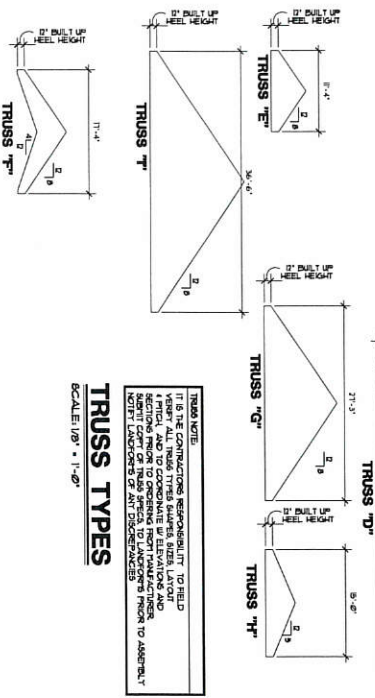
FRAMK	TYPE	SIZE	NOTES
RB-1	LVL	(2) 14" x 19"	HEADER
RB-2	DHT	(2) 2x6 S	HEADER
RB-3	DHT	(2) 2x6 S	HEADER
RB-4	LVL	(2) 14" x 19"	HEADER
RB-5	LVL	(2) 14" x 19"	HEADER
RB-6	DHT	(2) 2x6 S	HEADER
RB-7	DHT	(2) 2x6 S	HEADER
RB-8	LVL	(2) 14" x 19"	TOP OF BEAM + BOTTOM OF TRUSSES
RB-9	LVL	(2) 14" x 19"	TOP OF BEAM + BOTTOM OF TRUSSES
RB-10	DHT	(2) 2x6 S	HEADER
RB-11	LVL	(2) 14" x 19"	HEADER
RB-12	STILE	2x2	HEADER
RB-13	LVL	(2) 14" x 19"	HEADER
RB-14	LVL	(2) 14" x 19"	TOP OF BEAM + BOTTOM OF TRUSSES
RB-15	DHT	(2) 2x6 S	HEADER
RB-16	LVL	(2) 14" x 19"	HEADER
RB-17	LVL	(2) 14" x 19"	HEADER
RB-18	LVL	(2) 14" x 19"	HEADER
RB-19	LVL	(2) 14" x 19"	HEADER
RB-20	LVL	(2) 14" x 19"	HEADER

2 OVERBUILD DETAIL  
SCALE: 3/4" = 1'-0"



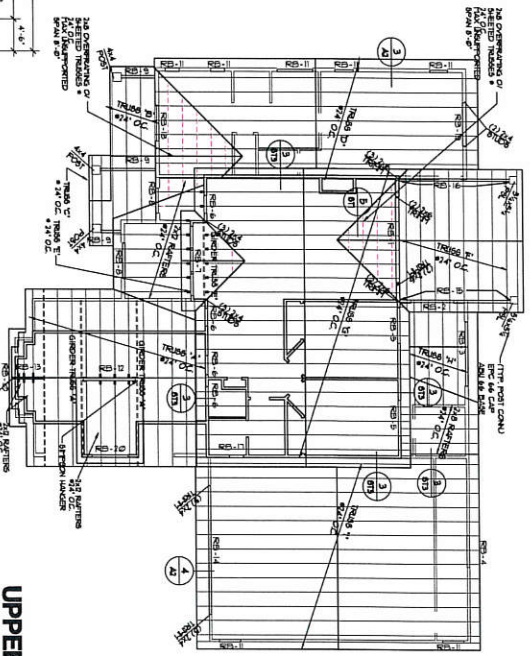
**OVERBUILDING SCHEDULE**

FRAMK	TYPE	SIZE	NOTES
OB-1	TRUSSING	TRUSSING	FOR 50 LB SNOW LOAD
OB-2	DHT	2x6	OC
OB-3	DHT	2x6	OC
OB-4	DHT	2x6	OC
OB-5	DHT	2x6	OC



TRUSS TYPES  
SCALE: 1/2" = 1'-0"

ROOF FRAMING PLAN 50 LB SNOW  
SCALE: 1/8" = 1'-0"



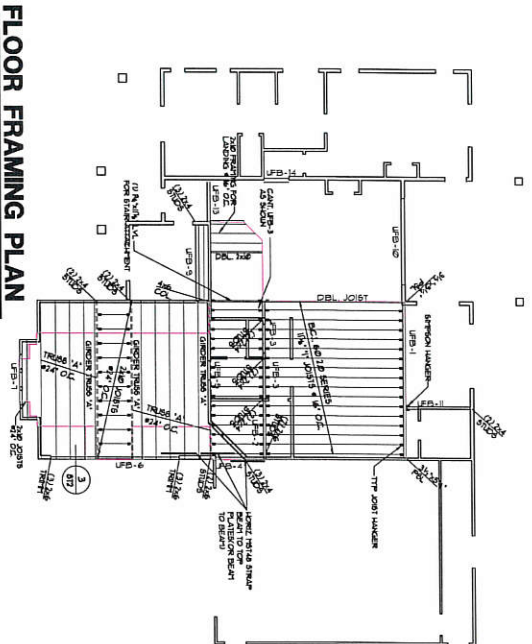
(UFB) UPPER FLOOR BEAM SCHEDULE

FRAMK	TYPE	SIZE	NOTES
UFB-1	GLB	5 1/2" x 4 1/2"	BOTTOM OF BEAM - BOTTOM OF JOISTS
UFB-2	LVL	(2) 14" x 19"	TOP OF BEAM + TOP OF JOISTS
UFB-3	LVL	(2) 14" x 19"	TRUSSING BEARING POINTS (SHEAR WALL PLAN)
UFB-4	LVL	(2) 14" x 19"	TOP OF BEAM + TOP OF JOISTS
UFB-5	DHT	(2) 2x6 S	HEADER
UFB-6	LVL	(2) 14" x 19"	HEADER CONT. OVER ALL OPENINGS
UFB-7	DHT	(2) 2x6 S	HEADER
UFB-8	LVL	(2) 14" x 19"	TOP OF BEAM + 1/2 HALF
UFB-9	LVL	(2) 14" x 19"	TOP OF BEAM + 1/2 HALF
UFB-10	LVL	(2) 14" x 19"	TOP OF BEAM + TOP OF JOISTS
UFB-11	LVL	(2) 14" x 19"	TOP OF BEAM + TOP OF JOISTS
UFB-12	LVL	(2) 14" x 19"	TOP OF BEAM + TOP OF JOISTS
UFB-13	LVL	(2) 14" x 19"	TOP OF BEAM + TOP OF JOISTS
UFB-14	DHT	(2) 2x6 S	HEADER

