


BOUNTIFUL CITY
PLANNING COMMISSION AGENDA
Tuesday, June 4, 2019
6:30 p.m.

NOTICE IS HEREBY GIVEN that the Bountiful City Planning Commission will hold a meeting in the Conference Room at **South Davis Metro Fire Station, 255 S 100 W, Bountiful, Utah**, at the time and on the date given above. The public is invited. Persons who are disabled as defined by the American with Disabilities Act may request an accommodation by contacting the Bountiful Planning Office at 298-6190. Notification at least 24 hours prior to the meeting would be appreciated.

1. Welcome and Introductions.
2. Approval of the minutes for May 21, 2019.
3. **PUBLIC HEARING** – Consider approval of a Conditional Use Permit for inside storage for a building construction material/office for Jim Miller Plumbing and Heating located at 220 W Center St, Randy Lewis representing Jim Miller, applicant.
4. Consider final site plan approval for a building construction material/office without outside storage for Jim Miller Plumbing and Heating located at 220 W Center St, Randy Lewis representing Jim Miller, applicant.
5. Consider preliminary and final site plan review approval for the Bountiful Family Search Center located at 1579 N Main St, Christian Stevens representing the Bountiful Family Search Center, applicant.
6. Consider preliminary site plan review approval for a triplex located at 170 North 100 West, Jonathon Blosch, applicant.
7. Consider approval of the Findings of Fact approval for a variance to the standards of the Bountiful City Land Use Ordinance to allow for encroachments on slopes greater than 30% located at 2452 Cave Hollow Way, Daniel and Carri Fergusson, applicant.
8. Planning Director's report, review of pending applications and miscellaneous business.



Clint Drake, Interim City Planner

Commission Staff Report

Item # 3 & 4

Subject: PUBLIC HEARING: Conditional Use Permit and final site plat approval of a building/construction material and supplies without outside storage for Jim Miller Plumbing
Author: Curtis Poole, Assistant City Planner
Address: 220 West Center Street
Date: May 29, 2019



Description of Request:

The applicant, Jim Miller, requests Conditional Use Permit and final site plan approval for an expansion of his existing business located along 200 West. The proposal will provide additional office and storage space for Jim Miller Plumbing near the existing business.

Background and Analysis:

The property is zoned C-G (General Commercial) and is bordered on the east and north by commercial zoning and on the south and west by multi-family residential zoning. The proposed development is approximately 0.129 acres (5,619 square feet). Various businesses have tried to develop this property; however, the lot size and setback standards placed constraints difficult to meet.

The proposed building meets all the required setback, height and parking standards of the commercial zone. In addition the proposal shows a landscape buffer of 10 feet against the residential property to the west. The overall landscape exceeds the 15 percent as required by code. A detention basin will be located on the south western portion of the lot and will be part of the overall landscaping. To meet the landscaping standard for trees, staff has requested the applicant add three additional trees on the north and east side of the property.

The main floor of the proposed building will have a standard and larger overhead garage door to accommodate vehicle storage and loading in addition to an office space. There will be a stairwell entrance accessed on the west of the building leading to a storage area under the office and one of the garage bays. The main floor office will need to be accessed by a sidewalk on the west side of the building in addition a railing separating it from the stairs leading to the basement storage area; both of which will need to be added to plans prior to issuance of the building permit.

The existing drive approach will be removed and replaced with curb and gutter and a new 24 foot drive access will be added.

Department Review

This proposal has been reviewed by the Engineering, Power, and Planning Departments and by the Fire Marshall.

Recommended Action

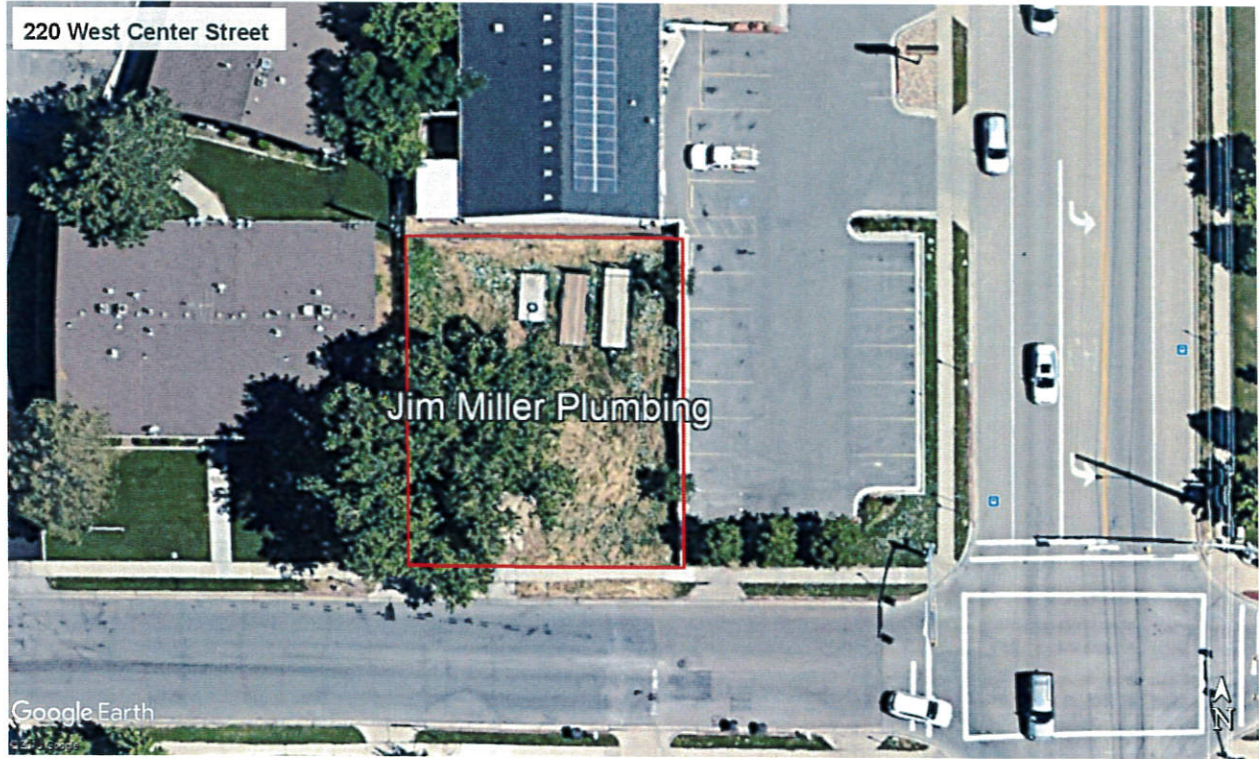
Staff recommends the Planning Commission approve the Conditional Use Permit and forward to the City Council a recommendation of approval of the final site plan for the proposed building/construction material and supplies without outside storage for Jim Miller Plumbing subject to the following conditions:

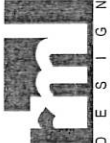
1. Complete any and all redline corrections.
2. Prior to the issuance of a building permit the additional trees required to meet the standards of the Code along with the addition of the sidewalk and handrail on the west side of the building will need to be added to the plans.

Attachments

1. Aerial photo
2. Site and utility plans
3. Building elevations

Aerial Photo





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 MR. AND MRS. CLIENT

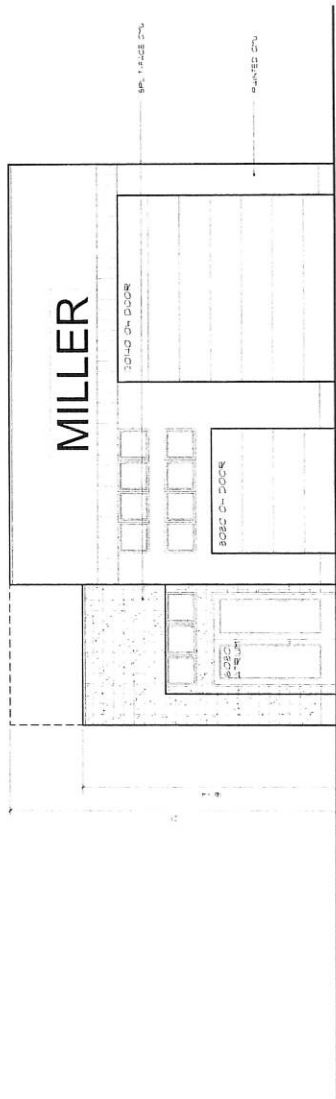
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FRONT REAR ELEVATIONS

Received
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A FRONT ELEVATION
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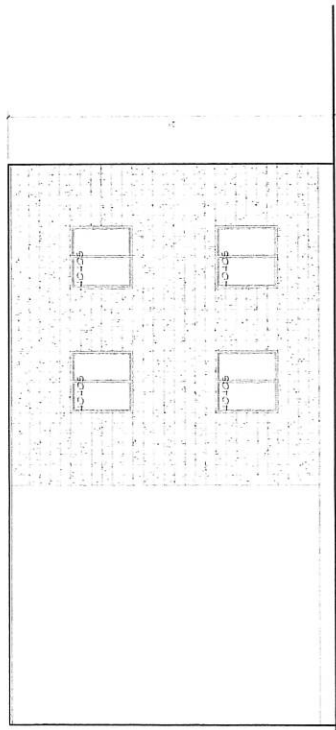
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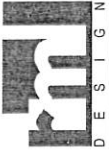
REAR ELEVATION

A2 | 2

PAGE 5 OF 23



A REAR ELEVATION
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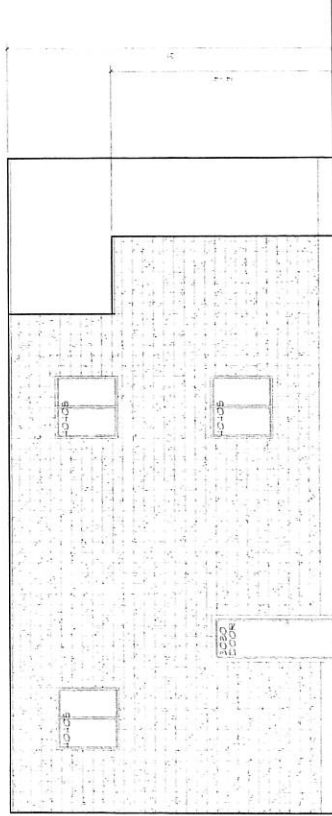
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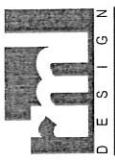
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PAGE 6 OF 23



A LEFT SIDE ELEVATION

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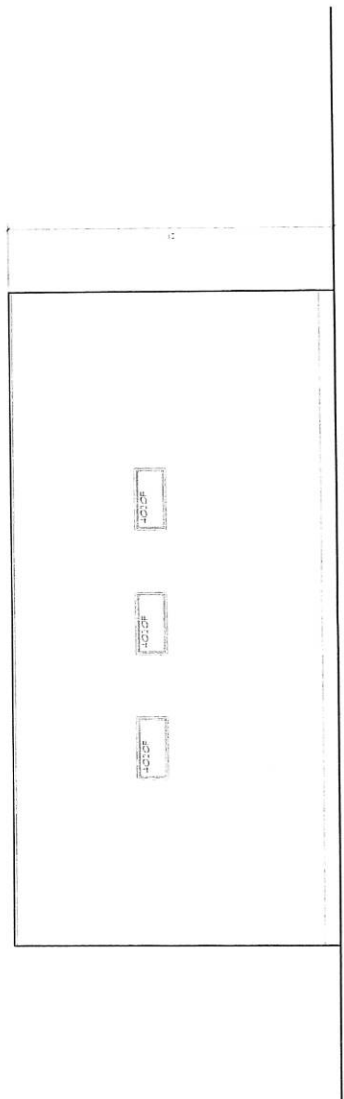
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RIGHT
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PAGE 7 OF 23



