



BOUNTIFUL CITY
PLANNING COMMISSION AGENDA
Tuesday, January 4, 2022
6:30 p.m.

NOTICE IS HEREBY GIVEN that the Bountiful City Planning Commission will hold a meeting in the Council Chambers, Bountiful City Hall, 795 South Main, Bountiful, Utah, 84010, at the time and on the date given above. The public is invited. Persons who are disabled as defined by the American with Disabilities Act may request an accommodation by contacting the Bountiful Planning Office at 298-6190. Notification at least 24 hours prior to the meeting would be appreciated.

1. Welcome
2. Approval of the minutes for December 7, 2021
3. Master Street Plan Update - *City Engineer Lloyd Cheney*
 - a. Review
 - b. Public Hearing
 - c. Action: recommendation to the City Council
4. 189 South 200 West - (City) Power Lofts Amended Architectural and Site Plan Review – Amended, Randy Beyer with Knowlton General, applicant - *Planning Director Francisco Astorga*
 - a. Review
 - b. Action: recommendation to the City Council
5. Preliminary and Final Subdivision Plat Approval for Renaissance Towne Centre, Phase 3, Plat 2, Bruce Broadhead, applicant - City Engineer Lloyd Cheney
 - a. Review
 - b. Action: recommendation to the City Council
6. 1591 / 1671 / 1721 South Renaissance Towne Drive - Renaissance Towne Center Lot 14 Final Architectural and Site Plan Review, Bruce Broadhead, applicant - *Planning Director Francisco Astorga*
 - a. Review
 - b. Action: recommendation to the City Council
7. Annual Planning Commission Training
8. Adjourn

Draft Minutes of the
BOUNTIFUL CITY PLANNING COMMISSION
October 5, 2021

Present: Commission Members Lynn Jacobs (vice -chair), Jesse Bell, Alan Bott, Jim Clark,
and Councilwoman Kendalyn Harris
City Attorney Clinton Drake
City Engineer Lloyd Cheney
Planning Director Francisco Astorga
Asst City Planner Nicholas Lopez
Recording Secretary Darlene Baetz

Excused: Commission Chair Sean Monson and Commission Member Sharon Spratley

1. Welcome.

Vice-Chair Jacobs opened the meeting at 6:30 pm and welcomed all those present.

2. Swearing in of Alan Bott.

City Recorder Shawna Andrus swore Alan Bott in as a new Planning Commission Member

3. Approval of minutes for October 5, 2021.

MOTION: Councilwoman Kendalyn Harris made a motion to approve the minutes for October 5, 2021, as written. Commissioner Clark seconded the motion.

VOTE: The motion passed unanimously (5-0).

4. 1560 South Renaissance Towne Dr – Renaissance Town Center Lot 14 - Preliminary Architectural and Site Plan Review, Bruce Broadhead, applicant – *Planning Director Francisco Astorga*

Bruce Broadhead, Owner of Renaissance Town Center and Roy Bartee, Project Manager for Renaissance Town Center were present. Planning Director Francisco Astorga presented the item.

In May 2019, this site received an approved zone change for Mixed-Use (MXD-R) and was amended in April of 2021.

The proposed plans meet all the standards and will have 287 residential units consisting of 255,921 square feet. The development will comply with the minimum building setbacks and spacing and is proposed to have a building height of sixty-five feet (65') with 5 stories. There was an updated parking study by Hales Engineering that indicated a requirement of 376 parking spaces and the proposed parking garage will contain 397 parking spaces. The proposed plans moved the parking garage to the middle of the building thus creating a break in the two parking garages. The landscaping plans for the development will be required at final site plan stage. The development will have a flat roof with parapets and will be covered with high end materials.

Mr. Bartee stated the proposed building will be no more than five (5) feet taller than the medical

1 building to the north. He noted the first build will start with the parking garage the first quarter of
2 2022, second build will be south to pod 2, third build will be south to pod 3 and the fourth build will
3 be north to the garage of pod 4. This is anticipated to take 26 months in total.
4

5 Commissioner Bell thanked the developer for adding the patios to face Main Street.
6

7 MOTION: Commissioner Bell made a motion to forward a positive recommendation to the City
8 Council to approve the Preliminary Architectural and Site Plan Review for the proposed apartment
9 building subject to the nine (9) conditions outlined by staff. Commissioner Clark seconded the
10 motion.
11

12 VOTE: The motion passed unanimously (5-0).
13

14 **CONDITIONS OF APPROVAL:**
15

- 16 1. Minor typos found
- 17 2. Placing private patios along Main Street completely within private property, not on the right-of-
18 way.
- 19 3. Removing incorrect footprints of future buildings adjacent to the subject site.
- 20 4. Providing more specificity in the required sidewalk widths throughout.
- 21 5. Minor amendments to the Grading Plan for clarity.
- 22 6. Receiving a Landscape Plan (signed and stamped by landscape architect) with specific trees,
23 shrubs, planting.
- 24 7. Consistency between the landscape plan, architectural site plan and civil set site plan.
- 25 8. Placing the property line boundary on all floor plans for clarity.
- 26 9. Minor amendments to the elevation sheets for clarity.
27

28 **5. 262 North 500 West – Deseret First Credit Union PUD – Preliminary and Final PUD Review,**
29 **Brian Knowlton, applicant – City Engineer Lloyd Cheney**
30

31 Brian Knowlton was present. City Engineer Lloyd Cheney presented the item.
32

33 The site is located in the Heavy Commercial (C-H) zone. The applicant has submitted a Planned Unit
34 Development (PUD) plat for the property comprised of the existing credit union facilities and the
35 remaining vacant eastern portion of the site. The Credit Union building was completed in March
36 2021. The proposed plans will include six (6) units. This includes the completed sewer and water
37 service to the east end of the development.
38

39 MOTION: Councilwoman Harris made a motion to forward a positive recommendation to the City
40 Council for Preliminary and Final Approval of the Deseret First Planned Unit Development with the
41 three (3) conditions outlined by staff. Commissioner Bott seconded the motion.
42

43 VOTE: The motion passed unanimously (5-0).
44

45 **CONDITIONS OF APPROVAL:**
46

- 47 1. Provide a current title report.
- 48 2. Make any required minor corrections to the plat.

1 3. Pay all required fees.
2 **6. 262 North 500 West – Deseret First Credit Union PUD – Preliminary and Final Architectural**
3 **and Site Plan Review, Brian Knowlton, applicant – Planning Director Francisco Astorga**
4

5 Brian Knowlton was present. Planning Director Francisco Astorga presented the item.
6

7 The applicant requests the preliminary and final Architectural and Site Plan Review for the
8 construction of a new building consisting of five (5) indoor storage units. Heavy Commercial (C-
9 H) zone lists “Vehicle Storage – Indoor” as a permitted use. The proposed structure is located
10 approximately 200 feet from 500 West. Staff does not find it necessary for a 20-foot landscape
11 buffer next to the Manor Condominiums carport but finds the 10-foot setback sufficient. The
12 building height will be 28 feet from average grade. Staff recommends allocating one (1) parking
13 space per indoor vehicle storage unit equaling a total of five (5) parking spaces. There will be six
14 (6) parking spaces east of the drive-thru to comply with the staff recommendation.
15

16 MOTION: Commissioner Bott made a motion to forward a positive recommendation to the City
17 Council for Preliminary and Final Architectural and Site Plan Review for the proposed indoor vehicle
18 storage building with the three (3) conditions outlined by staff. Commissioner Bott seconded the
19 motion.
20

21 VOTE: The motion passed unanimously (5-0).
22

23 **CONDITIONS OF APPROVAL:**
24

- 25 1. A signed/stamped landscape plan is provided during building permit review consistent with the
26 landscaping provided on the Overall Site Plan, and applicable landscaping requirements.
27 2. During the building permit review process the five (5) parallel parking spaces shown along the
28 south side of the proposed building shall be removed from the site plan.
29 3. All units will only be used for indoor vehicle storage. Traditional storage units are prohibited.
30

31 **7. Election of Chairman and Vice Chairman of the Planning Commission for 2022**
32

33 MOTION: Commissioner Bell made a motion to nominate Lynn Jacobs as Chairman of the Planning
34 Commission for 2022. Councilwoman Harris seconded the motion.
35

36 VOTE: The motion passed unanimously (5-0).
37

38 MOTION: Councilwoman Harris made a motion to nominate Alan Bott as the Vice-Chairman of the
39 Planning Commission for 2022. Commissioner Clark seconded the motion.
40

41 VOTE: The motion passed unanimously (5-0).
42

43 **8. Approval of the 2022 Planning Commission Meeting Calendar**
44

45 MOTION: Commissioner Clark made a motion to approve the 2022 Planning Commission Meeting
46 Calendar. Commissioner Bell seconded the motion.
47

48 VOTE: The motion passed unanimously (5-0).

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Vice-Chair Jacobs adjourned the meeting at 7:35

Lynn Jacobs
Planning Commission Vice-Chair

DRAFT

Commission Staff Report

Subject: Street Master Plan Update
Address: City-Wide
Author: City Engineer, City Planner
Department: Engineering, Planning
Date: January 4, 2022



Background

The Bountiful Street Master Plan is the document which defines the City's vision for the creation of an efficient transportation network. It specifically identifies collector and arterial routes which link neighborhoods to important travel destinations such as retail, commercial and industrial areas and to other major transportation facilities such as highways and freeways.

Research of the current Master Street Plan has only revealed the most recent work on the map in 2017, and no action by either the Planning Commission or the City Council has been identified.

Analysis

This agenda item is scheduled as a Public Hearing. After the Planning Commission has considered and discussed the information presented by Staff, the Public Hearing could begin.

The following modifications are proposed to be included in the 2022 Street Master Plan:

1. **Private Roads** All private roads in condominium and Planned Unit Development projects are identified in orange and labeled "Private Street" in the map legend.
2. **UDOT Roads** UDOT Rights-of-Way have been identified as "UDOT Principal Arterial" (red) or "UDOT Minor Arterial" (green) in the map legend. The Principal and Minor Arterial classifications are determined by UDOT.

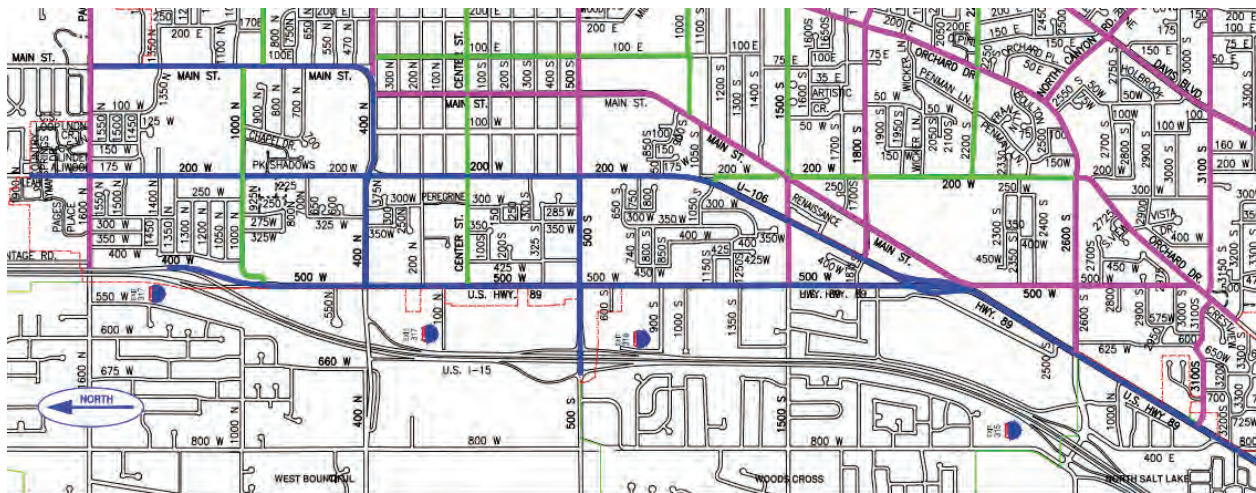


Figure 1 2017 Street Master Plan UDOT Rights-of-Way shown as Major Street Intercity Highway classification (blue).

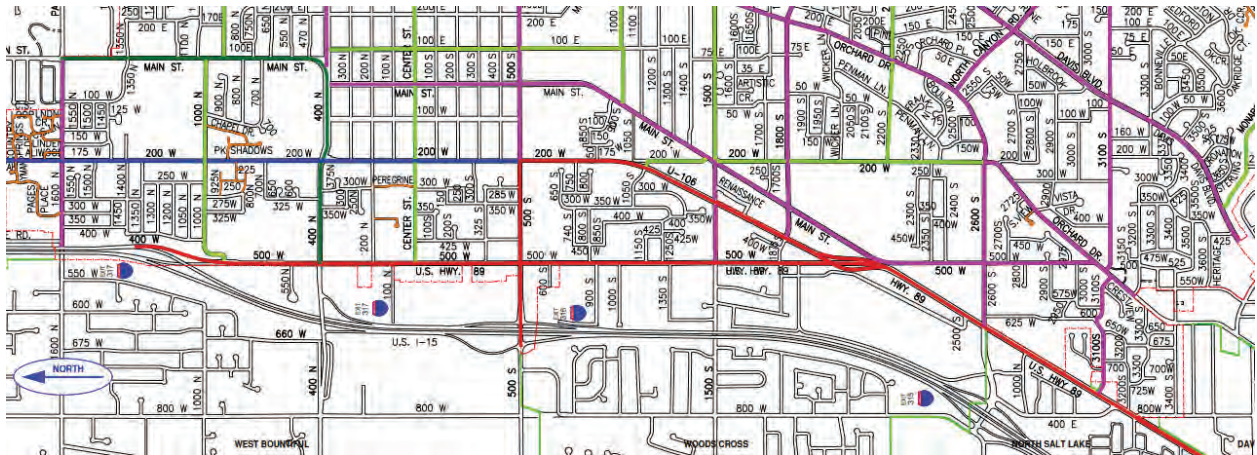


Figure 2 2022 Street Master Plan UDOT Rights-of-Way shown as UDOT Principal Arterial (red) and UDOT Minor Arterial (green) classifications.

- Eagle Ridge Drive** The anticipated alignment Eagle Ridge Drive south of Eagle Ridge Plat C (below the “B”, south to the parking area) is shown on the 2017 Street Master Plan as a “Proposed Collector Street Minor 60 ft Wide” designation which extends south to Bountiful Boulevard. This is problematic as the existing right of way width established by Eagle Ridge Plat C is 54 feet. The proposed revision modifies the right of way width of Eagle Ridge Drive from the end of Plat C to the parking area to 54 feet and maintains the proposed 60 ft right of way south to the intersection of Eagle Ridge Dr and Bountiful Boulevard.

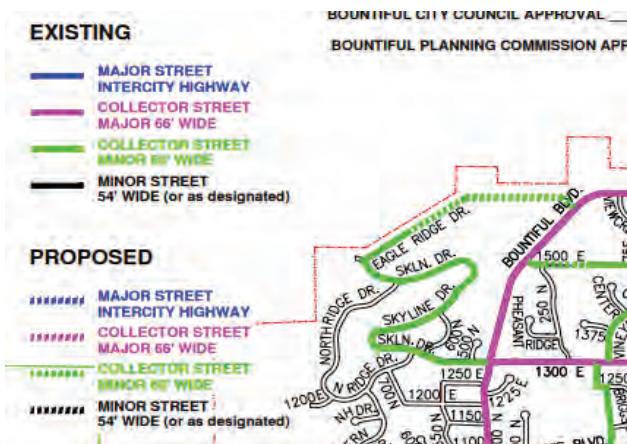


Figure 3 2017 Street Master Plan Eagle Ridge Dr shown as 60 ft wide Collector Street

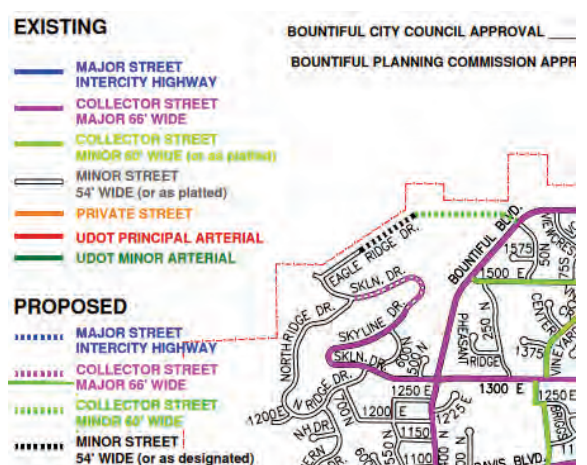


Figure 4 2022 Street Master Plan Corrected Widths for Eagle Ridge Drive

- Skyline Drive** The 2017 Street Master Plan identifies a portion of 1300 East and Skyline Drive as an existing 60 ft wide Collector Street from the 1300 E/400 N intersection to the intersection of Skyline Drive and Eagle Ridge Drive. The Eagle Ridge Plat B Plat Dedicated the width of Skyline Drive as 54 feet from the undeveloped DU property north to the intersection of Eagle Ridge Dr. The dedicated width of 1300 E / Skyline Drive from the 400 N 1300 E intersection to the south boundary of the undeveloped DU parcel DU is shown as 66 feet, according to the plat for Quailbrook Subdivision Plat A. These discrepancies are corrected on the 2022 Street Master Plan.

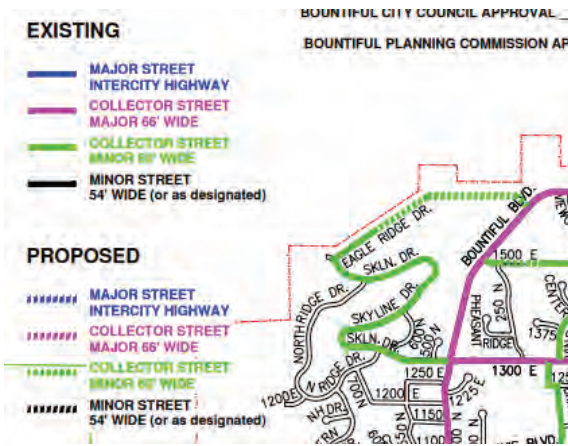


Figure 5 2017 Street Master Plan Skyline Drive Shown as 60 ft wide Collector

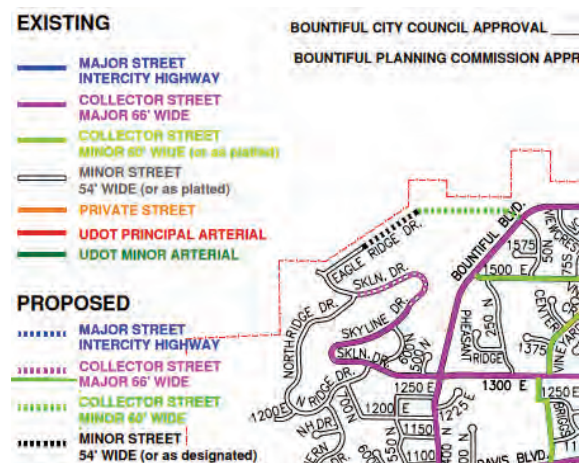


Figure 6 2022 Street Master Plan Corrected widths for Skyline Drive

- 600 East / Mill Creek Way** The 2017 Street Master Plan shows a proposed concept for the extension of 600 East / Mill Creek Way to Davis Boulevard. The 2022 Street Master Plan removes this connection so the Master Plan document removes any conflict with the Preliminary Approval of the Creek Side Views Subdivision. Mill Creek Way

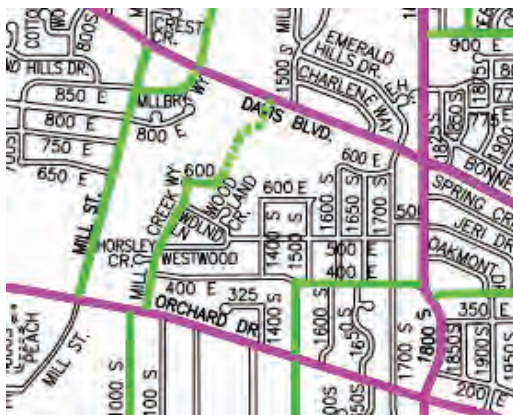


Figure 7 2017 Street Master Plan 600 E / Mill Creek Way shown extending to Davis Blvd

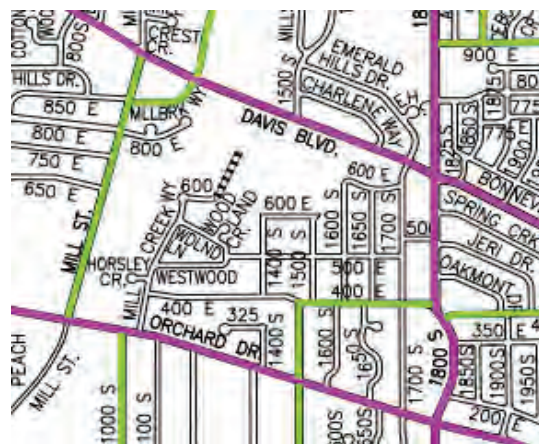


Figure 3 2022 Street Master Plan Proposed change for 600 E / Mill Creek Way

Department Review

This memo has been reviewed by the Planning Director, City Attorney and City Manager.

Recommendation

Staff recommends the Planning Commission forward a positive recommendation to the City Council for adoption of the 2022 Street Master Plan.

Significant Impacts

None

Attachments

1. 2017 Street Master Plan
2. Proposed 2022 Street Master Plan

BOUNTIFUL MASTER STREET PLAN

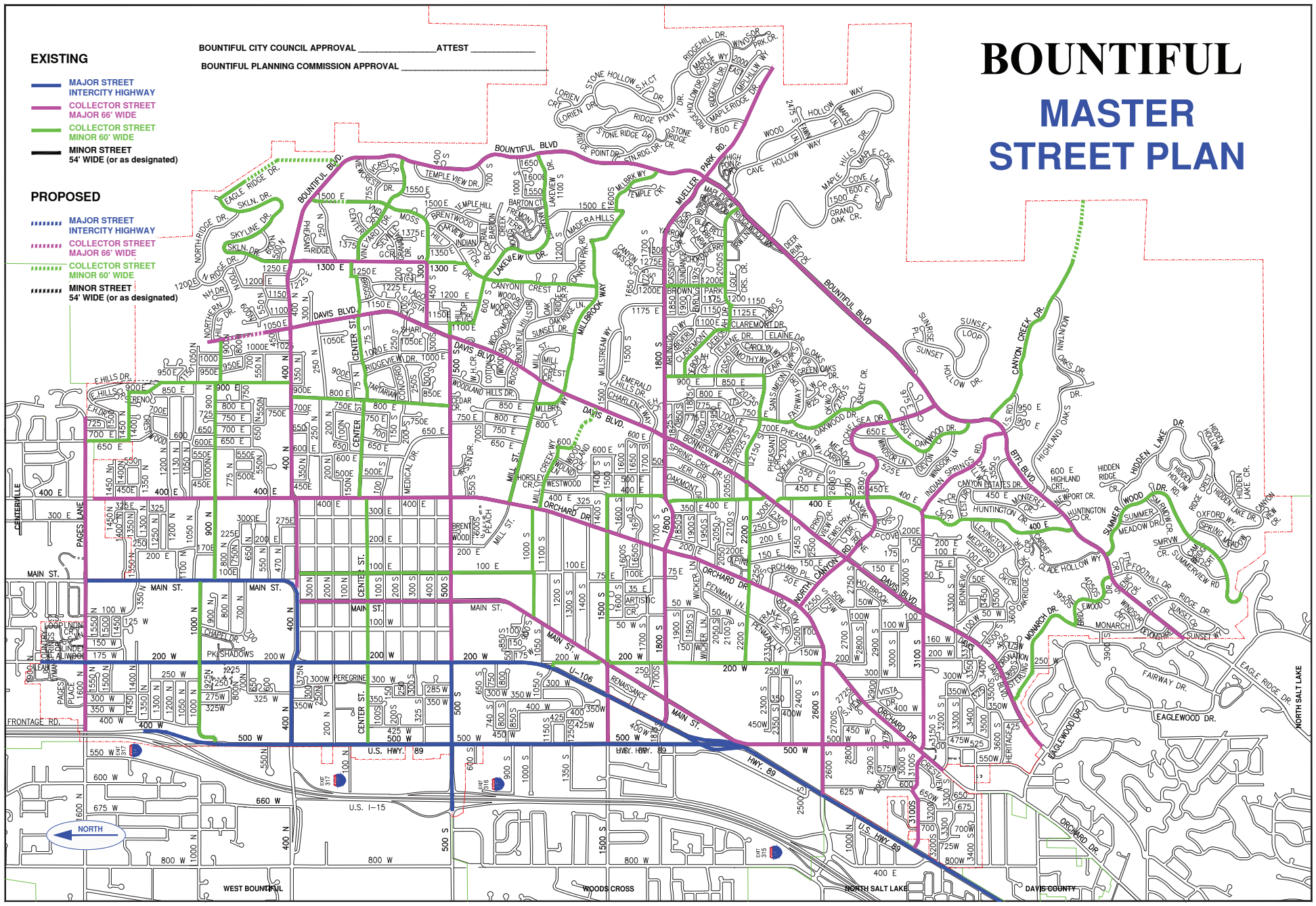
EXISTING

- MAJOR STREET
- INTERCITY HIGHWAY
- COLLECTOR STREET
MAJOR 66' WIDE
- COLLECTOR STREET
MINOR 60' WIDE
- MINOR STREET
54' WIDE (or as designated)

PROPOSED

- - - - - MAJOR STREET
- - - - - INTERCITY HIGHWAY
- - - - - COLLECTOR STREET
MAJOR 66' WIDE
- - - - - COLLECTOR STREET
MINOR 60' WIDE
- - - - - MINOR STREET
54' WIDE (or as designated)

BOUNTIFUL CITY COUNCIL APPROVAL _____ ATTEST
BOUNTIFUL PLANNING COMMISSION APPROVAL _____



BOUNTIFUL MASTER STREET PLAN

DRAFT
25 NOV 2020

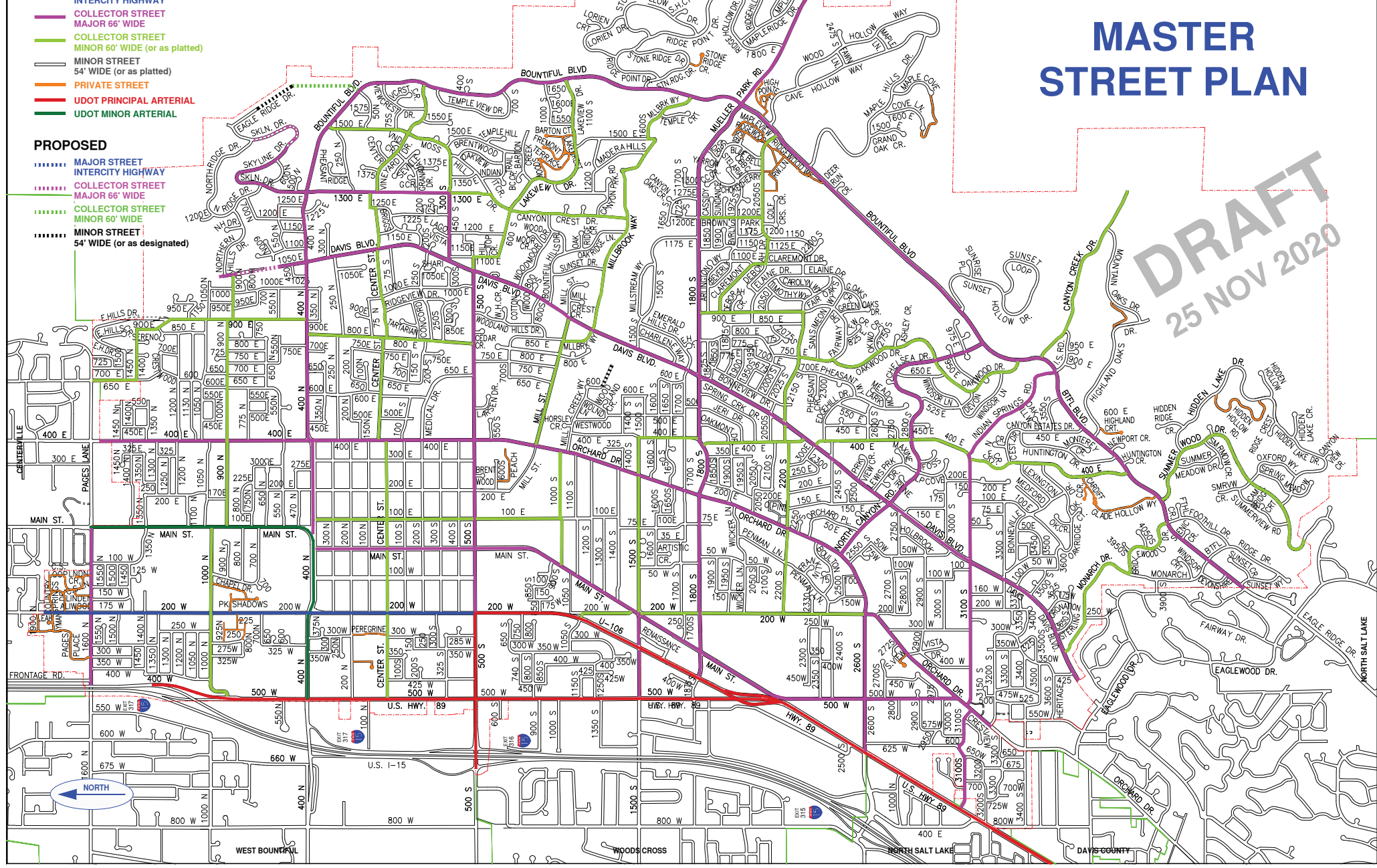
EXISTING

- MAJOR STREET
- INTERCITY HIGHWAY
- COLLECTOR STREET
MAJOR 66' WIDE
- COLLECTOR STREET
MINOR 60' WIDE (or as platted)
- MINOR STREET
54' WIDE (or as platted)
- PRIVATE STREET
- UDOT PRINCIPAL ARTERIAL
- UDOT MINOR ARTERIAL

PROPOSED

- - - - MAJOR STREET
- - - - INTERCITY HIGHWAY
- - - - COLLECTOR STREET
MAJOR 66' WIDE
- - - - COLLECTOR STREET
MINOR 60' WIDE
- - - - MINOR STREET
54' WIDE (or as designated)

BOUNTIFUL CITY COUNCIL APPROVAL _____ ATTEST _____
BOUNTIFUL PLANNING COMMISSION APPROVAL _____



Planning Commission Staff Report



Subject: (City) Power Lofts Mixed Use Building
Amended Architectural and Site Plan Review
Address: 189 South 200 West
Author: Francisco Astorga, AICP, Planning Director
Date: January 4, 2022

Background

The property owner, Mary S. Hepworth, represented by Randy Beyer with Knowlton General, LC, submitted an Architectural and Site Plan Review Application for the construction of a new mixed-use three (3) story building located on the northeast corner of the intersection at 200 West and 200 South. The ground level consists of 2,180 square feet of office space and 175 square feet of residential (access only). The second and the third levels consist of two 2-bedroom apartments on each floor, totaling four (4) residential units, consisting of 5,252 square feet. The overall square footage of the building is 7,607 square feet. The proposal contains nineteen (19) parking spaces on the ground level.