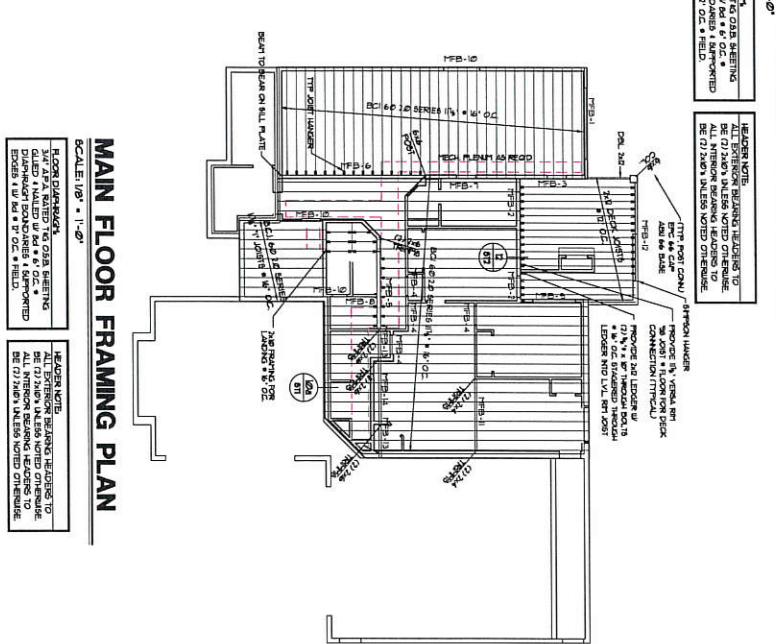
(MFB) MAIN FLOOR BEAM SCHEDULE

FRAMK	TYPE	SIZE	NOTES
MFB-1	LVL	(2) 14" x 19"	HEADER
MFB-2	DHT	(2) 2x6 S	HEADER
MFB-3	DHT	(2) 2x6 S	HEADER
MFB-4	DHT	(2) 2x6 S	HEADER
MFB-5	LVL	(2) 14" x 19"	TOP OF BEAM + BOTTOM OF JOISTS
MFB-6	STILE	2x2	HEADER
MFB-7	DHT	(2) 2x6 S	HEADER
MFB-8	LVL	(2) 14" x 19"	HEADER
MFB-9	DHT	(2) 2x6 S	HEADER
MFB-10	LVL	(2) 14" x 19"	TOP OF BEAM + BOTTOM OF JOISTS
MFB-11	LVL	(2) 14" x 19"	TOP OF BEAM + BOTTOM OF JOISTS
MFB-12	LVL	(2) 14" x 19"	TOP OF BEAM + BOTTOM OF JOISTS
MFB-13	LVL	(2) 14" x 19"	TOP OF BEAM + BOTTOM OF JOISTS
MFB-14	LVL	(2) 14" x 19"	TOP OF BEAM + BOTTOM OF JOISTS

UPPER FLOOR FRAMING PLAN  
SCALE: 1/8" = 1'-0"



MAIN FLOOR FRAMING PLAN  
SCALE: 1/8" = 1'-0"



FRAMING SECTIONS

HORSLEY RESIDENCE  
TORREY HOME PLAN



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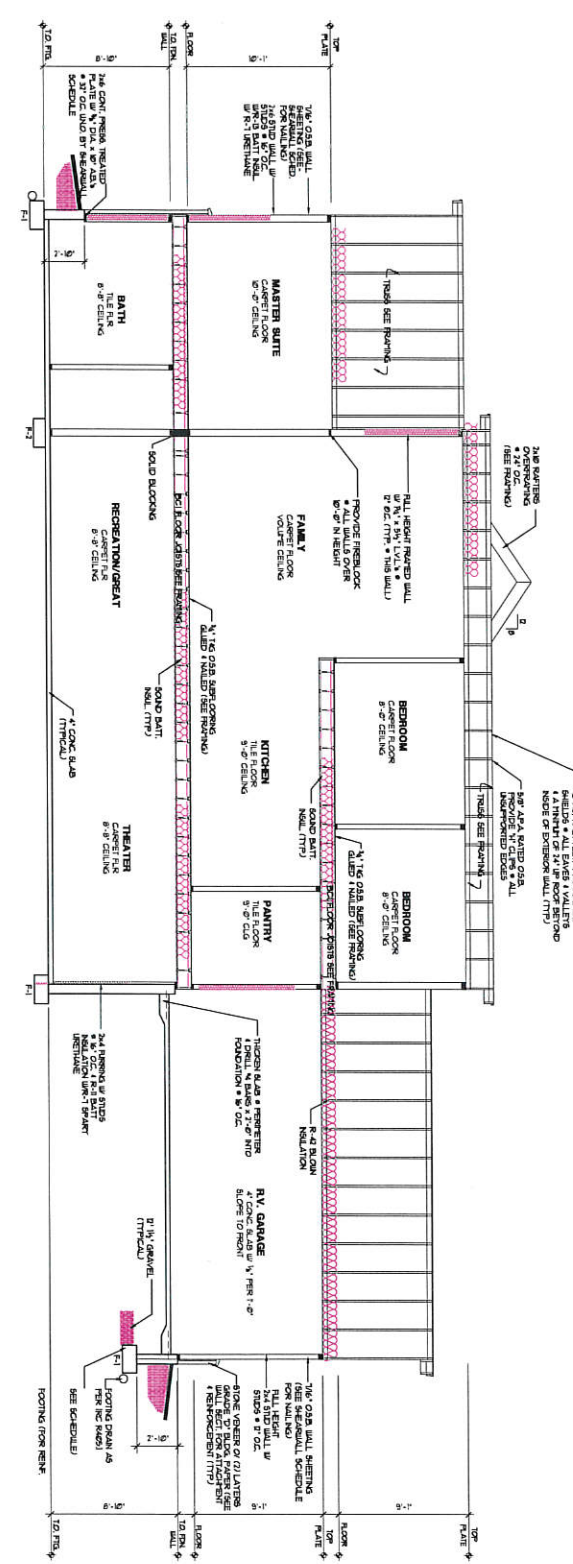