A RIGHT SIDE ELEVATION
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LOCATION INFO:
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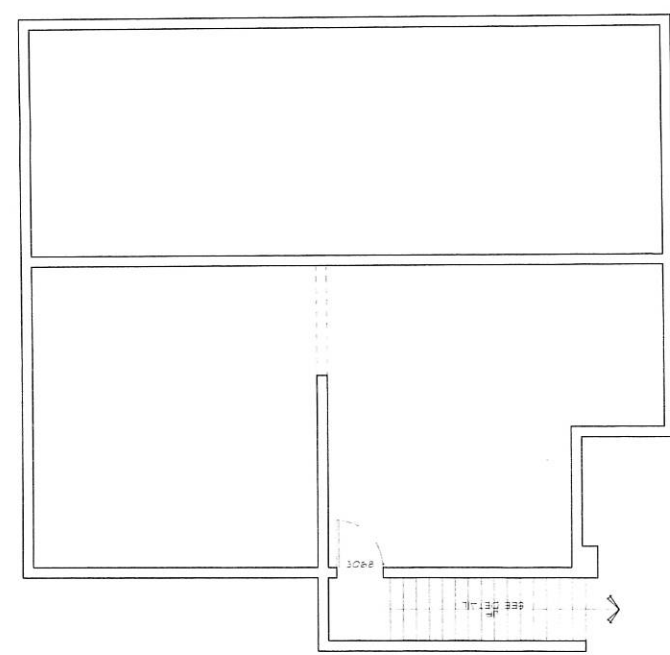
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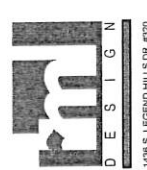
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A BASEMENT FLOOR PLAN
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 MILLER SHOP

LOCATION INFO:
 LOT #
 107
 SUBDIVISION
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 CITY
 CITY NAME
 STATE
 UTAH

CLIENT NAME:
 MR. AND MRS.
 CLIENT

PLAN NAME:
 PLAN NAME

ORIGINAL RELEASE:
 JAN 1, 2007

REVISION DATES
 XXXXXXXX
 XXXXXXXX
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**BASEMENT
 WALL FRAMING
 PLAN**

A3 | 2

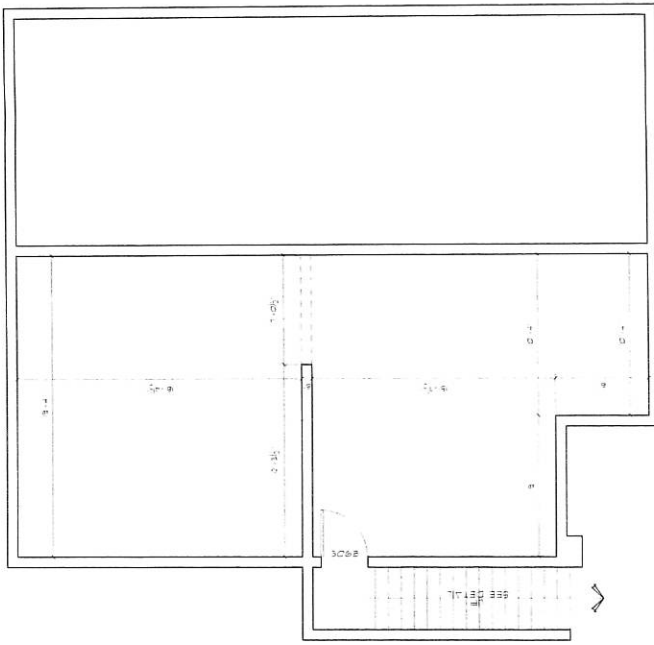
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A BASEMENT WALL FRAMING PLAN
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MR. AND MRS.
CLIENT

PLAN NAME:
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ORIGINAL RELEASE:
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MAIN FLOOR PLAN

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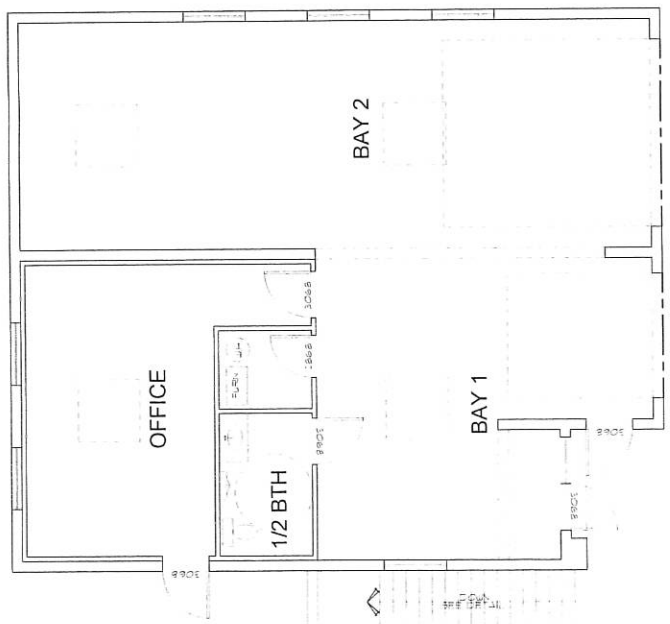
PAGE 10 OF 23

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PLEASE REFER TO THE SPECIFICATIONS OF THE PROJECT FOR A COMPLETE LIST OF ALL NOTES AND CONDITIONS. THIS DRAWING IS TO BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND CONTRACT DOCUMENTS. ANY CHANGES TO THIS DRAWING SHALL BE MADE BY A REVISION SHEET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP ALL DEBRIS AND WASTE MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE CLIENT OF ANY DELAYS OR CHANGES TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AS-BUILT DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL RECORDS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE CLIENT OF ANY DELAYS OR CHANGES TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AS-BUILT DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL RECORDS OF THE PROJECT.

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SHEETROCK NOTE
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A MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



1488 S LEGEND HILLS DR #200
CLEARFIELD, UTAH 84015
801.277.3127

ATTENTION
THE DESIGNER HAS REVIEWED THE
CONTRACT DOCUMENTS AND HAS
NOTIFIED THE CLIENT OF ANY
CONFLICTS WITH THE DESIGN
AND/OR THE PERMITS OFFICE.

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PROJECT NAME:
MILLER SHOP

LOCATION INFO:
LOT #
101
SUBDIVISION
SUBNAME
SUBNAME
CITY
CITY NAME
STATE
UTAH

CLIENT NAME:
MR. AND MRS.
CLIENT

PLAN NAME:
PLAN NAME

ORIGINAL RELEASE:
JAN 1, 2007

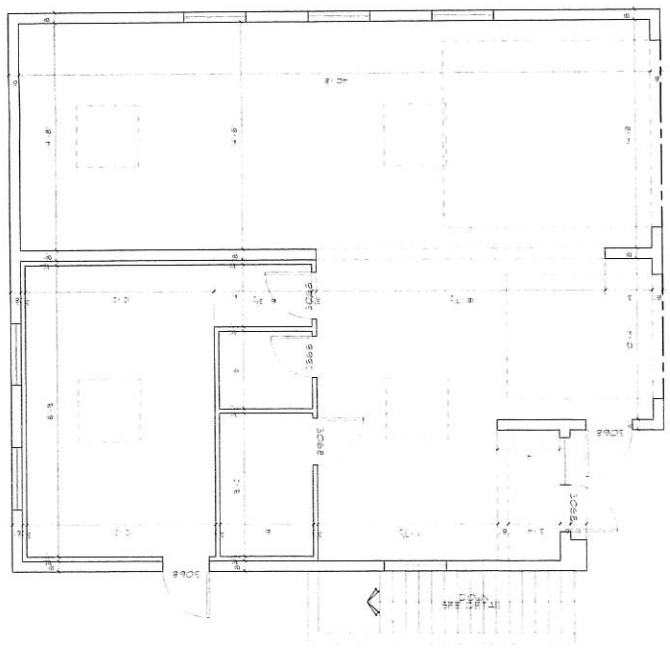
REVISION DATES
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**MAIN FLOOR
WALL FRAMING
PLAN**

A3|4

PAGE 11 OF 23

NOTE
THIS PLAN IS THE RESULT OF THE
DESIGNER'S BEST EFFORTS TO BE
ACCURATE AND COMPLETE. THE
CLIENT IS RESPONSIBLE FOR
VERIFYING ALL DIMENSIONS AND
CONDITIONS PRIOR TO CONSTRUCTION.
THE DESIGNER IS NOT RESPONSIBLE
FOR ANY ERRORS OR OMISSIONS
RESULTING FROM THE USE OF THIS
PLAN. THE CLIENT SHALL BE RESPONSIBLE
FOR OBTAINING ALL NECESSARY
PERMITS AND APPROVALS FROM
THE APPROPRIATE AGENCIES.
THE DESIGNER'S LIABILITY IS LIMITED
TO THE DESIGN SERVICES PROVIDED
HEREIN. THE DESIGNER SHALL NOT
BE HELD RESPONSIBLE FOR ANY
CONSEQUENCES ARISING FROM THE
USE OF THIS PLAN.



A MAIN FLOOR WALL FRAMING PLAN
SCALE: 1/8" = 1'-0"

Commission Staff Report

Item 5

Subject: Preliminary and Final Site Plan approval for an Educational Services Building
Author: Curtis Poole, Assistant City Planner
Address: 1579 North Main Street
Date: June 4, 2019



Description of Request:

The applicant, Bountiful FamilySearch Center, requests preliminary and final site plan approval for an Educational Services Building, located at 1579 North Main Street. The property is located in the MXD-R (Mixed-Use Residential) zone.

Background and Analysis:

The property is zoned MXD-R and is bordered on the south and west by the Village on Main mixed-use development. There is a multifamily development to the north across Page Lane and commercial zoning across Main Street to the east, both in Centerville City. The proposed development is located on 1.22 acres (approximately 53,143 square feet) which is currently a vacant lot on the corner of Main Street and Pages Lane. Development of this parcel has been anxiously anticipated for years as it is an entry point to Bountiful on Main Street from the north.

The proposed plans show a 10,000 square foot single story building, housing multiple classrooms, conference rooms, and consultation and study areas. Entrances are located on the west facing the parking lot and east facing Main Street. The exterior of the building will be a mix of wood siding, clear glazed aluminum, exposed wood elements and architectural concrete. The roof will be a standing seam metal roof. The proposed building meets the required setback and height standards for the MXD-R zone. The proposed use of the building is a permitted use in the MXD-R zone.

Parking for the facility will be located on the south and the west of the property. The proposal shows 38 parking stalls plus an additional 4 handicap stalls. The proposed parking will meet the standards of the code; however, in addition the applicant will verify any cross parking access with the surrounding developments for times of heavy parking use. Vehicular access to the property will be on the southwest of the property from the interior of the Village on Main development and an existing drive approach onto Pages Lane which runs between this property and the property to the west.

Plans submitted show there will be a landscape buffer along Main Street and Pages Lane with a mix of flower beds, trees (both new and existing) and grass. There will be a plaza feature to the east of the building with a pathway leading to the corner of Main Street and Pages Lane. In addition there will be landscaped areas buffering the property to the south and landscaped islands in the parking lot. The proposed landscaping meets the standards of the Code.

Water and sewer will be provided via connections to existing lines within the Village on Main development. Storm water drainage was designed in conjunction with the previous development and is sized to handle the change to this development. The Power Department indicated there may need to be an easement release and relocation of the transformer at the southwest corner of the lot.

