

BOUNTIFUL CITY COUNCIL

TUESDAY, May 14, 2024

7:00 p.m. - Regular Session

NOTICE IS HEREBY GIVEN on the Utah Public Notice Website, the Bountiful City Website and at Bountiful City Hall not less than 24 hours prior to the meeting that the City Council of Bountiful, Utah will hold its regular Council meeting at **City Hall, 795 South Main Street, Bountiful, Utah**, at the time and on the date given above. The public is invited to all meetings. Deliberations will occur in the meetings. Persons who are disabled as defined by the Americans With Disabilities Act may request an accommodation by contacting the Bountiful City Manager at 801.298.6140. Notification at least 24 hours prior to the meeting would be appreciated.

If you are not on the agenda, the Council will not be able to discuss your item of business until another meeting. For most items it is desirable for the Council to be informed of background information prior to consideration at a Council meeting. If you wish to have an item placed on the agenda, contact the Bountiful City Manager at 801.298.6140.

The meeting is also available to view online, and the link will be available on the Bountiful City website homepage (www.bountifulutah.gov) approximately one hour prior to the start of the meeting.

AGENDA

7:00 p.m. – Regular Meeting

1. Welcome, Pledge of Allegiance and Thought/Prayer
2. Public Comment – If you wish to make a comment to the Council, please use the podium and clearly state your name and address, keeping your comments to a maximum of two minutes. Public comment is limited to no more than ten minutes per meeting. Please do not repeat positions already stated. Public comment is a time for the Council to receive new information and perspectives.
3. Council reports
4. BCYC report
5. Consider approval of:
 - a. Expenditures greater than \$1,000 paid on April 17, 24 & May 1, 2024 p. 3
 - b. March 2024 expense report p. 7
6. Consider approval of the appointment of Mr. Hunter Stone as the Bountiful City Treasurer – Mr. Tyson Beck p. 23
 - a. Swearing in of Bountiful City Treasurer Mr. Hunter Stone
7. Consider approval of Ordinance 2024-03 prohibiting the discharge of fireworks east of 400 East and east of Orchard Drive – Mr. Brad Jepps p. 25
8. Consider approval of the purchase of a motor for Calder Well from Nickerson Company in the amount of \$20,000 – Mr. Jerry Wilson p. 33
9. Consider approval of the preliminary and final architectural and site plan for a professional and medical office building located at 370 West 500 South – Mr. Jonah Hadlock p. 35
10. Consider approval of releasing the public utility easement on lots 2 and 3 of Granada Hills No. 6 subdivisions – Mr. Brad Clawson p. 67
11. Consider approval of the Fiscal Year 2024-2025 Tentative Budget and related items – Mr. Galen Rasmussen p. 85
 - a. Adoption of the Fiscal Year 2024-2025 Tentative Budget
 - b. Setting the time, date, and place for a public hearings on the final budget
12. Adjourn


City Recorder

City Council Staff Report

Subject: Expenditures for Invoices > \$1,000 paid
April 17, 24 & May 1, 2024

Author: Tyson Beck, Finance Director

Department: Finance

Date: May 14, 2024



Background

This report is prepared following the weekly accounts payable run. It includes payments for invoices hitting expense accounts equaling or exceeding \$1,000.

Payments for invoices affecting only revenue or balance sheet accounts are not included. Such payments include: those to acquire additions to inventories, salaries and wages, the remittance of payroll withholdings and taxes, employee benefits, utility deposits, construction retention, customer credit balance refunds, and performance bond refunds. Credit memos or return amounts are also not included.

Analysis

Unless otherwise noted and approved in advance, all expenditures are included in the current budget. Answers to questions or further research can be provided upon request.

Department Review

This report was prepared and reviewed by the Finance Department.

Significant Impacts

None

Recommendation

Council should review the attached expenditures.

Attachments

Weekly report of expenses/expenditures for invoices equaling or exceeding \$1,000, paid April 17, 24 & May 1, 2024.