REVISION	DATE	BY	CHK	APP



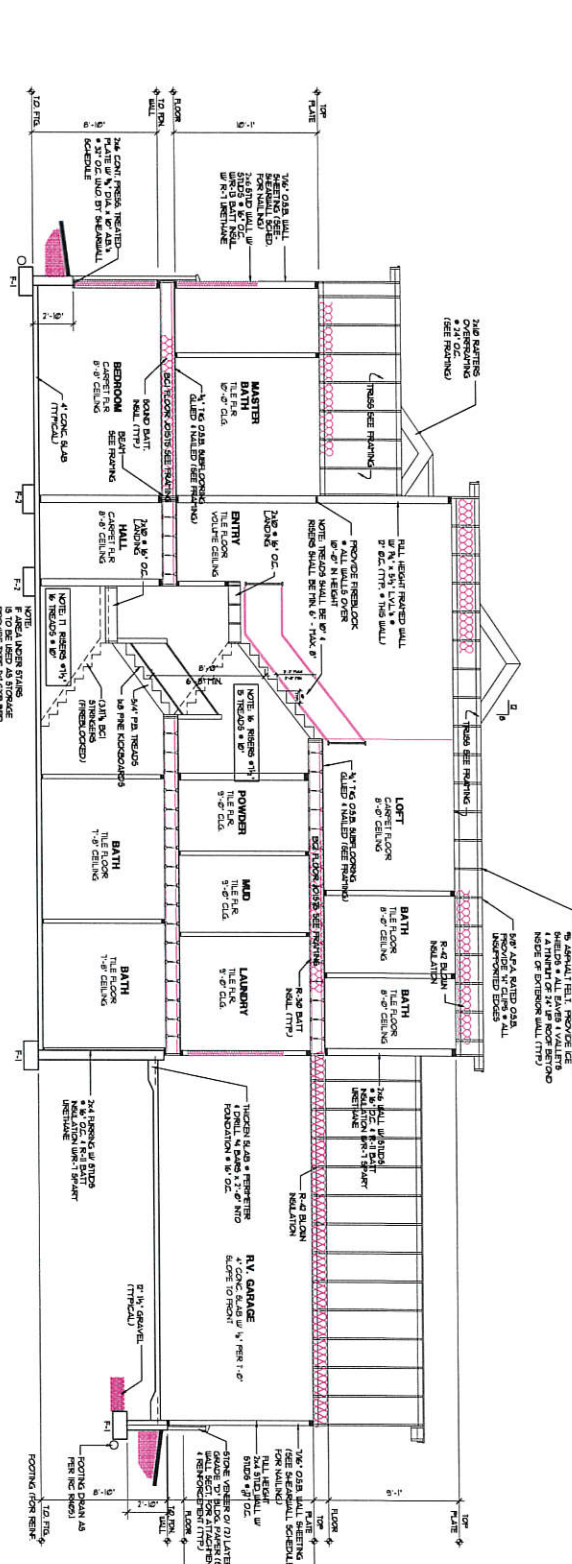
**FRAMING SECTION**

SCALE: 1/4" = 1'-0"



**FRAMING SECTION**

SCALE: 1/4" = 1'-0"



REVISION	DATE	BY	CHKD
1			
2			
3			
4			
5			

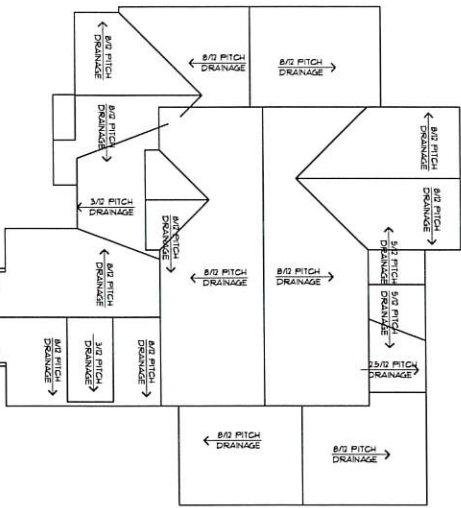
FRAMING SECTIONS  
**HORSLEY RESIDENCE**  
 TORREY HOME PLAN  
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 LOT 116 SUBDIVISION MAPLE HILLS  
 CITY BOONVILLE  
 PLEASE NOTIFY LANDFORMS DESIGN OF ANY UNLAWFUL USE.  
 STATE UTAH DATE 5-16-19

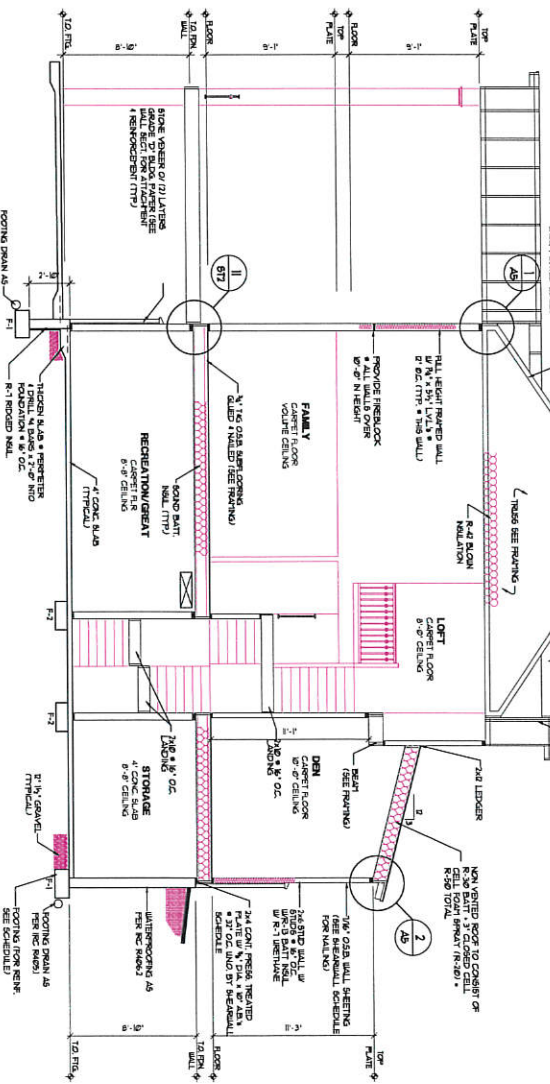
**ROOF DRAINAGE PLAN**

SCALE: 1/8" = 1'-0"