Department Review

This proposal has been reviewed by the Engineering, Power, and Planning Departments and by the Fire Marshall.

Significant Impacts

The development is occurring in an area with urban levels of infrastructure already in place. Impacts from the development of this property have been anticipated in the design of the existing storm water, sewer, and water and transportation systems.

Recommended Action

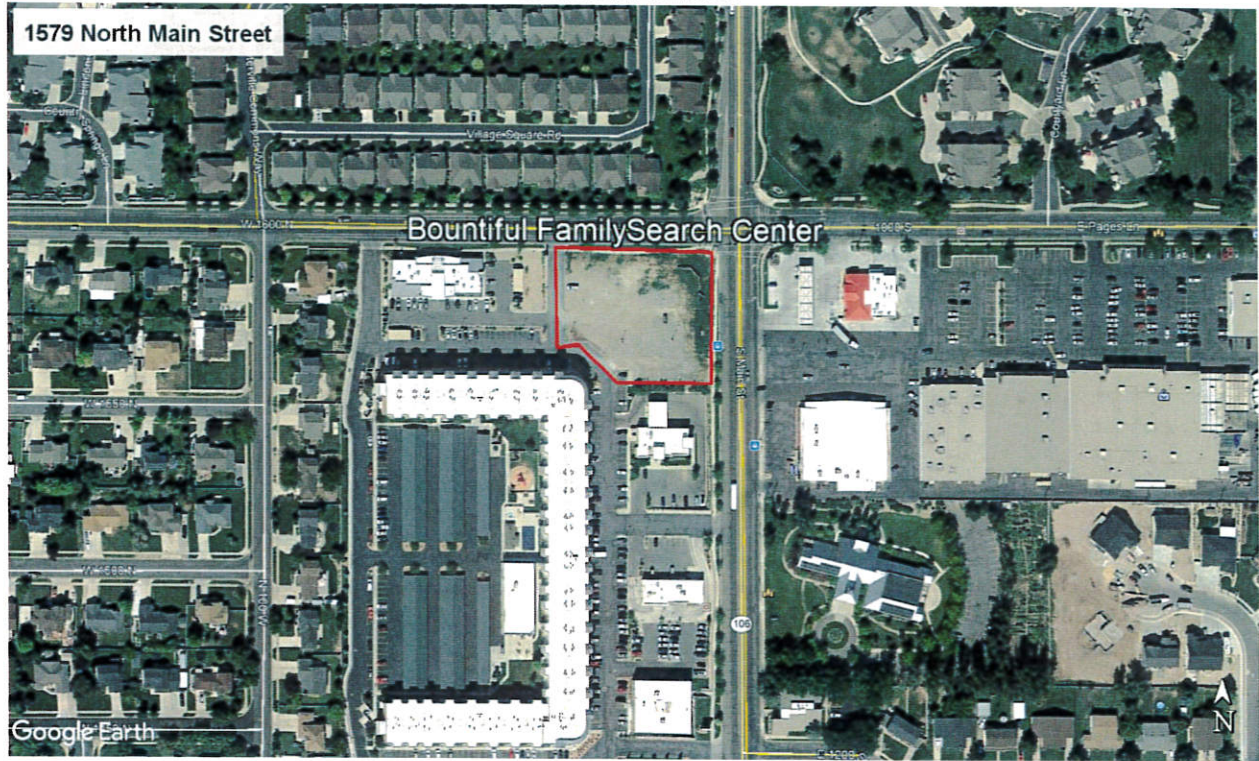
Staff recommends the Planning Commission forward a recommendation of approval to the City Council for preliminary and final site plan review for the proposed educational services building subject to the following conditions:

1. Complete any and all redline corrections.
2. Prior to issuance of the building permit, resolve any concerns with Bountiful City Light and Power regarding connections to the property.

Attachments

1. Aerial photo
2. Site and utility plans
3. Landscaping plans
4. Building elevations

Aerial Photo





The Church of Jesus Christ of Latter-Day Saints FamilySearch Center - Bountiful

1579 NORTH MAIN ST. BOUNTIFUL, UT. 84010

Date Revision

SITE PLAN APPROVAL

NEXUS PROJECT # 18132
 CLIENT NAME: THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS
 DRAWN BY: ALEKHAY
 DATE: 05/10/19

PRELIMINARY SITE PLAN

C101



LAYTON
 1485 W. THE PARK BLVD. SUITE 204
 LAYTON, UT 84040
 Phone: 801.547.1100

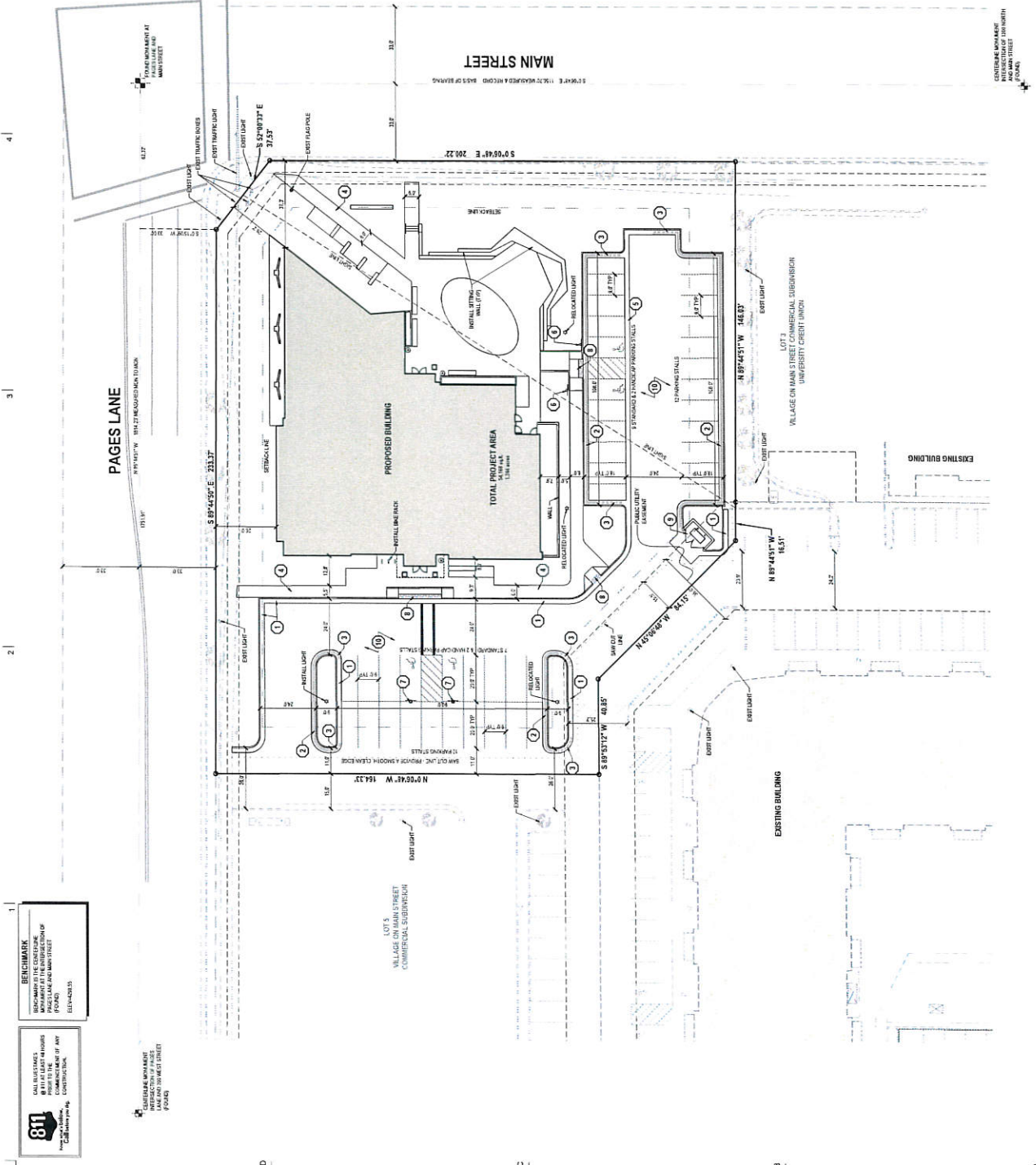


ENSGN PROJECT # 6562
 WWW.ENSGN.COM

- GENERAL NOTES:**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND REGULATIONS.
 2. ALL IMPROVEMENTS MUST COMPLY WITH ALL STANDARDS AND REGULATIONS.
 3. SEE LANDSCAPE ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH AND SCHEDULE FOR PRELIMINARY SCHEDULE.
 4. ALL FINISHES AND MATERIALS SHALL BE OF THE HIGHEST QUALITY AVAILABLE.
 5. ALL SURFACE IMPROVEMENTS SHALL BE PERFORMED BY CONTRACTORS WHO SHALL BE LICENSED OR REGISTERED IN THE STATE OF UTAH. ALL FINISHES SHALL BE RECORDED OR RECORDED IN THE STATE OF UTAH. ALL FINISHES SHALL BE RECORDED OR RECORDED IN THE STATE OF UTAH.
 6. NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS BEFORE BEGINNING WORK.
 7. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.

NOTES:

1. 2" COLLECTOR DRAIN AND GUTTER PER DETAIL SECTION.
2. 2" PERGEE PAN AND GUTTER PER DETAIL SECTION.
3. TRANSITION FROM COLLECTION AND GUTTER TO REUSE PAN AND GUTTER.
4. CONCRETE FINISH PER DETAIL SECTION.
5. 1" POLYMER SAND PER DETAIL SECTION.
6. 1" POLYMER SAND PER DETAIL SECTION.
7. 1" POLYMER SAND PER DETAIL SECTION.
8. 1" POLYMER SAND PER DETAIL SECTION.
9. 1" POLYMER SAND PER DETAIL SECTION.
10. 1" POLYMER SAND PER DETAIL SECTION.



811
 CALL 811 BEFORE ANY EXCAVATION OR DRILLING TO LOCATE UTILITIES.
 COMMENCEMENT OF ANY CONSTRUCTION SHALL BE WITHIN 48 HOURS OF THE DATE OF THE 811 CALL.

BENCHMARK
 BENCHMARK IS THE CENTERLINE OF PAGES LANE AND MAIN STREET INTERSECTION.