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00
Paid April 17, 2024**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>	
15178	BELLAMY, JEFFREY	Liability Insurance	636300 451150	Liability Claims/Deductible	1,960.00	239021	04152024	Rental Reimbursement	
1555	CALLAWAY GOLF	Golf Course	555500 448240	Items Purchased - Resale	1,608.78	239029	937601609	Clubs - Acct # 14853	
1555	CALLAWAY GOLF	Golf Course	555500 448240	Items Purchased - Resale	2,219.21	239029	937577519	Clubs - Acct # 14853	
1555	CALLAWAY GOLF	Golf Course	555500 448240	Items Purchased - Resale	2,542.80	239029	937565310	Golf Balls - Acct # 14853	
1555	CALLAWAY GOLF	Golf Course	555500 448240	Items Purchased - Resale	3,447.09	239029	937577488	Golf Balls - Acct # 14853	
1555	CALLAWAY GOLF	Golf Course	555500 448240	Items Purchased - Resale	4,322.91	239029	937565309	Golf Balls - Acct # 14853	
1707	CLEVELAND GOLF/SRIXO	Golf Course	555500 448240	Items Purchased - Resale	2,613.60	239035	7842043 SO	Golf Balls	
9272	CROW MOBILE SERVICE	Landfill Operations	585820 425000	Equip Supplies & Maint	4,265.50	239039	5517	Dozer Repairs	
9272	CROW MOBILE SERVICE	Landfill Operations	585820 425000	Equip Supplies & Maint	38,417.00	239039	5510	Dozer Repairs, Approved by Council	
9982	DIAMOND TREE EXPERTS	Light & Power	535300 448632	Distribution	12,060.00	239042	76481	Tree Trimming	
5281	DOMINION ENERGY UTAH	Police	104210 427000	Utilities	3,119.88	239046	04012024B	Account # 3401140000	
5281	DOMINION ENERGY UTAH	Streets	104410 427000	Utilities	1,570.26	239046	04012024J	Account # 3893910000	
5281	DOMINION ENERGY UTAH	Parks	104510 427000	Utilities	1,875.45	239046	04012024F	Account # 2493910000	
5281	DOMINION ENERGY UTAH	Water	515100 427000	Utilities	1,903.11	239046	040120240M	Account # 9591363682	
5281	DOMINION ENERGY UTAH	Light & Power	53 213100	Accounts Payable	14,639.90	239046	04012024N	Account # 6056810000	
5281	DOMINION ENERGY UTAH	Light & Power	535300 424002	Office & Warehouse	1,208.60	239046	04012024M	Account # 1067495449	
5281	DOMINION ENERGY UTAH	Light & Power	535300 448613	Power Plant Operating Costs	1,710.57	239046	04012024M	Account # 1067495449	
15223	ELEVATED GUNWORKS	Police	104210 445100	Public Safety Supplies	12,268.30	239049	03192024a	SilencerCo Velos for ID # 1119	
2350	GREEN SOURCE, L.L.C.	Golf Course	555500 426000	Bldg & Grnd Suppl & Maint	15,876.80	239054	23732	Turf Supplies	
5458	HANSEN, ALLEN & LUCE	Landfill Operations	585820 431300	Environmental Monitoring	7,768.70	239055	51757	Project #374.04 Bountiful - Groundwater Sampling	