The site is in the Mixed-Use Residential (MXD-R) zone. On June 16, 2020, the City Council approved a Zone Change from General Commercial to MXD-R per Bountiful City Ordinance No. 2020-06 / (Development Plan). On [January 12, 2021, the City Council approved a Final Architectural and Site Plan](#) approval for this development for a vertical mixed-use three (3) story building consisting of twelve (12) apartments and 1,200 square feet of office space (ground level) totaling 13,032 square feet with 27 ground level parking spaces (ground level); however, the applicant has decided to alter their plans to the current proposal.

Analysis

Use. The approved Development Plan indicates that the development is to have an emphasis towards residential use, with a defined range of 50-75% for the residential use, and “other uses” consisting of office, commercial, institutional/public, hotel/entertainment are permitted, as outlined in the Development Plan. The current proposal consists of 5,427 square feet of residential equating to 71% and 2,180 square feet of “other uses” (specified permitted uses) equating to 29%.

Building Setbacks. The approved Development Plan indicates that the building setback is 20 feet from 200 West, 200 South, and the east property line. The minimum building setback from the north property line is 30 feet and the maximum building setback is 55 feet. The proposal complies with the specified building setbacks.

Height Limitation. The approved Development Plan indicates that the minimum building height is 20 feet, and the maximum building height is 35 feet. The proposed building is 35 feet tall.

Development Characteristics. The approved Development Plan indicates that the development is to exhibit urban characteristics such as:

1. Wide sidewalks – The proposal contains a network of sidewalks (walkways) that completely surround the proposed building. These sidewalks/walkways range between five and eight feet (5-8') in width.
2. Street trees and street furniture – The proposal contains a total of twelve (12) street trees. The proposal requires nine (9) street trees. The proposal contains four (4) benches along 200 West, creating two (2) seating areas. Staff finds that the benches would be better utilized if they were perpendicular to the street facing each other.
3. Community gathering spaces – The two (2) seating areas in concert with the sidewalks creates an informal plaza allowing for gatherings.
4. Shared parking – None provided.
5. Integrated public transit (where available and/or anticipated) – None provided.
6. Diverse and distinctive design features – The proposal building consists of brick, stucco, siding, and fiber cement board paneling, with a substantial amount of glass throughout, creating an industrial look and feel to the building which gives 200 West a much-needed boost.

Open Space. The approved Development Plan indicates that the development is to provide at least fifteen (15) percent of the gross floor area or fifteen (15) percent of the gross site area, whichever is greater, as open space. The half-acre site yields a minimum open space area of 3,268 square feet. The proposal consists of 10,103 square feet of open space.

Parking. Parking requirements are to be determined per existing City standards for each use; however, parking requirements may be reduced if it can be shown that shared parking is a viable alternative. The City reserves the right to dictate the amount of parking and/or the location of parking spaces within a project to achieve the objectives of this Code.

Office use requires one (1) parking space for each 300 square feet of floor area. The 2,180 square feet requires eight (8) parking spaces (7.3). A 2-bedroom unit requires 2.25 parking spaces. The four (4) apartments require nine (9) parking space. The proposal requires a total of 17 parking spaces. The proposal provides 19 parking spaces.

Additional: If the office use were to change to commercial (retail), the 2,180 square feet would require eleven (11) parking spaces (10.9) at rate of one (1) parking space for each 200 square feet of floor area. The Parking Code would then require a total of twenty (20) parking spaces (commercial + residential). Due to the nature of -1 parking space, Staff would feel comfortable allowing commercial (retail) use, as the applicant could provide a parking study/analysis showing that they have sufficient parking with the provided 19. Staff would not recommend that the applicant submit such study based on the minimal difference.

Department Review

The plans were reviewed by the Bountiful Building Official, City Engineer, Power Department, Police Department, Planning Department, and the South Davis Metro Fire Marshall. This staff report was written by the Planning Director and reviewed by the City Engineer and the City

Attorney. The Power Department respectfully request that the Applicant rename the project to City Lofts (removing Power) to avoid possible confusion with the Bountiful City Power offices.

Significant Impacts

The development is occurring in an area with urban levels of infrastructure already in place. Impacts from the development of this property have been anticipated in the design of the existing storm water, sewer, and water and transportation systems. The conditions of approval are designed to mitigate other impacts anticipated by the development.

Recommendation

Staff recommends that the Planning Commission review the Final Architectural and Site Plan Review for the proposed mixed-use building subject to the following conditions of approval:

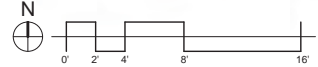
1. Address and complete all redline corrections.
2. Sign a Public Improvement Development Agreement.
3. Record utility easements of ten foot (10') along all property lines for the Power Department.
4. Submit a landscape plan, stamped and signed by a Landscape Architect, to be approved by Staff with the building permit application.
5. The benches along 200 West are to be placed perpendicular to the Street facing each other.
6. The final building plans, specifically the building elevations and site components, for this project shall meet substantial compliance with the plans attached to this staff report. Any deviations to what was presented to the Land Use authority shall require an amendment to this approval.

Attachments

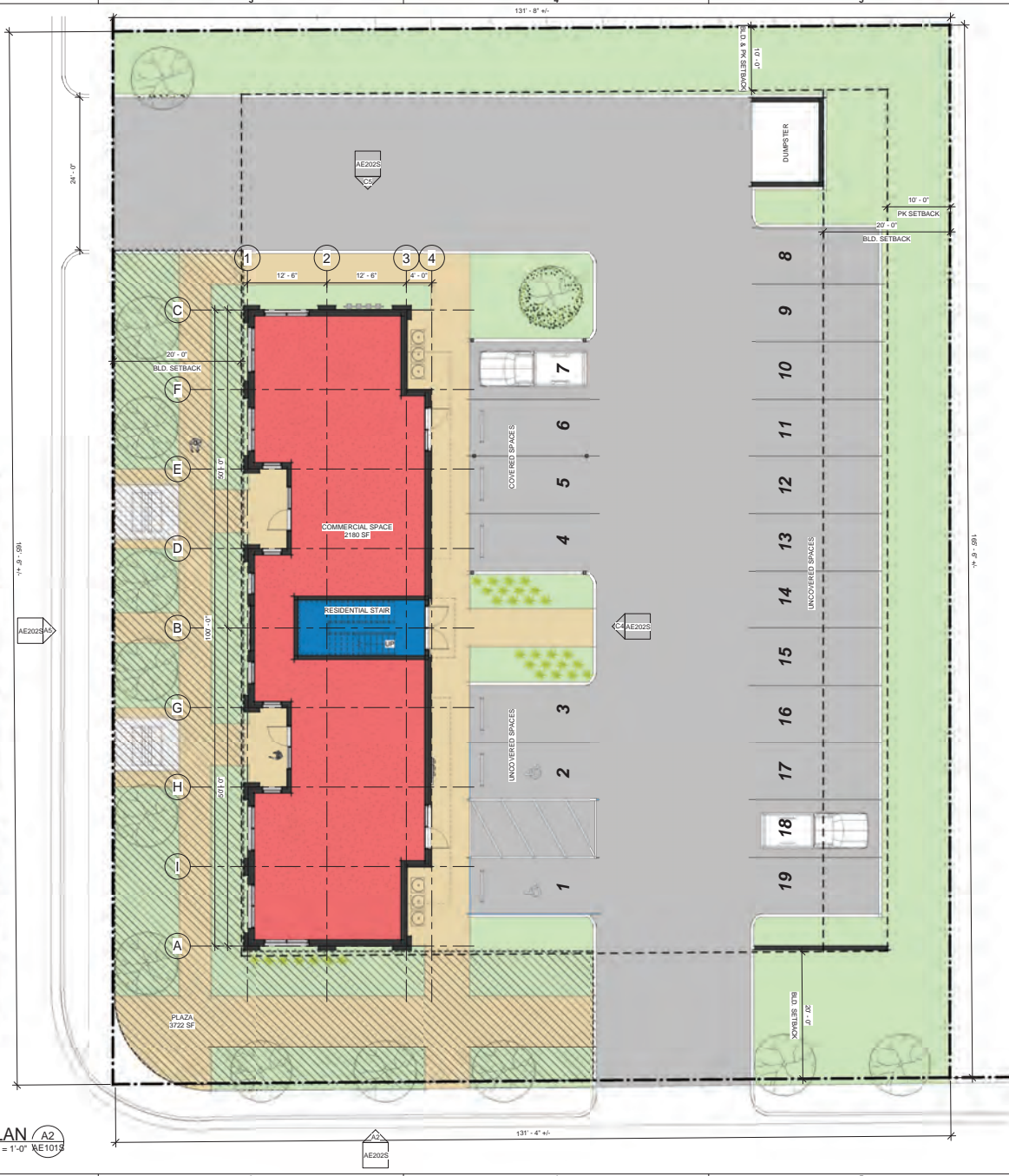
1. Architectural package including architectural site plan, floor plans, exterior views, elevations.
2. Civil package including site plan, grading, utilities, etc.
3. Ordinance 2020-06 (Development Plan)

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED ON THIS DRAWING ARE OWNED BY AND THE PROPERTY OF PROCESS STUDIO P.L.C. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS ON THE AGEND AND THIS OFFICE BE NOTIFIED OF ANY VIOLATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. WARNING: REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF PROCESS STUDIO P.L.C. IS PROHIBITED. UNAUTHORIZED REPRODUCTION OR DISCLOSURE OF THIS INFORMATION MAY CONSTITUTE A TRADE SECRET VIOLATION OR VIOLATION OF LAW.

PROJECT TYPE:	MIXED-USE
BUILDING USE:	GROUND FLOOR COMMERCIAL AND RESIDENTIAL APARTMENTS
ZONING:	MXD
AREA TABULATIONS:	GROUND FLOOR COMMERCIAL = 2,180 SF +/- GROUND FLOOR RESIDENTIAL = 175 SF +/- SECOND FLOOR RESIDENTIAL = 2,266 SF +/- THIRD FLOOR RESIDENTIAL = 2,626 SF +/- TOTAL = 7,007 SF +/-
RESIDENTIAL TOTAL:	5,427 SF +/-
COMMERCIAL + PLAZA:	5,902 SF +/-
UNIT COUNTS:	2-BEDROOM UNITS = 4 UNITS
PARKING COUNTS:	COMMERCIAL (OFFICE SPACE) (1,300 SF) = 8 SPACES 2-BEDROOM (2.25/UNIT) = 9 SPACES TOTAL REQUIRED BY DEVELOPMENT = 17 SPACES
TOTAL SPACES SHOWN:	19 TOTAL (17 SPACES + 2 ADA)
LANDSCAPE TABULATION:	SITE AREA = 21,791 SF +/- OPEN SPACE AREA REQUIRED 15% OF GROSS SITE = 3,269 SF +/- OPEN SPACE AREA SHOWN = 10,103 SF +/-
BUILDING HEIGHT:	MAXIMUM = 35' - 0" AS SHOWN = 35' - 0"



GROUND FLOOR/SITE PLAN A2 AE101S
1/8" = 1'-0"



PROCESS

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SALT LAKE CITY, UTAH 84106
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WWW.PROCESSPLC.COM

GENERAL CONTRACTOR
KNOWLTON GENERAL
70 N. MAIN STREET, SUITE #106
BOUNTIFUL, UT 84010
PHONE: 801-628-0758
CONTACT: RANDY BEYER
EMAIL: randy@knowltongeneral.com

No.	Description	Date

CITY POWER LOFTS
FLOOR PLANS

Project Status	SITE REVIEW
Project Number	19-0027
Date	09.30.2021
Drawn by	MDB
Checked by	EGE
AE101S	
Scale	1/8" = 1'-0"

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200 WEST C3
AE200S



REAR VIEW C5
AE200S



200 SOUTH VIEW A3
AE200S



OVERVIEW A5
AE200S

PROCESS
 3055 s. grace street
 salt lake city, utah 84108
 p.801.908.0866
 www.processplc.com

GENERAL CONTRACTOR
 KNOWLTON GENERAL
 70 N. MAIN STREET, SUITE #106
 BOUNTIFUL, UT 84010
 PHONE: 801-428-0758
 CONTACT: RANDY BEYER
 EMAIL: randy@knowltongeneral.com

No.	Description	Date

**CITY POWER LOFTS
EXTERIOR VIEWS**

Project Status: SITE REVIEW
 Project Number: 19-0027
 Date: 09.30.2021
 Drawn by: MDB
 Checked by: EGE

AE200S

Scale:

10/19/2021 12:22:03 PM

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EAST ELEVATION C4
3/16" = 1'-0" AE202S

NORTH ELEVATION C5
3/16" = 1'-0" AE202S



200 SOUTH ELEVATION A2
3/16" = 1'-0" AE202S

200 WEST ELEVATION A4
3/16" = 1'-0" AE202S

PROCESS
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 salt lake city, utah 84108
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 www.processplc.com

GENERAL CONTRACTOR
 KNOWLTON GENERAL
 70 N. MAIN STREET, SUITE #106
 BOUNTIFUL, UT 84010
 PHONE: 801.628.0758
 CONTACT: RANDY BEYER
 EMAIL: randy@knowltongeneral.com

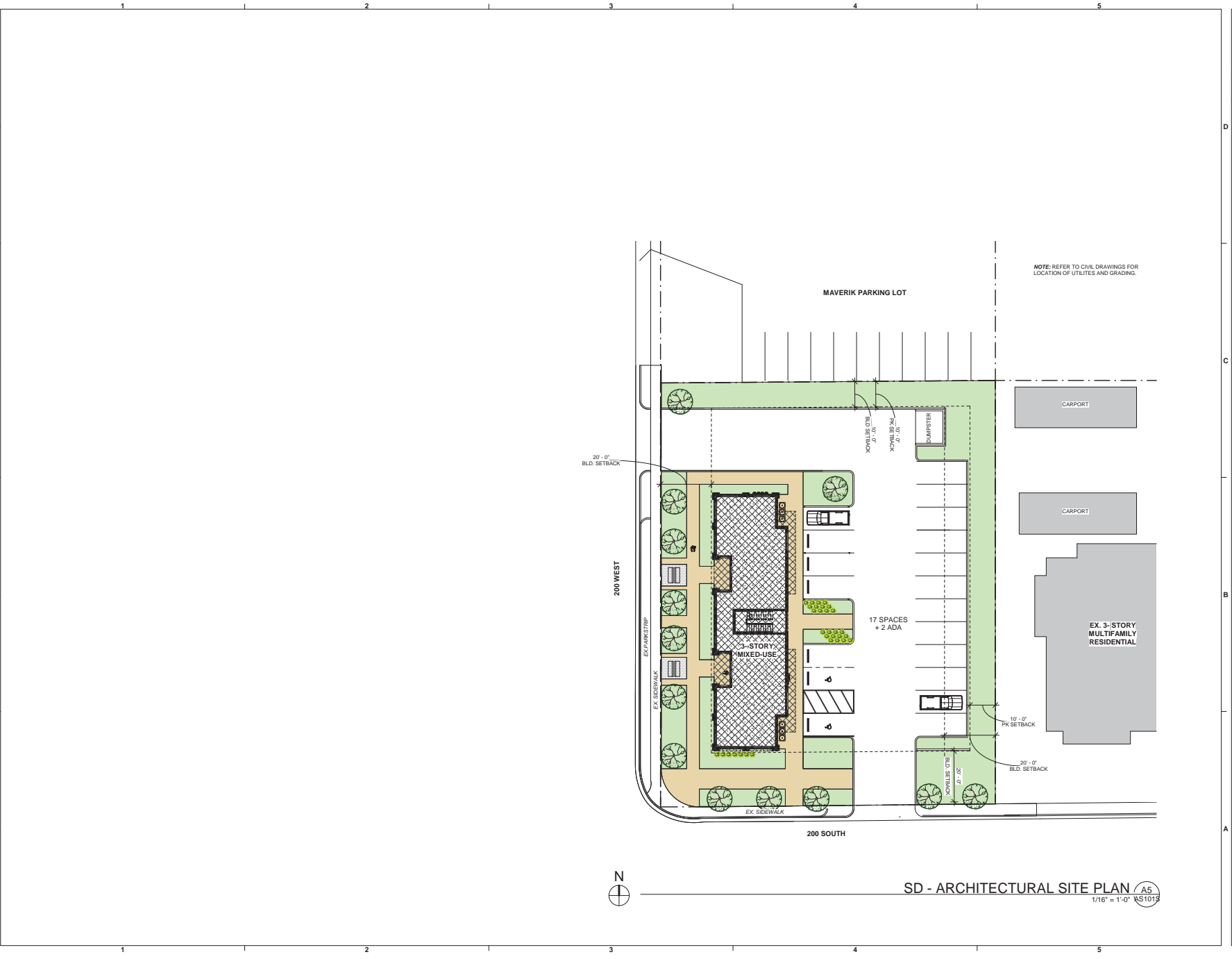
No.	Description	Date

**CITY POWER LOFTS
 ELEVATIONS**

Project Status SITE REVIEW
Project Number 18-0027
Date 09.30.2021
Drawn by MDB
Checked by EGE
AE202S
Scale 3/16" = 1'-0"

10/19/2021 2:22:23 PM

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED IN THIS DRAWING ARE OWNED BY AND THE PROPERTY OF PROCESS STUDIO P.L.C AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS ON THE AGROUND THIS OFFICE BE NOTIFIED OF ANY VIOLATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. WARNING: REPRODUCTION OR DISCLOSURE MAY CONSTITUTE TRADE SECRET MISAPPROPRIATION IN VIOLATION OF LAW.



PROCESS
 3055 s. grace street
 salt lake city, utah 84109
 p.801.906.0866
 www.processplc.com

GENERAL CONTRACTOR
 KNOWLTON GENERAL
 70 N. MAIN STREET, SUITE #106
 BOUNTIFUL, UT 84010
 PHONE: 801-430-0758
 CONTACT: RANDY BEYER
 EMAIL: randy@knowltongeneral.com

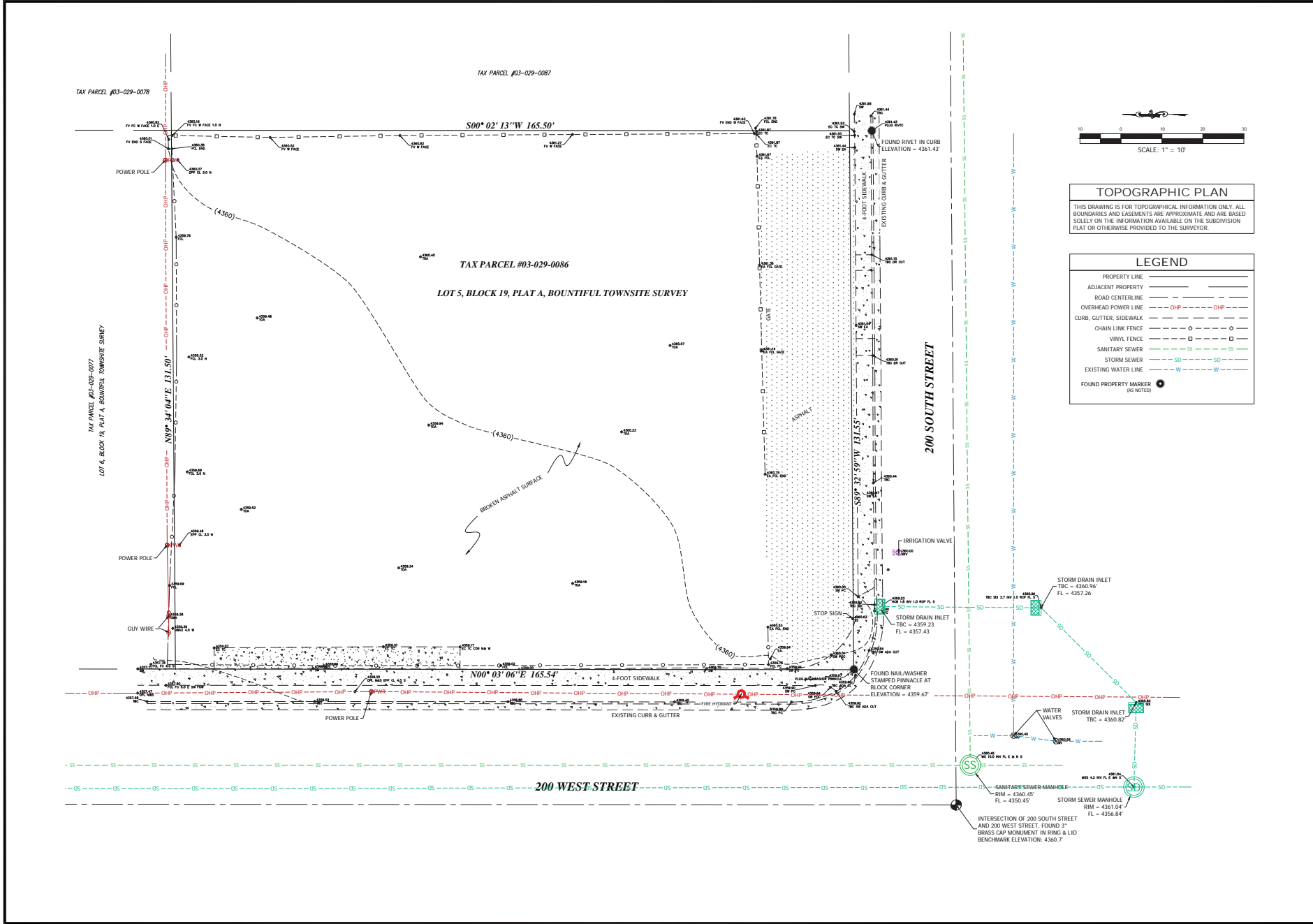
No.	Description	Date

**CITY POWER LOFTS
 ARCHITECTURAL SITE
 PLAN**

Project Status: SITE REVIEW
 Project Number: 19-0027
 Date: 09.30.2021
 Drawn by: DJY
 Checked by: EGE
 Scale: 1/16" = 1'-0"

SD - ARCHITECTURAL SITE PLAN ^{A5}
 1/16" = 1'-0" ^{AS101S}

10/18/2021 2:22:43 PM



TOPOGRAPHIC PLAN
 THIS DRAWING IS FOR TOPOGRAPHICAL INFORMATION ONLY. ALL BOUNDARIES AND EASEMENTS ARE APPROXIMATE AND ARE BASED SOLELY ON THE INFORMATION AVAILABLE ON THE SUBDIVISION PLAT OR OTHERWISE PROVIDED TO THE SURVEYOR.

LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY	---
ROAD CENTERLINE	---
OVERHEAD POWER LINE	--- OHP --- OHP ---
CURB, GUTTER, SIDEWALK	---
CHAIN LINK FENCE	--- O --- O ---
VINYL FENCE	--- □ --- □ ---
SANITARY SEWER	--- SS --- SS ---
STORM SEWER	--- SD --- SD ---
EXISTING WATER LINE	--- W --- W ---
FOUND PROPERTY MARKER (AS NOTED)	●

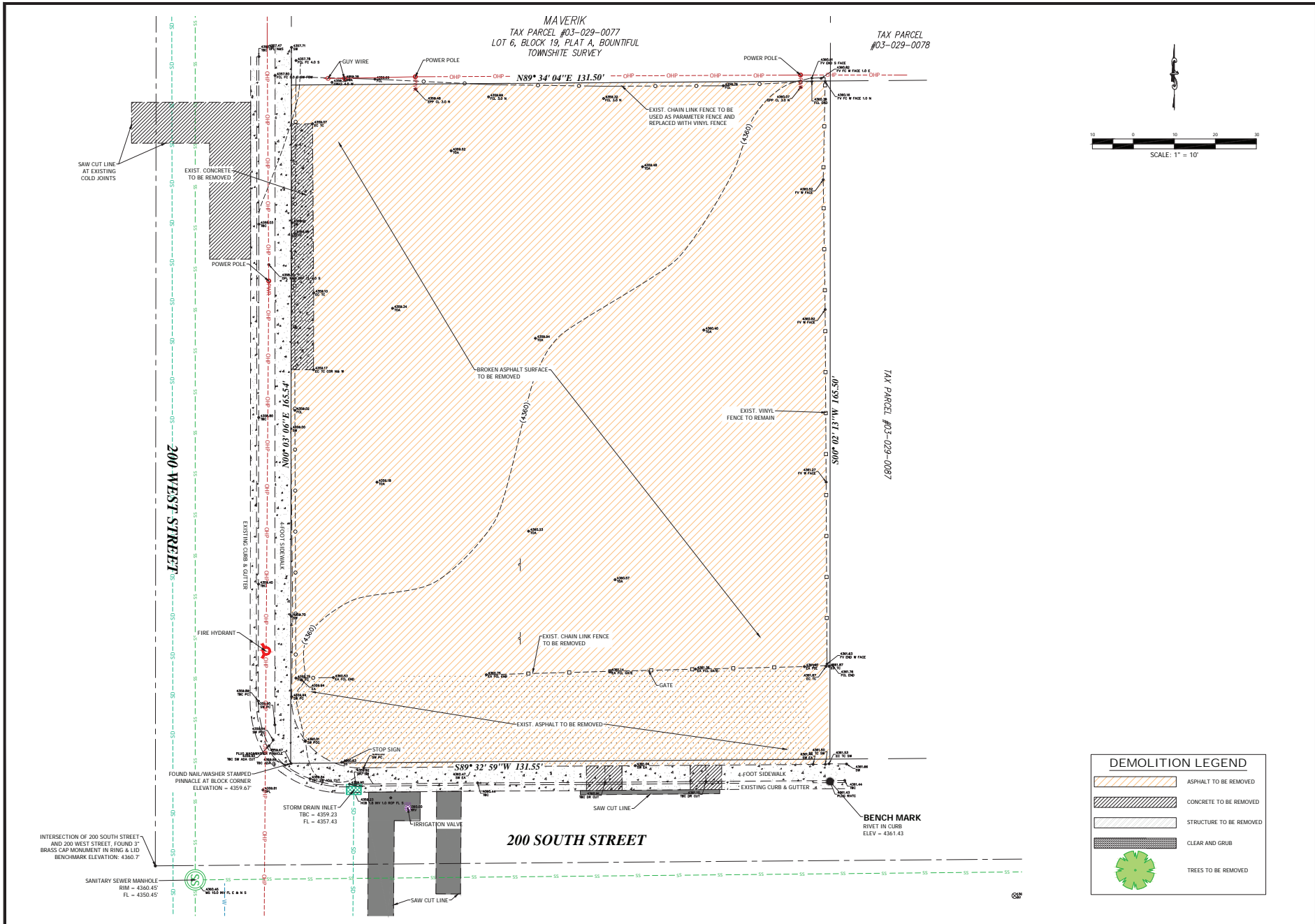
1470 South 600 West
 Woods Cross, UT 84010
 Phone 801.298.2236
 www.lanelhus.com



KNOWLTON GENERAL
 200 SOUTH 200 WEST
 TAX PARCEL #03-029-0086
 PART OF LOT 5, BLOCK 19, PLAT A, BOUNTIFUL TOWNSITE SURVEY
 LOCATED IN THE SOUTH WEST 1/4 OF SECTION 19, T.23.N., R.1.E., S.1.R.6.M.
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DRAWN: ALJ 12/08/2020
 APPROVED: JRC 01/07/2021
 PROJECT #: 125018
 TOPO 115818.dwg

V200
 TOPOGRAPHIC SURVEY



1470 South 600 West
 Woods Cross, UT 84010
 Phone: 801.298.2236
 www.Entellus.com



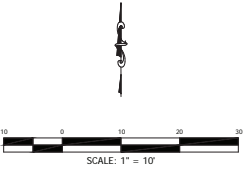
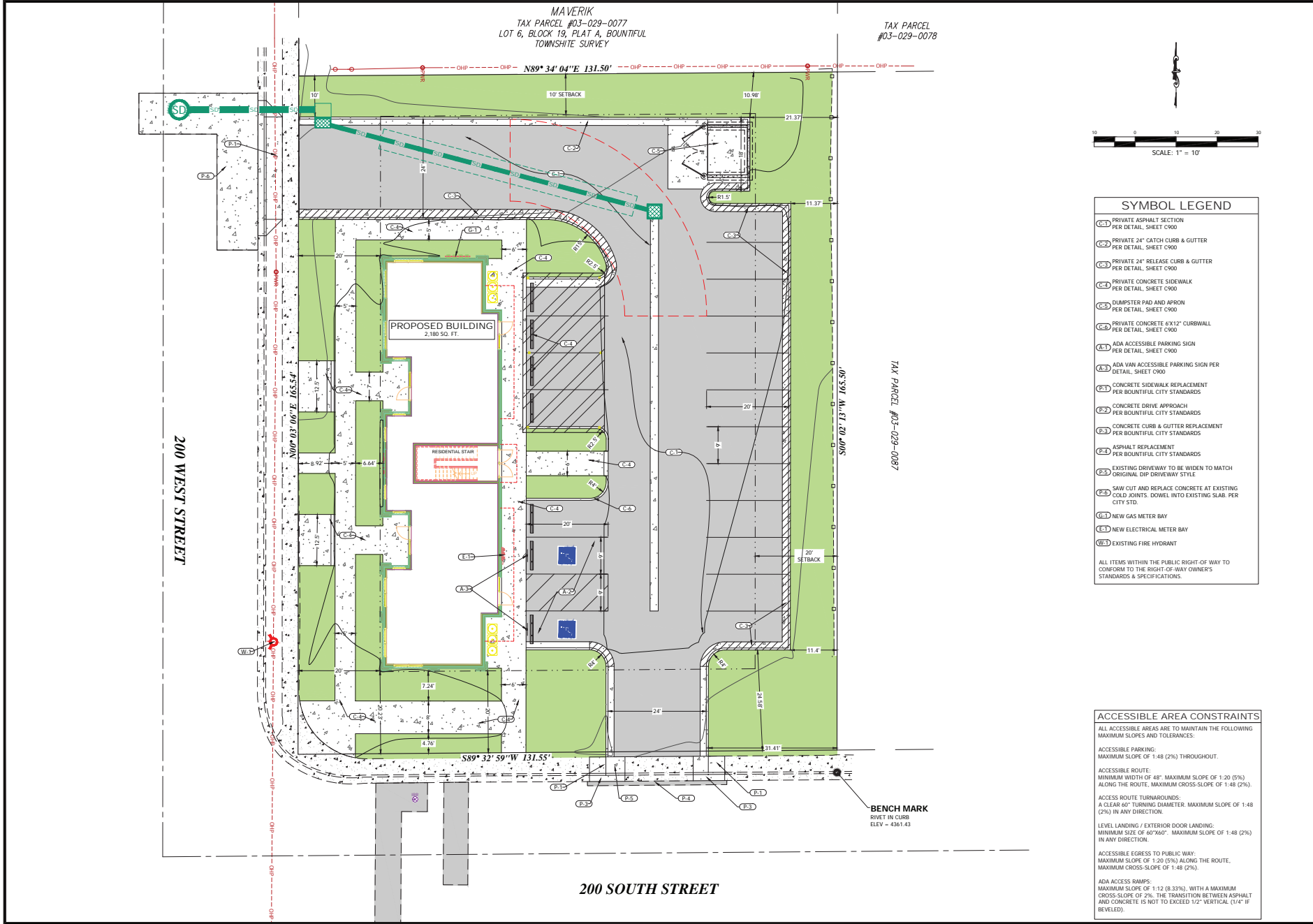
Client: KNOWLTON GENERAL
 Contact: RANDY BEYER
 Phone #: 801.428.0756
 Address: 704 MAIN STREET SUITE 106
 Email: scott@knowltongeneral.com

CITY POWER LOFTS
 200 SOUTH 200 WEST
 TAX PARCEL #03-029-0086
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH
 LOCATED IN THE SE 1/4 OF SECTION 19, T.2 N., R.1 E., S.1 R.&M.