SITE PLAN APPROVAL

NEXUS PROJECT # 18132
 DRAWN BY: M. Elmer
 DATE: 05/10/19

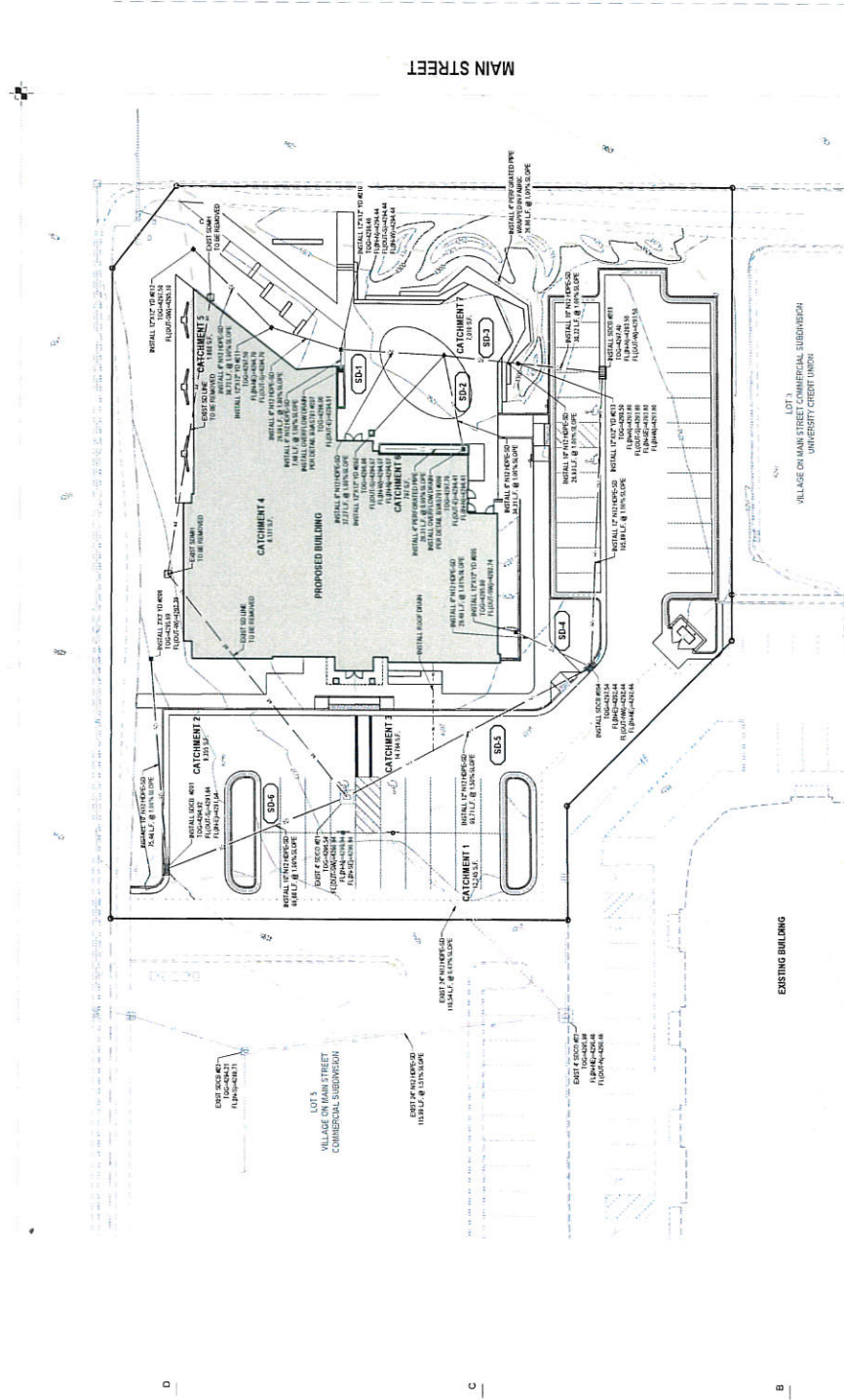
DRAINAGE PLAN

C201

- GENERAL NOTES**
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCIES STANDARDS AND REGULATIONS.
 - ALL IMPROVEMENTS MUST COMPLY WITH ALL STANDARDS AND REGULATIONS.
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PAGES LANE



Catchment Calculations (Use as a Guide)
 Rainfall Intensity: 4.05 in/hr
 Time of Concentration: 0.173 hr

Phase	Area	C Value	Flow (CFD)	Duration	Flow Type	Full Flow	% of Full
1	Building Area	10.2178	0.9	6.0	0.000	0.000	0.00%
2	Total Subcatchment	29.893	0.9	6.0	0.000	0.000	0.00%
3	Landscaping Area	14.057	0.15	6.0	0.000	0.000	0.00%
4	Weighted Average C	0.700					
5	Total Area	54.109 SF					
6	Total Area	0.700					
7	Final Flow						

Pipe Discharge (Use as a Guide)

Pipe	Flow	Velocity	Depth	Time	Flow Type	Full Flow	% of Full
SD-1	0.000	0.000	0.000	6.0	0.000	0.000	0.00%
SD-2	0.000	0.000	0.000	6.0	0.000	0.000	0.00%
SD-3	0.000	0.000	0.000	6.0	0.000	0.000	0.00%
SD-4	0.000	0.000	0.000	6.0	0.000	0.000	0.00%
SD-5	0.000	0.000	0.000	6.0	0.000	0.000	0.00%
SD-6	0.000	0.000	0.000	6.0	0.000	0.000	0.00%



LAYTON
 THE STANDARD IN ENGINEERING
 146 W. 10th St. Ste. 304
 Bountiful, UT 84002
 Phone: (801) 547-1100



ENGIN PROJECT # 8652
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 1-800-485-8111



Architectural NEXUS, Inc.
Salt Lake City, UT 84109
T 801.324.5000
http://www.archnexus.com

The Church of Jesus Christ of Latter-Day Saints
FamilySearch Center - Bountiful
1579 NORTH MAIN ST., BOUNTIFUL, UT, 84010

Date Revision

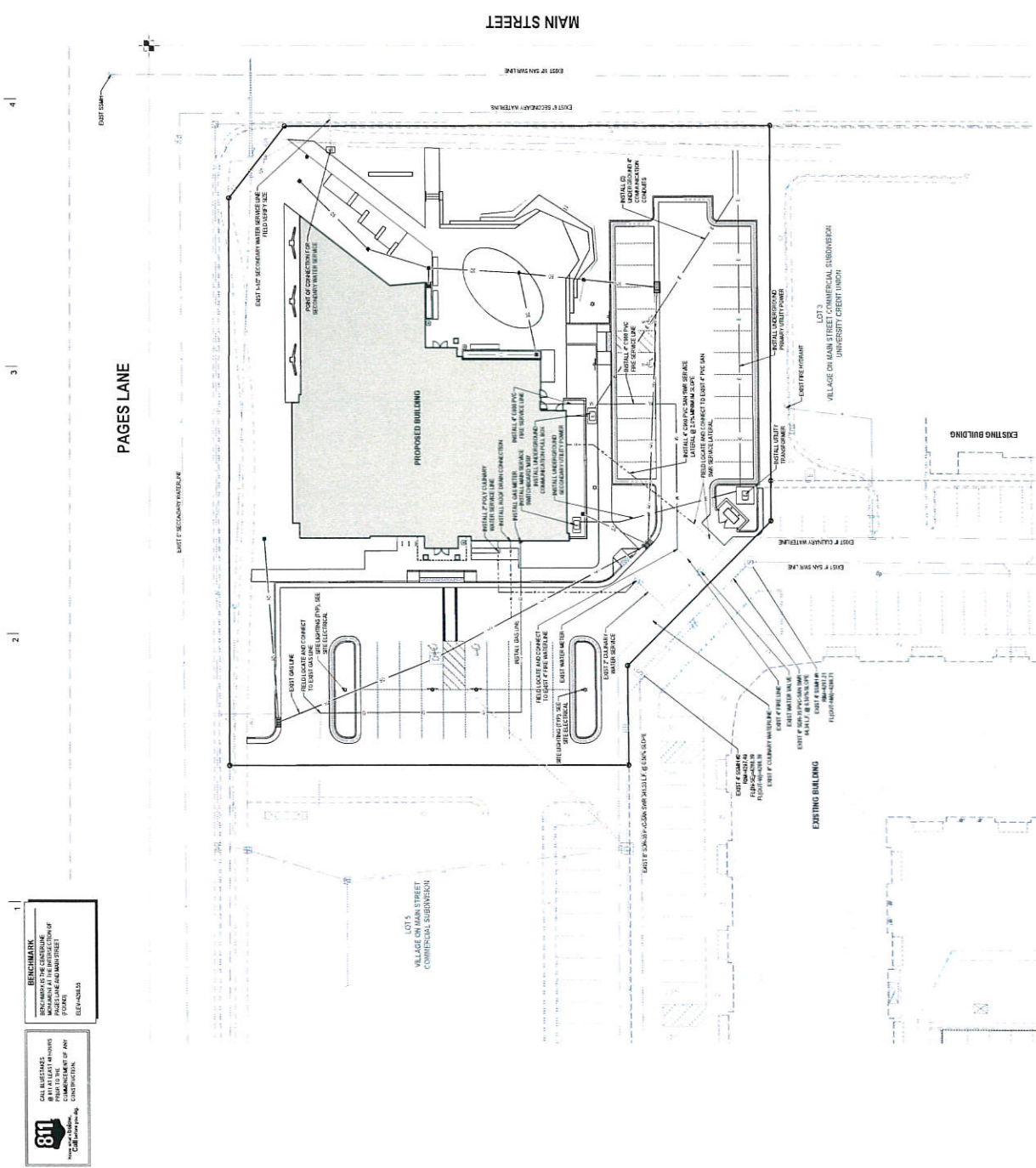
SITE PLAN
APPROVAL

NEXUS PROJECT #: 18132
CHECKED BY: C. Preston
DRAWN BY: M. Elmer
DATE: 08/10/19

UTILITY
PLAN

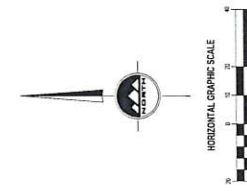
C300

- 5 |
- GENERAL NOTES**
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY STANDARDS AND SPECIFICATIONS.
 - EXISTING UTILITIES ARE SHOWN AS DOTTED LINES AND IMPROVEMENTS ARE SHOWN IN THESE APPROXIMATE LOCATIONS. LOCATIONS MAY VARY FROM THE SHOWN LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE GOVERNING AGENCY AND FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE GOVERNING AGENCY AND FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE GOVERNING AGENCY AND FOR THE PROTECTION OF ALL UTILITIES.
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1 | 2 | 3 | 4 | 5

**IBC 2018 - GENERAL CODE REQUIREMENTS
 NEW CONSTRUCTION**

CODE REFERENCE	*AREA 1*	*AREA 2*	*AREA 3*	BUILDING
CONSTRUCTION CLASSIFICATION				A-3
ALLOWABLE HEIGHT				HEIGHT / STORES
BASE ALLOWABLE HEIGHT (GRADE GRADE PLANE)				40/11
HEIGHT REDUCTION FOR SPRINKLERS				20/11
ACTUAL HEIGHT				20/11
ALLOWABLE AREA				
BASE ALLOWABLE AREA (PER FLOOR)				24,000 SF
ACTUAL AREA				10,100 SF
CONSTRUCTION CLASSIFICATION				TYPE: V-B
CONSTRUCTION CLASSIFICATION				UL LISTING
RESISTANCE RATING - BUILDING ELEMENTS				
STRUCTURAL FRAME, INCLUDING COLUMNS, CHIEFS				
WALLS				
BEARING WALLS EXTERIOR				
BEARING WALLS INTERIOR				
NON-BEARING WALLS EXTERIOR				
NON-BEARING WALLS INTERIOR				
FLOOR CEILING INCLUDING SUPPORT				
ROOF CEILING INCLUDING SUPPORT				
BEAMS AND JOISTS				
RESISTANCE RATING - FIRE SEPARATION DIST				
< 5' PENETRAT REQUIRED PER SECTION 703.11				
> 5' AND < 10'				
> 10' AND < 30'				
> 30'				
AUTOMATIC SPRINKLER SYSTEMS				
STAIRWAY WIDTH				
STAIRWAY WIDTH WITH OCCUPANT				
STAIRWAY WIDTH REQUIRED				
OTHER EGRESS COMPONENT WIDTH PER OCCUPANT				
OTHER EGRESS COMPONENT WIDTH INSURED				
OTHER EGRESS COMPONENT WIDTH PROVIDED				
CORRIDORS				
REQUIRED RESISTANCE RATING				
MINIMUM WIDTH				
ENTRANCES				
MINIMUM PLUMBING FACILITIES				
WATER CLOSETS				
LAVATORIES				
DRINKING FOUNTAINS				
OTHER				

REQUIRED RATING	UL LISTING	REQUIRED RATING	UL LISTING
1 HOUR	UL 145	1 HOUR	UL 145
2 HOUR	UL 145	2 HOUR	UL 145
3 HOUR	UL 145	3 HOUR	UL 145
4 HOUR	UL 145	4 HOUR	UL 145
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98 HOUR	UL 145	98 HOUR	UL 145
99 HOUR	UL 145	99 HOUR	UL 145
100 HOUR	UL 145	100 HOUR	UL 145

See AS 101 for Site Plan Code Review



TOTAL OCCUPANCY: 484 OCC.