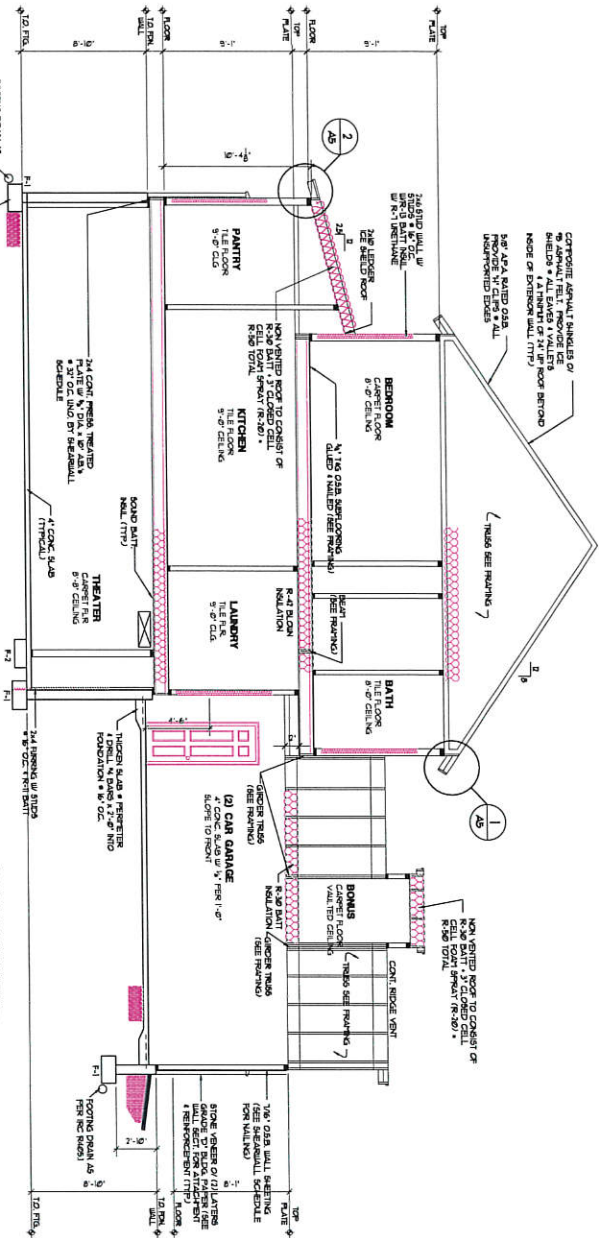
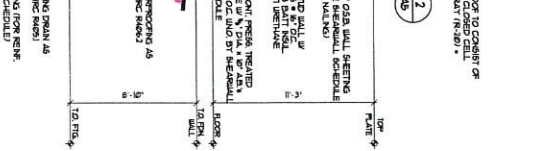
**FRAMING SECTION A9**

SCALE: 1/4" = 1'-0"



**FRAMING SECTION A8**

SCALE: 1/4" = 1'-0"



DESIGNED BY	LANDFORMS DESIGN
REVISIONS	
DATE	
SCALE	
PROJECT	HORSLEY RESIDENCE
DATE	5-16-19

**ELECTRICAL, MECH. AND PLUMBING PLAN**

**HORSLEY RESIDENCE**

TORREY HOME PLAN

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LOT 116 RESUBDIVISION MAPLE HILLS  
CITY BOUNTIFUL  
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STATE UTAH DATE 5-16-19



**ELECTRICAL GENERAL NOTES**

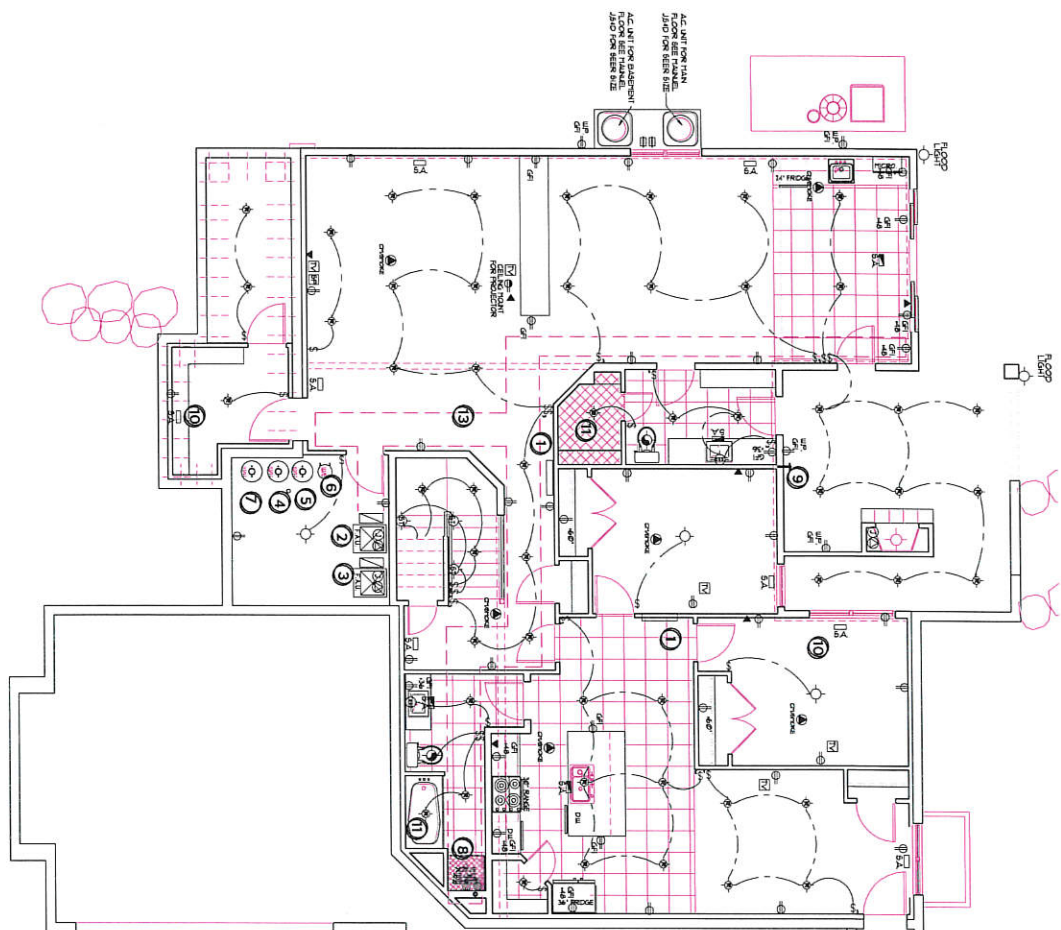
1. ALL WORK PROPOSED SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES.
2. ELECTRICAL CONDUIT SHALL BE INSTALLED WITH A SEPARATE GROUND WIRE.
3. ALL ELECTRICAL CONDUIT SHALL BE INSTALLED WITH A SEPARATE GROUND WIRE.
4. ALL ELECTRICAL CONDUIT SHALL BE INSTALLED WITH A SEPARATE GROUND WIRE.
5. ALL ELECTRICAL CONDUIT SHALL BE INSTALLED WITH A SEPARATE GROUND WIRE.
6. ALL ELECTRICAL CONDUIT SHALL BE INSTALLED WITH A SEPARATE GROUND WIRE.
7. ALL ELECTRICAL CONDUIT SHALL BE INSTALLED WITH A SEPARATE GROUND WIRE.
8. ALL ELECTRICAL CONDUIT SHALL BE INSTALLED WITH A SEPARATE GROUND WIRE.
9. ALL ELECTRICAL CONDUIT SHALL BE INSTALLED WITH A SEPARATE GROUND WIRE.
10. ALL ELECTRICAL CONDUIT SHALL BE INSTALLED WITH A SEPARATE GROUND WIRE.
11. ALL ELECTRICAL CONDUIT SHALL BE INSTALLED WITH A SEPARATE GROUND WIRE.