REV #	DATE	COMMENT

DRAWN: JHJ
 APPROVED: STA
 PROJECT: 1185018
 SITE: 1185018.dwg

C300
 DEMOLITION PLAN



SYMBOL LEGEND	
C-1	PRIVATE ASPHALT SECTION PER DETAIL, SHEET C900
C-2	PRIVATE 24" CATCH CURB & GUTTER PER DETAIL, SHEET C900
C-3	PRIVATE 24" RELEASE CURB & GUTTER PER DETAIL, SHEET C900
C-4	PRIVATE CONCRETE SIDEWALK PER DETAIL, SHEET C900
C-5	DUMPSTER PAD AND APRON PER DETAIL, SHEET C900
C-6	PRIVATE CONCRETE 6X12" CURB WALL PER DETAIL, SHEET C900
A-1	ADA ACCESSIBLE PARKING SIGN PER DETAIL, SHEET C900
A-2	ADA VAN ACCESSIBLE PARKING SIGN PER DETAIL, SHEET C900
C-7	CONCRETE SIDEWALK REPLACEMENT PER BOUNTIFUL CITY STANDARDS
C-8	CONCRETE DRIVE APPROACH PER BOUNTIFUL CITY STANDARDS
C-9	CONCRETE CURB & GUTTER REPLACEMENT PER BOUNTIFUL CITY STANDARDS
C-10	ASPHALT REPLACEMENT PER BOUNTIFUL CITY STANDARDS
C-11	EXISTING DRIVEWAY TO BE WIDEN TO MATCH ORIGINAL DIP DRIVEWAY STYLE
C-12	SAW CUT AND REPLACE CONCRETE AT EXISTING COLD JOINTS. DOWEL INTO EXISTING SLAB PER CITY STD.
C-13	NEW GAS METER BAY
C-14	NEW ELECTRICAL METER BAY
C-15	EXISTING FIRE HYDRANT

ALL ITEMS WITHIN THE PUBLIC RIGHT OF WAY TO CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.

ACCESSIBLE AREA CONSTRAINTS	
ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MAXIMUM SLOPES AND TOLERANCES:	
ACCESSIBLE PARKING:	MAXIMUM SLOPE OF 1:48 (2%) THROUGHOUT.
ACCESSIBLE ROUTE:	MINIMUM WIDTH OF 48"; MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE. MAXIMUM CROSS-SLOPE OF 1:48 (2%) IN ANY DIRECTION.
ACCESS ROUTE TURNAROUNDS:	A CLEAR 60" TURNING DIAMETER. MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.
LEVEL LANDING / EXTERIOR DOOR LANDING:	MINIMUM SIZE OF 60"x60"; MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.
ACCESSIBLE EGRESS TO PUBLIC WAY:	MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE. MAXIMUM CROSS-SLOPE OF 1:48 (2%).
ADA ACCESS RAMPS:	MAXIMUM SLOPE OF 1:12 (8.33%), WITH A MAXIMUM CROSS-SLOPE OF 2%. THE TRANSITION BETWEEN ASPHALT AND CONCRETE IS NOT TO EXCEED 1/2" VERTICAL (1/4" IF BEVELLED).

1470 South 600 West
Woods Cross, UT 84010
Phone: 801.298.2236
www.entellus.com



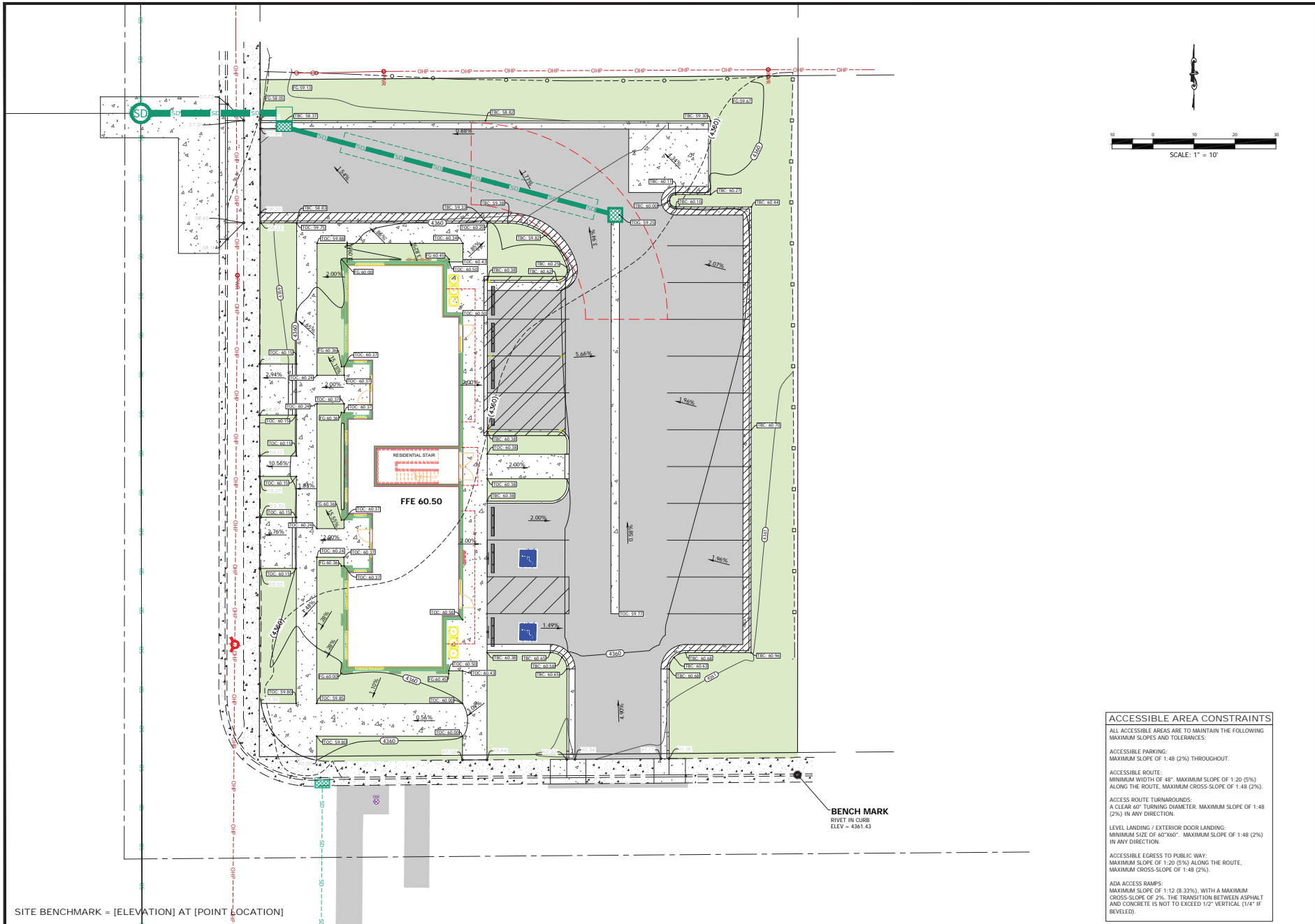
Client: KNOWLTON GENERAL
Contact: RANDY BEYER
Phone #: 801.828.0756
Address: 700 SOUTH STREET SUITE 100
Salt Lake City, UT 84143
Email: randy@knowltongeneral.com

CITY POWER LOFTS
200 SOUTH 200 WEST
TAX PARCEL #03-029-0086
LOCATED IN THE SE 1/4 OF SECTION 19, T.2 N., R.1 E., S.1 R. & M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

REV #	DATE	COMMENT

DRAWN: JH
APPROVED: STA
PROJECT #: 1185018
SITE: 1185018.dwg

C400
SITE PLAN



SITE BENCHMARK = [ELEVATION] AT [POINT LOCATION]

ACCESSIBLE AREA CONSTRAINTS

ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MAXIMUM SLOPES AND TOLERANCES:

ACCESSIBLE PARKING:
 MAXIMUM SLOPE OF 1:48 (2%) THROUGHOUT.

ACCESSIBLE ROUTE:
 MINIMUM WIDTH OF 48". MAXIMUM SLOPE OF 1:20 (5%)
 ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ACCESS ROUTE TURNAROUNDS:
 A CLEAR 60" TURNING DIAMETER. MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

LEVEL LANDING / EXTERIOR DOOR LANDING:
 MINIMUM SIZE OF 60"x60". MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

ACCESSIBLE EGRESS TO PUBLIC WAY:
 MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE.
 MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ADA ACCESS RAMP:
 MAXIMUM SLOPE OF 1:12 (8.33%), WITH A MAXIMUM CROSS-SLOPE OF 2%. THE TRANSITION BETWEEN ASPHALT AND CONCRETE IS NOT TO EXCEED 1/2" VERTICAL (1/4" IF BEVELED).

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Client: KNOWLTON GENERAL
 Contact: RANDY BEYER
 Phone #: (801) 828-0756
 Address: 709 SOUTH STREET STREET
 Salt Lake City, UT 84143
 Email: randy@knowltongeneral.com

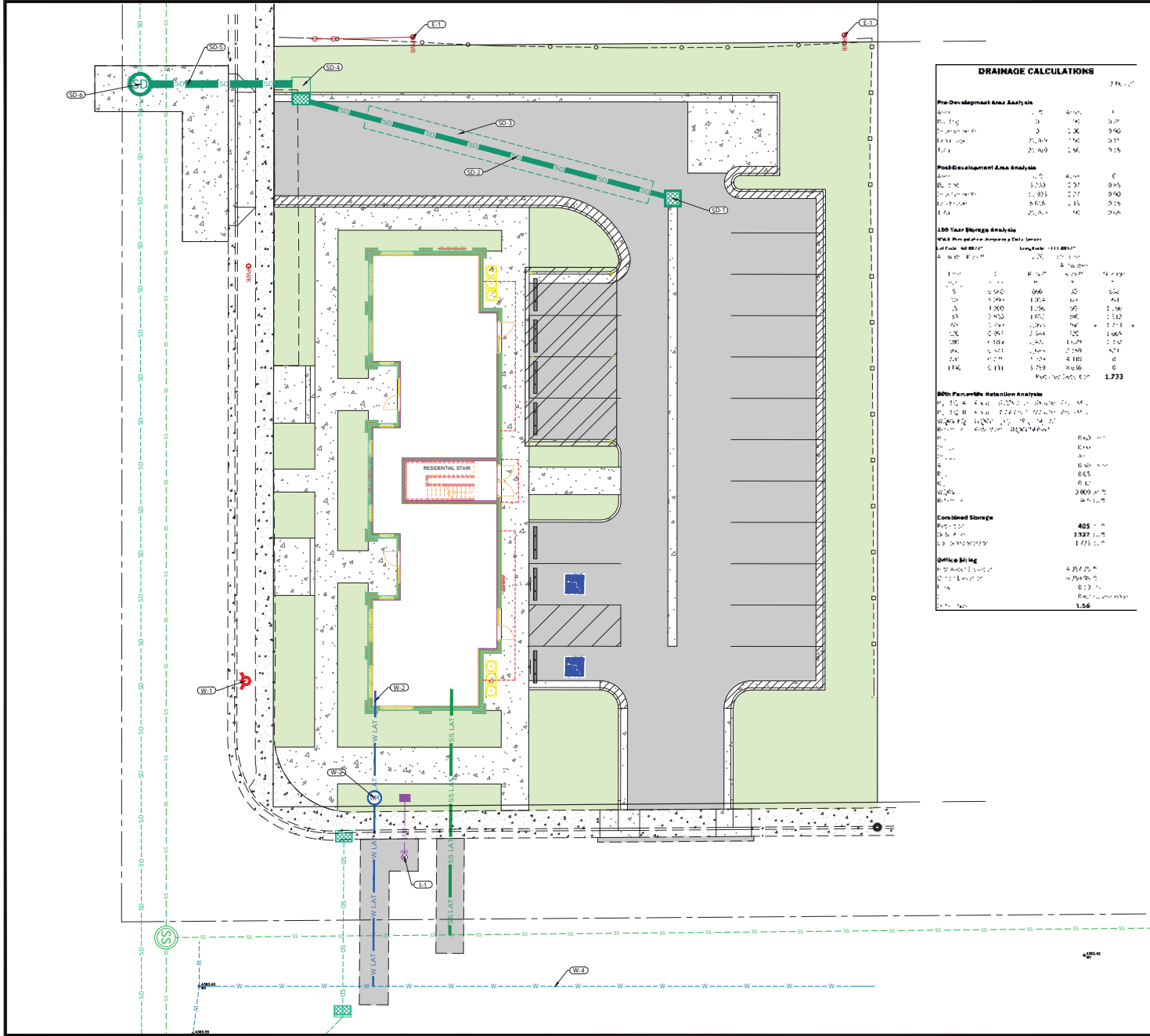
CITY POWER LOFTS

200 SOUTH 300 WEST
 TAX PARCEL: 003-029-0086
 LOCATED IN THE SE 1/4 OF SECTION 19, T.2 N., R.1 E., S.1 R.A.M.
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

REV #	DATE	COMMENT

DRAWN: JH
 APPROVED: STA
 PROJECT: JAS018
 SITE: 1185018.dwg

C500
 GRADING PLAN



DRAINAGE CALCULATIONS

2.76.21

Pre-Development Area Analysis

Area	1.5	4.9%	1
Impervious	0	0%	0.0
Permeable	0	0%	0.0
Total	21,469	1.96	0.15

Peak Development Area Analysis

Area	1,000	4.9%	0
Impervious	3,250	2.97	0.95
Permeable	11,935	2.97	0.90
Total	25,185	1.5	0.75

100 Year Storage Analysis

VMS Precipitation Intensity Data Series

Latitude	40.8272	Longitude	-111.8877		
Altitude	5,275	Area	1.5		
Time	1	Rate	4.297	Storage	1.0
2	1.000	0.66	0	0.0	
5	1.000	0.66	0	0.0	
10	1.000	0.66	0	0.0	
15	1.000	0.66	0	0.0	
20	1.000	0.66	0	0.0	
25	1.000	0.66	0	0.0	
30	1.000	0.66	0	0.0	
35	1.000	0.66	0	0.0	
40	1.000	0.66	0	0.0	
45	1.000	0.66	0	0.0	
50	1.000	0.66	0	0.0	
55	1.000	0.66	0	0.0	
60	1.000	0.66	0	0.0	
65	1.000	0.66	0	0.0	
70	1.000	0.66	0	0.0	
75	1.000	0.66	0	0.0	
80	1.000	0.66	0	0.0	
85	1.000	0.66	0	0.0	
90	1.000	0.66	0	0.0	
95	1.000	0.66	0	0.0	
100	1.000	0.66	0	0.0	
Total	1,000	1.5	0.75		

80th Percentile Retention Analysis

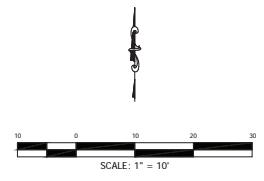
Area	1.5	4.9%	1
Impervious	0	0%	0.0
Permeable	0	0%	0.0
Total	21,469	1.96	0.15

Required Storage

Pre-Dev	405
Peak Dev	1,737
Total	1,332

Office Billing

Pre-Dev	4.0
Peak Dev	4.0
Total	8.0



METER SIZING

1 BEDROOM

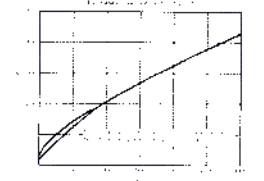
Bed Room	1.5	1.5	1.5
Bath	1.0	1.0	1.0
Kitchen	1.0	1.0	1.0
Living	1.0	1.0	1.0
Laundry	1.0	1.0	1.0
Total	5.0	5.0	5.0

2/3 BEDROOM

Bed Room	1.5	1.5	1.5
Bath	1.0	1.0	1.0
Kitchen	1.0	1.0	1.0
Living	1.0	1.0	1.0
Laundry	1.0	1.0	1.0
Total	5.0	5.0	5.0

40% F.P.R.P.

40% F.P.R.P.	4	4	4
2.5 Bedroom Units	2	2	2
Total	6	6	6



- ### SYMBOL LEGEND
- (E1) EXISTING FIRE HYDRANT
 - (E2) NEW 2" WATER METER, SEE C601 FOR DETAIL
 - (E3) NEW WATER LATERAL
 - (E4) EXISTING WATER LINE
 - (E5) EXISTING IRRIGATION VALVE
 - (E6) EXISTING POWER POLE
 - (E7) EXISTING POWER POLE
 - (S1) NEW 3X3 INLET BOX, TOG: 59.25, FL OUT: 53.58
 - (S2) NEW 24" ASD PERFORATED PIPE, FL 84' @ 0%
 - (S3) 5'X5' GRAVEL BED, 64" LONG, SEE 901 FOR DETAIL
 - (S4) NEW 4'X6" SD COMBO BOX WITH WEIR CONTROL, SEE 901 FOR DETAIL
 - (S5) BORE AND DRILL NEW 10" STEEL, FL 35' @ 12% TO EXISTING SD IN 200 WEST STREET
 - (S6) NEW 48" SDMH, RIM: 4357.81, FL: 4353.56, SEE 901 FOR DETAIL
- ALL ITEMS WITHIN THE PUBLIC RIGHT-OF-WAY TO CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.

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Woods Cross, UT 84010
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PROFESSIONAL ENGINEER
No. 189988
SCOTT T. ADOLFE
P.E.

Client: KNOWLTON GENERAL
Contact: RANDY BEYER
Phone #: 801.828.0756
Address: 700 MAIN STREET SUITE 100
Email: scott@entellusgroup.com

CITY POWER LOFTS
200 SOUTH 200 WEST
TAX PARCEL: 003-029-0086
LOCATED IN THE SE 1/4 OF SECTION 19, T.2 N., R.1 E., S.1 R. & M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DATE	
COMMENT	
REV #	

DRAWN: JH
APPROVED: STA
PROJECT #: 1185018
SITE: 1185018.dwg

C600
UTILITIES PLAN



BOUNTIFUL

Bountiful City Ordinance No. 2020-06

MAYOR
Randy C. Lewis

CITY COUNCIL
Millie Segura Bahr
Kate Bradshaw
Kendalyn Harris
Richard Higginson
Chris R. Simonsen

CITY MANAGER
Gary R. Hill

An ordinance amending the Bountiful City Zoning Map changing the zoning designation of one (1) parcel (totaling one half acre) from General Commercial (C-G) to Mixed-Used Residential (MXD-R) and adopting standards.

It is the finding of the Bountiful City Council that:

1. The Bountiful City Council is empowered to adopt and amend zoning maps and ordinances pursuant to Utah State law and under corresponding sections of the Bountiful City Code.
2. The zoning change request has been made by the owners of the subject property.
3. As required by Section 14-2-205 of the Bountiful City Land Use Code this zone map amendment is found to be in harmony with the objectives and purposes of the Land Use Ordinance.
4. After a public hearing, the Bountiful City Planning Commission recommended in favor of approving this proposed zone map amendment on June 2, 2020.
5. The Bountiful City Council held a public hearing on this proposal on June 16, 2020, 2019, and finds that the requested zone map amendment is in harmony with the City's General Plan and in the best interests of the health, safety, and welfare of the City.

Now therefore, be it ordained by the City Council of Bountiful, Utah:

The development at 200 South 200 West, in the MXD-R Zone will be in accordance with the standards contained in the Bountiful Land Use Code except as specifically modified within this Development Plan.

Section 1. The official Zoning Map of Bountiful City is hereby amended to designate the zoning for the following property as Mixed-Used Residential (MXD-R):

The address of the subject property according to the County Assessor: 200 S 200 West

Parcel/Serial Number: 03-029-0089

Legal Description according to the County Recorder: ALL OF LOT 5, BLK 19, PLAT A, BOUNTIFUL TS SURVEY ADDITIONAL. CONT. 0.50 ACRES.

Section 2. Development of the property described in this ordinance shall be subject to the following standards:

A. Residential Land Use Emphasis

The development shall have an emphasis towards residential use. Percentages are based on the total square footage of floor area within the project and include areas within a structure (floors of a building) and areas on the surface of the land (sidewalks, parks, etc.) Parking, landscaping, and similar ancillary uses are calculated on a pro-rated basis for each use category. The development shall have a 50 - 75% square feet in residential uses.

B. Permitted Uses:

- **Residential**
Multi-family - minimum one (1) covered space per unit. Underground and/or structured parking recommended; carports are not permitted without specific City Council approval.
- **Office**
Professional offices
Banks and credit unions
Medical clinics
Artist studios
- **Commercial**
Convenience stores
Retail
- **Institutional/Public**
Medical clinics
Colleges/Universities/Educational Services
Museums
Open space/Park
Convention center/Assembly/Auditorium
Government offices
Places of worship
Municipal Facilities
- **Hotel/Entertainment**
Hotels – Rooms off interior corridors
Restaurants including fast-food and private clubs – without drive-up window
Convention center/Assembly/Auditorium
Health clubs

- **Prohibited Uses**
 - Motor lodges (drive-up motel units)
 - Pawn shops
 - Check cashing/Title loan stores
 - Sexually oriented businesses
 - Tattoo parlors
 - Self-storage units
 - Body piercing (earrings permitted)

C. Building Setbacks

The building setback shall be 20 feet from 200 West, 200 South, and the east property line. The minimum building setback from the north property line shall be 30 feet and the maximum building setback shall be 55 feet.

D. Height Limitation

The minimum building height shall be 20 feet and the maximum building height shall be 35 feet.

E. Development Characteristics

The development shall exhibit urban characteristics such as:

1. Wide sidewalks
2. Street trees and street furniture
3. Community gathering spaces
4. Shared parking
5. Integrated public transit (where available and/or anticipated)
6. Diverse and distinctive design features

F. Open Space

The development shall provide at least fifteen (15) percent of the gross floor area or fifteen (15) percent of the gross site area, whichever is greater, as open space. Open space shall typically include the following elements: cultivated landscaping, plazas, parks, urban trails/sidewalks, wetlands/indigenous landscaping, and community recreation space. A maximum of fifty (50) percent of all open space may be hard surfaced. Streets, parking lots, driveways, and private yards are not considered open space.

G. Lighting and Signs

All lighting and signs shall be pedestrian scale, with a maximum sign height of twenty (20) feet. Lights or signs on building facades may be higher than the twenty (20) feet maximum. Sign standards to comply with applicable codes found in the MXD Zone.

H. Parking

Parking requirements shall be determined per existing City standards for each use. The site plan shall clearly indicate the mixture of land uses within the project area and the percentage of the overall site that each use occupies.

Section 3. This ordinance shall take effect immediately upon first publication.

Adopted by the City Council of Bountiful, Utah, this 16th day of June 2020.

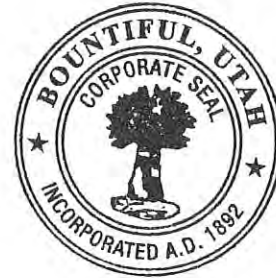


Randy C. Lewis, Mayor

ATTEST:



Shawna Andrus, City Recorder



Commission Staff Report

Subject: Preliminary and Final Plat Approval for
Renaissance Towne Centre, Phase 3, Plat 2
Author: Lloyd Cheney, City Engineer
Date: January 4, 2022



Background

The applicant, Bruce Broadhead, has submitted a subdivision plat for 4 lots in the Renaissance Towne Centre. The lots are located along the east side of the development where the second parking structure and 287 residential units are proposed.

Analysis

The site is located in the Mixed-Use (MXD-R) zone and is a part of the Renaissance Towne Centre Development Plan which was approved in May, 2019. That development plan identified the site of the second parking structure as Lot 12, and the 287 unit residential structure as Lot 14. The current Plat, as submitted by the Applicant reflects the Architectural and Site Plan conditions previously reviewed by the Planning Commission on December 7, 2021 and approved by the City Council on December 14, 2021. The lots designated on the Plat correspond with the planned construction of the north residential building (identified on the plat as Lot 16), the parking structure (identified on the plat as Lot 15) and the south residential structure (identified on the plat as Lot 14). Lot 17 is the location for the future 110 foot tall proposed residential, office and commercial building.

The installation of utilities to serve this development was approved with Phase 3 Plat 1 and is currently underway.

Department Review

This item has been reviewed by the City Planner and City Engineer.

Significant Impacts

No significant impacts have been identified.

Recommendation:

Staff recommends that the Planning Commission forward a recommendation of Preliminary and Final approval to the City Council for the subdivision plat, subject to the following conditions:

1. Complete any minor corrections to the plat.
2. Provide a current Title Report and pay all required fees.

Attachments

1. Copy of the PUD plat

Aerial Photo of the Proposed Renaissance Towne Center



RENAISSANCE TOWNE CENTRE A COMMERCIAL MIXED USE PLANNED UNIT DEVELOPMENT, PHASE 3, PLAT 2

A PORTION OF ADDITIONAL LAND PARCEL #4, RENAISSANCE TOWNE CENTRE, A COMMERCIAL MIXED USE PLANNED UNIT DEVELOPMENT, PHASE 1, PLAT 1, AMENDED LOCATED IN THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN BOUNTIFUL CITY, DAVIS COUNTY, UTAH NOVEMBER 2021

SURVEYOR'S CERTIFICATE

I, JEREMIAH R. CUNNINGHAM, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH, AND THAT I HOLD LICENSE NO. 9182497 IN ACCORDANCE WITH TITLE 56, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS I HAVE MADE A SURVEY OF THE TRACT OF LAND DESCRIBED HEREIN IN ACCORDANCE WITH SECTION 17-23-12 OF THE UTAH STATE CODE AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS HEREAFTER TO BE KNOWN AS RENAISSANCE TOWNE CENTRE, A COMMERCIAL MIXED USE PLANNED UNIT DEVELOPMENT, PHASE 3, PLAT 2, AND THAT SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN.

NOT APPROVED

JEREMIAH R. CUNNINGHAM, P.L.S. UT #9182497

NARRATIVE

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE A PARCEL INTO LOTS.



LEGEND

PROPERTY LINE
 LOT LINE
 ADJACENT PROPERTY
 ROAD CENTERLINE
 SECTION LINE
 TIE TO MONUMENT
 EASEMENT LINE

RECORD CALLS ()

SET 5/8" REBAR WITH "ENTELLUS" CAP AT CORNER (UNLESS OTHERWISE NOTED)

FOUND PROPERTY MARKER (AS NOTED)

Curve Table					
CURVE	RAD.	LENTH	Δ	CH. BEAR.	CH. LINTH
C1	1066.50'	297.97'	016° 00' 29"	N23° 12' 00"	297.00'
C2	1922.17'	280.63'	008° 21' 54"	N24° 32' 20"	280.38'
C3	1066.50'	62.42'	003° 21' 12"	N16° 52' 22"	62.41'
C4	1066.50'	47.75'	002° 33' 55"	N19° 49' 55"	47.75'
C5	1066.78'	187.80'	010° 05' 11"	N26° 09' 33"	187.56'
C6	1888.67'	349.32'	010° 35' 50"	N23° 34' 19"	348.82'
C7	1651.50'	393.52'	013° 39' 09"	S32° 02' 39"	392.59'
C8	500.00'	250.03'	028° 39' 03"	S77° 02' 30"	247.43'

DOMINION ENERGY UTAH

QUESTAR GAS COMPANY, dba DOMINION ENERGY UTAH, HEREBY APPROVES THIS PLAT SOLELY FOR THE PURPOSES OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING PREScriptive RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNER DEDICATION OR IN THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY UTAH'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

QUESTAR GAS COMPANY
 dba DOMINION ENERGY UTAH

APPROVED THIS _____ DAY OF _____, 20____

BY: _____

TITLE: _____

NOTES

- THE BASIS OF BEARING FOR THIS PLAT IS SOUTH 89°54'12" WEST 2,819.22 FEET FROM A FOUND NAIL IN THE ASPHALT MARKING THE SOUTH 1/4 CORNER OF SECTION 30 TO A FOUND REFERENCE MONUMENT TO THE SOUTHWEST CORNER OF SECTION 30, T.2N., R.1E. S.L.B.&M.
- ROTATE BEARINGS CLOCKWISE 00°19'54" FOR NAD 1983 STATE PLANE COORDINATE SYSTEM BEARINGS, UTAH NORTH ZONE.

REFERENCE MONUMENT TO SOUTHWEST COR., SEC. 30 T.2N., R.1E. S.L.B.&M. FOUND MONUMENT IN CURB

UTILITY APPROVAL

SO. DAVIS SEWER IMP. DISTRICT: _____ DATE: _____

BOUNTIFUL LIGHT AND POWER: _____ DATE: _____

BOUNTIFUL CITY WATER: _____ DATE: _____

BOUNTIFUL IRRIGATION: _____ DATE: _____

CENTURY LINK: _____ DATE: _____

COMCAST: _____ DATE: _____

DEDICATION NOTE

THIS PLAT IS SUBJECT TO AND TOGETHER WITH RIGHTS AS GRANTED BY THE DECLARATION OF COVENANTS, CONDITIONS, EASEMENTS AND RESTRICTIONS FOR RENAISSANCE TOWNE CENTRE, A COMMERCIAL MIXED USE PLANNED UNIT DEVELOPMENT RECORDED IN THE OFFICE OF THE DAVIS COUNTY RECORDER ON MARCH 28TH, 2003, AS ENTRY NO. 1847201 IN BOOK 3357, PAGE 1555 AND ANY SUBSEQUENT AMENDMENTS THERETO ("DECLARATION"). THE DECLARATION PROVIDES, IN PART, FOR THE CONSTRUCTION, MAINTENANCE, REPAIR AND REPLACEMENT OF CERTAIN COMMON ELEMENTS NECESSARY OR REQUIRED FOR THE FULL DEVELOPMENT OF RENAISSANCE TOWNE CENTRE ON PORTIONS OF LOTS, WHICH IMPROVEMENTS INCLUDE, BUT ARE NOT LIMITED TO, CERTAIN PRIVATE ROADWAYS AND LANDSCAPE AREAS, AND OTHER COMMON FACILITIES WHICH ARE THE COLLECTIVE RESPONSIBILITY OF ALL OWNERS AT RENAISSANCE TOWNE CENTRE PURSUANT TO THE ASSESSMENT PROVISIONS UNDER THE DECLARATION. IF AND WHEN THE ADDITIONAL LAND DESCRIBED IN THIS PLAT IS ADDED TO RENAISSANCE TOWNE CENTRE, IT SHALL BECOME A PART OF THE COMMERCIAL MIXED USE PLANNED UNIT DEVELOPMENT AND MAY BE ADDED TO THE PROJECT IN ACCORDANCE WITH THE PROVISIONS OF THE DECLARATION. THE PLAT IS TOGETHER WITH RIGHTS GRANTED BY A DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AND ANY SUBSEQUENT AMENDMENTS THERETO.