N
 A1 LEVEL 01 - CODE REVIEW PLAN
 (0101) 1/8" = 1'-0"



ARCH NEXUS, Inc.
 Architectural Services
 1579 NORTH MAIN ST. BOUNTIFUL, UT 84016
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 P 801.924.5000
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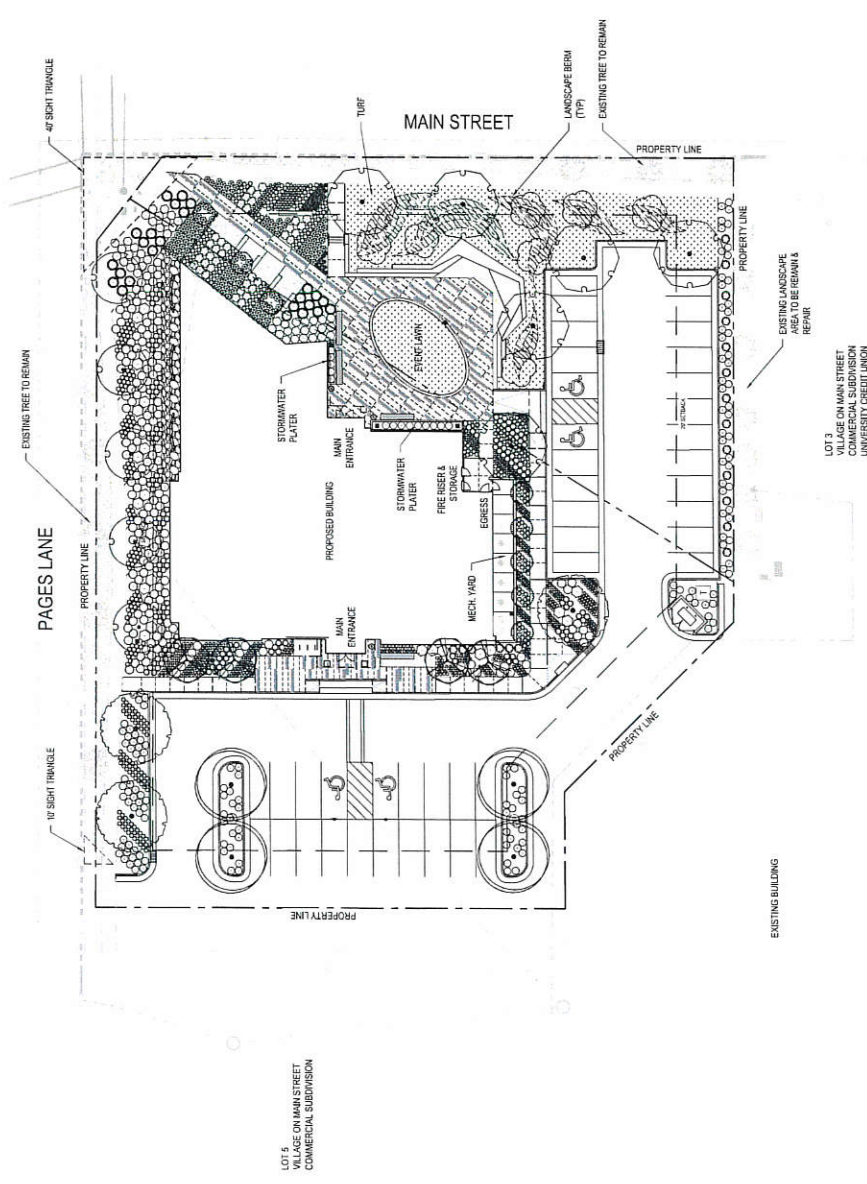
The Church of Jesus Christ of Latter-Day Saints FamilySearch Center - Bountiful

1579 NORTH MAIN ST. BOUNTIFUL, UT. 84016

Date Revision

PLANTING GENERAL NOTES:

1. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE CONSTRUCTION OF ANY SEPARATE DISCREPANCIES WITH ARCHITECT.
2. DO NOT SCALE DRAWINGS.
3. COORDINATE FACILITY CROSSING INCLUDING:
 - CONSTRUCTION SCHEDULING
 - CONFORMANCE WORK AND SCHEDULING WITH CIVIL AND LANDSCAPING. PROVIDE SLEEPS IN FOOTING IN ALL SEAT WALLS AND RETAINING WALLS.
 - PROVIDE BLOCK OUTS FOR UTILITY TO PASS THROUGH FOUNDATION WALLS. SEE TYPICAL.
4. THE EXISTING SITE CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO BEGINNING WORK AND TO BRING TO DISCREPANCIES OF STATED VERSUS ACTUAL SITE CONDITIONS. SHOULD DISCREPANCIES EXIST THE CONTRACTOR IS RESPONSIBLE FOR DISCREPANCIES DELEGATED TO THE ARCHITECT ON CONTRACTOR COMPANY LETTERHEAD PRIOR TO BEGINNING WORK. IN THE EVENT THE CONTRACTOR DISCOVERS DISCREPANCIES FROM THE STATED VERSUS ACTUAL SITE CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO BEGINNING WORK THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY WORK AS DIRECTED BY THE ARCHITECT AND ALL ADJUSTMENTS TO CONSTRUCTION ITEMS, TEXTURES AND SITE IMPROVEMENTS AT NO ADDITIONAL COST TO THE OWNER.
5. SEE LANDSCAPE ARCHITECTURAL DRAWINGS FOR MORE INFORMATION.






























SITE PLAN APPROVAL

NEXUS PROJECT #: 18122.1
 CHECKED BY: J.S.
 DRAWN BY: J.S.
 DATE: 05/14/15






PLANTING PLAN

LP101

PLANT SCHEDULE

DECIDUOUS TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE (HxW)	CONTAINER	TRUNK	ZONE	WATER WISE	QTY	DETAIL
	ACE GRI	Acer glabrum 'JFS KWAGRI' Fraburst	Fringed Paperbark Maple	2' Cal.	25 x 16'	BBB	Single	5		5	AS LP701
	GIN SPR	Guilfordia glabra 'Spring Grove'	Spring Grove Gilgo	2' Cal.	8' x 8'	BBB	Single	4	Yes	5	AS LP701
	GLE INZ	Gleditsia inermis 'Inermis' Sumburst	Sweetant Common Honeylocust	2' Cal.	30 x 25'	BBB	Single	3		3	AS LP701
	GLE IMZ	Gleditsia inermis var. 'Inermis' Tripod	Impati Honeylocust	2' Cal.	30 x 25'	BBB	Single	3		4	AS LP701
	TIL MCI	Tilia americana 'McSweeney' American Sentry	American Linden	2' Cal.	40 x 25'	BBB	Single	3		6	AS LP701
	FLOWERING TREES										
	CER PIN	Cercis canadensis 'Pink Heartbreaker' PP 2803	Eastern Red Bud	2' Cal.	15 x 10'	BBB	Single	4		3	AS LP701
	MAL ZMI	Malus 'JFS KW158MX' Ruby Dye	Crab Apple	2' Cal.	22 x 16'	BBB	Single	4		4	AS LP701
	PRU PPA	Prunus 'JFS-VV11' PPAF First Blush	Flowering Cherry	2' Cal.	25 x 15'	BBB	Single	5		7	AS LP701
	SHRUBS										
	BER CO9	Berberis thunbergii 'Concord'	Concord Barberry	5 gal.	2' x 2'	Pot	4			142	BA LP701
	BER TYS	Berberis thunbergii 'SWMBISA' PPAF Sunjoy	Vegetated Green Leaf Barberry	5 gal.	3' x 3'	Pot	4			45	BA LP701
	BER SJO	Berberis thunbergii 'VDBlyme' PP2548 Tango	Orange leaf Barberry	5 gal.	3' x 3'	Pot	4			37	BA LP701
	COR ARN	Cornus alba 'Bijou' PP27585	Tatarian Dogwood	5 gal.	4' x 4'	Pot	2			24	BA LP701
	LOG GEN	Ligustrum vulgare 'Foli Edithae' Sun Straight Talk	Privet	5 gal.	12' x 2'	Pot	4			19	BA LP701
	GRASSES										
	CAR DW	Carex diandra	Bankswy Sedge	1 gal.	3' x 3'	Pot	4-9	No		15	BS LP701
	DES PK	Dactyloctenium aegyptium 'Pink Fountain'	Dwarf Tulleed Hair Grass	1 gal.	24 x 16'	Pot	3	Yes		212	BS LP701
	PER BUD	Pennisetum alopecuroides 'Burgundy Bunny'	Burgundy Bunny Dwarf Fountain Grass	1 gal.	12' x 16'	Pot	6			126	BS LP701
	SCH TIG	Schizanthus luteum 'Twilight Zone'	Twilight Zone Little Blackkin	1 gal.	3' x 3'	Pot	3			160	BS LP701
	PERENNIALS										
	ACH MRM	Achillea millefolium 'Dancer Eye' 'Tears Coat'	Yarrow	1 gal.	12' x 12'	Pot	4			41	BS LP701
	ART FR	Artemisia rigida	Fringed Sagebrush, Wormwood	1 gal.	18' x 12'	Pot	4	Yes		408	BS LP701
	BUD MIB	Buddeja 'Miss Mally' PP22425 GBR 4446	Butterfly Bush	1 gal.	4' x 4'	Pot	5	Yes		25	BS LP701
	GAU GR	Gaura bicolorata 'Crimson Butterflies'	Butterfly Gaura	1 gal.	18' x 12'	Pot	5	Yes		308	BS LP701
	PER DAR	Pennisetum 'Dark Towers'	Dark Towers Pennstemon	1 gal.	3' x 2'	Pot	3	Yes		148	BS LP701
	SED DAG	Sedum 'Dark Magic'	Purple Stonecrop	1 gal.	12' x 16'	Pot	4	Yes		109	BS LP701

CONCEPT PLANT SCHEDULE

	TREE	3,259 sf
	Shrub	1,146 sf
	Grass	
	Perennial	
	-DETAIL A1 LP701	



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 1697 North Main St., Bountiful, UT 84010
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 F: 801.334.3300
 www.archnexus.com

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 FamilySearch Center - Bountiful
 1697 NORTH MAIN ST. BOUNTIFUL, UT. 84010