**PLUMBING GENERAL NOTES**

1. ALL WORK PROPOSED SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES.
2. PLUMBING CONSTRUCTION SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES.
3. PLUMBING CONSTRUCTION SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES.
4. PLUMBING CONSTRUCTION SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES.
5. PLUMBING CONSTRUCTION SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES.
6. PLUMBING CONSTRUCTION SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES.
7. PLUMBING CONSTRUCTION SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES.
8. PLUMBING CONSTRUCTION SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES.
9. PLUMBING CONSTRUCTION SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES.
10. PLUMBING CONSTRUCTION SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES.
11. PLUMBING CONSTRUCTION SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES.

**BASEMENT ELECTRICAL, MECHANICAL, AND PLUMBING PLAN**

SCALE: 1/4" = 1'-0"



**LOWER NOTES**

1. ELEC. PANEL 1, ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR.
2. ELEC. PANEL 2, ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR.
3. ELEC. PANEL 3, ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR.
4. ELEC. PANEL 4, ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR.
5. ELEC. PANEL 5, ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR.
6. ELEC. PANEL 6, ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR.
7. ELEC. PANEL 7, ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR.
8. ELEC. PANEL 8, ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR.
9. ELEC. PANEL 9, ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR.
10. ELEC. PANEL 10, ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR.
11. ELEC. PANEL 11, ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR.
12. ELEC. PANEL 12, ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR.
13. ELEC. PANEL 13, ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR. THE PANEL SHALL BE INSTALLED IN THE MAIN LIVING AREA OF THE FIRST FLOOR.

**A10**

REVISION	DATE	BY	CHKD
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**ELECTRICAL, MECH., AND PLUMBING PLAN**

**HORSLEY RESIDENCE**

TORREY HOME PLAN

DATE: \_\_\_\_\_

SCALE: \_\_\_\_\_

BY: \_\_\_\_\_

CHKD: \_\_\_\_\_

DATE: \_\_\_\_\_

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landforms.com

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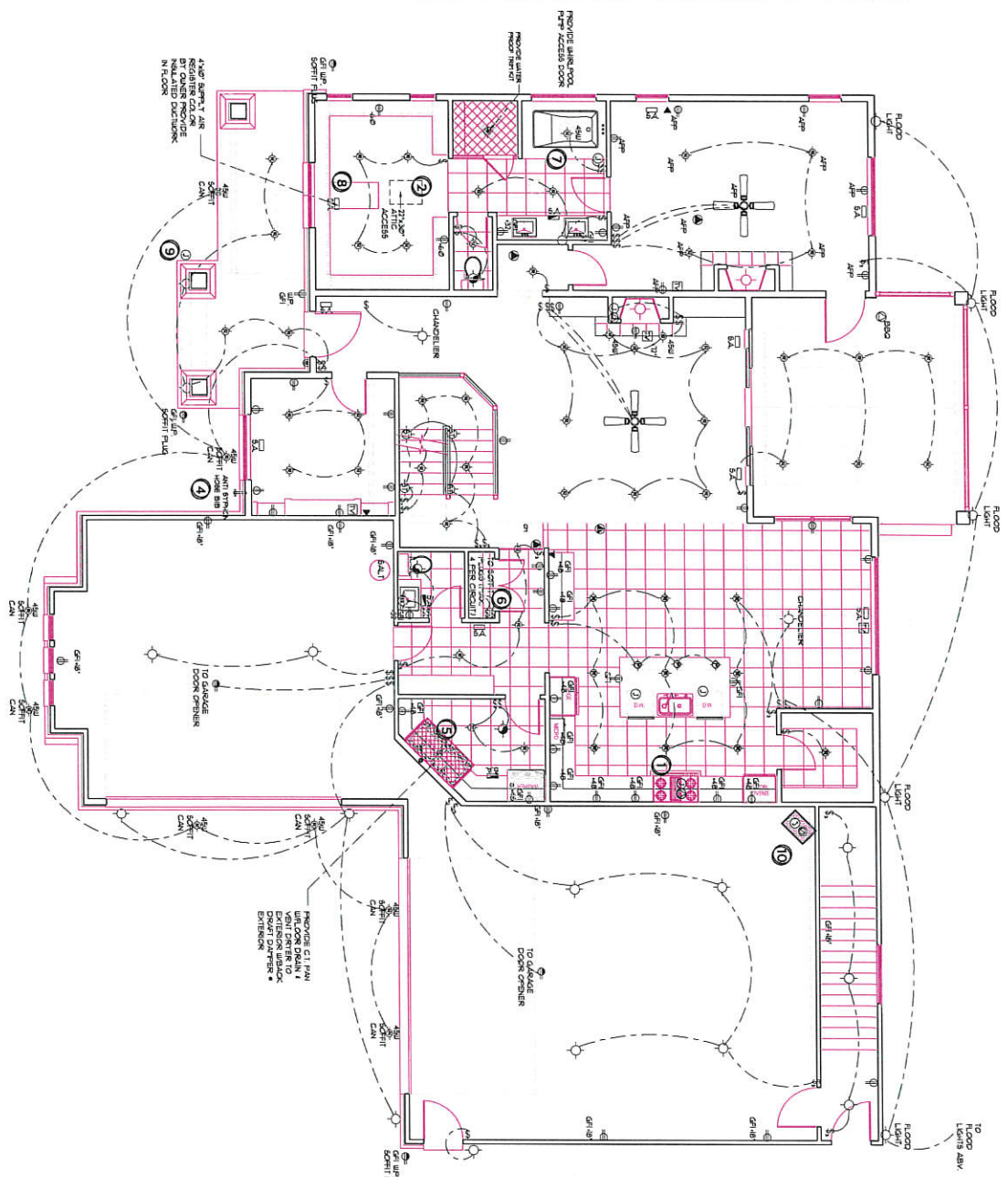
DATE: 5-16-19

**MECHANICAL GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CURRENT NATIONAL AND LOCAL CODES.
2. MECHANICAL CONTRACTOR TO OBTAIN CITY/STATE BARBERS LICENSE BEFORE COMMENCING WORK.
3. MECHANICAL CONTRACTOR TO PROVIDE CONNECTIONS AND TO BRIDGE OVER ALL EXISTING AND NEW OBSTACLES INCLUDING BUT NOT LIMITED TO EXISTING AND NEW ELECTRICAL, PLUMBING, AND STRUCTURAL WORK.
4. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CURRENT NATIONAL AND LOCAL CODES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CURRENT NATIONAL AND LOCAL CODES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CURRENT NATIONAL AND LOCAL CODES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CURRENT NATIONAL AND LOCAL CODES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CURRENT NATIONAL AND LOCAL CODES.
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15. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CURRENT NATIONAL AND LOCAL CODES.
16. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CURRENT NATIONAL AND LOCAL CODES.
17. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CURRENT NATIONAL AND LOCAL CODES.
18. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CURRENT NATIONAL AND LOCAL CODES.
19. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CURRENT NATIONAL AND LOCAL CODES.
20. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CURRENT NATIONAL AND LOCAL CODES.
21. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CURRENT NATIONAL AND LOCAL CODES.
22. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CURRENT NATIONAL AND LOCAL CODES.