CONSENT TO DEDICATE

WE, THE UNDERSIGNED HOLDERS OF A TRUST DEED ON THE ABOVE-DESCRIBED LAND, WHICH IS DATED JANUARY 31, 2015 AND RECORDED AT BOOK 1933 ON PAGE 54 OF THE RECORDS OF DAVIS COUNTY, DO HEREBY CONSENT TO THE CREATION OF THIS SUBDIVISION, AND DO HEREBY CONSENT TO THE PUBLIC DECLARATION STATED ON THIS PLAT, AND DO HEREBY JOIN IN THE DEDICATION TO THE PERPETUAL USE OF THE OWNER'S ALL PARCELS SHOWN AS INTENDED FOR PUBLIC USE.

NAME: _____
 METRO NATIONAL TITLE COMPANY, TRUSTEE

Entellus

1470 South 600 West
 Woods Cross, UT 84010
 Phone 801.298.2236
 www.Entellus.com

PROJECT #1628003
 10/28/2021 ALI

SHEET 1 OF 1

CITY COUNCIL'S APPROVAL

PRESENTED TO THE CITY COUNCIL OF BOUNTIFUL CITY, UTAH, ON THIS _____ DAY OF _____, 2021.

CITY RECORDER ATTEST: _____

MAYOR: _____

CITY ENGINEER'S APPROVAL

APPROVED BY THE BOUNTIFUL CITY ENGINEER, THIS _____ DAY OF _____, 2021.

BOUNTIFUL CITY ENGINEER

PLANNING COMMISSION APPROVAL

APPROVED BY THE PLANNING COMMISSION OF BOUNTIFUL CITY, THIS _____ DAY OF _____, 2021.

PLANNING DIRECTOR

CITY ATTORNEY'S APPROVAL

APPROVED ON THIS _____ DAY OF _____, 2021.

BOUNTIFUL CITY ATTORNEY

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____

FILED FOR RECORD AND RECORDED THIS _____ DAY OF _____, 20____

AT _____ IN BOOK _____ OF _____

COUNTY RECORDER: _____

BY: _____ DEPUTY

Planning Commission Staff Report



Subject: Renaissance Towne Center South Apartment
Building Final Architectural and Site Plan Review
Address: 1591, 1671, 1721 South Renaissance Towne Drive
Author: Francisco Astorga, AICP, Planning Director
Date: January 4, 2022

Background

The Applicant, Bruce Broadhead with Town Center, LLC, submitted an Architectural and Site Plan Review Application for the construction of a new multi-family residential apartment building at the former Five Points Mall site. The proposed structure will have frontage along Main Street and Renaissance Towne Drive, and is located directly south of the existing parking structure in front of Renaissance Tower I.

The site is located in the Mixed-Use (MXD-R) zone and is a part of the [Renaissance Towne Centre \(RTC\) Development Plan](#) approved in May of 2019 and amended in April of 2021. The entire RTC area is zoned MXD-R having a majority focus towards residential use. The City Council approved the Preliminary Architectural and Site Plan Review application for this project on December 14, 2021.

The proposed five (5) story building contains 287 apartment units which partially wrap around a new concrete parking garage which will serve the new apartment building and the public. The building includes apartments, leasing office, clubrooms, fitness room, etc. The amenity space overlooks a swimming pool and outdoor space. There are three (3) exterior courtyards. The proposed building, including the parking garage, will be divided into four (4) buildings with fire walls and will be completed and occupied in stages.

Analysis

Use. The approved Development Plan identified a potential of 298 residential units consisting of approximately 333,264 square feet at Site no. 14. This new proposal includes 287 residential units consisting of 255,921 square feet. The residential building consists of 189 1-bedroom units, 90 2-bedroom units, and 8 3-bedroom units. Based on the approved Development Plan, consisting of tables, diagrams, graphic representations, etc., multi-family residential use is specified as a permitted use in the zone.

Minimum Building Setbacks. As specified in the Development Plan, the minimum building setback from Main Street is twenty feet (20'), and the minimum setback from other public rights-of-way is five feet (5'). The review also includes consistency with the conceptual renderings, potential architectural design precedents, potential traffic and pedestrian thoroughfares, potential landscape plan, and street design precedents. Spacing between building as required by the International Building Code is also required. The proposal complies with the specified minimum building setbacks and spacing.

Building Height. As specified in the Development Plan, the maximum building height of the residential building within this specific site (lot 14) is sixty-five feet (65'), which translates to a structure with 5-6 stories. The proposed five story structure complies with the maximum building height. The parking garage has a total of seven (7) levels, as the proposal includes a top parking deck and the underground parking level. Due to the grade difference between Main Street and Renaissance Towne Drive, the Main Street side has four (4) stories from the sidewalk.

Parking. The Development Plan indicates that individual sites (or lots) need to be consistent with the number of parking stalls required by the Bountiful City Land Use Code or may be modified by an approved parking study prepared by an accepted professional using the latest industry trends, etc. to be analyzed individually during each Site Plan Review. The applicant submitted an updated Parking Study by Hales Engineering, see attachment C. The study indicates that the proposal requires a total of 376 parking spaces. The proposed parking garage contains 427 parking spaces. The updated parking study indicates that the total number of required parking spaces in the entire development is 1,426. The development anticipates accommodating a total of 1,585 parking spaces. The proposal complies with the land use code and the Development in that an approved parking study is utilized to modify the required parking. It is also worth noting that it is anticipated that a high-end Main Street bus rapid transit station is to be built near this development in the future.

Site Planning. The proposal includes placing the parking garage towards the middle of the building. This creates a break in parking areas as the original concept had the second parking garage adjacent to the existing parking garage adjacent to Tower I. Breaking up the parking allows an opportunity to break uses which enhances the pedestrian experience along Main Street as well as the aesthetic look of the building as it relates to the existing parking structure.

Landscaping. The development requires 15% of the gross floor area or 15% of the gross site area to be landscaped. The applicant's landscaping features are consistent with the Development Plan.

Building Materials. A flat roof with parapets will be used. The building will be clad with high-end materials consisting of fiber cement lap siding, fiber cement panel, with metal reveals and brick. The parking garage consists of pre-cast concrete and prefabricated decorative screens. See Attachment A – Renderings. During the Preliminary Architectural and Site Plan approval the applicant indicated that the completed structure will look just like the provided renderings / elevations.

Review Process. The Preliminary Architectural and Site Plan Review process allows the Commission and Council to comment on the submitted plans. During the Final Architectural and Site Plan Review the Commission (and Council) follows up on any modification that needs to be made, as applicable. Most items identified during the preliminary review have been resolved. Some items have been included in the Conditions of Approval (COAs).

Department Review

The plans were reviewed by the Bountiful Building Official, City Engineer, Power Department, Police Department, Planning Department, and the South Davis Metro Fire Marshall. This staff report was written by the Planning Director and reviewed by the City Engineer and the City Attorney.

Significant Impacts

The development is occurring in an area with urban levels of infrastructure already in place. Impacts from the development of this property have been anticipated in the design of the existing storm water, sewer, and water and transportation systems. The conditions of approval are designed to mitigate other impacts anticipated by the development.

Recommendation

Staff recommends that the City Council approve Preliminary Architectural and Site Plan Review for the proposed apartment building subject to the following conditions of approval:

1. Address all redlines provided to the Applicant from the City.
2. The architectural site plan (sheet SP-01) shows some patio (walls) features within the public right-of-way (Main Street). The civil site plan (sheet C400) and other drawings don't show that. Private improvements are not authorized within the public right-of-way. There may be a conflict with the patio improvements being located in the Public Utility Easement (PUE) which is adjacent to the Main Street right-of-way. Any improvements constructed in the PUE may be at risk for conflicts with future utility needs.
3. The final building plans, specifically the building elevations and site components, for this project shall meet substantial compliance with the plans attached to this staff report. Any deviations to what was presented to the Land Use authority shall require an amendment to this approval.

Attachments

1. Renderings
2. Updated Plans
3. Bountiful RTC Parking Study Update dated November 8, 2021



BROADHEAD
& COMPANY





RENAISSANCE TOWN CENTER

VIEW: MAIN POOL ENTRY WIDE | LOOKING EAST

MAIN STREET
RENAISSANCE TOWNE DRIVE
NORTH



RENAISSANCE TOWN CENTER

VIEW: OVERALL 2 | LOOKING WEST





RENAISSANCE TOWN CENTER

VIEW: MAIN STREET PARKING | LOOKING NORTH





RENAISSANCE TOWN CENTER

VIEW: OVERALL 1 | LOOKING NORTH

MAIN STREET
NORTH
RENAISSANCE TOWNE DRIVE



RENAISSANCE TOWN CENTER

VIEW: MAIN POOL ENTRY | LOOKING SOUTH

MAIN STREET
RENAISSANCE TOWNE DRIVE
NORTH



RENAISSANCE TOWN CENTER

VIEW: MAIN POOL | LOOKING WEST

MAIN STREET
NORTH
RENAISSANCE TOWNE DRIVE



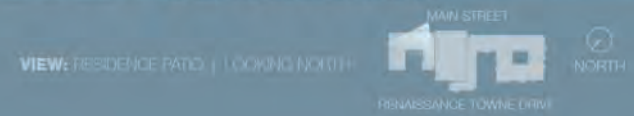
RENAISSANCE TOWN CENTER

VIEW: MAIN POOL & BAR | LOOKING SOUTH WEST





RENAISSANCE TOWN CENTER



RENAISSANCE TOWNE CENTER

1560 SOUTH RENAISSANCE TOWNE DRIVE
BOUNTIFUL, UT 84010

BROADHEAD & COMPANY

SITE PLAN APPROVAL



350 WEST 300 SOUTH
UNIT 102
SALT LAKE CITY, UT 84101
PHONE: 363.273.8888
www.dwell-design-studio.com

RENAISSANCE TOWNE
CENTER
1560 SOUTH RENAISSANCE TOWNE DRIVE
BOUNTIFUL, UT 84010

BROADHEAD & COMPANY

TEAM MEMBERS

OWNER
BRUCE BROADHEAD
BROADHEAD & COMPANY
1560 SOUTH RENAISSANCE TOWNE DRIVE
SUITE 104
BOUNTIFUL, UT 84010

ARCHITECT
JASON R. SHEPARD
DWELL DESIGN STUDIO, LLC
300 W 300 S, SUITE 102
SALT LAKE CITY, UT 84101
(385) 273-8888

CIVIL
SCOTT ARGYLE
ENTELLUS, INC.
1470 SOUTH 600 WEST
WOODS CROSS, UT 84010
(801) 298-2236

MECHANICAL
BRAD SHAKESPEARE
SHAKESPEARE ENGINEERING
6306 WEST CEDAR HILL ROAD
WEST JORDAN, UT 84081
(801) 613-1419

ELECTRICAL
BRIAN HICKS
BNA CONSULTING
635 SOUTH STATE STREET
SALT LAKE CITY, UT 84111
(801) 532-2196

PLUMBING
BRAD SHAKESPEARE
SHAKESPEARE ENGINEERING
6306 WEST CEDAR HILL ROAD
WEST JORDAN, UT 84081
(801) 613-1419

STRUCTURAL
BRIAN WARNER
MCNEIL ENGINEERING
8610 SANDY PKWY SUITE 200,
SANDY, UT 84070
(801) 255-7700 x111

PROJECT INFORMATION

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE CODES OR STATUS WHETHER OR NOT SPECIFICALLY REFERENCED IN THE CONSTRUCTION DOCUMENTS

- 2018 INTERNATIONAL BUILDING CODE (ICC), AS ADOPTED BY THE STATE OF UTAH.
- 2018 INTERNATIONAL PLUMBING CODE (IPC), AS ADOPTED BY THE STATE OF UTAH.
- 2018 INTERNATIONAL MECHANICAL CODE (IMC), AS ADOPTED BY THE STATE OF UTAH.
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC), AS ADOPTED BY THE STATE OF UTAH.
- 2017 NATIONAL ELECTRICAL CODE (NFPA 70), ISSUED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), AS AMENDED BY THE STATE OF UTAH
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC), AS ADOPTED BY THE STATE OF UTAH.

THE DRAWINGS FOR THIS PROJECT ARE THE PROPERTY OF DWELL DESIGN STUDIO, LLC. COPIES OF THE DRAWINGS MAY BE USED ONLY BY THE OWNER TO CONSTRUCT AND OCCUPY THIS PROJECT. NEITHER THE DRAWINGS NOR THE DESIGN INDICATED ON THE DRAWINGS MAY BE REPRODUCED NOR USED FOR ANY OTHER PROJECT OR PURPOSE. DWELL DESIGN STUDIO, LLC ACCEPTS RESPONSIBILITY ONLY FOR THOSE DRAWINGS WHICH HAVE AN ORIGINAL SEAL, SIGNATURE, CONSTRUCTION ISSUE DATE, AND DATE OF FINAL REVISION FOR THE DRAWINGS

PROJECT RENDERING



VICINITY MAP



Bountiful City
Planning Commission Packet - January 04, 2022

ISSUE	DATE	DESCRIPTION

REVISION

NO.

DATE

DESCRIPTION

BY

COVER SHEET

SITE PLAN APPROVAL

JOB NUMBER: 2034402

DRAWN BY: CL & VV

CHECKED BY: TT

CS-01

ISSUE	DATE	DESCRIPTION
1	01/04/2022	ISSUE FOR CONSTRUCTION
2	01/04/2022	ISSUE FOR CONSTRUCTION
3	01/04/2022	ISSUE FOR CONSTRUCTION
4	01/04/2022	ISSUE FOR CONSTRUCTION
5	01/04/2022	ISSUE FOR CONSTRUCTION
6	01/04/2022	ISSUE FOR CONSTRUCTION
7	01/04/2022	ISSUE FOR CONSTRUCTION
8	01/04/2022	ISSUE FOR CONSTRUCTION
9	01/04/2022	ISSUE FOR CONSTRUCTION
10	01/04/2022	ISSUE FOR CONSTRUCTION

REVISION	DATE	DESCRIPTION

**ARCHITECTURAL
SITE PLAN**

SITE PLAN APPROVAL

JOB NUMBER: 2034402

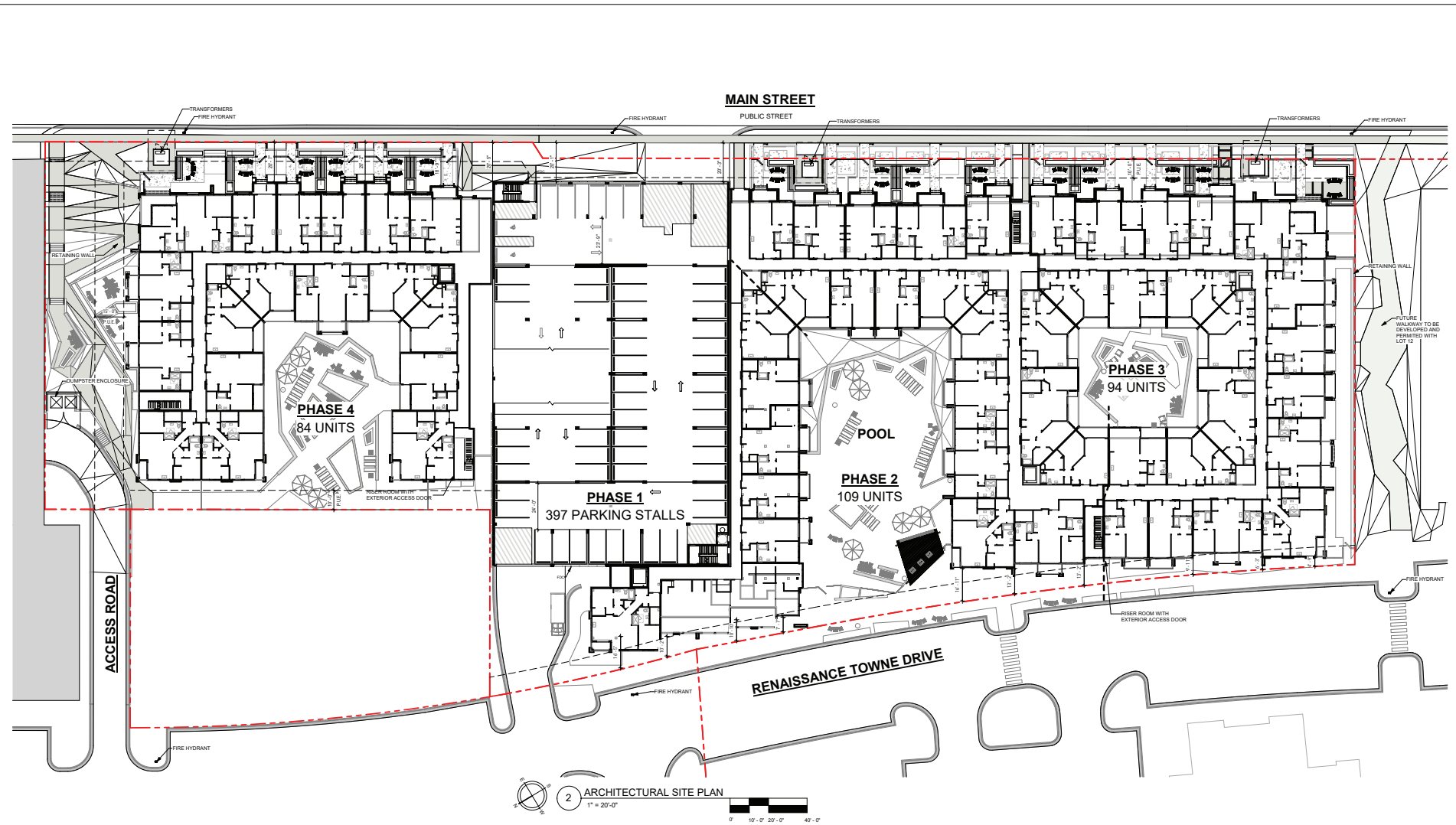
DRAWN BY: CL & VV

CHECKED BY: TT

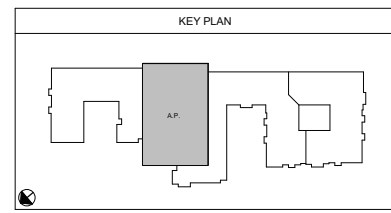
SP-01

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NOT FOR CONSTRUCTION



2 ARCHITECTURAL SITE PLAN
1" = 20'-0"
0 10'-0" 20'-0" 40'-0"





30 WEST 390 SOUTH
SALT LAKE CITY, UT 84101
PHONE: 363.273.8884
www.dwellstudio.com

**RENAISSANCE TOWNE
CENTER**
1560 SOUTH RENAISSANCE TOWNE DRIVE
BOUNTIFUL, UT 84010

BROADHEAD & COMPANY

ISSUE		
1	ISSUE	
2	ISSUE	
3	ISSUE	
4	ISSUE	
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17	ISSUE	
18	ISSUE	
19	ISSUE	
20	ISSUE	

REVISION

**BUILDING
INFORMATION**

SITE PLAN APPROVAL

JOB NUMBER: 203402

DRAWN BY: CHECKED BY: IT

SP-03

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PROJECT INFORMATION AND AREA CALCULATIONS

GENERAL PROJECT INFORMATION		BUILDING 1000	BUILDING 2000	BUILDING 3000
<p>PROPOSED PROJECT IS A 6 STORY, MULTIFAMILY RESIDENTIAL WRAPPING A 5 STORY, PRECAST PARKING GARAGE. ACCESS TO PARKING GARAGE WILL BE FROM BOTH MAIN STREET AND RENAISSANCE TOWNE DRIVE.</p> <p>THE RESIDENTIAL COMPONENT OF THE PROJECT WILL HOUSE 287 UNITS, CONSISTING OF STUDIO, 1-, 2-, 3- AND 4-BED UNITS (SEE UNIT SUMMARY).</p> <p>ZONING TYPE: MXD-R (PER ORD. NO. 2018-05)</p> <p>SETBACK REQUIREMENTS (PER 14-10-107): BUILDING SETBACK: 30 FT MINIMUM 5 FT AT PUBLIC RIGHT OF WAY (PER ORD. NO. 2018-05) 20 FT AT MAIN STREET (PER ORD. NO. 2018-05) BUILDING SEPARATION: 20 FT MINIMUM SIDE YARD: 10 FT FROM SEWALK</p> <p>HEIGHT REQUIREMENTS (PER 14-10-107): 20 FT MINIMUM 35 FT MAXIMUM 65 FT ALONG MAIN STREET (PER ORD. NO. 2018-05) MAXIMUM HEIGHT FOR RENAISSANCE CENTRE DEVELOPMENT IS 110 FT (PER ORD. NO. 2019-05)</p> <p>OCCUPANCY TYPE (PER 2018 BC): S2 (RESIDENTIAL) S2 (PARKING GARAGE)</p> <p>CONSTRUCTION TYPE (PER 2018 BC): IIA</p>				

UNIT TYPE	BUILDING 1000				BUILDING 2000				BUILDING 3000				QUANTITY	UNIT TYPE	AREA NET HEATED		BALCONY	AREA GROSS		ACTUAL																																												
	1	2	3	4	1	2	3	4	1	2	3	4			NET*	NET TOTAL		GROSS**	GROSS TOTAL																																													
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S1	1 BRD 1 BATH				1 BRD 1 BATH				1 BRD 1 BATH				0	S1	572	572	1,144	634	634	1,278																																												
<table border="1"> <tr><td>S2</td><td colspan="4">1 BRD 1 BATH</td><td colspan="4">1 BRD 1 BATH</td><td colspan="4">1 BRD 1 BATH</td><td>2</td><td>S2</td><td>872</td><td>872</td><td>1,744</td><td>872</td><td>872</td><td>1,716</td></tr> <tr><td colspan="15">B</td><td>TOTAL</td><td>392</td><td>392</td><td>784</td><td>1,516</td><td>152</td><td>152</td><td>304</td><td>1%</td></tr> </table>																				S2	1 BRD 1 BATH				1 BRD 1 BATH				1 BRD 1 BATH				2	S2	872	872	1,744	872	872	1,716	B															TOTAL	392	392	784	1,516	152	152	304	1%
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1 BEDROOM UNITS																																																																
A1	1 BRD 1 BATH				1 BRD 1 BATH				1 BRD 1 BATH				83	A1	684	684	1,368	703	703	1,471																																												
A2	1 BRD 1 BATH				1 BRD 1 BATH				1 BRD 1 BATH				306	A2	867	867	1,734	867	867	1,734																																												
A3	1 BRD 1 BATH				1 BRD 1 BATH				1 BRD 1 BATH				17	A3	139	139	278	140	140	280																																												
A4	1 BRD 1 BATH				1 BRD 1 BATH				1 BRD 1 BATH				10	A4	784	784	1,568	851	851	1,712																																												
<table border="1"> <tr><td colspan="15">A</td><td>TOTAL</td><td>148</td><td>148</td><td>296</td><td>1,477</td><td>166</td><td>166</td><td>332</td><td>2%</td></tr> </table>																				A															TOTAL	148	148	296	1,477	166	166	332	2%																					
A															TOTAL	148	148	296	1,477	166	166	332	2%																																									
2 BEDROOM + DEN UNITS																																																																
B5	2 BRD 2 BATH DEN				2 BRD 2 BATH DEN				2 BRD 2 BATH DEN				3	B5	912	912	1,824	912	912	1,824																																												
B6	2 BRD 2 BATH DEN				2 BRD 2 BATH DEN				2 BRD 2 BATH DEN				13	B6	863	863	1,726	863	863	1,726																																												
B7	2 BRD 2 BATH DEN				2 BRD 2 BATH DEN				2 BRD 2 BATH DEN				43	B7	883	883	1,766	883	883	1,766																																												
B8	2 BRD 2 BATH DEN				2 BRD 2 BATH DEN				2 BRD 2 BATH DEN				10	B8	883	883	1,766	883	883	1,766																																												
<table border="1"> <tr><td colspan="15">B</td><td>TOTAL</td><td>188</td><td>188</td><td>376</td><td>1,829</td><td>226</td><td>226</td><td>452</td><td>3%</td></tr> </table>																				B															TOTAL	188	188	376	1,829	226	226	452	3%																					
B															TOTAL	188	188	376	1,829	226	226	452	3%																																									
3 BEDROOM UNITS																																																																
B1	3 BRD 3 BATH				3 BRD 3 BATH				3 BRD 3 BATH				26	B1	1,370	1,370	2,740	1,370	1,370	2,740																																												
B2	3 BRD 3 BATH				3 BRD 3 BATH				3 BRD 3 BATH				29	B2	1,452	1,452	2,904	1,452	1,452	2,904																																												
B3	3 BRD 3 BATH				3 BRD 3 BATH				3 BRD 3 BATH				3	B3	1,107	1,107	2,214	1,107	1,107	2,214																																												
B4	3 BRD 3 BATH				3 BRD 3 BATH				3 BRD 3 BATH				4	B4	1,164	1,164	2,328	1,164	1,164	2,328																																												
<table border="1"> <tr><td colspan="15">B</td><td>TOTAL</td><td>68</td><td>68</td><td>136</td><td>1,383</td><td>166</td><td>166</td><td>332</td><td>2%</td></tr> </table>																				B															TOTAL	68	68	136	1,383	166	166	332	2%																					
B															TOTAL	68	68	136	1,383	166	166	332	2%																																									
3 BEDROOM + DEN UNITS																																																																
B9	3 BRD 3 BATH DEN				3 BRD 3 BATH DEN				3 BRD 3 BATH DEN				6	B9	1,096	1,096	2,192	1,096	1,096	2,192																																												
B10	3 BRD 3 BATH DEN				3 BRD 3 BATH DEN				3 BRD 3 BATH DEN				11	B10	1,234	1,234	2,468	1,234	1,234	2,468																																												
<table border="1"> <tr><td colspan="15">B</td><td>TOTAL</td><td>17</td><td>17</td><td>34</td><td>1,330</td><td>166</td><td>166</td><td>332</td><td>2%</td></tr> </table>																				B															TOTAL	17	17	34	1,330	166	166	332	2%																					
B															TOTAL	17	17	34	1,330	166	166	332	2%																																									
4 BEDROOM UNITS																																																																
C1	4 BRD 4 BATH				4 BRD 4 BATH				4 BRD 4 BATH				6	C1	1,288	1,288	2,576	1,288	1,288	2,576																																												
<table border="1"> <tr><td colspan="15">C</td><td>TOTAL</td><td>6</td><td>6</td><td>12</td><td>1,288</td><td>128</td><td>128</td><td>256</td><td>2%</td></tr> </table>																				C															TOTAL	6	6	12	1,288	128	128	256	2%																					
C															TOTAL	6	6	12	1,288	128	128	256	2%																																									
TOTALS PER BUILDING															100		100		100		387		TOTAL UNITS		387		387		387		387																																	

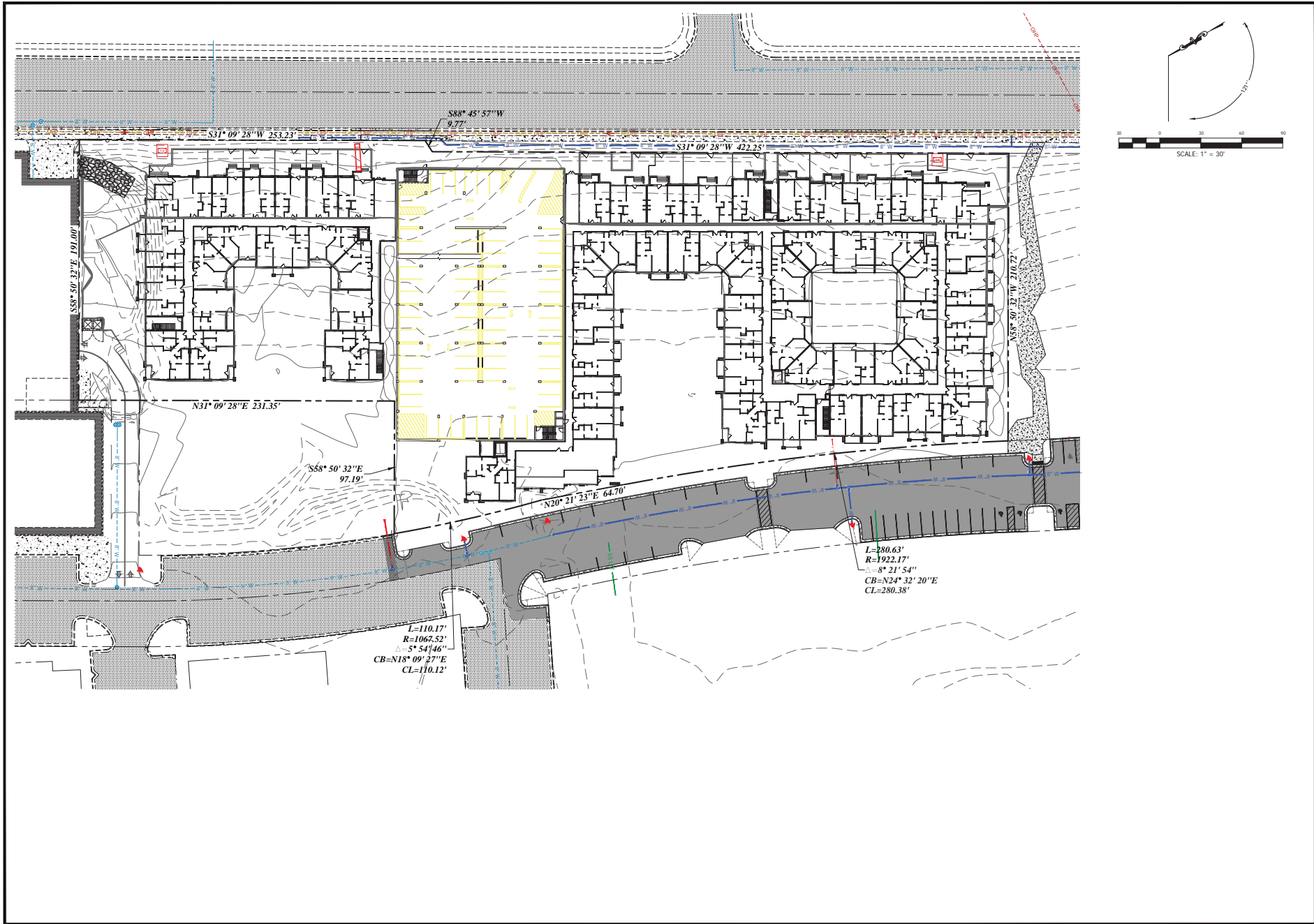
PARKING GARAGE

BLDG NUMBER	Area Use	Area
LEVEL 1 PLAN		
LEVEL 1	PARKING DECK	112,018 SF
LEVEL 2	PARKING DECK	123,540 SF
LEVEL 3	PARKING DECK	124,051 SF
LEVEL 4	PARKING DECK	124,051 SF
LEVEL 5	PARKING DECK	124,051 SF
LEVEL 6	PARKING DECK	124,051 SF
GRAND TOTAL		185,816 SF