Date Revision

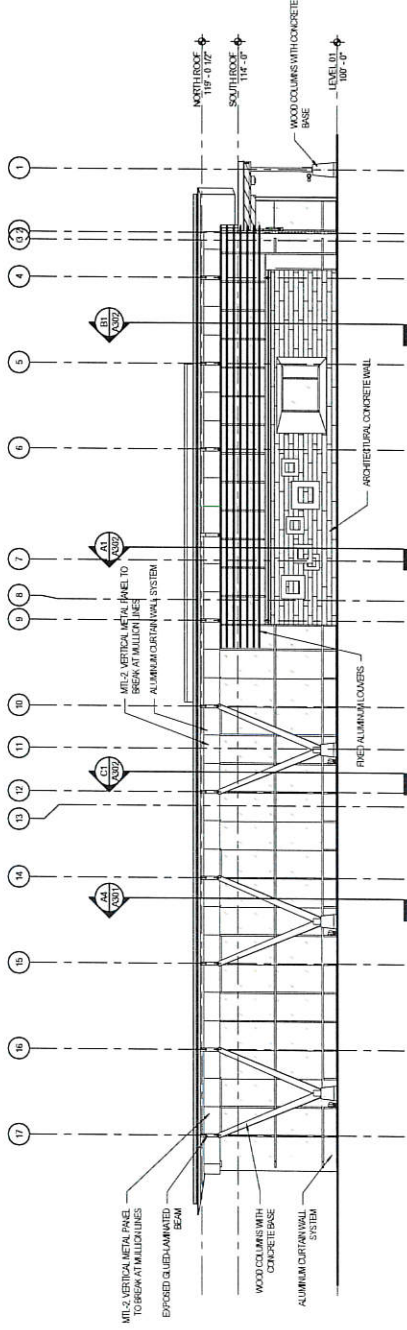
SITE PLAN
 APPROVAL

DESIGN PROJECT # 18783.1
 CHECKED BY CS
 DRAWN BY ZB
 DATE 05/14/19

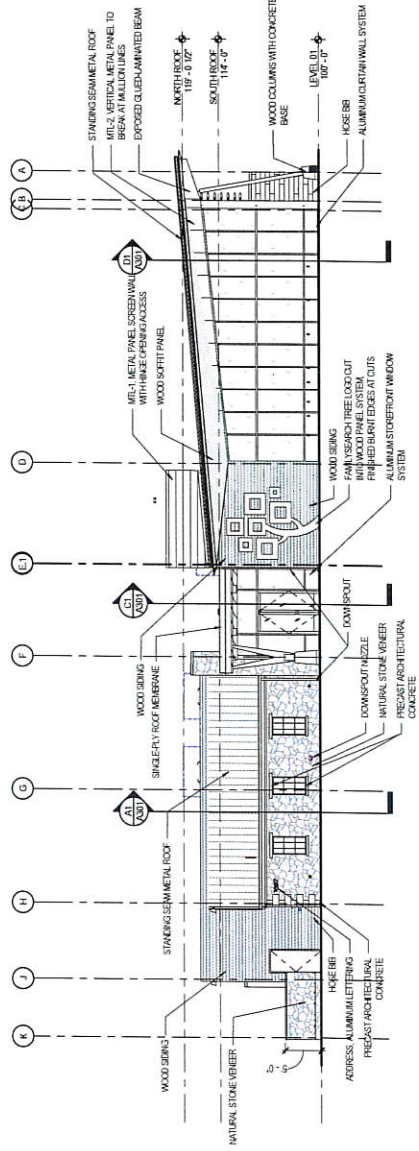
BUILDING
 ELEVATIONS

A201

- 5 |
- GENERAL NOTE -
 BUILDING ELEVATION
- A. COORDINATE GRADING SHOW ON
 - B. PROMOTE CUTTERS AND DOWN SPOUTS W/
 - HEAT TABLE, SNOW FENCES AND SNOW
 - REMOVAL DEVICES AS SHOWN
 - C. FOR TYPICAL WALL ASSEMBLY INCLUDING
 - MATERIAL DESIGNATIONS AND DETAILING
 - APPROACH SEE A200 SERIES



C1 | NORTH ELEVATION
 2001 | 1/8" = 1'-0"



A1 | EAST ELEVATION
 2001 | 1/8" = 1'-0"

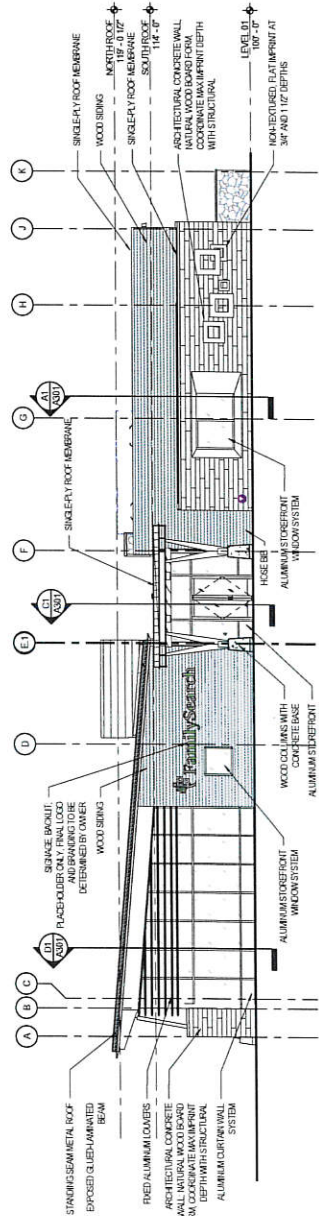
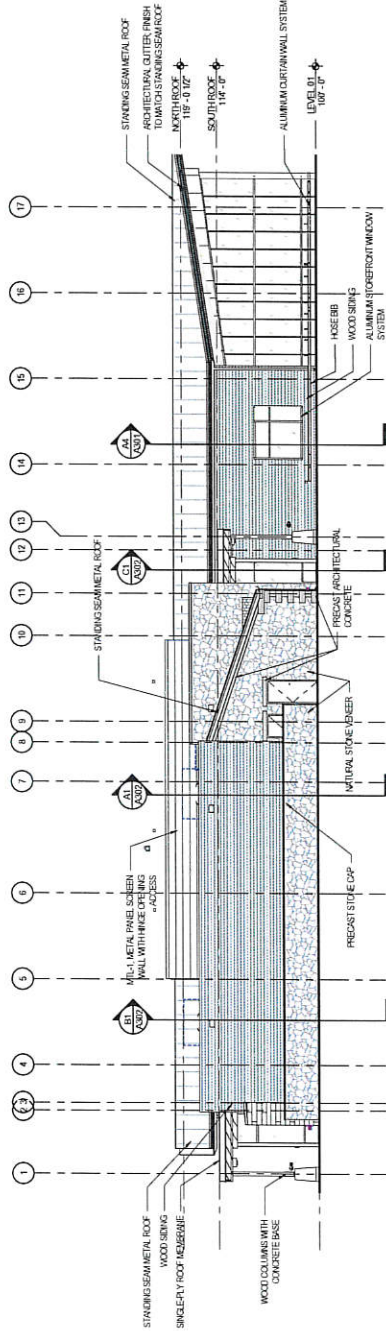
GENERAL NOTE - BUILDING ELEVATION
 A. COORDINATE GRADING SKETCH ON ELEVATIONS WITH ALL ELEVATIONS AND FINISHES.
 B. PROVIDE ALL DIMENSIONS AND FINISHES TO FACE UNLESS OTHERWISE NOTED.
 C. FOR TYPICAL WALL ASSEMBLY INCLUDING APPROACH SEE ARCH SERIES.

**The Church of Jesus Christ of Latter-Day Saints
 FamilySearch Center - Bountiful**
 1697 NORTH MAIN ST. BOUNTIFUL, UT, 84010

Date Revision
 1 09/14/19
 2 09/14/19
 3 09/14/19
 4 09/14/19
 5 09/14/19

SITE PLAN APPROVAL
BUILDING ELEVATIONS

A202



Commission Staff Report

Item # 6

Subject: Preliminary Site Plan for a 3 unit Multifamily development
Author: Curtis Poole, Assistant City Planner
Address: 170 North 100 West
Date: May 30, 2019



Description of Request:

The applicant, Jonathon Blosch, requests preliminary site plan approval for a 3 unit multifamily development located at 170 North 100 West. The property is located within the DN (Downtown) zone.

Background and Analysis:

The applicant has submitted a proposal to develop 3 multifamily units at this location in the DN zone. The property is on the western edge of the DN zone which borders single-family residential to the west. The property has a commercial use to the north, a DCFS facility to the east and a single-family home to the south. The property is .25 acres (approximately 10,933 square feet) and currently has a single-family home on the lot.

The applicant has not submitted elevation plans; however, the proposal is for a two-story building. As the lot is located along 100 West the maximum building height shall not exceed 35 feet. Before final site plan review the applicant will need to submit a detailed elevation plan showing building materials and architectural features meeting the standards of the Code for the DN zone. The applicant will also need to address pedestrian street access to each of the units meeting the DN zone standards.

The current proposal demonstrate the building meets the front, north side and rear setbacks; however, the applicant will need to revise the plans to include a 10' landscape buffer between this development and the single-family home to the south as required by code. The applicant will need to submit a detailed landscaping plan before final site review.

The proposal shows a total of 6 parking stalls which will be located behind the building. The preliminary floorplans show one 3-bedroom unit and two 2-bedroom units. The proposed bedroom count will require a minimum of 8 stalls which would include guest parking as required by code.

Before the issuance of building permit the existing drive approach will need to be removed and replaced with a Bountiful standard Type A approach. Prior to the issuance of a Certificate of Occupancy the applicant will need to repair any damage to the curb, gutter and sidewalk along 100 West. On the south side of the property there will be a 7' wide utility easement required by Bountiful Power.

While multifamily residential units are allowed in the Downtown zone, the number of units which can be constructed will always be dependent upon lot size, and setback, height and

landscaping standards of the Code. The burden is upon the applicant to find alternative solutions to meet code.

Department Review

This proposal has been reviewed by the Engineering, Power, and Planning Departments and by the Fire Marshall.

Significant Impacts

The applicant will need to demonstrate how storm water impacts to the site will be handled. Sidewalks will have to be repaired as part of the project.

Recommended Action

Staff recommends the Planning Commission forward a recommendation of approval to the City Council for preliminary site plan review for the proposed 3 unit multifamily building subject to the following conditions:

1. Complete any and all redline corrections.
2. Prior to submittal for final site plan approval, complete a survey of the property to determine total buildable area available on the property. Complete any revisions to the site necessary based on the size of the parcel.
3. Prior to final site plan approval applicant shall apply for approval of a Conditional Use Permit.
4. Submit detailed elevation plans showing building materials and architectural elements as required by code.
5. Revise the site plan to show minimum required setback and pedestrian access to the building and submit a parking plan which will meet the standards of the City's off-street parking ordinance.
6. Submit a landscaping plan meeting the minimum requirements of Sections 14-16-104 and 14-7-109.
7. All damaged curb, gutter and sidewalk along 100 West shall be replaced.