**MAIN NOTES**

1. CONNECTION TO BE LESS THAN 48" FROM FACE OF WALL BE REQUIRED.
2. 2" MIN. ACCESS.
3. PROVIDE WATER PROOF.
4. AIR INTAKE LOBE DIS.
5. PROVIDE 2" MIN. AIR IN TO THE ROOM.
6. DRAIN DOWN FROM DUCT LAYOUT TO BE PROVIDED BY MECHANICAL CONTRACTOR.
7. PROVIDE 2" MIN. AIR IN TO THE ROOM.
8. PROVIDE 2" MIN. AIR IN TO THE ROOM.
9. PROVIDE 2" MIN. AIR IN TO THE ROOM.
10. PROVIDE 2" MIN. AIR IN TO THE ROOM.



**MAIN FLOOR ELECTRICAL, MECHANICAL, AND PLUMBING PLAN**  
SCALE: 1/4" = 1'-0"

ENGINEER: TORC  
 ARCHITECT: THIL  
 DATE: 6-19-15  
**A11**

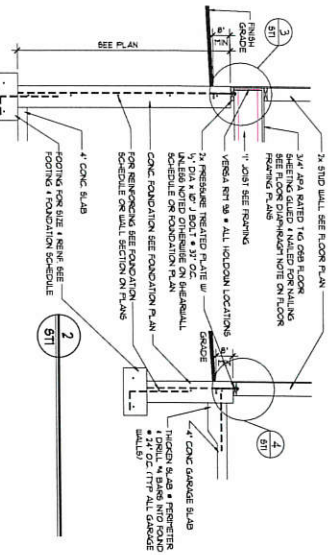
ELECTRICAL, MECH., AND PLUMBING PLAN  
**HORSLEY RESIDENCE**  
 TORREY HOME PLAN  
 COPYRIGHT 2015 BY LANDFORMS DESIGN (801) 258-2240

**LANDFORMS DESIGN**  
 landforms.com

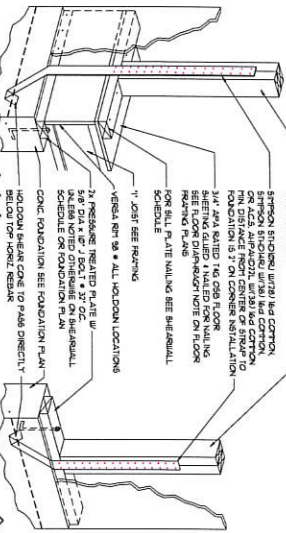
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 LOT: 116 SUBDIVISION: MAPLE HILLS  
 CITY: BOUNTYVIEW  
 PLEASE NOTIFY LANDFORMS DESIGN OF ANY UNLAWFUL USE. DATE: 6-16-19



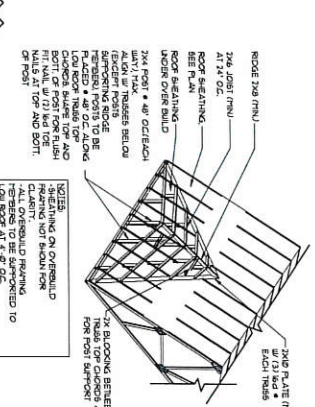




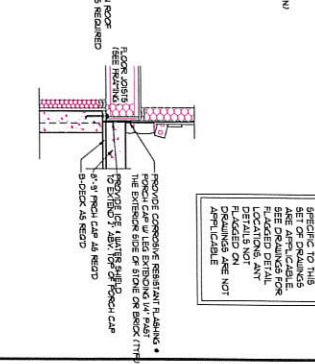
**1 FOUNDATION DETAIL**  
SCALE: NOT TO SCALE



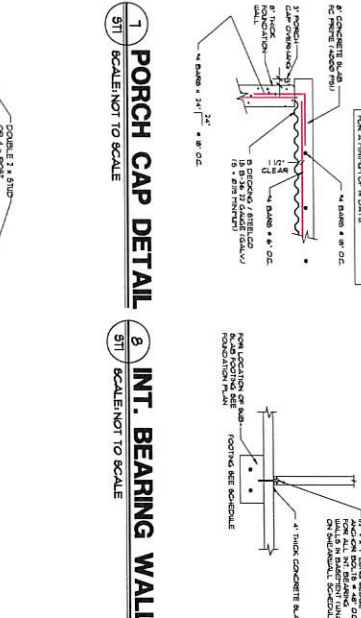
**2 HOLDOWN DETAIL**  
SCALE: NOT TO SCALE



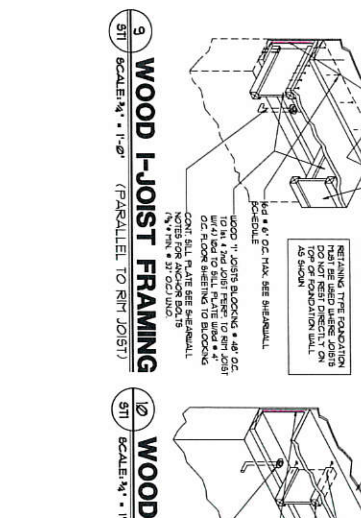
**3 WOOD JOIST FRAMING**  
SCALE: 1/4\" = 1'-0\" (PARALLEL TO JOIST)



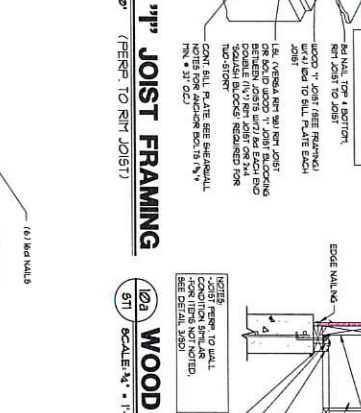
**4 WOOD \"P\" JOIST FRAMING**  
SCALE: 1/4\" = 1'-0\" (PERP. TO JOIST)



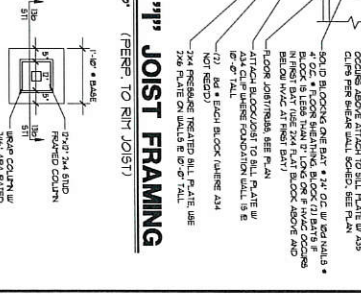
**1 PORCH CAP DETAIL**  
SCALE: NOT TO SCALE