SPACE TYPE	SPACE AREA	QUANTITY	
LEVEL 1			
STND	8'-0" x 18'-0"	61	
FAH	8'-0" x 12'-0"	1	
STND	8'-0" x 18'-0"	21	
LEVEL 2			
STND	8'-0" x 18'-0"	29	
STND	8'-0" x 18'-0"	52	
LEVEL 3			
STND	8'-0" x 18'-0"	68	
STND	8'-0" x 18'-0"	79	
LEVEL 4			
STND	8'-0" x 18'-0"	83	
STND	8'-0" x 18'-0"	79	
LEVEL 5			
STND	8'-0" x 18'-0"	83	
STND	8'-0" x 18'-0"	79	
LEVEL 6			
STND	8'-0" x 18'-0"	83	
STND	8'-0" x 18'-0"	79	
GRAND TOTAL			627

LEVEL	OVERALL AREA	REQUIRED OPENING (SQFT)	PROVIDED OPENING	VENTILATION
AREA CALCULATION:				
LEVEL 1	6,788 SQ FT	1,097,160	0	Mech. Ventilated
LEVEL 2	6,788 SQ FT	1,097,160	1,020	Naturally Ventilated
LEVEL 3	6,788 SQ FT	1,097,160	1,213	Naturally Ventilated
LEVEL 4	6,788 SQ FT	1,097,160	1,213	Naturally Ventilated
LEVEL 5	6,788 SQ FT	1,097,160	1,213	Naturally Ventilated
LEVEL 6	6,788 SQ FT	1,097,160	Open Air	Naturally Ventilated
PERMITS CALCULATION:				
LEVEL 1	6,788 SQ FT	216.0	0	Mech. Ventilated
LEVEL 2	6,788 SQ FT	216.0	191.0	Naturally Ventilated
LEVEL 3	6,788 SQ FT	216.0	216.0	Naturally Ventilated
LEVEL 4	6,788 SQ FT	216.0	191.0	Naturally Ventilated
LEVEL 5	6,788 SQ FT	216.0	216.0	Naturally Ventilated
LEVEL 6	6,788 SQ FT	216.0	Open Air	Naturally Ventilated

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1470 South 600 West
 Woods Cross, UT 84010
 Phone: 801.298.2236
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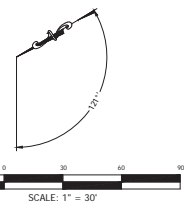
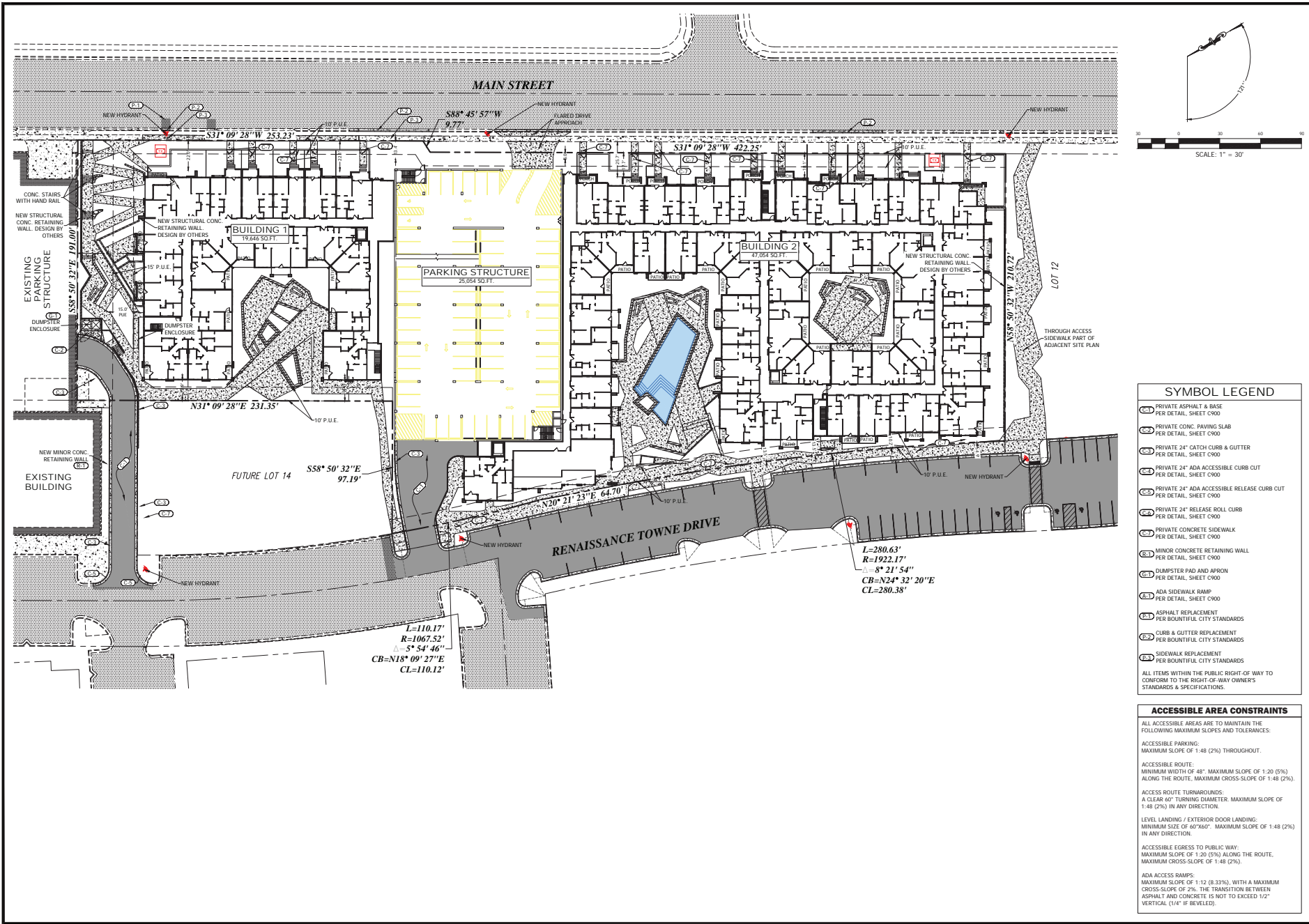


DEVELOPER
 TOWNE CENTER LLC
 CONTACT: BRUCE BRADSHAW
 1660 SOUTH RENAISSANCE TOWNE DRIVE
 SUITE 104
 WOODS CROSS, UT 84010
 801.554.4177
 bbrad144@gmail.com

RENAISSANCE TOWNE CENTER LOT 14
 1650 S MAIN STREET
 LOT 14, RENAISSANCE TOWNE CENTER PHASE 3, PLAT 1
 LOCATED IN THE SW 1/4 OF SECTION 30, T.2N., R.1E., S.1R. & M.
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DRAWN: LKM
 APPROVED: STA
 PROJECT #: 1628003
 LOT 14 PLANSET.dwg

C200
 TOPOGRAPHIC PLAN



SYMBOL LEGEND

- C01 PRIVATE ASPHALT & BASE PER DETAIL, SHEET C900
 - C02 PRIVATE CONC. PAVING SLAB PER DETAIL, SHEET C900
 - C03 PRIVATE 24" CATCH CURB & GUTTER PER DETAIL, SHEET C900
 - C04 PRIVATE 24" ADA ACCESSIBLE CURB CUT PER DETAIL, SHEET C900
 - C05 PRIVATE 24" ADA ACCESSIBLE RELEASE CURB CUT PER DETAIL, SHEET C900
 - C06 PRIVATE 24" RELEASE ROLL CURB PER DETAIL, SHEET C900
 - C07 PRIVATE CONCRETE SIDEWALK PER DETAIL, SHEET C900
 - C08 MINOR CONCRETE RETAINING WALL PER DETAIL, SHEET C900
 - C09 DUMPSTER PAD AND APRON PER DETAIL, SHEET C900
 - C10 ADA SIDEWALK RAMP PER DETAIL, SHEET C900
 - C11 ASPHALT REPLACEMENT PER BOUNTIFUL CITY STANDARDS
 - C12 CURB & GUTTER REPLACEMENT PER BOUNTIFUL CITY STANDARDS
 - C13 SIDEWALK REPLACEMENT PER BOUNTIFUL CITY STANDARDS
- ALL ITEMS WITHIN THE PUBLIC RIGHT-OF-WAY TO CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.

ACCESSIBLE AREA CONSTRAINTS

ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MAXIMUM SLOPES AND TOLERANCES:

ACCESSIBLE PARKING:
 MAXIMUM SLOPE OF 1:48 (2%) THROUGHOUT.

ACCESSIBLE ROUTE:
 MINIMUM WIDTH OF 48"; MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ACCESS ROUTE TURNAROUNDS:
 A CLEAR 40' TURNING DIAMETER, MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

LEVEL LANDING / EXTERIOR DOOR LANDING:
 MINIMUM SIZE OF 60'x60"; MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

ACCESSIBLE EGRESS TO PUBLIC WAY:
 MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ADA ACCESS RAMPS:
 MAXIMUM SLOPE OF 1:12 (8.33%), WITH A MAXIMUM CROSS-SLOPE OF 2%. THE TRANSITION BETWEEN ASPHALT AND CONCRETE IS NOT TO EXCEED 1/2" VERTICAL (1/4" IF BEVELLED).

1470 South 600 West
 Woods Cross, UT 84010
 Phone 801.298.2236
 www.Entellus.com

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DEVELOPER

TOWNE CENTER LLC
 CONTACT: BRUCE BRADBHEAD
 1560 SOUTH RENAISSANCE TOWNE DRIVE
 SUITE 104
 BOUNTIFUL, UT 84010
 801.554.4177
 bbrad144@gmail.com

RENAISSANCE TOWNE CENTER LOT 14

1650 S MAIN STREET
 LOT 14, RENAISSANCE TOWNE CENTER PHASE 3, PLAT 1
 LOCATED IN THE SW 1/4 OF SECTION 30, T2N, R1E, S1R & M
 BOUNTIFUL CITY, DAVIS COUNTY, UTAM

DRAWN: LAM
 APPROVED: STA
 PROJECT #: 1628063
 LOT 14 PLANSET.dwg

C400
 SITE PLAN

ISSUE	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

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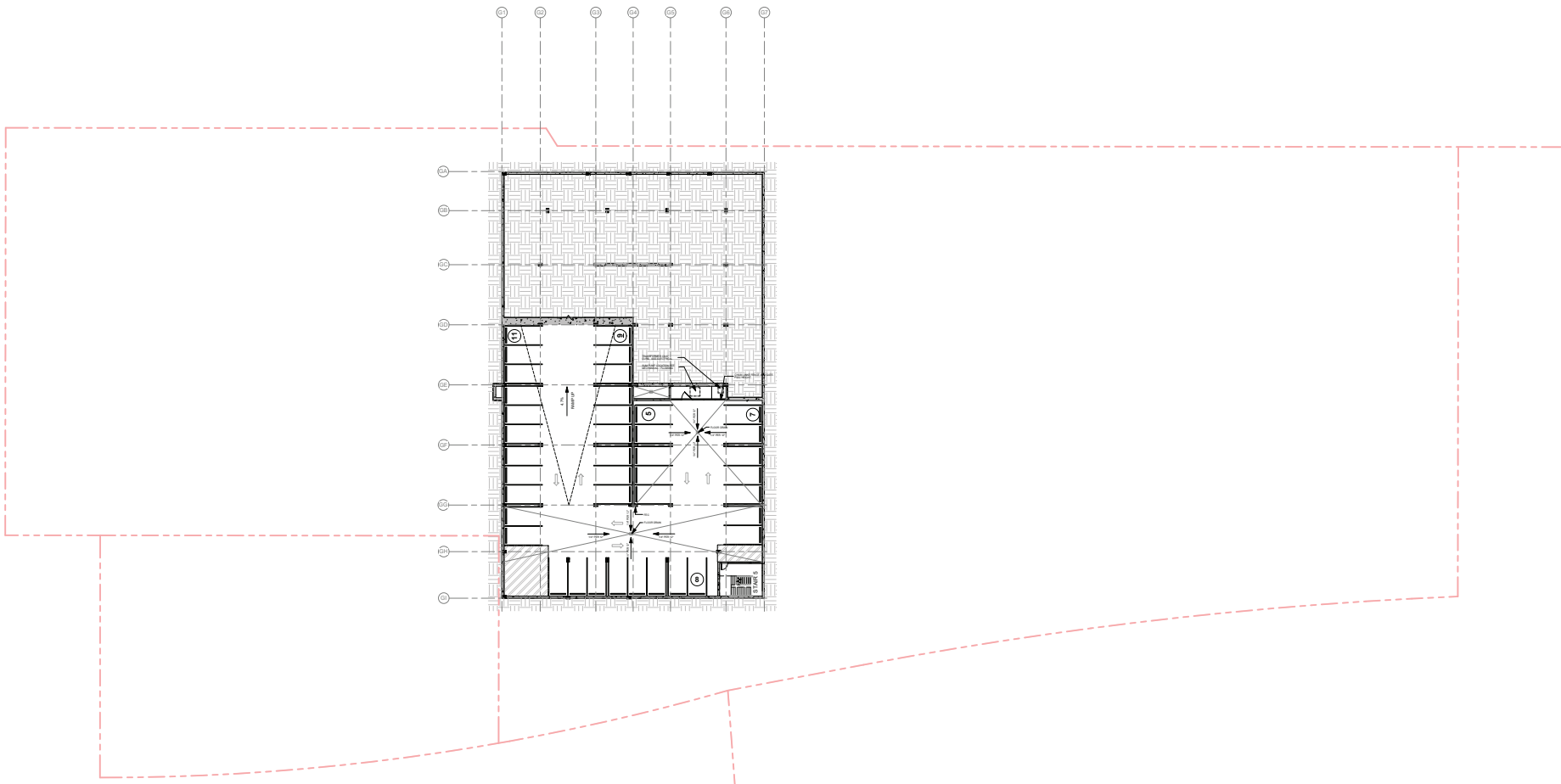
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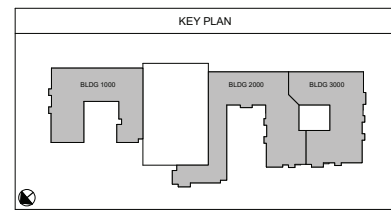
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1 OVERALL LEVEL -1 PLAN
1" = 20'-0"



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18	01/04/2022	REVISIONS TO PERMITTING
19	01/04/2022	REVISIONS TO PERMITTING
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OVERALL LEVEL 1 PLAN

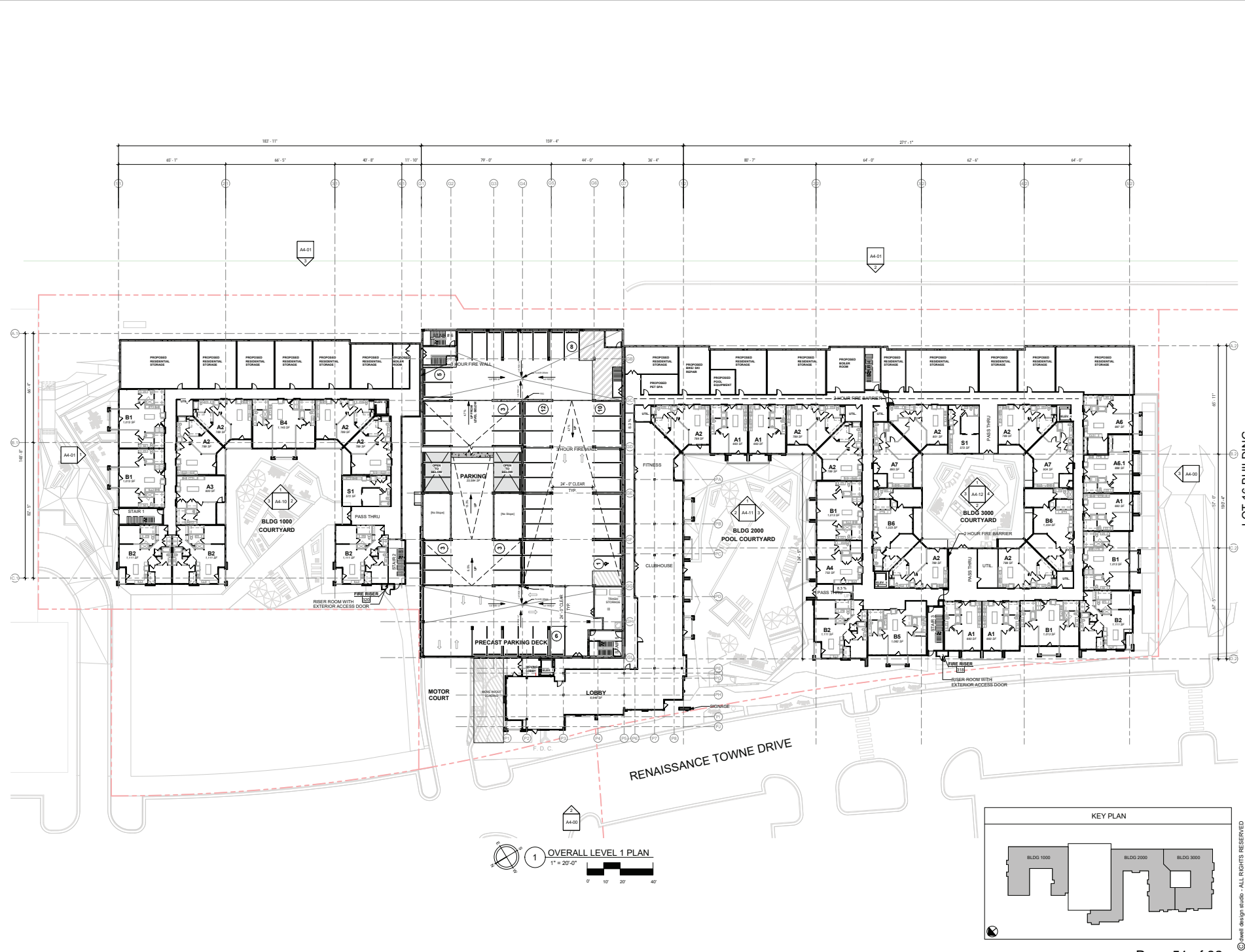
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JOB NUMBER: 2034402

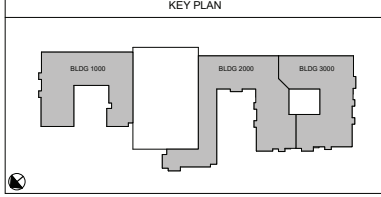
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 CHECKED BY: TT

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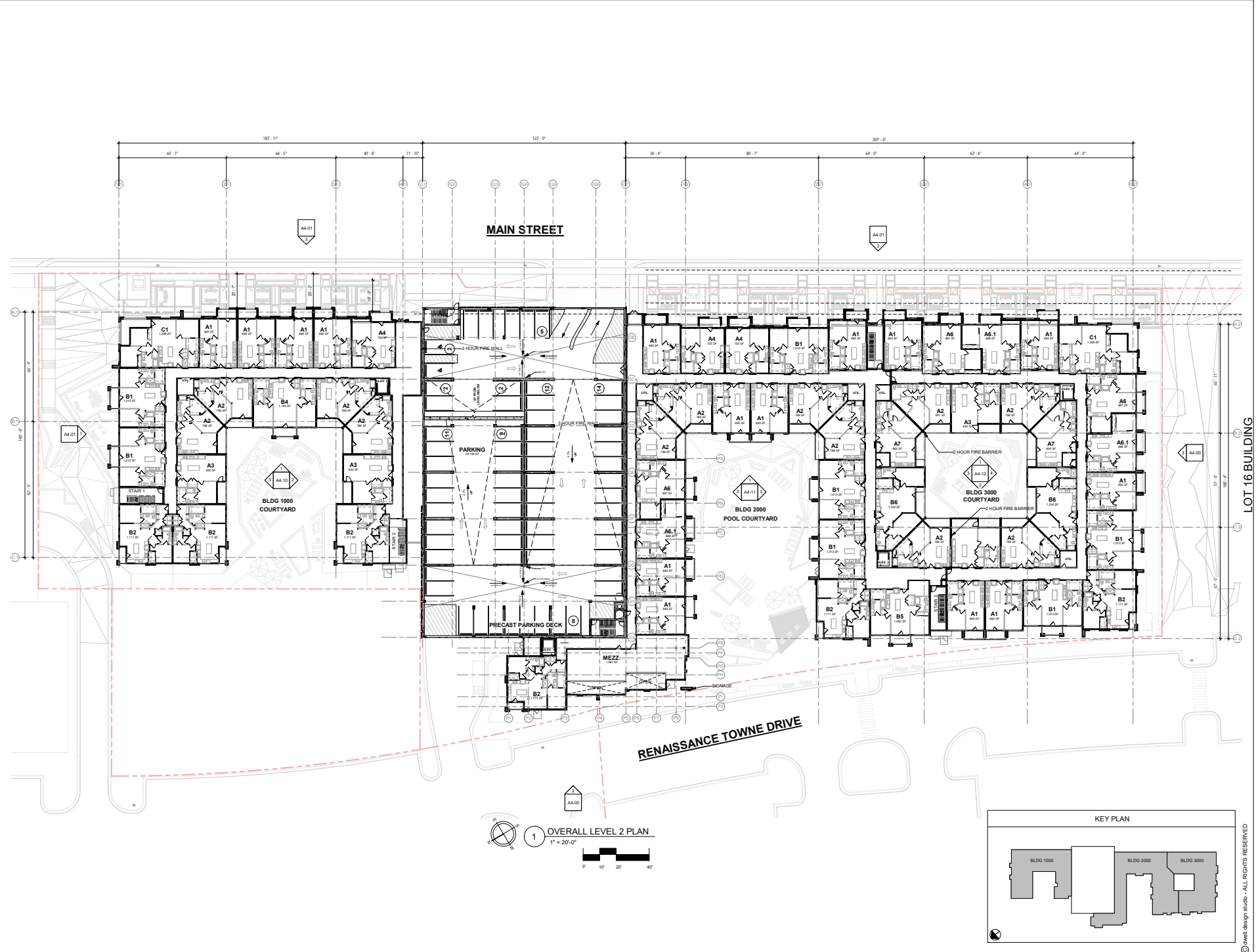


1 OVERALL LEVEL 1 PLAN
 1" = 20'-0"



LOT 16 BUILDING

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1	01/04/22	ISSUE FOR PERMITTING
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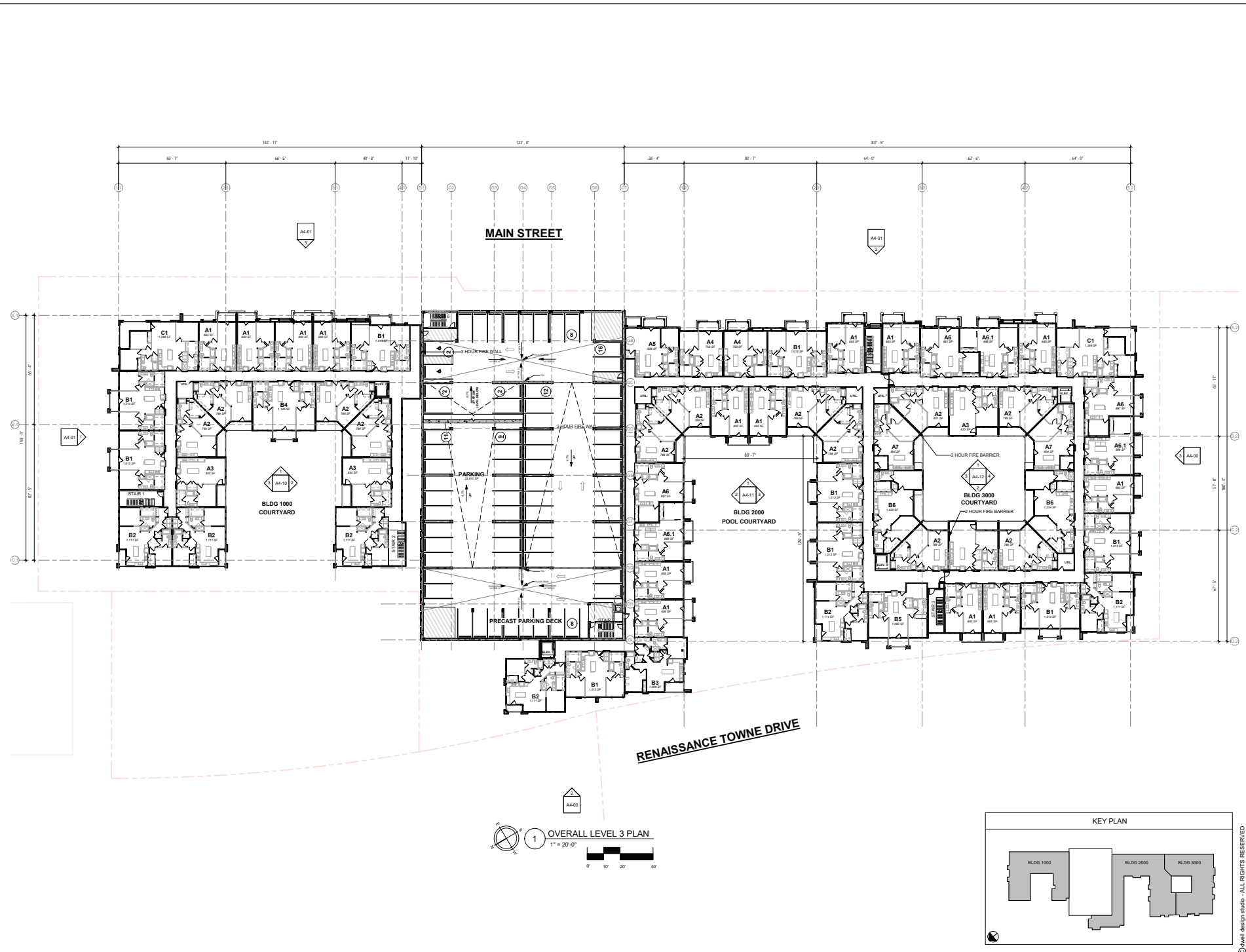
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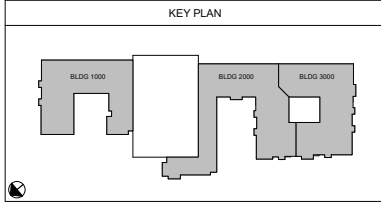
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1 OVERALL LEVEL 3 PLAN
1" = 20'-0"



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OVERALL LEVEL 3 PLAN

SITE PLAN APPROVAL

JOB NUMBER: 2034402

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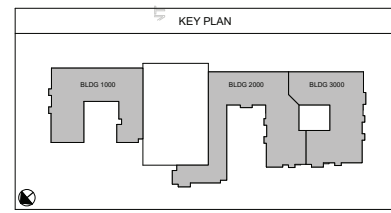
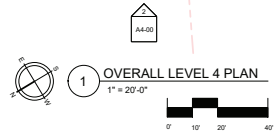
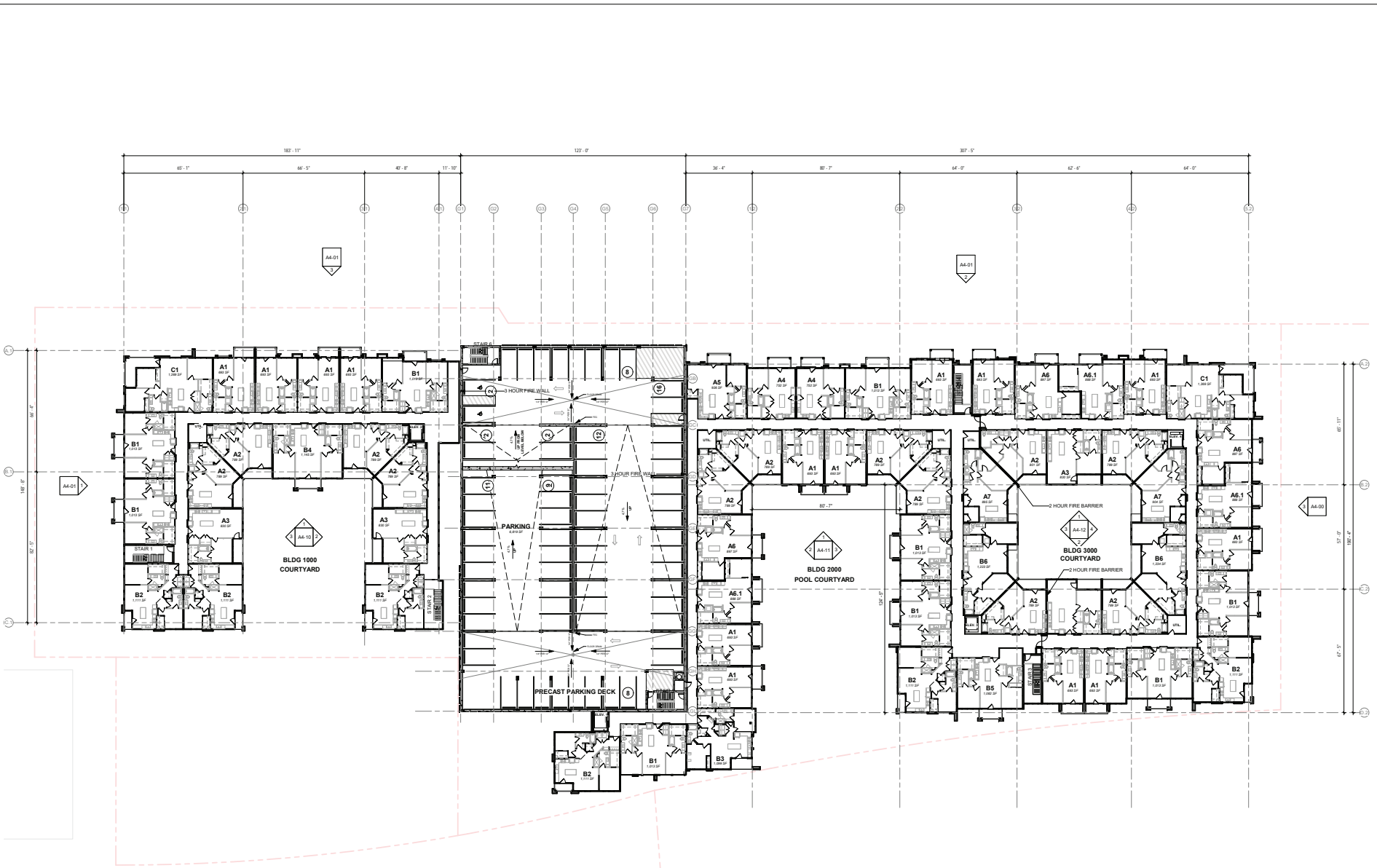
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OVERALL LEVEL 4 PLAN
SITE PLAN APPROVAL
JOB NUMBER: 2034402
DRAWN BY: OL & VV
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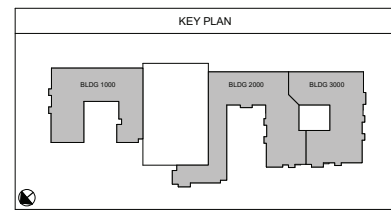
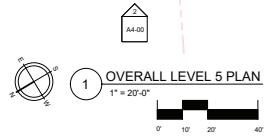
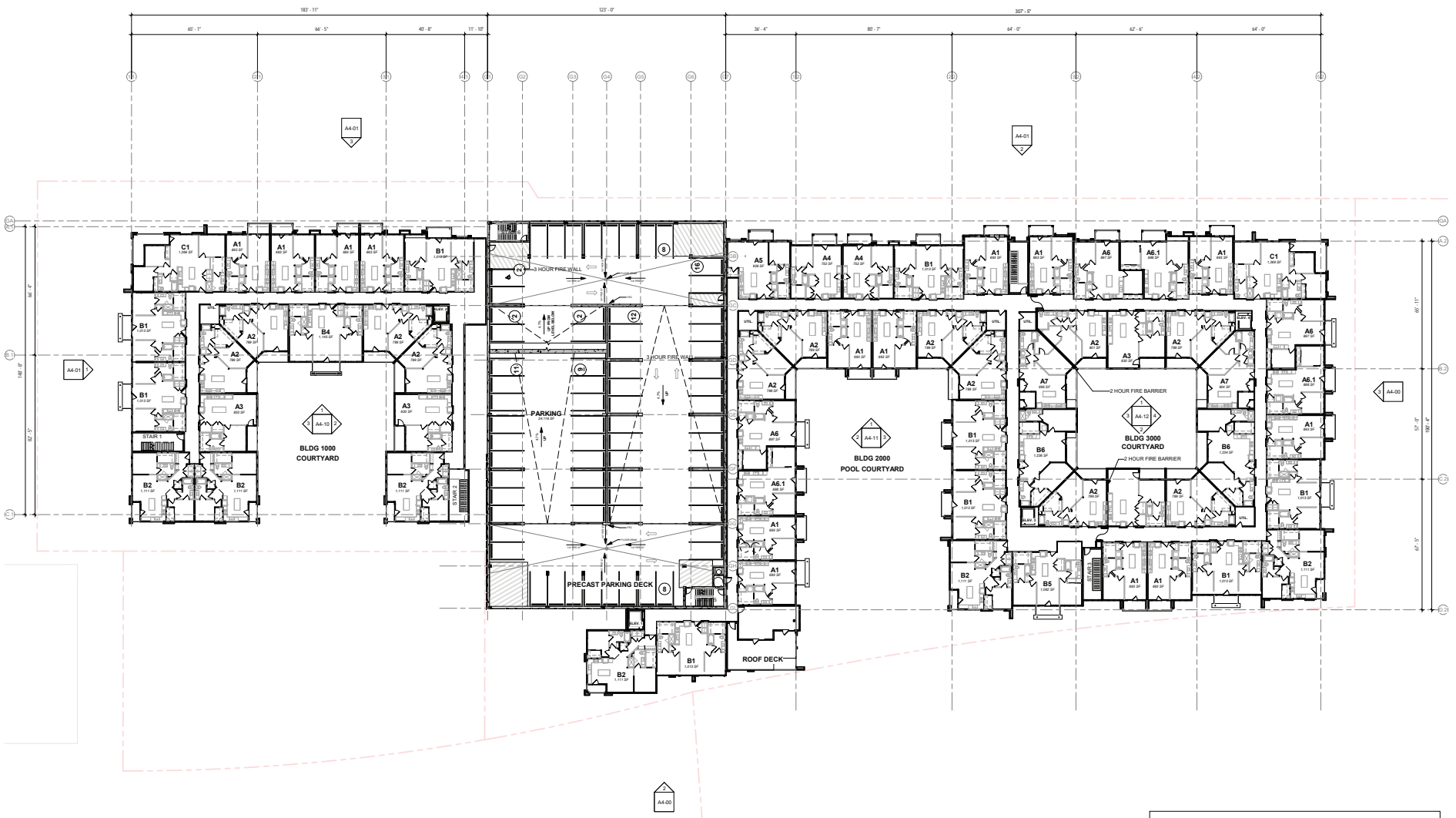
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1	01/04/2022	ISSUED FOR PERMITS