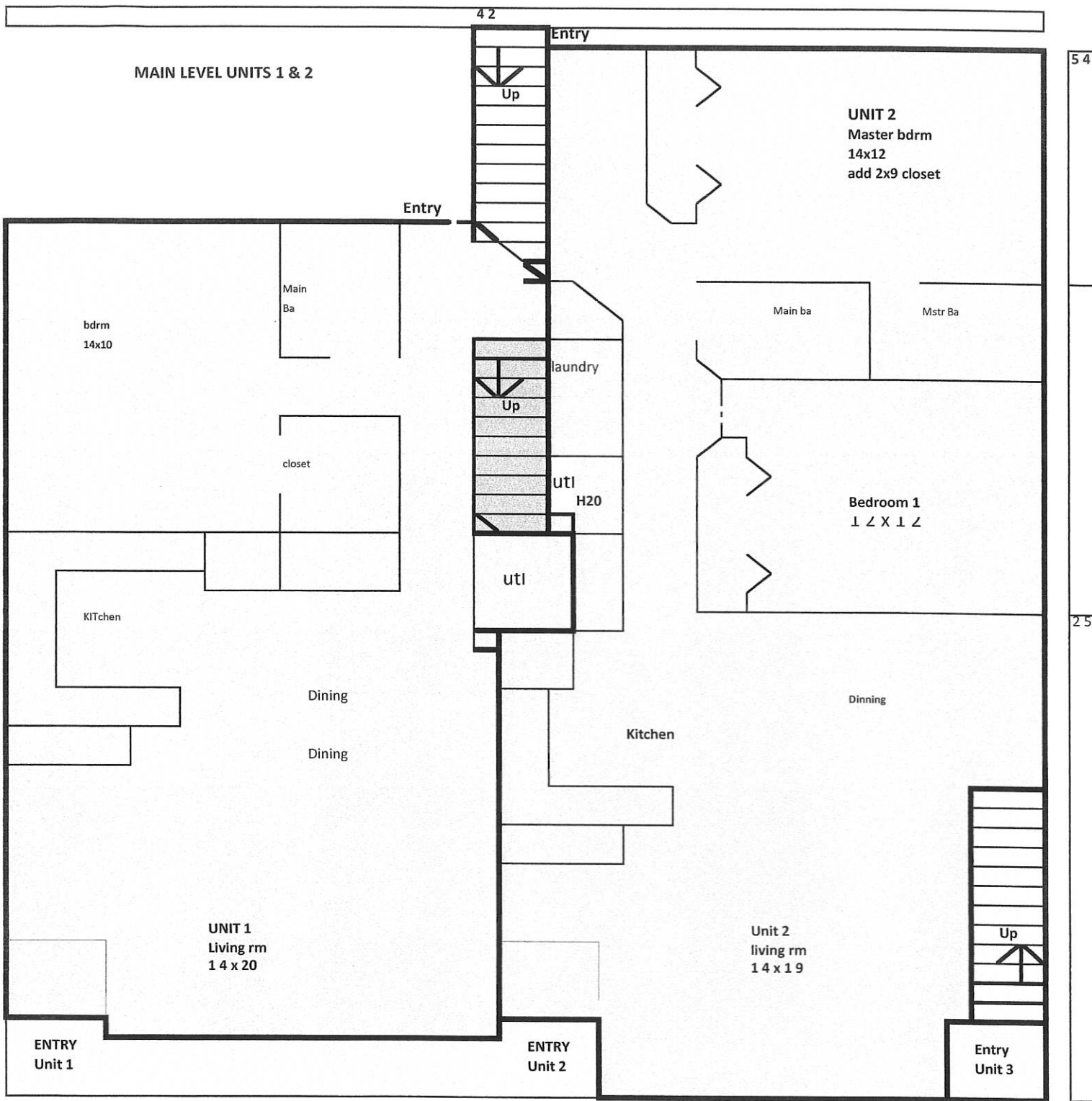
Attachments

1. Aerial photo
2. Site and utility plans
3. Floorplans

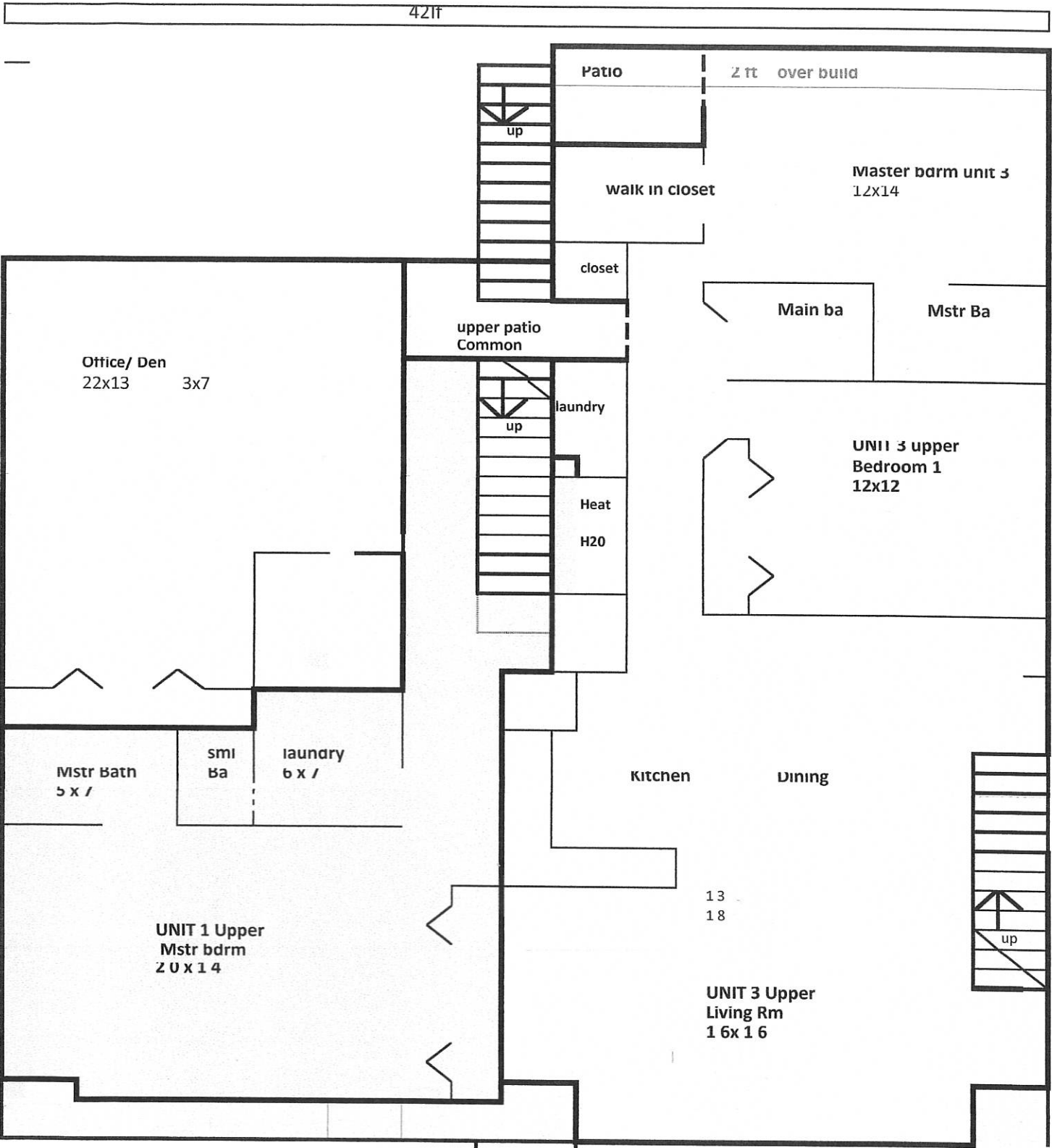
Aerial Photo



Jon Blossett
801 949-3411



42					MAIN LEVEL Floor Plan		R 22	
SQ FT	Main level		Sq Ft	TOTALS				
	Main level	2nd level						
Unit no 1	850	497	1347					
Unit no 2	1051	000	1051					
Unit no 3	45	1062	1107		Total Sq Ft	3872		
office		372	372					
Com Area		69	69			3941		
Front porch cement	92		92		ALL	4033		



42ft

12

UPPER LEVEL FLOOR PLAN

SQ Ft	2nd level	
Unit no 1	497	Total upper level Sq Ft 2000
Unit no 2	000	
Unit no 3	1062	
Common	69	
Den	372	

LOCATED IN THE VICINITY OF SECTORS 13, 14 & 15
 170 NORTH 100 W
 BOONVILLE CITY, BAY COUNTY, IOWA

JON BLOSCH



Entellus
 147th South 600 West
 Woods Cross, UT 84010
 Phone: 801.298.2236
 www.entellus.com

EC100
 EROSION CONTROL PLAN

DATE	11/27/20
ISSUED FOR	PERMITS
DATE	11/27/20
ISSUED FOR	PERMITS
DATE	11/27/20
ISSUED FOR	PERMITS

PROFILE VIEW
INLET BOX
6" DEPRESSION AROUND SILT FENCE

PLAN VIEW
INLET BOX
6" DEPRESSION AROUND SILT FENCE

PROFILE VIEW
INLET BOX
6" DEPRESSION AROUND WATTLE

PLAN VIEW
INLET BOX
6" DEPRESSION AROUND WATTLE

RP INLET PROTECTION
SEE CITY N.T.S.

SILT FENCE
POST
NATURAL GROUND

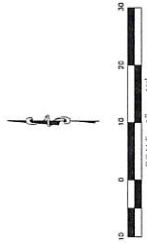
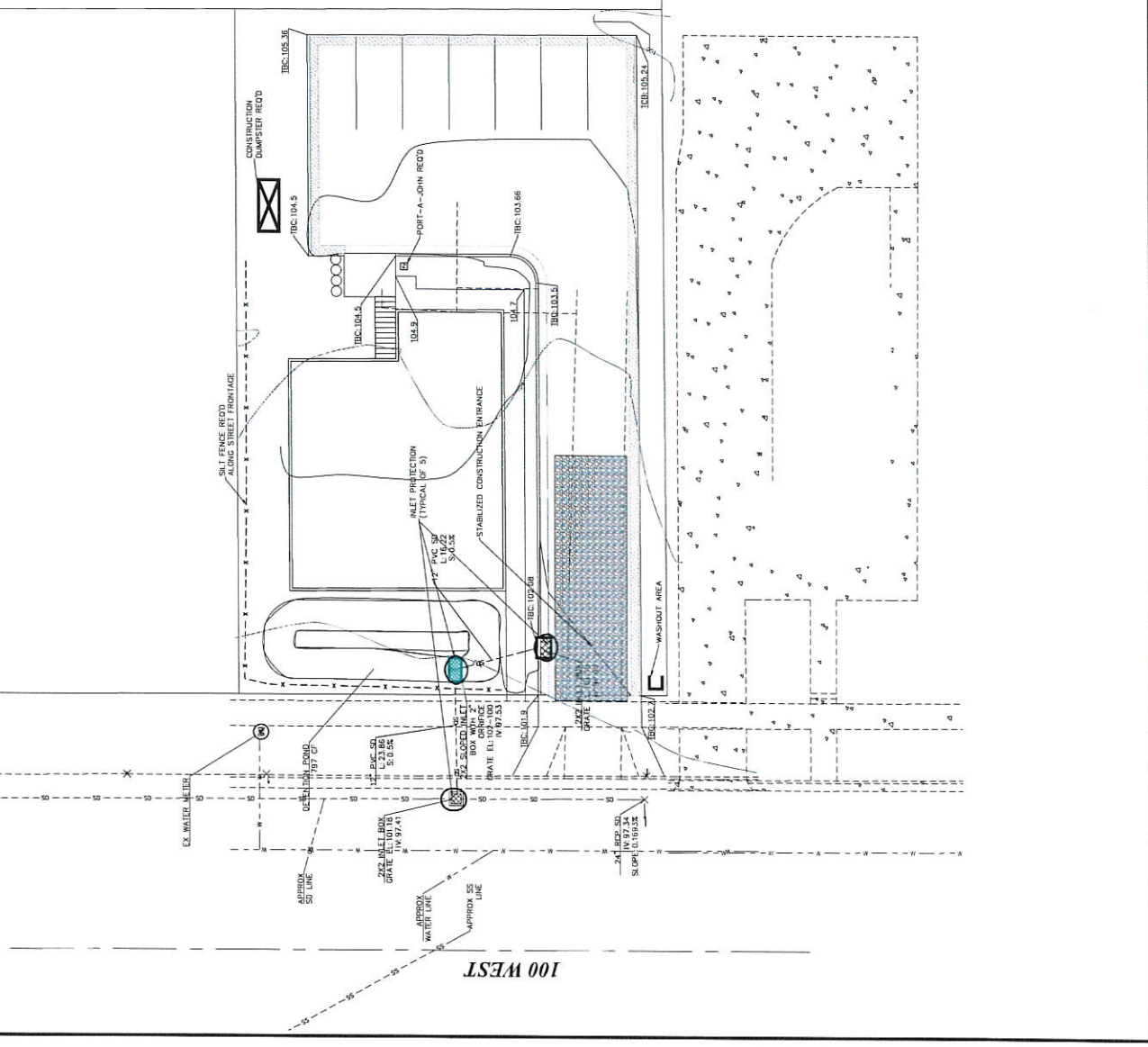
WA WASHDOWN AREA
SEE CITY TYPICAL