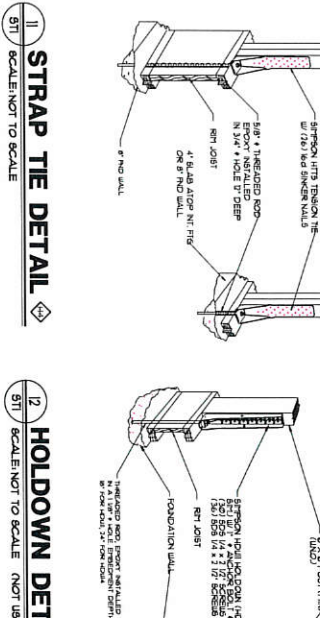
**2 INT. BEARING WALL**  
SCALE: NOT TO SCALE



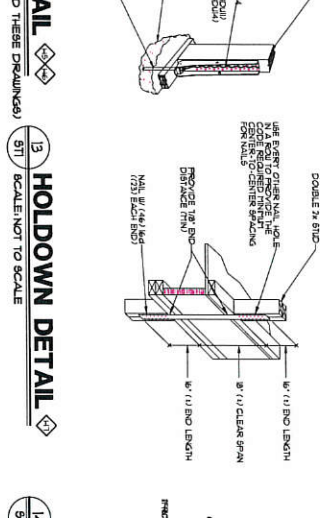
**3 WOOD I-JOIST FRAMING**  
SCALE: 3/8\" = 1'-0\" (PARALLEL TO JOIST)



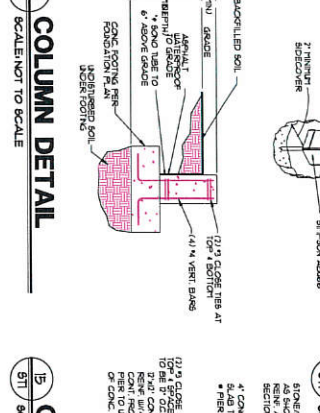
**4 WOOD \"P\" JOIST FRAMING**  
SCALE: 3/8\" = 1'-0\" (PERP. TO JOIST)



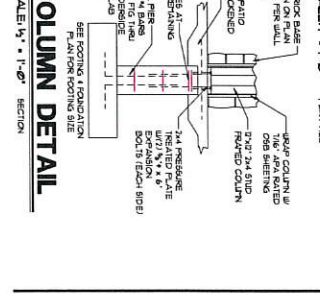
**1 STRAP TIE DETAIL**  
SCALE: NOT TO SCALE



**2 HOLDOWN DETAIL**  
SCALE: NOT TO SCALE (NOT USED IN THESE DRAWINGS)



**3 HOLDOWN DETAIL**  
SCALE: NOT TO SCALE



**4 COLUMN DETAIL**  
SCALE: NOT TO SCALE



**5 COLUMN DETAIL**  
SCALE: 1/4\" = 1'-0\" SECTION

**ST1**

REVISED	DATE	BY	CHKD

**STRUCTURAL DETAILS**

**HORSLEY RESIDENCE**  
TORREY HOME PLAN

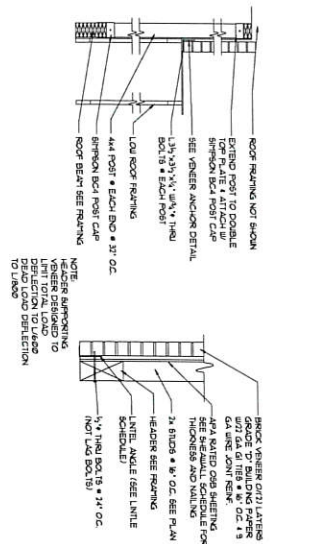
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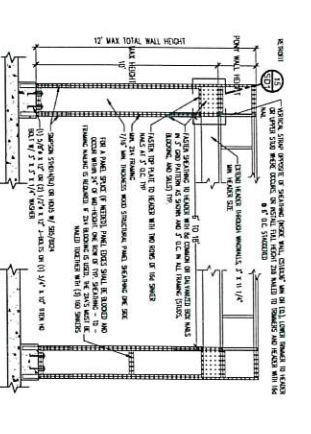
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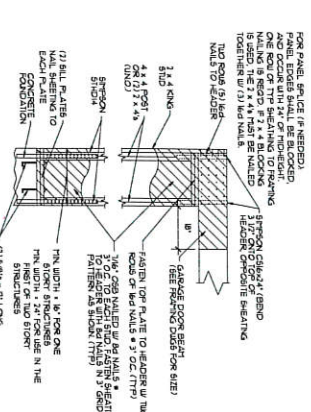




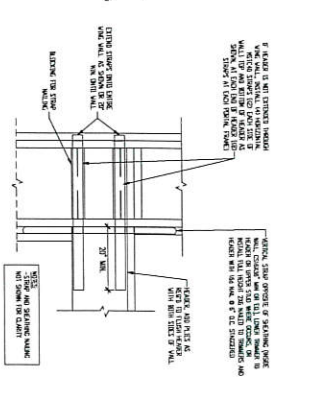
**1 LOW ROOF**  
SCALE: 1/4" = 1'-0"



**2 HEADER DETAIL**  
SCALE: 1/2" = 1'-0"

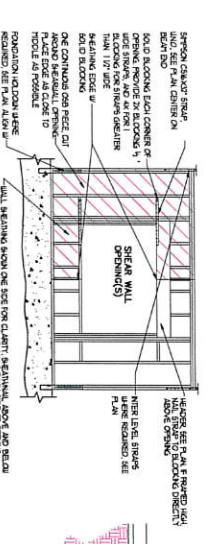


**3 PORTAL FRAME STRONG TIE**  
SCALE: 1/2" = 1'-0"

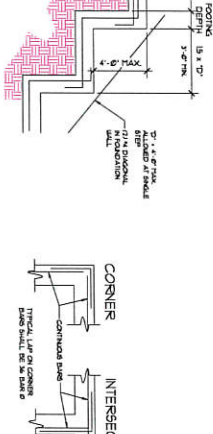


**4 PORTAL FRAME DETAIL**  
SCALE: 1/2" = 1'-0"

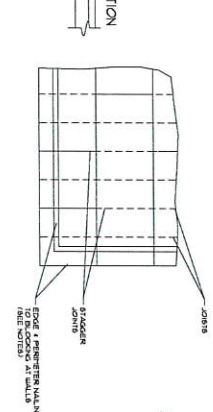
**5 PORTAL FRAME RETROFIT**  
SCALE: 1/2" = 1'-0"