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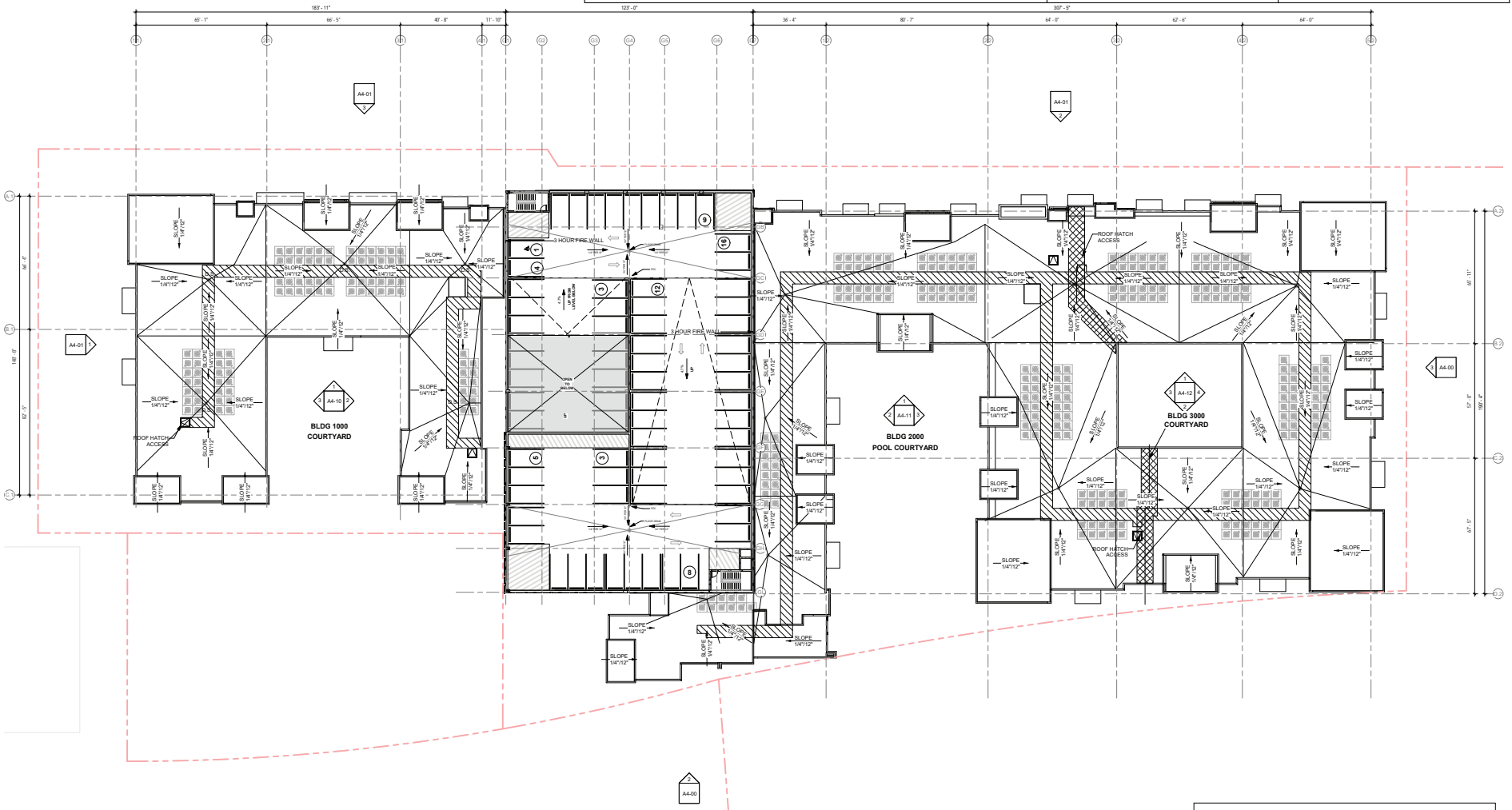
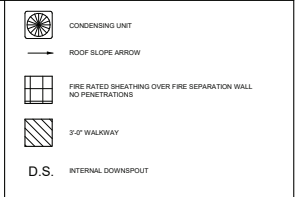
ROOF NOTES

1. GAF EVERGLARD 60 MIL FULLY ADHERED SYSTEM IS BASIS OF DESIGN FOR ROOF MEMBRANE DESIGN.
2. REFER TO MANUFACTURERS DETAILS. DETAILS SHOWN REPRESENT DESIGN INTENT ONLY. INSTALLATION SHALL BE PER MANUFACTURERS RECOMMENDATIONS.
3. PROVIDE TAPERED INSULATION AS REQUIRED AT DRAINS TO PROVIDE POSITIVE DRAINAGE TO DRAINS AT 1/4" PER 1'-0" MIN.
4. ALL MECHANICAL EQUIPMENT TO BE ON ROOF FASCS WITH SOUND ISOLATORS.
5. PROVIDE WALKWAYS TO ALL ROOF TOP EQUIPMENT.
6. MAINTAIN 18" UP CLEARANCE FROM ALL ROOF TOP EQUIPMENT AND ROOF EDGE WHERE CLEARANCE CAN NOT BE MAINTAINED FALL PROTECTION WILL NEED TO BE PROVIDED.
7. SCUPPER BOXES TO CONTAIN INTEGRAL EMERGENCY OVER-FLOW SCUPPERS.
8. T.O.W. HEIGHT IS BASED ON HEIGHT FROM TRUSS BEARING LEVEL. REFER TO BUILDING ELEVATIONS.
9. PROVIDE STAINLESS STEEL INSET HOOD ABOVE ALL RESIDENTIAL LINE SETS AND ABOVE RETAIL CONDUIT GROUPINGS WITH REMOVABLE TOP.
10. VERIFY LOCATIONS OF ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL AND PLUMBING DRAWING PRIOR TO INSTALLATION.
11. CONTRACTOR TO VERIFY, COORDINATE, AND INSTALL ALL ADJACENT AND OR RELATED FLASHING, BLOCKING, WALKERS, INSULATION STOPS, AND CROCKETS NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE. WALKERS REQUIRED FOR A COMPLETE, WARRANTED, WATER-TIGHT, AND WATERPROOF INSTALLATION.
12. MINIMUM CLASS "F" ROOF COVERING SHALL BE PROVIDED.

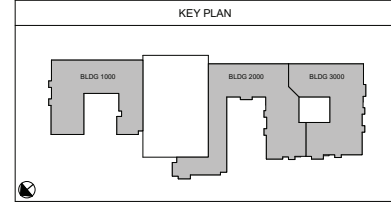
ROOF DRAINAGE



ROOF LEGEND



1 OVERALL ROOF PLAN
1" = 20'-0"



390 WEST 398 SOUTH
 UNIT 102
 SALT LAKE CITY, UT 84101
 PHONE: 363.273.8888
 www.dwelldesignstudio.com

BROADHEAD & COMPANY

ISSUE	DATE	DESCRIPTION
1	01/04/2022	ISSUE FOR PLANNING COMMISSION REVIEW

REVISION	DATE	DESCRIPTION

DATE	DESCRIPTION

OVERALL LEVEL 6 PLAN

SITE PLAN APPROVAL
 JOB NUMBER: 2034402
 DRAWN BY: OL & VV
 CHECKED BY: TT

A0-06

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ISSUE	DATE	DESCRIPTION

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OVERALL BUILDING ELEVATIONS

SITE PLAN APPROVAL

JOB NUMBER: 2034402

DRAWN BY: OL & VV CHECKED BY: TT

A4-00

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1 OVERALL BLDG ELEVATION - WEST (BUILDING 1000) - RENAISSANCE TOWNE DRIVE
 1/16" = 1'-0"



2 OVERALL BLDG ELEVATION - WEST (BUILDING 2000, 3000) - RENAISSANCE TOWNE DRIVE
 1/16" = 1'-0"



3 OVERALL BLDG. ELEVATION - SOUTH
 1/16" = 1'-0"

EXTERIOR FINISH LEGEND						
NO.	MATERIAL DESCRIPTION	MANUFACTURER AND COLOR INFORMATION	NO.	MATERIAL DESCRIPTION	MANUFACTURER AND COLOR INFORMATION	GENERAL NOTES
LES1	LAP SIDING - COLOR 1		GLSH	GLASS		
LES2	LAP SIDING - COLOR 2		TRM	TRIM		
LES3	LAP SIDING - COLOR 3		SPG	STOREFRONT GLASS		
MBV	MASONRY BRICK VENEER		PCD	PREFABRICATED CONCRETE		
CP1	CEMENTITIOUS PANEL - COLOR 1		PSB	PREFABRICATED DECORATIVE SCREEN		
CP2	CEMENTITIOUS PANEL - COLOR 2		MCY	METAL CANOPY		
CP3	CEMENTITIOUS PANEL - COLOR 3		TR	TRELLIS		
CP4	CEMENTITIOUS PANEL - COLOR 4					

ISSUE

NO.	DATE	DESCRIPTION

REVISION

NO.	DATE	DESCRIPTION

REVISION

NO.	DATE	DESCRIPTION

OVERALL BUILDING ELEVATIONS

SITE PLAN APPROVAL

JOB NUMBER: 2034402

DRAWN BY: CL & VV
 CHECKED BY: TT

A4-01



1 OVERALL BLDG. ELEVATION - NORTH
 1/16" = 1'-0"



2 OVERALL BLDG. ELEVATION - EAST (BUILDING 2000, 3000) - MAIN STREET
 1/16" = 1'-0"



3 OVERALL BLDG. ELEVATION - EAST (BUILDING 1000) - MAIN STREET
 1/16" = 1'-0"

EXTERIOR FINISH LEGEND						
NO.	MATERIAL DESCRIPTION	MANUFACTURER AND COLOR INFORMATION	NO.	MATERIAL DESCRIPTION	MANUFACTURER AND COLOR INFORMATION	GENERAL NOTES
LES1	LAP SIDING - COLOR 1		GLSH	NICHIA		
LES2	LAP SIDING - COLOR 2		TRM	TRIM		
LES3	LAP SIDING - COLOR 3		GLS1	STOREFRONT GLASS		
MBV	MASONRY BRICK VENEER		PCC	PRECAST CONCRETE		
CP1	CEMENTITIOUS PANEL - COLOR 1		PSB	PREFABRICATED DECORATIVE SCREEN		
CP2	CEMENTITIOUS PANEL - COLOR 2		MCY	METAL CANOPY		
CP3	CEMENTITIOUS PANEL - COLOR 3		TRL	TRELLIS		
CP4	CEMENTITIOUS PANEL - COLOR 4					

ISSUE	DATE	DESCRIPTION
1	12/20/21	ISSUED FOR PERMITTING
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2 BUILDING 1000 COURTYARD ELEVATION - NORTH
1/8" = 1'-0"



3 BUILDING 1000 COURTYARD ELEVATION - SOUTH
1/8" = 1'-0"



1 BUILDING 1000 COURTYARD ELEVATION - WEST
1/8" = 1'-0"

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**COURTYARD
BUILDING ELEVATIONS**
SITE PLAN APPROVAL

JOB NUMBER: 2034402
DRAWN BY: OL & VV
CHECKED BY: TT

A4-11

NOT FOR CONSTRUCTION



3 BUILDING 2000 COURTYARD ELEVATION - NORTH
1/8" = 1'-0"



2 BUILDING 2000 COURTYARD ELEVATION - SOUTH
1/8" = 1'-0"

1 BUILDING 2000 COURTYARD ELEVATION - WEST
1/8" = 1'-0"



30 WEST 300 SOUTH
UNIT 102
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RENAISSANCE TOWNE
CENTER
1560 SOUTH RENAISSANCE TOWNE DRIVE
BOUNTIFUL, UT 84010

BROADHEAD &
COMPANY

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REVISION

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

APPROVAL

COURTYARD
BUILDING
ELEVATIONS

SITE PLAN APPROVAL

JOB NUMBER: 2034402

DRAWN BY: Author
CHECKED BY: Checker

A4-12

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3 BUILDING 3000 COURTYARD ELEVATION - SOUTH
1/8" = 1'-0"



4 BUILDING 3000 COURTYARD ELEVATION - NORTH
1/8" = 1'-0"



1 BUILDING 3000 COURTYARD ELEVATION - WEST
1/8" = 1'-0"



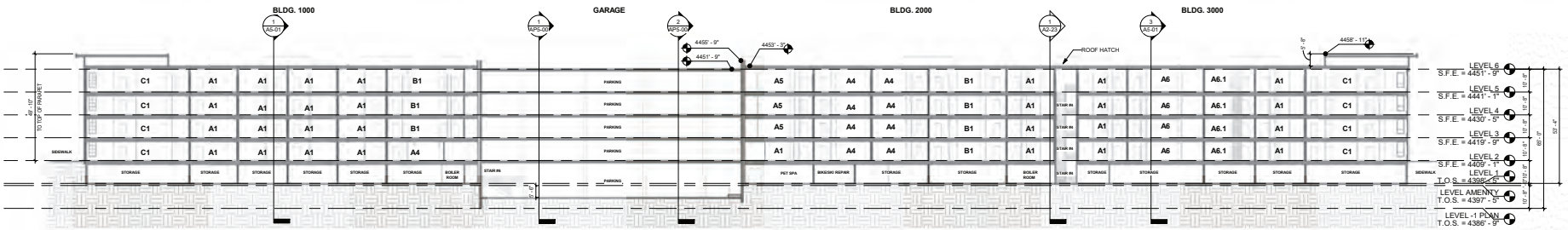
2 BUILDING 3000 COURTYARD ELEVATION - EAST
1/8" = 1'-0"

ISSUE	DATE	DESCRIPTION

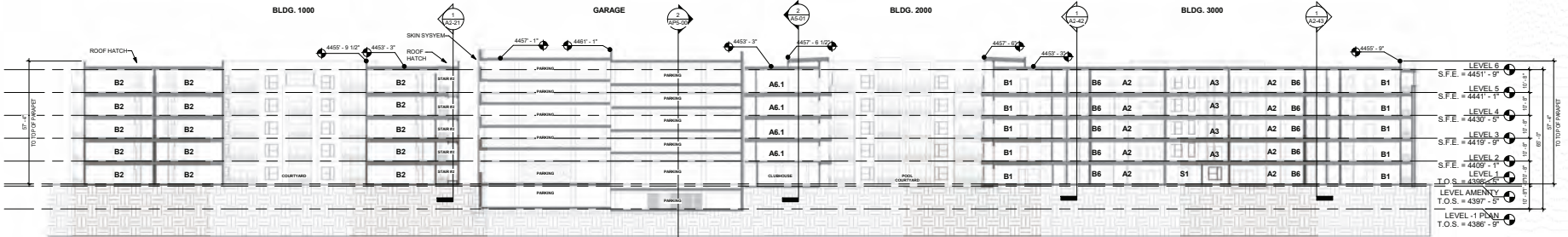
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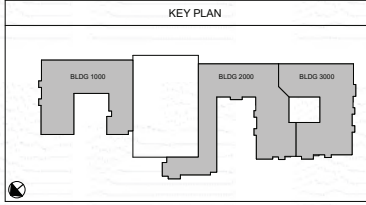
NOTES



2 OVERALL BUILDING LONG SECTION B
1" = 20'-0"



1 OVERALL BUILDING LONG SECTION A
1" = 20'-0"



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**OVERALL
BUILDING
SECTIONS**

SITE PLAN APPROVAL

JOB NUMBER: 2034402

DRAWN BY: OL & VV
CHECKED BY: TT

NOT FOR CONSTRUCTION

A5-00

ISSUE	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

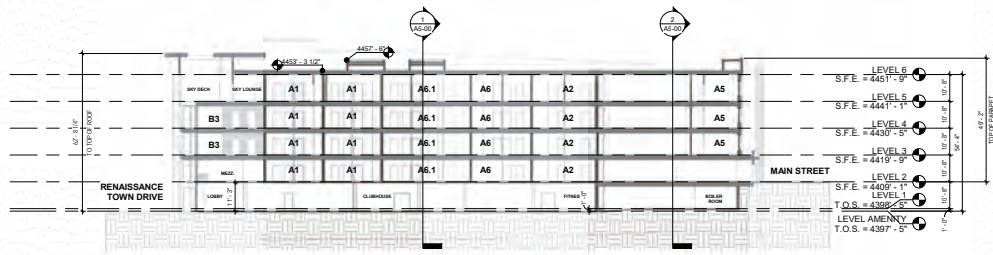
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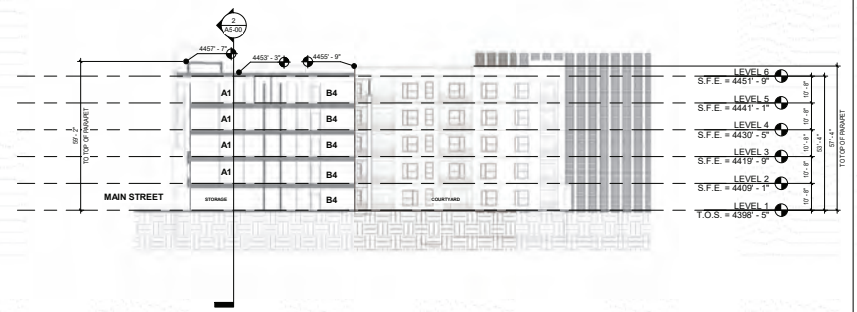
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2 OVERALL BUILDING CROSS SECTION BLDG 2000
1" = 20'-0"



3 OVERALL BUILDING CROSS SECTION BLDG 3000
1" = 20'-0"



1 OVERALL BUILDING CROSS SECTION BLDG 1000
1" = 20'-0"

12/2021 10:05 PM C:\Users\dwelldesign\Documents\BCTC_CD\Bountiful\ACSEM\14



KEYNOTES LEGEND

01 - PAVEMENT, RAMPS, AND CURBS

Keynote	Detail	Quantity
1PV-ACH	Asphalt (See Call)	CY/L 294,273 SF
1PV-AG	Mosaic Pebble	TBD 1,108 SF
1PV-AGCS	Crushed Stone	11L401 160 SF
1PV-AGSTN	Fire Finish Stone	TBD 524 SF
1PV-C-EX	Concrete - Existing	10,366 SF
1PV-C-FUT	Concrete - Future Phase	10,002 SF
1PV-C-AM	Concrete - Acid Wash	6,820 SF
1PV-C-BF	Concrete - Brown Finish Medium with Seawall Control Joint	1L401 13,030 SF
1PV-PAINT	White Striping (See Call)	CY/L 129 SF
1PV-STN	Stone in White Concrete on Concrete Base	TBD 329 SF

02 - JOINTS

Keynote	Detail	Quantity

03 - SITE STAIRS

Keynote	Detail	Quantity
3STRS-C-BF	Concrete Stair - 6" x 12" - Modern Nozing	13L401 27

04 - SITE WALLS

Keynote	H	L	Detail	VSFFF
4BRCK			Block Wall - Match Building Exterior Brick	673 SF
4BRCK	3.5	21'	Block Wall - Match Building Exterior Brick	73 SF
4BRCK	4.5	71.4	Block Wall - Match Building Exterior Brick	3,328 SF
4BRCK	5	234'	Block Wall - Match Building Exterior Brick	1,144 SF
4BRCK	6	37'	Block Wall - Match Building Exterior Brick	220 SF
4BRCK	8	71'	Block Wall - Match Building Exterior Brick	548 SF
4BRCK	10	14'	Block Wall - Match Building Exterior Brick	139 SF
4BRCK	12	123'	Block Wall - Match Building Exterior Brick	864 SF
4CW12SB	12"	613'	Concrete Wall Boardform with Seal Bech	2,301 SF
4CW12SB	8"	22'	Concrete Wall Boardform	148 SF
4CW12SB	3.5	61'	Concrete Wall Boardform	216 SF
4CW12SB	5	284'	Concrete Wall Boardform	1,421 SF
4CW12SB	6	29'	Concrete Wall Boardform	174 SF
4CW12SB	6	222'	Concrete Wall Boardform	722 SF
4CW12SB	8	34'	Concrete Wall Boardform	306 SF
4CW12SB	10'	22'	Concrete Wall Boardform	186 SF
4CW12SB	3	212'	Concrete Wall Boardform	657 SF
4CW12SB	12"	75'	Concrete Wall Boardform	283 SF
4CW12SB	12"	4'	Concrete Wall Boardform	96 SF
4CW12SB	12"	28'	Concrete Wall Boardform	289 SF

05 - SITE AMENITIES

Keynote	Detail	Count
6A-PERGI	Pergola - Cooling Area by Pool	1
6SF-BEG	BBQ set into Counter with Cabinets underneath	3
6SF-CHR	Garden Stems Bench	124
6SF-CTAB	Garden Coffee Table	50
6SF-CHD	Garden Stems Table 220	8
6SF-ECHE	Garden Eley Chair	11
6SF-LNG	Pool Lounger	37
6SF-PATIO	Pool Table, 4 Chairs, and Umbrella	9
6SF-STL	Garden Bar Chair	12
6SF-TRSH	Trash Receptacle - Landscapetoms Pool	8

06 - SITE RAILINGS AND FENCES

Keynote	Detail	Quantity
6F-STW	Fire Back Guard - Privacy Screen	114'
6F-STZ	American Mortgage Plus PVP-Genesis Panel 3 Rail 6"	1L402 116
6F-IND6	Fence - Steel - Horizontal 36"	387
6HR-STL	Battery Rail - Genesis 3" Offset (See Arch)	175

07 - LIGHTING

Keynote	Detail	Quantity

08 - SITE DRAINAGE

Keynote	Detail	Quantity

09 - PLANTING AREAS

Keynote	Detail	Quantity
9PA	Planting Area	18,584 SF
9PA-EX	Planting Area - Existing	6,120 SF
9PA-FUT	Planting Area - Future Phase	845 SF
9SOD-LAWN	Lawn	6,977 SF
9SINTH	Lawn - AstroTurf	340 SF

10 - MISCELLANEOUS ELEMENTS

Keynote	Detail	Quantity



Principal Grant Hardy
 Project Manager Grant Hardy
 Drawn By Grant Hardy
 Checked By Grant Hardy

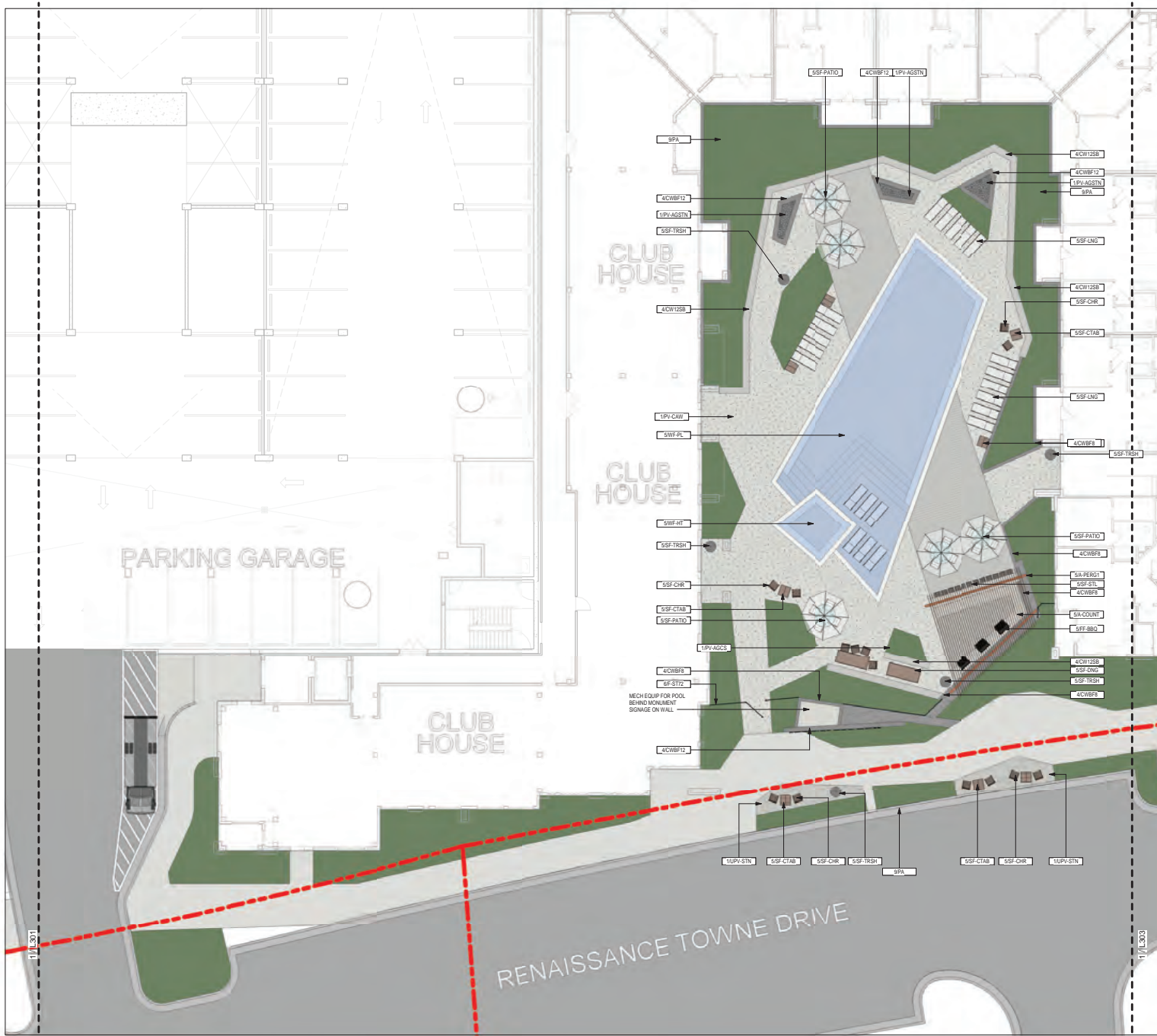
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Issue Date 12/12/2021

RENAISSANCE TOWNE CENTER
 1560 S MAIN STREET
 PARCEL 11
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

Materials Plan

L301



KEYNOTES LEGEND

01 - PAVEMENT, RAMPS, AND CURBS

Keynote	Detail	Quantity
1PV-A-CIV	Asphalt (See Civil)	CIVL 294,273 SF
1PV-AG	Mosaic Pebble	TBD 1,108 SF
1PV-AGCS	Crushed Stone	11L401 160 SF
1PV-AGSTN	First Finish Stone	TBD 524 SF
1PV-C-EX	Concrete - Existing	10,365 SF
1PV-C-FUT	Concrete - Future Phase	10,062 SF
1PV-C-AM	Concrete - Acid Wash	6,820 SF
1PV-C-BF	Concrete - Brown Finish Medium with Seawall Control Joint	24,401 11,401 13,030 SF
1PV-PAINT	White Striping (See Civil)	CIVL 129 SF
1PV-STN	Stone in White Concrete on Concrete Base	TBD 329 SF

02 - JOINTS

Keynote	Detail	Quantity

03 - SITE STAIRS

Keynote	Detail	Quantity
3STRS-C-BF	Concrete Stair - 8' x 12' - Modern Nozing	13L401 27