11418	HUMDINGER EQUIPMENT	Landfill Operations	585820 425000	Equip Supplies & Maint	7,044.11	239060	34451	Misc. Parts/Supplies	
15272	INTERIOR ALLIANCE	Golf Course	555500 472100	Buildings	5,552.00	239061	2745	Office Equipment for Bountiful Ridge Golf	
2719	JMR CONSTRUCTION INC	Streets	104410 473400	Concrete Repairs	19,430.98	239063	04112024	Work completed through March 2024	
2719	JMR CONSTRUCTION INC	Water	515100 461300	Street Opening Expense	10,561.18	239063	04112024	Work completed through March 2024	
2719	JMR CONSTRUCTION INC	Light & Power	535300 448632	Distribution	2,088.24	239063	04112024	Work completed through March 2024	
2719	JMR CONSTRUCTION INC	Redevelopment Agency	737300 426100	Special Projects	11,141.25	239063	04112024	Work completed through March 2024	
13653	LEVELWEAR	Golf Course	555500 448240	Items Purchased - Resale	1,557.90	239070	510987-S1	Ladies Wear - Customer # 20802	
2970	LOWE'S HOME IMPROVEM	Parks	104510 426000	Bldg & Grnd Suppl & Maint	1,260.53	239071	976533	Misc. Parts and Supplies	
15180	MINT GREEN GROUP	Golf Course	555500 448240	Items Purchased - Resale	2,384.34	239075	INV463479	Shoes - Client # C784520-US	
3491	PING INC	Golf Course	555500 448240	Items Purchased - Resale	3,662.47	239090	17399858	Clubs - Customer # 19919	
3588	PUKKA INC.	Golf Course	555500 448240	Items Purchased - Resale	2,749.92	239092	HQ03465-IN	Hats - Customer # 0002179	
5553	PURCELL TIRE AND SER	Landfill Operations	585820 425000	Equip Supplies & Maint	1,997.30	239093	280074194	Tire Repair - Acct # 2801867	
15197	RANDALL BROTHERS CON	Golf Course	555500 472100	Buildings	71,115.00	239094	04082024	Final Payment 40% for Bountiful Ridge Golf	
11879	ROCKY MTN MONUMENT	Cemetery	595900 473100	Improv Other Than Bldgs	44,297.50	239100	23M0632	Niche Feature	
4217	TITLEIST	Golf Course	555500 448240	Items Purchased - Resale	1,178.29	239111	917506929	Clubs - Acct # US00037847	
4217	TITLEIST	Golf Course	555500 448240	Items Purchased - Resale	1,180.99	239111	917545099	Clubs - Acct # US00037847	
4217	TITLEIST	Golf Course	555500 448240	Items Purchased - Resale	2,003.48	239111	917700943	Golf Balls - Acct # US00037847	
4217	TITLEIST	Golf Course	555500 448240	Items Purchased - Resale	4,696.25	239111	917490890	Clubs - Acct # US00037847	
4229	TOM RANDALL DIST. CO	Streets	104410 425000	Equip Supplies & Maint	25,845.36	239113	0378724	Fuel - Acct # 0378724	
4229	TOM RANDALL DIST. CO	Golf Course	555500 425000	Equip Supplies & Maint	3,314.84	239113	0378648	Fuel - Acct # 000276	
5442	TRAVIS MATHEW, LLC	Golf Course	555500 448240	Items Purchased - Resale	2,448.84	239115	91724242	Ladies Wear - Acct # 1006176	
					TOTAL:	360,909.23			