6" GRAVEL
COMPACTED SUBGRADE
OR STRUCTURAL FILL

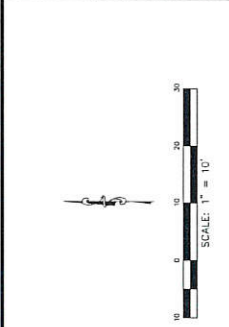
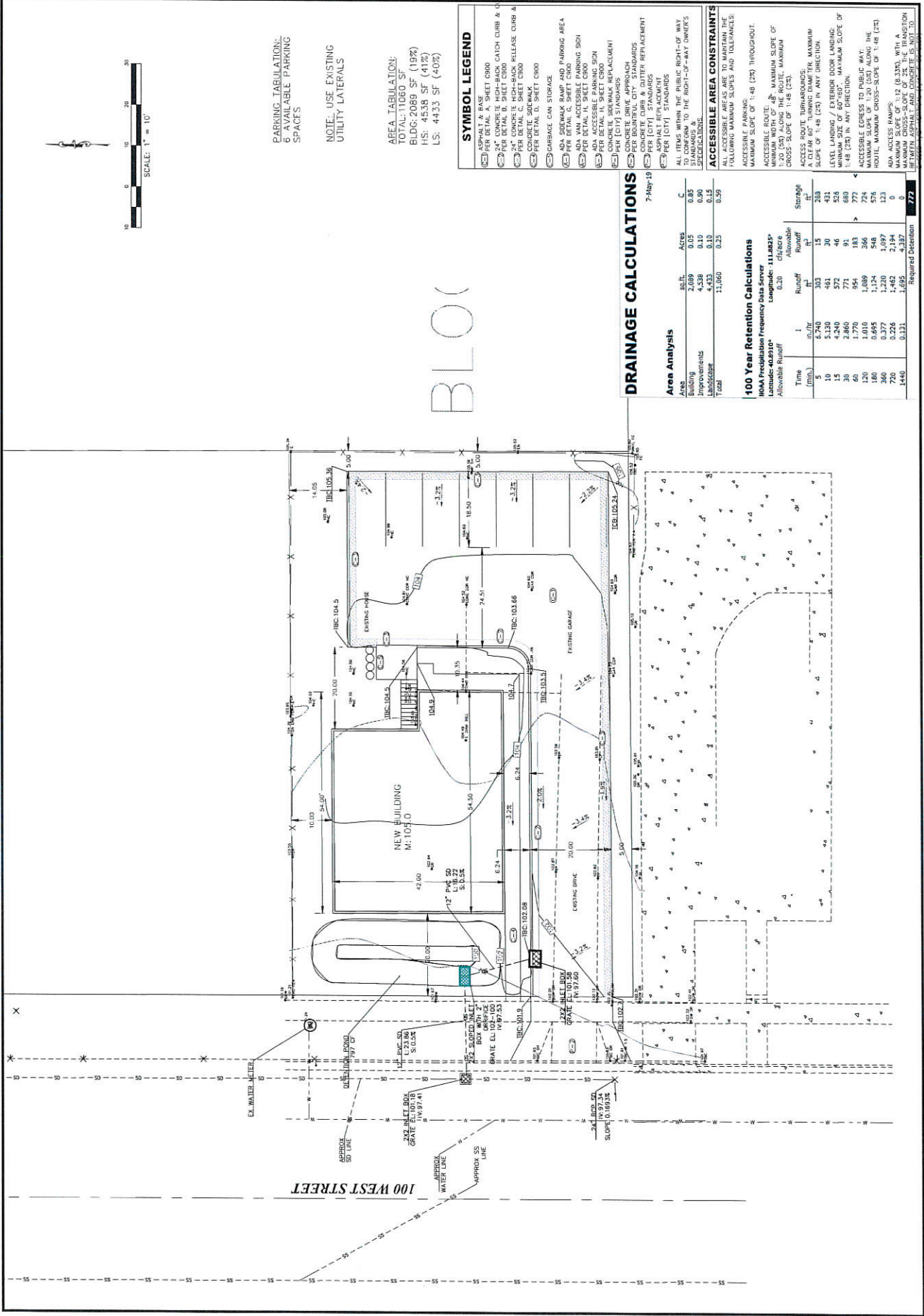
SB STABILIZED CONSTRUCTION ENTRANCE
SEE CITY N.T.S.

24" COARSE AGGREGATE
6" MIN. THICKNESS
SEDIMENT FABRIC UNDER GRAVEL

CONSTRUCTION NOTES:
 1. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS PRIOR TO COMMENCING CONSTRUCTION.
 2. CONTRACTOR TO MAINTAIN A COPY OF THE SWPPP ON SITE.
 3. CONTRACTOR TO INSPECT SITE TO ENSURE THE SWPPP IMPROVEMENTS ARE IN PLACE AND FUNCTIONAL.
 4. CONTRACTOR TO MAINTAIN TEMPORARY EROSION AND SEDIMENT CONTROLS AND HOUSEKEEPING MEASURES.
 5. ALL SOLID WASTE SHALL BE STORED IN A SECURELY CLOSED MANNER AS SPECIFIED BY THE MANUFACTURER AND STATE AND LOCAL WASTE MANAGEMENT REGULATIONS.
 6. ALL HAZARDOUS WASTE SHALL BE DISPOSED OF IN THE MANNER AS SPECIFIED BY THE MANUFACTURER AND STATE AND LOCAL WASTE MANAGEMENT REGULATIONS.
 7. WASHDOWN AREA SHALL BE CONSTRUCTED FOR THE TEMPORARY COLLECTION OF EXCESS CONCRETE AND NON-STORM WATER WASHINGS FROM CURBS, WALLS, THE WHEEL OF PLOWING IN THE WASHOUT AREA.
 8. A STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO THE PROPERTY FROM THE PUBLIC STREET ADJACENT TO THE ENTRANCE. THE ENTRANCE WILL BE SWEEP DAILY TO REMOVE EXCESS DIRT.
 9. INSPECTION SHALL BE MADE MONTHLY AND WITHIN 24 HOURS AFTER ANY SIGNIFICANT WEATHER EVENT. INSPECTION SHALL WASHOUT AREA OR SEDIMENT BASIN. THE SWPPP WILL BE REVISION AS SITE CONDITIONS AND PROJECT REQUIRMENTS. SWEEPING PUBLIC STREETS ON A DAILY BASIS, OR MORE IF NECESSARY.
 10. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE DUST CONTROL THROUGHOUT THE COURSE OF THE PROJECT.



100 WEST



PARKING TABULATION:
6 AVAILABLE PARKING SPACES

NOTE: USE EXISTING UTILITY LATERALS

AREA TABULATION:
TOTAL: 11060 SF
BLDG: 2089 SF (19%)
HS: 4538 SF (41%)
LS: 4433 SF (40%)

- SYMBOL LEGEND**
- ⊞ ASPHALT & BASE
 - ⊞ PER DETAIL A, SHEET CDD
 - ⊞ PER DETAIL B, SHEET CDD
 - ⊞ 24" CONCRETE HIGH-BACK RELEASE CURB & CHURN
 - ⊞ CONCRETE SIDEWALK
 - ⊞ PER DETAIL D, SHEET CDD
 - ⊞ GARBAGE CAN STORAGE
 - ⊞ ADA SIDEWALK RAMP AND PARKING AREA
 - ⊞ ADA PER DETAIL C, SHEET CDD
 - ⊞ PER DETAIL H, SHEET CDD
 - ⊞ ADA ACCESSIBLE PARKING SIGN
 - ⊞ PER DETAIL I, SHEET CDD
 - ⊞ PER (CITY) STANDARDS
 - ⊞ CONCRETE DRIVE APPROACH
 - ⊞ CONCRETE CURB & GUTTER REPLACEMENT
 - ⊞ PER (CITY) STANDARDS
 - ⊞ PER (CITY) STANDARDS

DRAINAGE CALCULATIONS

7-Apr-19

Area Analysis

Area	Area	C
104.0	2089	0.85
Improvements	4,538	0.10
Landscaping	4,433	0.15
Total	11,060	0.25

100 Year Retention Calculations
RMAA Precipitation frequency data Source: 111.6025"
Time of Concentration: 6.20
Allowable Runoff: 0.25

Time (min)	i (in/hr)	Runoff (in)	Storage (in)
5	5.130	461	30
15	4.240	572	46
30	2.860	771	91
60	1.770	954	183
120	1.045	1,239	366
360	0.377	1,230	1,097
720	0.226	1,462	2,194
1440	0.131	1,695	4,387

Required Detention: **472**

BLOCH

**BOUNTIFUL CITY PLANNING COMMISSION
FINDINGS OF FACT AND CONCLUSIONS**

APPLICANT: Daniel and Carri Fergusson

APPLICATION TYPE: Request for a proposed variance to the standards of section 14-2-111 to allow disturbance of slopes exceeding 30 percent and retaining walls and cuts and fills exceeding 10 feet in height in the R-F zone.

I. DESCRIPTION OF REQUEST:

The applicants, Daniel and Carri Fergusson, have requested a variance to allow for encroachments on slopes greater than 30 percent on the property and for cuts and fills and retaining walls greater than 10 feet in height for the property located at 2452 Cave Hollow Way in the R-F (Residential Foothill) zone. The proposed variance would allow for construction of a new addition to the home and for modifications to the existing driveway.

II. LAND USE ORDINANCE AUTHORITY:

Section 14-2-111 authorizes the Planning Commission as the review body for variance requests related to standards in the R-F zone.

III. APPEAL PROCEDURE:

Bountiful City Land Use Ordinance section 14-2-108 states that an applicant, board or officer of the City, or any person adversely affected by a Land Use Authority's decision administering or interpreting a land use ordinance or ruling on a request for a variance may, within fourteen calendar days of the written decision, appeal that decision to the Appeal Authority. No other appeals may be made to the Appeal Authority.

The appeal must be in writing and specifically allege that there is an error in an order, requirement, decision or determination by the Land Use Authority. The appellant shall state every theory of relief that it can raise in District Court.

IV. SUMMARY OF EVIDENCE:

1. The basic facts and criteria regarding this application are contained in the staff report, which is attached as **Exhibit A** and is incorporated herein.
2. The minutes of the public hearing held by the Planning Commission on **Tuesday, May 7, 2019** which are attached as **Exhibit B** summarize the oral testimony presented and are hereby incorporated herein.

V. FINDINGS OF FACT:

Based upon the information presented and oral testimony given at the public hearing the Planning Commission made the following findings:

1. The applicants demonstrated, in their presentation and information provided in the application, they had met the requirements necessary for approval of the variance.
2. Because of pedestrian and vehicular safety issues with the steepness of the driveway, which the Planning Commission determined was not created by the applicants, it was necessary to provide some relief to help resolve the issue.

VI. DECISION AND SUMMARY

The Planning Commission approved the requested variance by a vote of 5-1.

FINDINGS OF FACT APPROVED BY THE Bountiful City Planning Commission this 4th day of June, 2019

Sean Monson, Chair
Bountiful City Planning Commission