04 - SITE WALLS

Keynote	H	L	Detail	VSFFFF
4BROCK	8'	239'	Brick Wall - Match Building Exterior Brick	673 SF
4BROCK	3.5'	21'	Brick Wall - Match Building Exterior Brick	73 SF
4BROCK	4.5'	714'	Brick Wall - Match Building Exterior Brick	3,328 SF
4BROCK	5'	234'	Brick Wall - Match Building Exterior Brick	1,184 SF
4BROCK	6'	37'	Brick Wall - Match Building Exterior Brick	220 SF
4BROCK	8'	71'	Brick Wall - Match Building Exterior Brick	548 SF
4BROCK	10'	14'	Brick Wall - Match Building Exterior Brick	138 SF
4BROCK	12'	123'	Brick Wall - Match Building Exterior Brick	864 SF
4CWI12SB	12'	613'	Concrete Wall Boardform with Seal Bech	2,301 SF
4CWB8F	8'	22'	Concrete Wall Boardform	168 SF
4CWB8F	8'	61'	Concrete Wall Boardform	216 SF
4CWB8F	8'	284'	Concrete Wall Boardform	1,421 SF
4CWB8F	8'	29'	Concrete Wall Boardform	174 SF
4CWB8F	8'	222'	Concrete Wall Boardform	1,222 SF
4CWB8F	8'	34'	Concrete Wall Boardform	306 SF
4CWB8F	8'	10'	Concrete Wall Boardform	180 SF
4CWB12	12'	212'	Concrete Wall Boardform	657 SF
4CWB12	12'	75'	Concrete Wall Boardform	283 SF
4CWB12	12'	4'	Concrete Wall Boardform	96 SF
4CWB12	12'	28'	Concrete Wall Boardform	289 SF

05 - SITE AMENITIES

Keynote	Detail	Count
5A-PERGI	Pergola - Cooling Area by Pool	1
5SF-BBQ	BBQ set into Counter with Cabinets underneath	3
5SF-CHR	Garden Bistro Bench/Chair	124
5SF-CTAB	Garden Coffee Table	50
5SF-CHD	Garden Stool/Tables 220	8
5SF-CHR	Garden Easy Chair	11
5SF-LNG	Pool Lounger	37
5SF-PATIO	Pool Table, 4 Chairs, and Umbrella	9
5SF-STL	Garden Bar Chair	12
5SF-TRSH	Trash Receptacle - Landscapetforms Pool	8

06 - SITE RAILINGS AND FENCES

Keynote	Detail	Quantity
6F-STW	Fire Back Guard - Privacy Screen	114'
6F-STZ	American Montage Plus PVP-Genesis Panel 3 Rail 6'	1L402 116'
6F-WD6	Fence - Steel - Horizontal 30'	387'
6H8-STL	Battery Rail - Generic 3' Offset (See Arch)	175'

07 - LIGHTING

Keynote	Detail	Quantity

08 - SITE DRAINAGE

Keynote	Detail	Quantity

09 - PLANTING AREAS

Keynote	Detail	Quantity
9PA	Planting Area - Existing	18,584 SF
9PA-EX	Planting Area - Existing	6,120 SF
9PA-FLUT	Planting Area - Future Phase	845 SF
9S00-LAWN	Lawn	6,977 SF
9S1NTH	Lawn - AstroTurf	340 SF

10 - MISCELLANEOUS ELEMENTS

Keynote	Detail	Quantity



Principal: Grant Hardy
Project Manager: Grant Hardy
Designer: Grant Hardy
Checked By: Grant Hardy

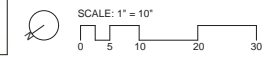
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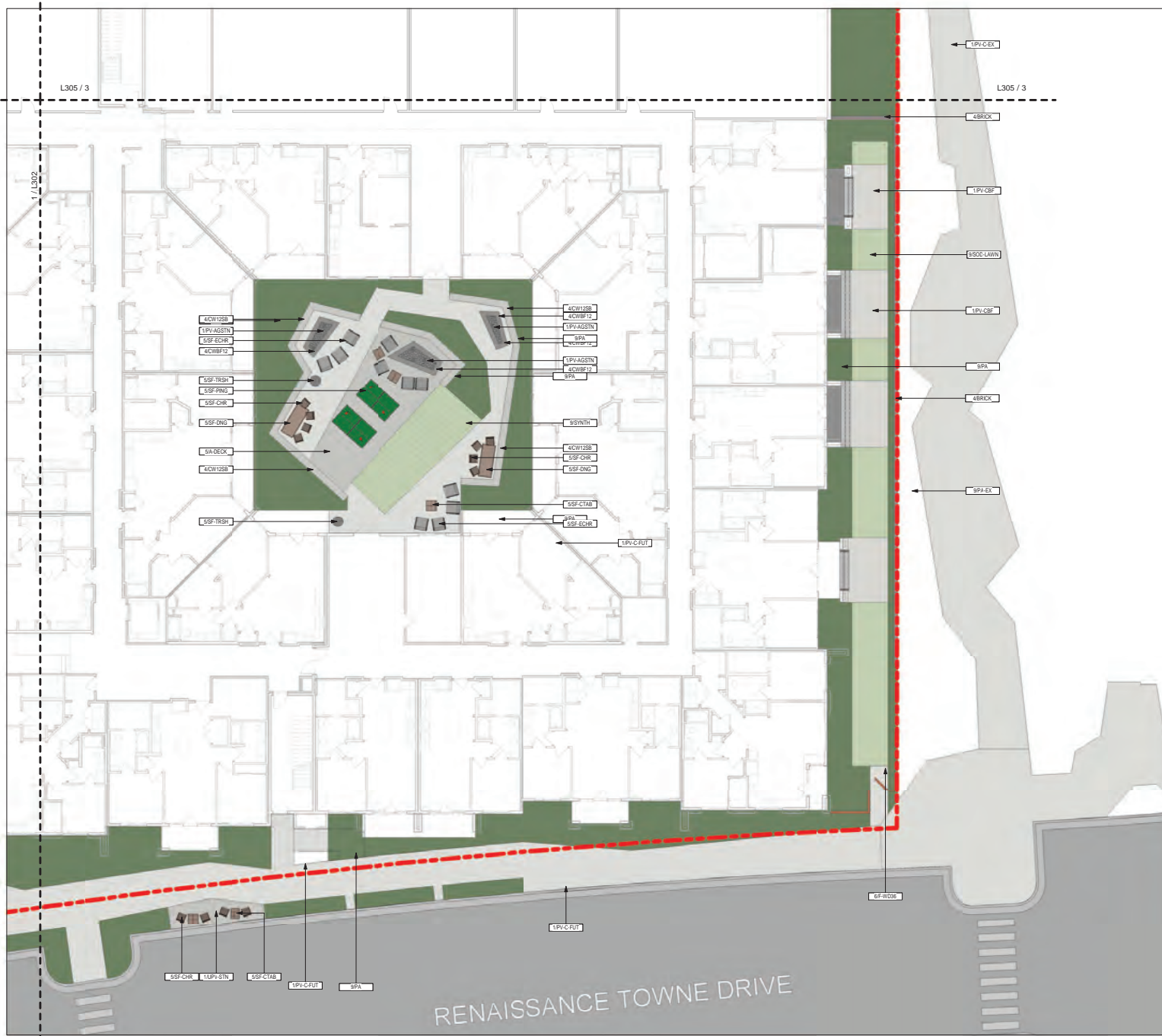
Issue Date: 12/10/2021

RENAISSANCE TOWNE CENTER
1500 S. MAIN STREET
PARCEL 11
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

Materials Plan

L302





KEYNOTES LEGEND

01 - PAVEMENT, RAMPS, AND CURBS

Keynote	Detail	Quantity
1PV-A-CIV	Asphalt (See Civil)	CIVIL 294,273 SF
1PV-AGS	Mexican Pebble	TBD 1,108 SF
1PV-AGCS	Crushed Stone	11L401 160 SF
1PV-AGSTN	Fire Feature Stone	TBD 534 SF
1PV-C-EX	Concrete - Existing	TBD 10,365 SF
1PV-C-FUT	Concrete - Future Phase	TBD 10,002 SF
1PV-C-IR	Concrete - Acid Wash	2L401 4,620 SF
1PV-C-BF	Concrete - Brown Finish Medium with Sealed Control Joint	1L401 13,020 SF
1PV-PAINT	White Striping (See Civil)	CIVIL 129 SF
1PV-STN	Stone in White Concrete on Concrete Base	TBD 329 SF

02 - JOINTS

Keynote	Detail	Quantity

03 - SITE STAIRS

Keynote	Detail	Quantity
3STRS-C-BF	Concrete Stair - 6" x 12" - Modern Nosing	13L401 27

04 - SITE WALLS

Keynote	H	L	Detail	VSFFF
4BRCK	8"	239'	Block Wall - Match Building Exterior Brick	673 SF
4BRCK	3.5"	21'	Block Wall - Match Building Exterior Brick	73 SF
4BRCK	4.5"	714'	Block Wall - Match Building Exterior Brick	3,238 SF
4BRCK	5"	234'	Block Wall - Match Building Exterior Brick	1,144 SF
4BRCK	6"	37'	Block Wall - Match Building Exterior Brick	228 SF
4BRCK	8"	71'	Block Wall - Match Building Exterior Brick	548 SF
4BRCK	10"	14'	Block Wall - Match Building Exterior Brick	139 SF
4BRCK	12"	123'	Block Wall - Match Building Exterior Brick	864 SF
4CWI12SB	12"	3.5'	Concrete Wall Boardform with Seal Bech	613 SF
4CWI8B	8"	25'	Concrete Wall Boardform	148 SF
4CWI8B	8"	61'	Concrete Wall Boardform	218 SF
4CWI8B	8"	284'	Concrete Wall Boardform	1,421 SF
4CWI8B	8"	29'	Concrete Wall Boardform	159 SF
4CWI8B	8"	67'	Concrete Wall Boardform	362 SF
4CWI8B	8"	34'	Concrete Wall Boardform	308 SF
4CWI8B	8"	10'	Concrete Wall Boardform	188 SF
4CWI12	12"	212'	Concrete Wall Boardform	657 SF
4CWI12	12"	3.5'	Concrete Wall Boardform	283 SF
4CWI12	12"	4'	Concrete Wall Boardform	98 SF
4CWI12	12"	10.5'	Concrete Wall Boardform	289 SF

05 - SITE AMENITIES

Keynote	Detail	Count
5A-PERG1	Pergola - Cooling Area by Pool	1
5SF-BBQ	BBQ set into Counter with Cabinets underneath	3
5SF-CHR	Garden Steno Bench/Chair	124
5SF-CTAB	Garden Coffee Table	50
5SF-DND	Garden Steno Table 220	8
5SF-ECR	Garden Eley Chair	11
5SF-LNG	Pool Lounger	37
5SF-PATIO	Pool Table, 4 Chairs, and Umbrella	9
5SF-STL	Garden Bar Chair	12
5SF-TRSH	Trash Receptacle - Landscapetoms Poo	8

06 - SITE RAILINGS AND FENCES

Keynote	Detail	Quantity
6F-GTW	Fire Back Guard - Privacy Screen	114
6F-STZ	Aluminum Montage Plus PFP-Genesis Panel 3 Rail 6"	1L402 198'
6F-WDB	Fence - Steel - Horizontal 36"	387'
6HR-STL	Battery Rail - Generic 3" Offset (See Aech)	175'

07 - LIGHTING

Keynote	Detail	Quantity

08 - SITE DRAINAGE

Keynote	Detail	Quantity

09 - PLANTING AREAS

Keynote	Detail	Quantity
9PA	Planting Area	18,584 SF
9PA-EX	Planting Area - Existing	6,120 SF
9PA-FUT	Planting Area - Future Phase	848 SF
9SOD-LAWN	Lawn	6,977 SF
9SINTN	Lawn - AstroTurf	340 SF

10 - MISCELLANEOUS ELEMENTS

Keynote	Detail	Quantity

epg design
 A Turnercon Company
 1649 South Main Street
 4th Floor
 Bountiful, UT 84002
 801.213.6534
 dturn@epgdc.co



Principal Grant Hardy
 Project Manager Grant Hardy
 Drawn By Grant Hardy
 Checked By Grant Hardy

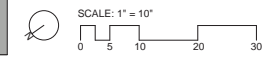
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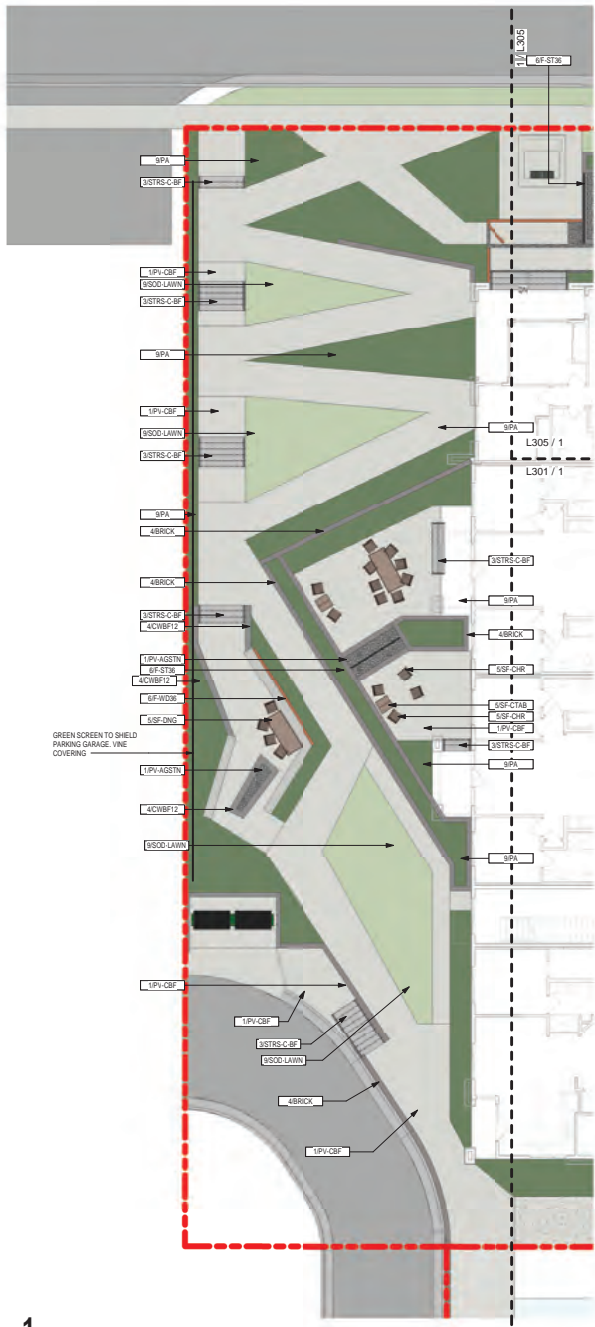
Issue Date 12/12/2021

RENAISSANCE TOWNE CENTER
 1560 S MAIN STREET
 PARCEL 11
 BOUNTIFUL CITY, DAVIS COUNTY, UT 84002

Materials Plan

L303





1
1" = 10'

North Alley

KEYNOTES LEGEND

01 - PAVEMENT, RAMPS, AND CURBS

Keynote	Detail	Quantity
1PV-A-CV	Asphalt (See Call)	CY/L 294,273 SF
1PV-AG	Mosaic Pebble	TBD 1,108 SF
1PV-AGCS	Crushed Stone	11L401 160 SF
1PV-AGSTN	Fire Textured Stone	TBD 524 SF
1PV-C-EX	Concrete - Existing	10,365 SF
1PV-C-FUT	Concrete - Future Phase	10,000 SF
1PV-C-AT	Concrete - Acid Wash	6,620 SF
1PV-C-BF	Concrete - Brown Finish Medium with Seawall Control Joint	24,401 13,530 SF
1PV-PAINT	White Striping (See Call)	CY/L 129 SF
1PV-STM	Stone in White Concrete on Concrete Base	TBD 329 SF

02 - JOINTS

Keynote	Detail	Quantity

03 - SITE STAIRS

Keynote	Detail	Quantity
3STRS-C-BF	Concrete Stair - 6" x 12" - Modern Nozing	13L401 27

04 - SITE WALLS

Keynote	H	L	Detail	VSFFF
4BRCK			Block Wall - Match Building Exterior Brick	7 239 673 SF
4BRCK			Block Wall - Match Building Exterior Brick	3.5 21 73 SF
4BRCK			Block Wall - Match Building Exterior Brick	4.5 714 3,228 SF
4BRCK			Block Wall - Match Building Exterior Brick	5 234 1,144 SF
4BRCK			Block Wall - Match Building Exterior Brick	6 27 220 SF
4BRCK			Block Wall - Match Building Exterior Brick	8 71 540 SF
4BRCK			Block Wall - Match Building Exterior Brick	10 14 130 SF
4BRCK			Block Wall - Match Building Exterior Brick	12 123 864 SF
4CWB12SB			12" Concrete Wall Boardform with Seal Bech	3.5 613 2,301 SF
4CWB8			8" Concrete Wall Boardform	5 22 104 SF
4CWB8			8" Concrete Wall Boardform	3.5 61 216 SF
4CWB8			8" Concrete Wall Boardform	5 284 1,421 SF
4CWB8			8" Concrete Wall Boardform	6 29 174 SF
4CWB8			8" Concrete Wall Boardform	6 27 220 SF
4CWB8			8" Concrete Wall Boardform	9 34 306 SF
4CWB8			8" Concrete Wall Boardform	10 22 180 SF
4CWB12			12" Concrete Wall Boardform	3 212 657 SF
4CWB12			12" Concrete Wall Boardform	3.5 75 283 SF
4CWB12			12" Concrete Wall Boardform	4 24 96 SF
4CWB12			12" Concrete Wall Boardform	10.5 28 289 SF

05 - SITE AMENITIES

Keynote	Detail	Count
5A-PERG1	Pergola - Cooling Area by Pool	1
5SF-SB2	BBQ set into Counter with Cabinets underneath	3
5SF-CHR	Garden Bistro Bench/Chair	124
5SF-CTAB	Garden Coffee Table	50
5SF-DND	Garden Dinner Table 220	8
5SF-ECHE	Garden Eazy Chair	11
5SF-LNG	Pool Lounger	37
5SF-PATIO	Pool Table, 4 Chairs, and Umbrella	9
5SF-STL	Garden Bar Chair	12
5SF-TRSH	Trash Receptacle - Landscapetoms Poo	8

06 - SITE RAILINGS AND FENCES

Keynote	Detail	Quantity
6F-STW	Fire Back Guard - Privacy Screen	114
6F-STZ	American Montage Plus PFP-Genesis Panel 3 Rail 6"	1L402 116
6F-IND08	Fence - Steel - Horizontal 30"	387
6HR-STL	Battery Rail - Genesis 3" Offset (See Aech)	170

07 - LIGHTING

Keynote	Detail	Quantity

08 - SITE DRAINAGE

Keynote	Detail	Quantity

09 - PLANTING AREAS

Keynote	Detail	Quantity
9PA	Planting Area	18,584 SF
9PA-EX	Planting Area - Existing	6,120 SF
9PA-FUT	Planting Area - Future Phase	845 SF
9S00-LAWN	Lawn	6,977 SF
9S1NTH	Lawn - AstroTurf	340 SF

10 - MISCELLANEOUS ELEMENTS

Keynote	Detail	Quantity

epg design
A Terracon Company
Landscape Architecture
1419 South High Tech Dr
Mesa, AZ 85206
480.213.6534
epg@epgdesign.com
chaim@epgdesign.com



Principal Grant Hardy
Project Manager Grant Hardy
Drawn By Grant Hardy

Checked By Grant Hardy

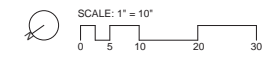
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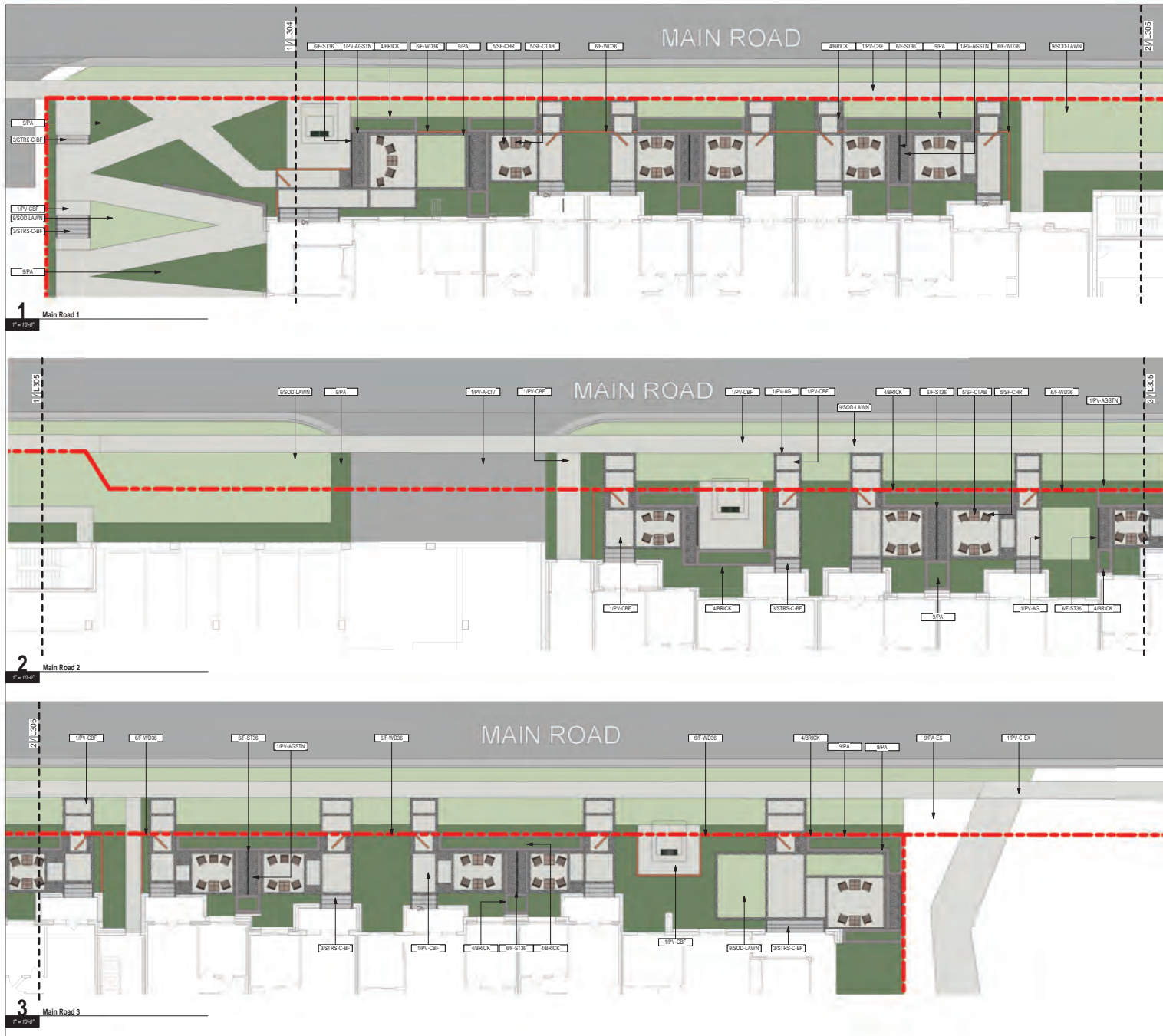
DATE: 12/12/2021

RENAISSANCE TOWNE
CENTER
1560 S. MAIN STREET
PARCEL 11
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

Materials Plan

L304





KEYNOTES LEGEND

01 - PAVEMENT, RAMPS, AND CURBS

Keynote	Detail	Quantity
1PV-A-CV	Asphalt (See Civil)	CY/L 294,273 SF
1PV-AG	Medium Pebble	TBD
1PV-AGCS	Crushed Stone	114,401
1PV-AGSTN	First Finish Stone	53,457
1PV-C-EX	Concrete - Existing	10,365 SF
1PV-C-FUT	Concrete - Future Phase	10,002 SF
1PV-C-AM	Concrete - Acid Wash	24,401
1PV-C-BF	Concrete - Brown Finish Medium with Sealed Control Joint	14,401
1PV-PANT	White Striping (See Civil)	129 SF
1PV-F-5TH	Stone in White Concrete on Concrete Base	TBD

02 - JOINTS

Keynote	Detail	Quantity
3STRS-C-BF	Concrete Sear - 8" x 12" - Modern Nozing	134,401

03 - SITE STAIRS

Keynote	Detail	Quantity
3STRS-C-BF	Concrete Sear - 8" x 12" - Modern Nozing	134,401

04 - SITE WALLS

Keynote	H	L	Detail	VSFFF
4BRCK	8"	239'	Brick Wall - Match Building Exterior Brick	673 SF
4BRCK	3.5"	21'	Brick Wall - Match Building Exterior Brick	73 SF
4BRCK	4.5"	714'	Brick Wall - Match Building Exterior Brick	3,328 SF
4BRCK	5"	234'	Brick Wall - Match Building Exterior Brick	1,144 SF
4BRCK	6"	37'	Brick Wall - Match Building Exterior Brick	228 SF
4BRCK	8"	71'	Brick Wall - Match Building Exterior Brick	548 SF
4BRCK	10"	14'	Brick Wall - Match Building Exterior Brick	139 SF
4BRCK	12"	123'	Brick Wall - Match Building Exterior Brick	864 SF
4CWB12B	12"	613'	Concrete Wall Boardform with Seal Bech	3,201 SF
4CWB8	8"	25'	Concrete Wall Boardform	148 SF
4CWB8	8"	61'	Concrete Wall Boardform	216 SF
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4CWB8	8"	27'	Concrete Wall Boardform	222 SF
4CWB8	8"	34'	Concrete Wall Boardform	306 SF
4CWB8	8"	10'	Concrete Wall Boardform	188 SF
4CWB12	12"	212'	Concrete Wall Boardform	657 SF
4CWB12	12"	3.5'	Concrete Wall Boardform	283 SF
4CWB12	12"	4'	Concrete Wall Boardform	98 SF
4CWB12	12"	10.5'	Concrete Wall Boardform	289 SF

05 - SITE AMENITIES

Keynote	Detail	Count
5A-PERG1	Pergola - Cooling Area by Pool	1
5FF-BBQ	BBQ set into Counter with Cabinets underneath	3
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5FF-CTAB	Garden Coffee Table	50
5FF-CHD	Garden Dinner Table 220	8
5FF-CHR	Garden Easy Chair	11
5FF-LNG	Pool Lounger	37
5FF-FATIO	Plant Table, 4 Chairs, and Umbrella	9
5FF-STL	Garden Bar Chair	12
5FF-TRSH	Trash Receptacle - Landscapetoms Poo	8

06 - SITE RAILINGS AND FENCES

Keynote	Detail	Quantity
6F-STW	Fire Back Guard - Privacy Screen	114'
6F-STZ	American Montage Plus PFP-Genesis Panel 3 Rail 8'	14,402
6F-WDB	Fence - Steel - Horizontal 30"	387
6HR-STL	Battery Rail - Genesis 3" Offset (See Arch)	175

07 - LIGHTING

Keynote	Detail	Quantity

08 - SITE DRAINAGE

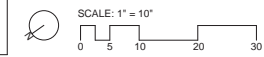
Keynote	Detail	Quantity

09 - PLANTING AREAS

Keynote	Detail	Quantity
9PA	Planting Area	18,584 SF
9PA-EX	Planting Area - Existing	6,120 SF
9PA-FUT	Planting Area - Future Phase	845 SF
9SOD-LAWN	Lawn	6,977 SF
9S1NTH	Lawn - AstroTurf	340 SF

10 - MISCELLANEOUS ELEMENTS

Keynote	Detail	Quantity



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 Mesa, AZ 85206
 (480) 213-6534
 epg@epgdesign.com
 chris@epgdesign.com



Principal: Grant Hardy
 Project Manager: Grant Hardy
 Drawn By: Grant Hardy
 Checked By: Grant Hardy

THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.

Issue Date: 12/12/2021

RENAISSANCE TOWNE CENTER
 1560 S MAIN STREET
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

Materials Plan

L305



KEYNOTES LEGEND

TREE	SYMBOL	COMMON/BOTANICAL NAME	SIZE
WIDE SPREAD TREE	(Symbol)	WIDE SPREAD TREE	2'-0"
MEDIUM SPREAD TREE	(Symbol)	MEDIUM SPREAD TREE	7'-0"
NARROW SPREAD TREE	(Symbol)	NARROW SPREAD TREE	7'-0"
SMALL TREE	(Symbol)	SMALL TREE	7'-0"
SHRUB	(Symbol)	SHRUB	6'-0"
CLIMBER	(Symbol)	CLIMBER	6'-0"
PLANTER	(Symbol)	PLANTER	1'-0"
GROUND COVER	(Symbol)	GROUND COVER	1'-0"
PLANTING AREA	(Symbol)	PLANTING AREA	1'-0"

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 BOUNTIFUL, UT 84002
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 ep@epgdesign.com
 chris@epgdesign.com



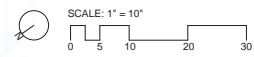
Principal: Grant Hardy
 Project Manager: Grant Hardy
 Drawn By: Grant Hardy
 Checked By: Grant Hardy

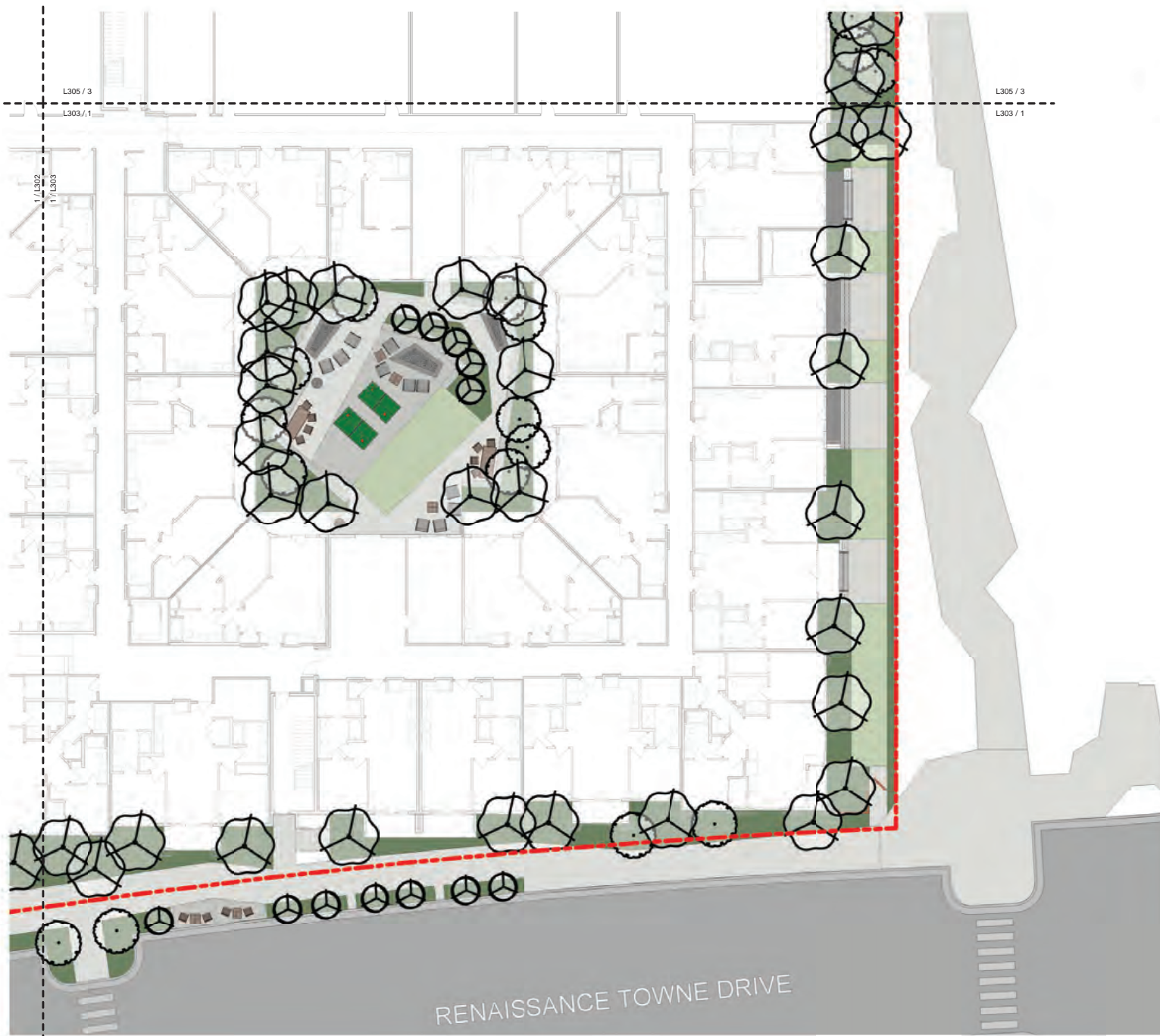
THE CLIENT AND/OR THE CLIENT'S CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE DESIGNER. THE DESIGNER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE PLANTING PLAN AND DOES NOT INCLUDE THE CONSTRUCTION OF THE PLANTING PLAN. THE CLIENT AND/OR THE CLIENT'S CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE DESIGNER. THE DESIGNER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE PLANTING PLAN AND DOES NOT INCLUDE THE CONSTRUCTION OF THE PLANTING PLAN.