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00
Paid April 24, 2024**

VENDOR	VENDOR NAME	DEPARTMENT	ACCOUNT	ACCOUNT DESC	AMOUNT	CHECK NO	INVOICE	DESCRIPTION
1105	ALTEC INDUSTRIES, IN	Light & Power	535300 448635	Vehicles	1,268.81	239126	51410280	Inspection Rep. Customer # 98370
1105	ALTEC INDUSTRIES, IN	Light & Power	535300 448635	Vehicles	1,942.91	239126	51407658	Inspection Rep. Customer # 98370
1105	ALTEC INDUSTRIES, IN	Light & Power	535300 448635	Vehicles	2,957.63	239126	51409718	Inspection Rep. Customer # 98370
1393	BTS LANDSCAPING PROD	Landfill Operations	585820 462400	Contract Equipment	16,574.00	239133	104	Tub Grinding for March 2024
5236	BUDGET BLINDS OF DAV	Golf Course	555500 472100	Buildings	3,489.50	239134	3108	Blinds for Bountiful Ridge Golf
4806	CHEMTECH-FORD, INC	Water	515100 431000	Profess & Tech Services	1,100.00	239139	24D0640	Lab Fees
12584	CLEAN HARBORS	Light & Power	535300 448638	PCB Disposal	2,808.11	239141	1004976110	Waste Oil Disposal - Customer # BO28731
15285	HADLEY, R. LOWELL	Cemetery	595900 448040	Repurchase of Cemetery Lots	2,000.00	239160	04192024	Foe the purchase for Cemetery Lots
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	1,514.70	239166	11354	Patching - Cust # BOUN02610
2886	LAKEVIEW ROCK PRODUC	Water	515100 461300	Street Opening Expense	4,010.02	239167	422889	Road Base - Customer # BCTY07399
3195	MOUNTAINLAND SUPPLY	Water	515100 448400	Dist Systm Repair & Maint	1,213.68	239178	S106089389.001	Misc. Parts/Supplies - Customer #18498
3271	NETWIZE	Information Technology	104136 429200	Computer Software	11,058.00	239182	25104	Security Monitoring Software
3271	NETWIZE	Information Technology	104136 429300	Computer Hardware	2,225.93	239182	25288	Wireless Access Points
15142	OLYMPUS REFUSE	Refuse Collection Operations	585800 425000	Equip Supplies & Maint	1,314.87	239187	624203	Misc. Parts/Supplies
4773	PEARCE, JESS	Light & Power	535300 423000	Travel & Training	1,554.72	239188	04192024	Travel&Training Expense for APPA E and O Conf.
5553	PURCELL TIRE AND SER	Streets	104410 425000	Equip Supplies & Maint	1,533.00	239198	280074785	Tires & Service - Acct # 2801867
4775	ROCKY MOUNTAIN VALVE	Water	515100 448400	Dist Systm Repair & Maint	2,821.00	239204	002878	Check Valves
3791	RUSH TRUCK CENTER-SA	Streets	104410 425000	Equip Supplies & Maint	6,206.29	239205	30358840010	Misc. Parts/Supplies - Cust # 187612
3812	SAFETY SUPPLY & SIGN	Streets	104410 441300	Street Signs	4,097.58	239207	189132	Signs - Cust ID 00330
13267	SLATE ROCK FR LLC	Light & Power	535300 445202	Uniforms	1,868.20	239211	76240	FR Pants
4087	STREAMLINE SUPPLY	Streets	104410 448000	Operating Supplies	1,202.24	239214	220637	Misc. Parts/Supplies