**6 FORCE TRANSFER SHEARWALL**  
SCALE: 3/4" = 1'-0"



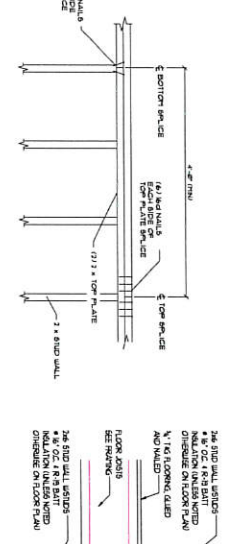
**7 STEP FTG. DETAIL**  
SCALE: NOT TO SCALE



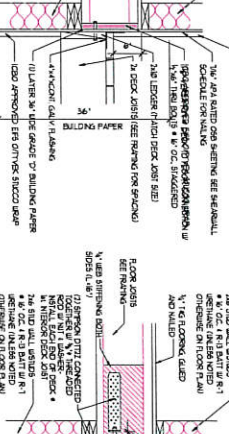
**8 ROOF SHEATHING**  
SCALE: 1/2" = 1'-0"



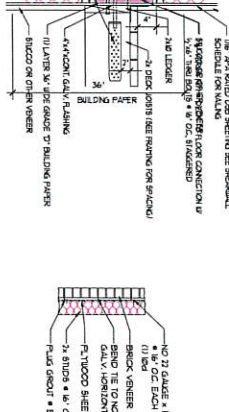
**9 TO WOOD COL.**  
SCALE: 1/2" = 1'-0"



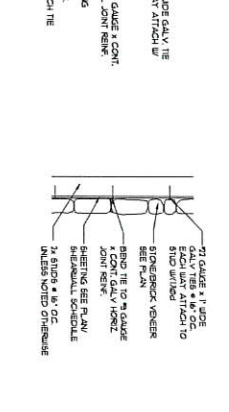
**11 TOP PLATE SPLICE**  
SCALE: 1/2" = 1'-0"



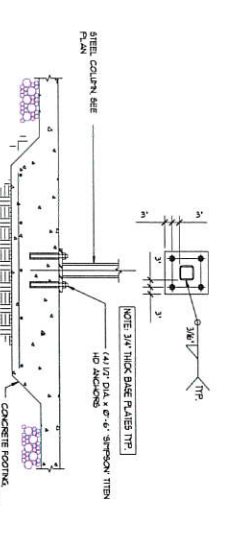
**12 DECK TO FLOOR DETAIL**  
SCALE: 1/2" = 1'-0"



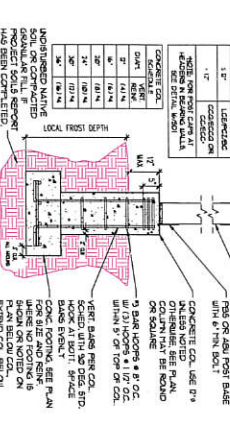
**13 DECK TO FLOOR DETAIL**  
SCALE: 1/2" = 1'-0" (NOT USED)



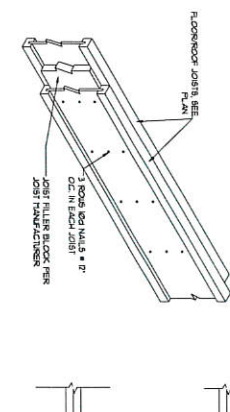
**15 ANCHOR DETAIL**  
SCALE: 1/2" = 1'-0"



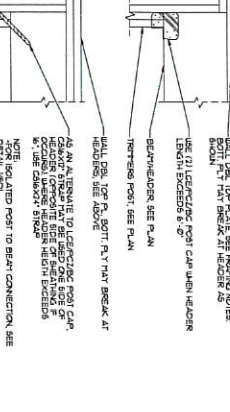
**16 STEEL POST**  
SCALE: 1/2" = 1'-0"



**17 ISOLATED WOOD POST**  
SCALE: 1/2" = 1'-0"



**18 DOUBLE JOIST**  
SCALE: 1/2" = 1'-0"



**19 TRIMM. TO BEAM CON.**  
SCALE: 1/2" = 1'-0"

NOTE: ONLY DETAILS REFERENCED SPECIFIC TO THIS SET OF DRAWINGS ARE APPLICABLE SEE DRAWINGS FOR LOCATIONS. ANY DETAILS NOT FLAGGED ON DRAWINGS ARE NOT APPLICABLE

NO.	DATE	DESCRIPTION

STRUCTURAL DETAILS  
**HORSLEY RESIDENCE**  
TORREY HOME PLAN  
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LOT 116 ADDITION, MAPLE HILLS  
CITY COUNTRIL  
PLEASE NOTIFY LANDFORMS DESIGN OF ANY UNLAWFUL USE.  
STATE UTAH DATE 8-16-19

NO.	DATE	DESCRIPTION

**ST2**



RANDY C. LEWIS  
MAYOR

CITY COUNCIL  
Kate Bradshaw  
Kendalyn Harris  
Richard Higginson  
John Marc Knight  
Chris R. Simonsen

CITY MANAGER  
Gary R. Hill

## **Bountiful City, Utah Conditional Use Permit**

A public hearing was held on July 15, 2019, at Bountiful City Hall to consider the request of Michael Brock for a Conditional Use Permit allowing an Accessory Dwelling at the following location:

**2881 South 625 West, Bountiful City, Davis County, Utah**

**ALL OF LOT 10A, BLK 1, AMD PLAT OF IRFRED PARK SUB. CONT. 0.40 ACRES**

**Parcel 06-101-0016**

The Bountiful City Administrative Committee heard the matter and considered the statements of the applicant, the City staff, and the public. As a result, the Administrative Committee makes the following findings:

1. This matter is properly heard before the Administrative Committee.
2. Appropriate public notice has been provided and a public hearing held.
3. The proposed request for an accessory dwelling shall meet all the criteria in 14-14-124 and other applicable sections of the City Ordinance.

The Bountiful City Administrative Committee hereby grants this Conditional Use Permit for an Accessory Dwelling Unit (ADU) as requested by Michael Brock to be located at 2881 South 625 West, Bountiful, Davis County, Utah, with the following conditions:

1. The principal owner(s) of the property must occupy the primary residence or the ADU.
2. The property is to be used only as a single-family use and shall be subject to a deed restriction.
3. There shall be no separate utility service connections.
4. The ADU shall meet all the criteria in 14-14-124 of the City Land Use Ordinance.
5. The Conditional Use Permit is solely for this property and is non-transferable.

The Conditional Use Permit was approved on July 15, 2019, and this written form was approved this 22<sup>nd</sup> day of July, 2019.

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Francisco Astorga  
Planning Director

---

ATTEST: Julie Holmgren  
Recording Secretary