Issue Date: 12/1/2021

RENAISSANCE TOWNE CENTER
 1560 S. MAIN STREET
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

Planting Plan
L501





KEYNOTES LEGEND

SYMBOL	DESCRIPTION	HEIGHT
(Tree symbol)	COMMON BOTANICAL NAME	8'0"
(Tree symbol)	RED SUMMIT MAPLE	7'0"
(Tree symbol)	ACER RUBRUM RED SUMMIT	7'0"
(Tree symbol)	WATERBURY YAM	7'0"
(Tree symbol)	QUERCUS BILUNGA	7'0"
(Tree symbol)	WILLOW	6'0"
(Tree symbol)	AMERICAN BIRCH	6'0"
(Tree symbol)	ALBICEPHALUS	6'0"
(Tree symbol)	CORNUS ALBA 'ELEGANTISSIMA'	6'0"
(Tree symbol)	REINHEIDSBOOSCH	6'0"
(Tree symbol)	CORNUS SERICEA 'WELBY'	6'0"
(Tree symbol)	PLATANUS 'L'Y'	6'0"
(Tree symbol)	CORDIA 'L'Y'	6'0"
(Tree symbol)	'LITTLE BUNNY' FOUNTAIN GRASS	6'0"
(Tree symbol)	PEROVSKIA 'ALPINE' GRASS	6'0"
(Tree symbol)	ALBER BUCKINGHAM	6'0"
(Tree symbol)	REINHEIDSBOOSCH	6'0"
(Tree symbol)	FRAXINELLA 'COLLANSIA'	6'0"
(Tree symbol)	COMMON BOTANICAL NAME	6'0"
(Tree symbol)	REINHEIDSBOOSCH	6'0"
(Tree symbol)	REINHEIDSBOOSCH	6'0"

PLANTING AREA
Native or native adapted planting area. Planting will draw from the above 'Shrub' list. Match 10' topsoil.

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dham@epgdesign.com



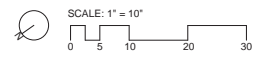
Principal: Grant Hardy
Project Manager: Grant Hardy
Drawn By: Grant Hardy
Checked By: Grant Hardy

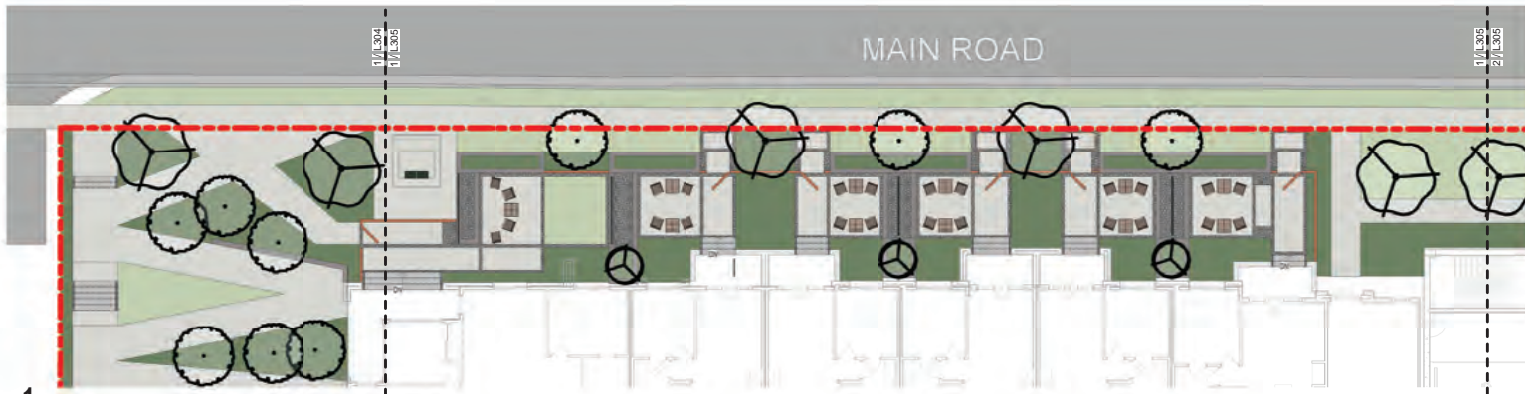
THE DESIGNER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE PLANTING PLAN AND TO THE ACCURACY OF THE INFORMATION PROVIDED TO THE CLIENT. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE DESIGNER AND FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER DOES NOT WARRANT THE SUITABILITY OF THE PLANTING PLAN FOR ANY PARTICULAR SITE OR CLIMATE. THE CLIENT AGREES TO HOLD THE DESIGNER HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THE PLANTING PLAN. THE CLIENT AGREES TO HOLD THE DESIGNER HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THE PLANTING PLAN.

Issue Date: 12/1/2021

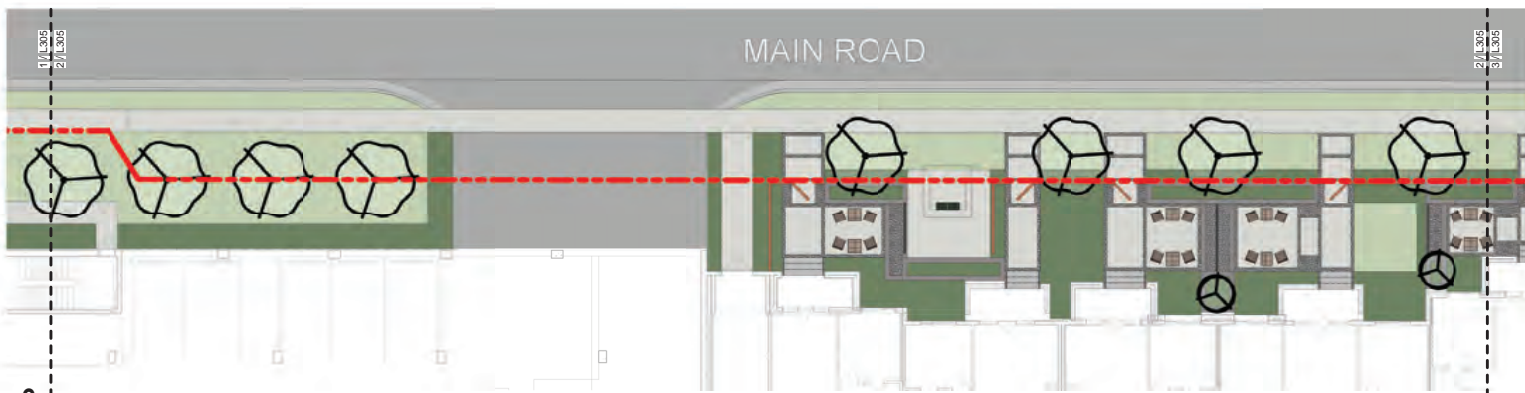
RENAISSANCE TOWNE CENTER
1560 S. MAIN STREET
PARCEL 11
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

Planting Plan
L503

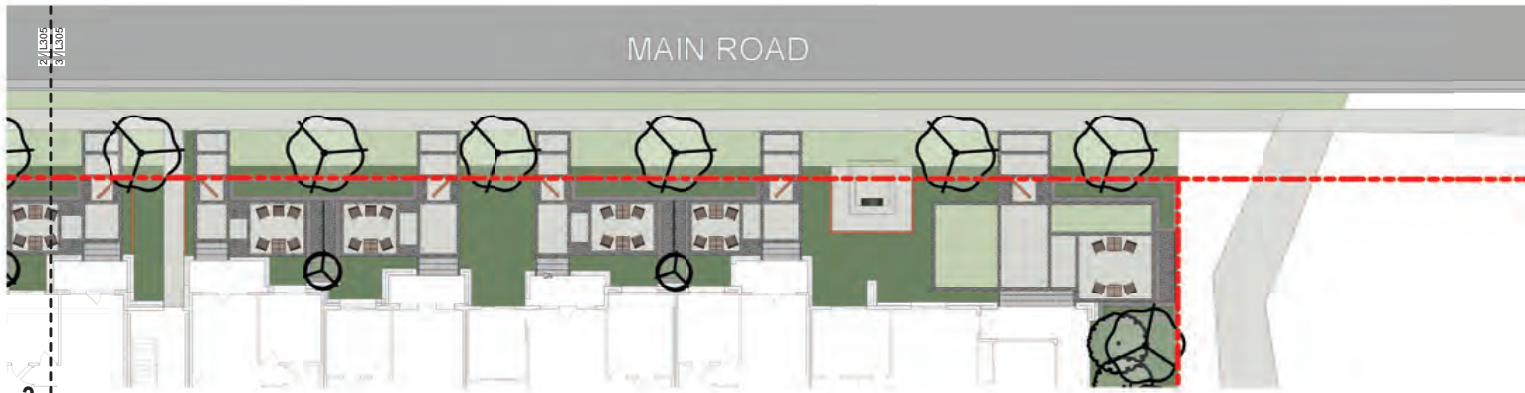




1 L505 - Main Road 1
1" = 10'



2 L505 - Main Road 2
1" = 10'



3 L505 - Main Road 3
1" = 10'

KEYNOTES LEGEND

TREE	SPC.	COMMON BOTANICAL NAME	HT
	1-1	COMMON BOTANICAL NAME	8' 0"
	1-2	COMMON BOTANICAL NAME	7' 0"
	1-3	COMMON BOTANICAL NAME	7' 0"
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	1-56	COMMON BOTANICAL NAME	7' 0"
	1-57	COMMON BOTANICAL NAME	7' 0"
	1-58	COMMON BOTANICAL NAME	7' 0"
	1-59	COMMON BOTANICAL NAME	7' 0"
	1-60	COMMON BOTANICAL NAME	7' 0"

PLANTING AREA
Native or native adapted planting area. Planting will draw from the above "Sketch" list. Match 10' top.

epg design A Terracon Company
Economic. Efficient. Environmentally Conscious.

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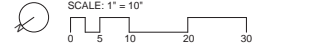
NOT FOR CONSTRUCTION

Principal: Grant Hardy
Project Manager: Grant Hardy
Drawn By: Grant Hardy
Checked By: Grant Hardy

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Issue Date: 12/1/2021



MEMORANDUM

Date: November 8, 2021
 To: Town Center LLC
 From: Hales Engineering



Subject: Bountiful Renaissance Towne Centre Parking Study Update

UT20-1856

Introduction

This memorandum discusses the parking study completed for the proposed Bountiful Renaissance Towne Centre development located in Bountiful, Utah. This site is owned / managed by Town Center LLC, who is requesting this study to evaluate the entire site by time-of-day use. The study identifies the City parking supply rates and time of day parking distributions identified by the Institute of Transportation Engineers (ITE). The proposed development is located in Bountiful, Utah. A vicinity map of the project site is shown in Figure 1.

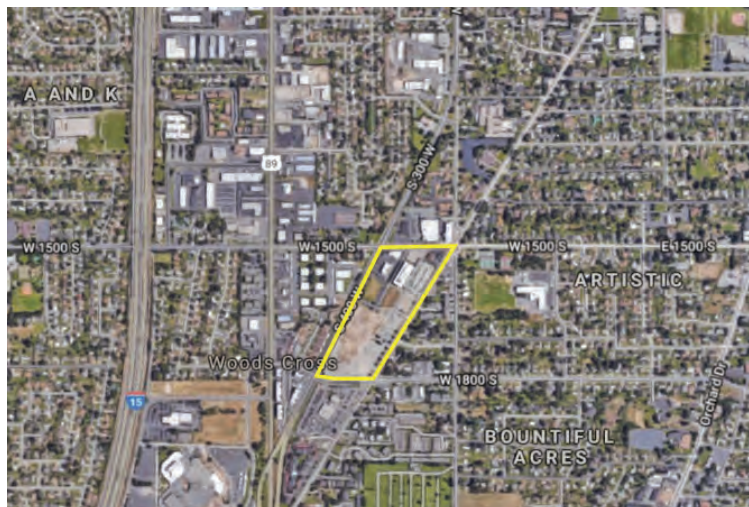


Figure 1: Site vicinity map of the project in Bountiful, Utah

Project Description

The development consists of various land uses, including residential apartments, medical office, professional office, commercial space, and restaurants. A supply of 1,585 stalls is currently planned for the project. A site plan is provided in Appendix A.

City Parking Code

The Bountiful City code specifies parking rates for various land use types. The required parking rates found in the City code for the study land uses are shown in Table 1.

Table 1: City Parking Rates

Land Use	Unit Type	Rate (stalls per unit)
Commercial	1,000 sq. ft.	5.00
Apartments	dwelling unit	2.00
Medical Office	1,000 sq. ft.	4.00
Professional Office	1,000 sq. ft.	3.33
Restaurant	1,000 sq. ft.	10.00

Source: Bountiful City code, 2021

It should be noted Bountiful city has rates of 1.75, 2.25, and 2.75 stalls per dwelling unit for 1-bedroom, 2-bedroom, and 3-bedroom units, respectively. Based on discussions with the development team and consistent with previous assumptions in earlier iterations of this parking study, it was determined that approximately half of the apartment units will be 1-bedroom units and the other half will be 2-bedroom units with very few 3-bedroom units planned. Therefore, a rate of 2.0 stalls per dwelling unit was used to simplify calculations. The calculations for the parking required by the City are shown in Table 2. As shown, it is anticipated that the City would require 2,273 stalls for the proposed development.

ITE Parking Demand

Hales Engineering referred to the Institute of Transportation Engineers (ITE) *Parking Generation* (5th Edition, 2019) to identify parking demand rates for the study land uses. ITE has gathered actual parking demand counts at various land uses and identified average, 85th percentile, and maximum rates. The 85th percentile rate represents a demand that is higher than 85 percent of study sites. The industry standard is to apply this rate. Hales Engineering calculated the anticipated parking demand based on the 85th percentile rates. The number of stalls needed based on these rates is shown in Table 3. As shown, ITE would suggest that the parking demand for the proposed project will be 1,783 stalls.

Since the ITE rates represent actual parking demand, it is common to provide a parking supply beyond what the anticipated demand is to accommodate occasional surges in demand and to reduce the need for drivers to circle the parking lot to find an open stall. Hales Engineering recommends providing 10% additional stalls beyond the anticipated demand. Based on this, a supply of 1,962 stalls should be provided for the project based on ITE data.

Table 2: City Parking Calculations

Lot #	Land Use	Intensity	Rate	Total Stalls
1	Medical Office	88.2 1,000 sq ft	4.00	353
1	Commercial	24.0 1,000 sq ft	5.00	121
6	Professional Office	6.8 1,000 sq ft	3.33	23
6	Commercial	6.8 1,000 sq ft	5.00	35
7	Professional Office	7.8 1,000 sq ft	3.33	27
7	Commercial	7.8 1,000 sq ft	5.00	40
8	Professional Office	6.9 1,000 sq ft	3.33	23
8	Commercial	6.9 1,000 sq ft	5.00	35
9	Commercial	4.7 1,000 sq ft	5.00	24
9	Apartments	40 dwelling units	2.00	80
10	Professional Office	33.0 1,000 sq ft	3.33	110
10	Commercial	11.0 1,000 sq ft	5.00	55
11	Professional Office	31.3 1,000 sq ft	3.33	105
11	Commercial	15.6 1,000 sq ft	5.00	79
11	Apartments	96 dwelling units	2.00	192
13	Restaurant	8.1 1,000 sq ft	10.00	81
14	Apartments	287 dwelling units	2.00	574
15	Commercial	20.0 1,000 sq ft	5.00	100
16	Apartments	30 dwelling units	2.00	60
17	Restaurant	6.1 1,000 sq ft	10.00	61
18	Restaurant	4.3 1,000 sq ft	10.00	43
19	Apartments	26 dwelling units	2.00	52
TOTAL				2,273

Table 3: ITE Parking Generation

ITE Parking Demand Bountiful - Renaissance Town Centre Lot 14					
Land Use	# of Units	Unit Type	85th %-tile Rate	Demand	Supply (+10%)
Multifamily Housing (Mid-Rise) (221)	479	DU	0.87	417	459
Shopping Center (820)	96.9	1,000 sq. ft.	3.68	357	393
Medical-Dental Office Building (720)	88.2	1,000 sq. ft.	4.59	405	446
General Office Building (710)	85.8	1,000 sq. ft.	3.30	283	311
High-Turnover (Sit Down) Restaurant (932)	18.5	1,000 sq. ft.	17.40	321	353
TOTAL				1783	1962
<i>Source: ITE Parking Generation, 5th Edition, 2019</i>					

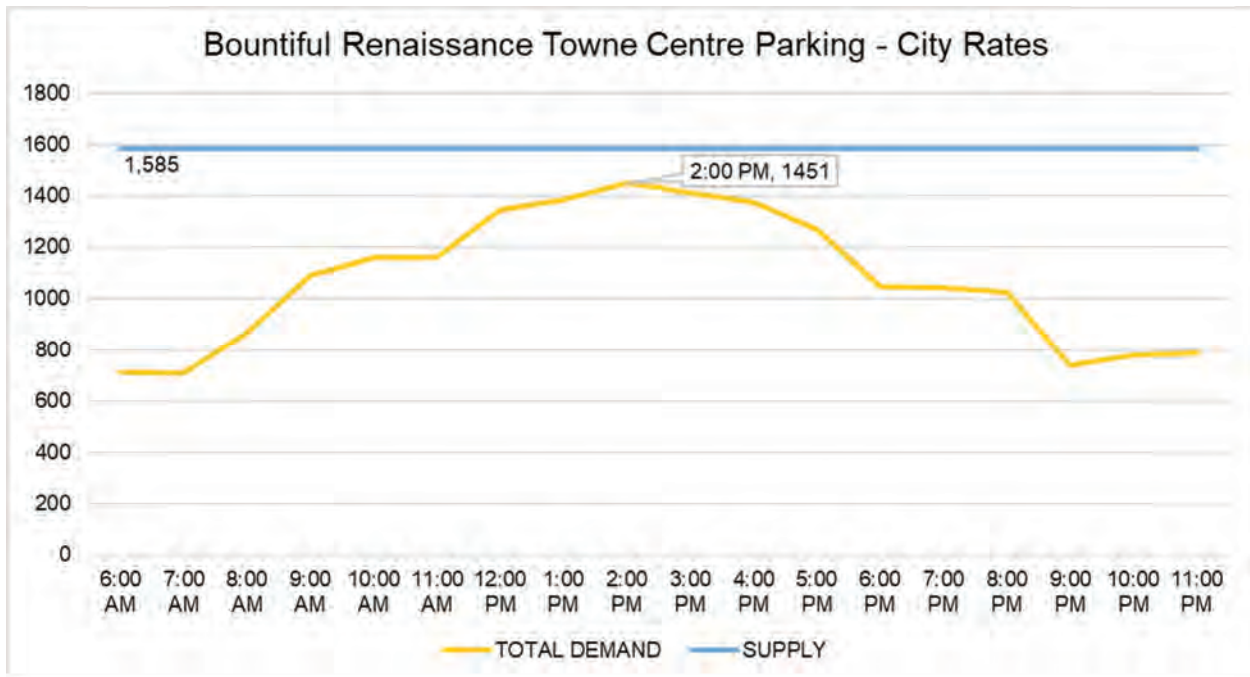
Time-of-Day Distribution

Mixed-use projects tend to have shared parking use depending on the type and intensity of its land uses. The Renaissance Towne Centre project, in particular, is an appropriate site for shared parking use because of the high amount of both office and residential uses. Office space requires parking during the day while residential space primarily requires parking overnight. This study evaluated the comprehensive parking needs of the project and not the individual location of the land uses at the owner’s request.

Hales Engineering applied time-of-day distributions to the required Bountiful City parking rates to determine the maximum anticipated demand when considering shared parking use. Varying parking demands for each land use were obtained from the Institute of Transportation Engineers (ITE), *Parking Generation*, 5th Edition, 2019.

A chart showing the overall time-of-day distribution of the parking on-site is shown in Figure 2. As shown, when considering time-of-day parking distribution, it is anticipated that a maximum demand of 1,451 stalls will be required based on City rates. ***With a planned supply of 1,585 stalls, it is anticipated that there will be sufficient stalls.***

Figure 2: Time-of-day parking distribution



Conclusions and Recommendations

The following are the key findings and conclusions of this study:

- The proposed mixed-use development will consist of medical office, professional office, apartments, retail space, and restaurants. **1,585** total parking stalls will be constructed (supplied) on the site.
- Without reductions, Bountiful City code requires 2,273 parking stalls for the proposed development.
- Based on 85th percentile ITE parking rates plus a 10% factor, it is anticipated that 1,962 parking stalls are needed, with the conclusion that supply will be sufficient for the demand.
- When considering shared parking using Bountiful City parking rates and ITE time-of-day distributions, it is anticipated that a maximum parking demand of **1,451** parking stalls will exist on site on an average weekday.

*Based on potential shared parking, it is anticipated that **1,585 stalls will be sufficient** for the anticipated demand of the land uses in the Renaissance Towne Centre project.*

APPENDIX A

Site Plan

Parking Plan

*Plan is conceptual only and subject to change. This plan is meant to show the development possibilities of the project.

Parking and Access

1. Parking stalls may be shared among all Lots throughout the development due to the mixed-use characteristic of the project, with the exception of the dedicated covered stalls associated with residential use. Reciprocal/shared parking is encouraged. The Land Use Authority may allow additional parking reductions during the site plan approval process.
2. Carports are not allowed without Land Use Authority approval.
3. Setbacks: All surface parking areas shall be setback at least 10 (ten) feet from a public street.
4. Residential Units: 1 (one) dedicated, covered parking stall per unit located within the footprint of or adjacent to the structure, with additional required stalls allowed along interior public and private streets, public parking garages and driveways.
5. Development of the individual pad sites needs to be consistent with the number of parking stalls required by the Bountiful City Land Use Code or may be modified by an approved parking study prepared by an accepted professional using the latest industry trends, to be analyzed individually during each Site Plan Review.
6. Parking along Main Street, 1500 South and 1800 South streets will not count towards the minimum parking requirements for this Development.
7. Each Lot submitted for site plan approval shall submit an updated Parking Study prepared by an accepted professional and shall update the Parking Plan table showing the number of planned stalls is equal to or greater than the number of required stalls as determined in the most recent Parking Study.

Dev. Plan Lot #	Platted Lot #	Status	Potential Footprint Sq.Ft.	Potential # of Floors	Potential Property Type					Total Sq.Ft.	Required Parking Stalls						Actual Stalls (Constructed and Planned)				
					Residential	Office	Commercial	Hotel / Entertainment	Total Mixed Use		ITE Ratio Other Mixed Use	ITE Ratio Residential	Surface Stalls	Parking Structure	Podium Parking Garage	TOTAL REQUIRED STALLS	Surface Stalls	Parking Structure	Podium Parking Garage	TOTAL STALLS	
Lot #1	Lot #1	Existing	24,038	5		88,350	24,038		112,388	112,388	3.23		21	342		363	21	342		363	
Lot #6	Lot #6	Existing	6,831	2		6,831	6,831		13,662	13,662	2.39					33	40		40		
Lot #7	Lot #7	Existing	7,839	2		7,839	7,839		15,678	15,678	2.39					38	44		44		
Lot #8		Future Development	6,861	2		6,861	6,861		13,722	13,722	2.39					33	33		33		
Lot #9	Lot #9	Under Construction	31,743	5	40 Units	46,972		4,687	51,659	51,659	1.95	1.31	22	40	62	84	22	40	62	84	
Lot #10	Lot #10	Future Development	11,000	4		33,000	11,000		44,000	44,000	2.39		6	100	106	58	100		106		
Lot #11		Future Development	15,625	9	96 Units	83,750	11,250	15,625	110,625	140,625	2.39	1.31	142	96	238	142	96		238		
Lot #13		Future Development	8,100	3				8,100	8,100	8,100	9.44				77	86			86		
Lot #14		Future Development	71,425	35	299 Units	334,382			405,807	334,382	1.31	1.31	393	299	302	393	299		392		
Lot #15a		Future Development	9,150	2				9,150	9,150	9,150	2.95		18		18	18			18		
Lot #15b		Future Development	10,850	2				10,850	10,850	10,850	1.95		32		32	22			22		
Lot #16	Lot #12	Site Plan Approved	11,908	4	30 Units	32,420			32,420	32,420	2.95	1.31	30		30	40		30	40		
Lot #17		Future Development	6,100	1				6,100	6,100	6,100	1.95		12		12	19			19		
Lot #18		Future Development	4,250	1				4,250	4,250	4,250	1.95		9		9	23			23		
Lot #19	Lot #13	Site Plan Submitted	6,150	4	26 Units	23,000			23,000	23,000		1.31	9		26	35			35		
Totals					491	530,534	173,931	76,881	38,450	289,262	819,786	Totals						577	859	96	1,532
Percent of Total Project						64.71%	21.22%	9.38%	4.69%	35.29%											

Institute of Transportation Engineers (ITE) Parking Generation Ratios

(Parking Ratios from Hales Engineering Study dated March 18, 2019)

- Residential** (Apartments)
1.31 Stalls per Unit
- Medical Office**
3.23 Stalls per 1,000 sq.ft.
- Professional Office**
2.39 Stalls per 1,000 sq.ft.
- Restaurant**
9.44 Stalls per 1,000 sq.ft.
- Other Mixed Use**
1.95 Stalls per 1,000 sq.ft.



Drawing represents approximately location of planned parking stalls and association with potential development lots. Table above delineates required, constructed and planned stalls.

Renaissance Town Centre
Mixed-Use Planned Unit Development
Bountiful City, Davis County, Utah



CivilScience
Engineers, Surveyors, Planners
3160 W Clubhouse Drive, Suite A, Lehi, UT 84043
801-768-7200

Town Center, LLC
1560 S. Renaissance Towne Dr.
Bountiful, Ut 84010

Broadhead & Company
1560 S. Renaissance Towne Dr.
Bountiful, Ut 84010

Renaissance Towne Center																							
Potential Parking Plan																							
Dev. Plan Lot #	Platted Lot #	Status	Potential Footprint Sq.Ft.	Potential # of Floors	Potential Property Type						Required Parking Stalls						Actual Stalls (Constructed and Planned)						
					Mixed Use						Required Parking Stalls						Actual Stalls (Constructed and Planned)						
					Residential	Office	Commercial	Hotel / Entertainment	Total Mixed Use	Total Sq.Ft.	ITE Ratio Other Mixed Use	ITE Ratio Residential	Surface Stalls	Parking Structures 1 & 2	Other Podium Parking Garages	TOTAL REQUIRED STALLS	Surface Stalls	Parking Structures 1 & 2	Other Podium Parking Garages	TOTAL STALLS			
Lot #1	Lot #1	Existing	24,038	5		88,150	24,038				112,188	112,188	3.23		21	342			363	21	342		363
Lot #6	Lot #6	Existing	6,831	2		6,831	6,831				13,662	13,662	2.39		33				33	40			40
Lot #7	Lot #7	Existing	7,839	2		7,839	7,839				15,678	15,678	2.39		38				38	44			44
Lot #8		Future Development	6,861	2		6,861	6,861				13,722	13,722	2.39		33				33	33			33
Lot #9	Lot #9	Under Construction	11,743	5	40 Units	46,972		4,687		4,687	51,659	51,659	1.95	1.31		22	40		62		22	40	62
Lot #10	Lot #10	Future Development	11,000	4			33,000	11,000		44,000	44,000	44,000	2.39		6	100			106	14	100		114
Lot #11		Future Development	15,625	9	96 Units	93,750	31,250	15,625		46,875	140,625	140,625	2.39	1.31	90	148			238	142	148		290
Lot #13		Future Development	8,100	1					8,100	8,100	8,100	8,100	9.44		77				77	86			86
Lot #14		Future Development	71,429	5	287 Units	320,962				320,962	320,962	320,962		1.31	93	300			376	93	300		393
Lot #15a		Future Development	9,150	2					9,150	9,150	9,150	9,150	1.95		18				18	18			18
Lot #15b		Future Development	10,850	2					10,850	10,850	10,850	10,850	1.95		22				22	22			22
Lot #16	Lot #12	Site Plan Approved	11,908	4	30 Units	32,420				32,420	32,420	32,420	1.95	1.31	10		30	40	43	13		30	43
Lot #17		Future Development	6,100	1					6,100	6,100	6,100	6,100	1.95		12				12	19			19
Lot #18		Future Development	4,250	1					4,250	4,250	4,250	4,250	1.95		9				9	23			23
Lot #19	Lot #11	Site Plan Submitted	6,150	4	26 Units	23,000				23,000	23,000	23,000		1.31	9		26	35	35	9		26	35
Totals					479	517,104	173,931	76,881	38,450	289,262	806,366	806,366	Totals		471	912	96	1,462		577	912	96	1,585
Percent of Total Project						64.13%	21.57%	9.53%	4.77%	35.87%													

Stalls Highlighted in Gray are stalls constructed and in use

Stalls Highlighted in Green are siteplan approved stalls to be constructed

Stalls not Highlighted are planned stalls

Note:
"Other Podium Parking Garages" are Parking Garages built or planned under the Buildings (for example 40 stalls)