4087	STREAMLINE SUPPLY	Streets	104410 473200	Road Materials - Overlay	1,387.48	239214	220512	Misc. Parts & Supplies
5000	U.S. BANK CORPORATE	Legislative	104110 423000	Travel & Training	1,450.00	239218	04102024SA	MailChimp & Reg. ULCT - Acct #4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Legislative	104110 423000	Travel & Training	6,342.31	239218	04102024GH	Travl&Training for NLC - Acct #4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Police	104210 423000	Travel & Training	1,248.96	239218	04102024EB	Trvl&Train Expense - Acct # 4246-0445-5571-8851
5000	U.S. BANK CORPORATE	PSAP - E911	104219 423000	Travel & Training	1,130.00	239218	04102024EB	Trvl&Train Expense - Acct # 4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Streets	104410 425000	Equip Supplies & Maint	1,921.66	239218	04102024JE	Misc. Parts/Supplies - Acct #4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Engineering	104450 429200	Computer Software	1,999.83	239218	04102024LC	Cmputr Software & Misc.- Acct #4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Parks	104510 423000	Travel & Training	2,456.45	239218	04102024BH	Misc. Supplies - Acct # 4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Parks	104510 426000	Bldg & Grnd Suppl & Maint	1,993.22	239218	04102024BH	Misc. Supplies - Acct # 4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Parks	104510 448000	Operating Supplies	1,548.99	239218	04102024BH	Misc. Supplies - Acct # 4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Water	515100 423000	Travel & Training	1,189.80	239218	04102024KC	Water Conf. & Misc. - Acct #4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Water	515100 423000	Travel & Training	1,672.79	239218	04102024GW	Trvl&Train Expense - Acct # 4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Light & Power	535300 461000	Miscellaneous Expense	1,418.93	239218	04102024AJ	Cmputer/OfficeSupplies- Acct # 4246-0445-5571-8851
4413	UTAH STATE TAX COMMI	Workers' Comp Insurance	646400 461200	State Tax On Premium	1,450.00	239222	04222024	1ST QTR 2024 SELF INS PREMIUM PMT
10811	UTOPIA FIBER	Fiber	505000 473150	Fiber Network Lines/Conduit	14,300.00	239224	CONBF-004	March 2024 Fiber Network Connection Fees
10811	UTOPIA FIBER	Fiber	505000 473150	Fiber Network Lines/Conduit	3,127,756.11	239224	04222024	Bountiful City's Fiber Network
5396	VEIGEL, LUKE	Light & Power	535300 423000	Travel & Training	1,494.72	239225	04232024	Travel&Training Expense for APPA E and O Conf.
4450	VERIZON WIRELESS	Light & Power	535300 448641	Communication Equipment	1,785.81	239227	9960502378	Account # 371517689-00001
5334	WEST COAST CODE CONS	Engineering	104450 431000	Profess & Tech Services	2,180.02	239231	UT24-545-003	Building Inspection Services for March 2024
					TOTAL:	3,247,488.27		

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00
Paid May 1, 2024**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECKNO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>	
14504	AMERICAN EQUIPMENT H	Light & Power	535300 448613	Power Plant Operating Costs	1,004.50	239235	0187268-IN	Crane Inspection - Customer # BOUNTIF	
1220	AT&T MOBILITY	Streets	104410 428000	Internet & Telephone Expense	1,046.12	239238	X04282024	Account # 287314361186	
1596	CATE RENTAL & SALES,	Storm Water	494900 425000	Equip Supplies & Maint	2,345.48	239244	Z39113	Misc. Parts/Supplies - Customer # 02308	
4806	CHEMTECH-FORD, INC	Water	515100 431000	Profess & Tech Services	1,095.00	239246	24C1209	Radium Samples	
13180	DAWSON INFRASTRUCTUR	Storm Water	494900 474600	Vehicles	354,606.00	239250	INV213881	Global Sweeper, Approved by Council	
1932	DESERET FIRST CREDIT	Engineering	104450 453100	Interest Expense	1,319.04	239251	04302024	DFCU Landscaping Bond Release	
7212	ENTELLUS INC	Streets	454410 473600	New Road Construction	1,507.50	239256	57408	Project # 1190015 Eagle Ridge Ext.	
2642	INTERWEST SUPPLY COM	Landfill Operations	585820 425000	Equip Supplies & Maint	3,607.72	239266	IN0111759	Misc. Parts & Supplies - Customer # BOU01	
2886	LAKEVIEW ROCK PRODUC	Water	515100 461300	Street Opening Expense	1,731.52	239267	423042	Road Base - Customer # BCTY07399	
2896	LARRY H. MILLER	Streets	104410 425000	Equip Supplies & Maint	1,772.50	239268	244388	Misc. Parts & Supplies - Acct # A1069	
8635	LARSEN LARSEN NASH &	Legal	104120 431100	Legal And Auditing Fees	4,270.00	239269	03312024	Legal Fees	
10820	PEAK ASPHALT, LLC	Streets	104410 473200	Road Materials - Overlay	3,080.60	239281	8-565322	Tach Oil - Customer # BC17	
5429	PERFORMANCE FORD LIN	Light & Power	535300 474600	Vehicles	42,641.52	239283	RGA67421	2024 Ford Explorer VIN # 1FMSK8DH3RGA67421	
5553	PURCELL TIRE AND SER	Refuse Collection Operations	585800 425000	Equip Supplies & Maint	1,898.26	239287	280074952	Tires - Acct # 2801867	
3951	SMITH POWER PRODUCTS	Streets	104410 425000	Equip Supplies & Maint	1,181.93	239292	561686	Parts and Service - Customer # 011709	
3972	SOLAR TURBINES, INC.	Light & Power	535300 448614	Power Plant Equipment Repairs	1,937.00	239293	AFS10072672	Gas Leak Repairs	
4051	STATE OF UTAH	Streets	104410 441300	Street Signs	9,919.48	239296	2454000451	Project Location: Matrix for Center/Main St.	
4051	STATE OF UTAH	Light & Power	535300 448613	Power Plant Operating Costs	1,100.00	239297	NA2705	2024 Emissions Fee - Customer ID VC239216	
10507	STRUCTURE WORKS, INC	Water	515100 426000	Bldg & Grnd Suppl & Maint	1,308.77	239299	78626	Truck Bag Camera - Cust # BOUNT010	
10507	STRUCTURE WORKS, INC	Water	515100 426000	Bldg & Grnd Suppl & Maint	1,308.77	239299	78627	Bag Camera - Cust # BOUNT010	
10507	STRUCTURE WORKS, INC	Water	515100 426000	Bldg & Grnd Suppl & Maint	1,637.57	239299	78628	Well Camera - Cust # BOUNT010	
10507	STRUCTURE WORKS, INC	Water	515100 426000	Bldg & Grnd Suppl & Maint	1,736.60	239299	78629	Building Camera - Cust # BOUNT010	
10507	STRUCTURE WORKS, INC	Water	515100 426000	Bldg & Grnd Suppl & Maint	2,851.64	239299	78625	Pant Camera - Cust # BOUNT010	
4118	SURVALENT TECHNOLOGY	Light & Power	535300 448640	SCADA	16,263.00	239300	U20493	Annual SCADA Support	
14920	THE GOLFER'S GREEN	Light & Power	535300 448639	Substation	1,560.00	239301	103702	Weeds at the Substations	
4341	UTAH ASSOCIATED MUNI	Light & Power	53 213130	UAMPS Accrual	1,317,378.31	239308	04252024	March 2024 payment for power resources	
4469	VRIENS TRUCK PARTS	Streets	104410 425000	Equip Supplies & Maint	8,185.00	239311	23425	New CAT DEF Filter	
10488	YOUNG FORD	Parks	104510 425000	Equip Supplies & Maint	1,232.00	239314	11S2397a	Mirrors for Vin # PKG00485	
					TOTAL:	<u>1,789,525.83</u>			

City Council Staff Report

Subject: March 2024 Financial Reports
Author: Tyson Beck, Finance Director
Department: Finance
Date: May 14, 2024



Background

These reports include summary revenue, expense, and budget information for all City funds. Both revenues and expenses, including capital outlay, have been included. These financials are presented to the City Council for review.

Analysis

Data within the reports and graphs presented provide detail of revenue, expense, and budget results for the associated period. Additional revenue and expense graphs are provided that give comparative data for FY2024 through March as compared to the past three fiscal year periods through that same timeframe.

The FY2024 budget portion of these reports is the originally adopted FY2024 budget approved by the City Council in June of 2023.

Department Review

These reports were prepared and reviewed by the Finance Department.

Significant Impacts

Financial information to aid in legislative and operational decision making.

Recommendation

Council is encouraged to review the attached revenue, expense, and budget reports.

Attachments

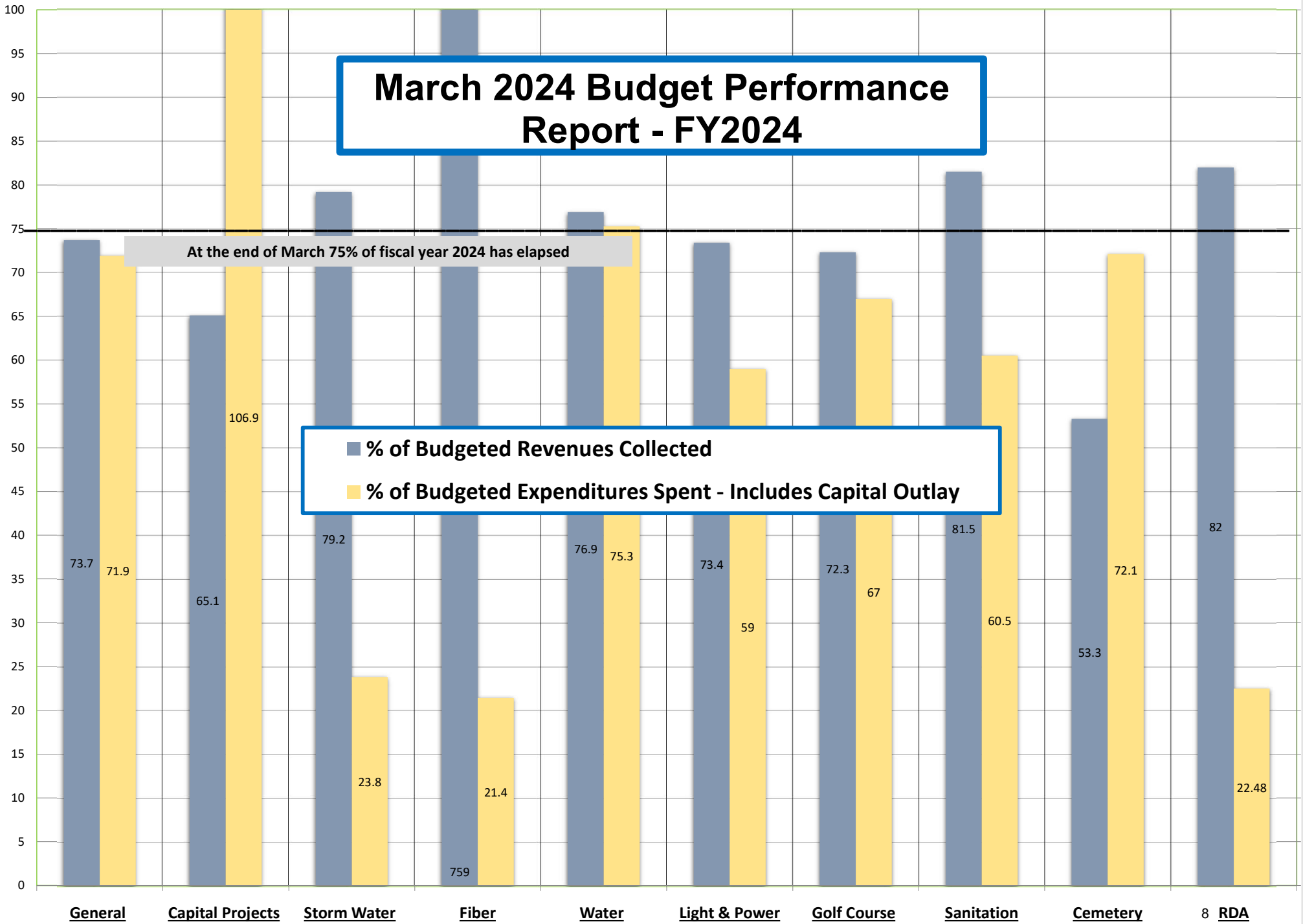
- March 2024 Revenue & Expense Reports – Fiscal 2024 YTD

March 2024 Budget Performance Report - FY2024

At the end of March 75% of fiscal year 2024 has elapsed

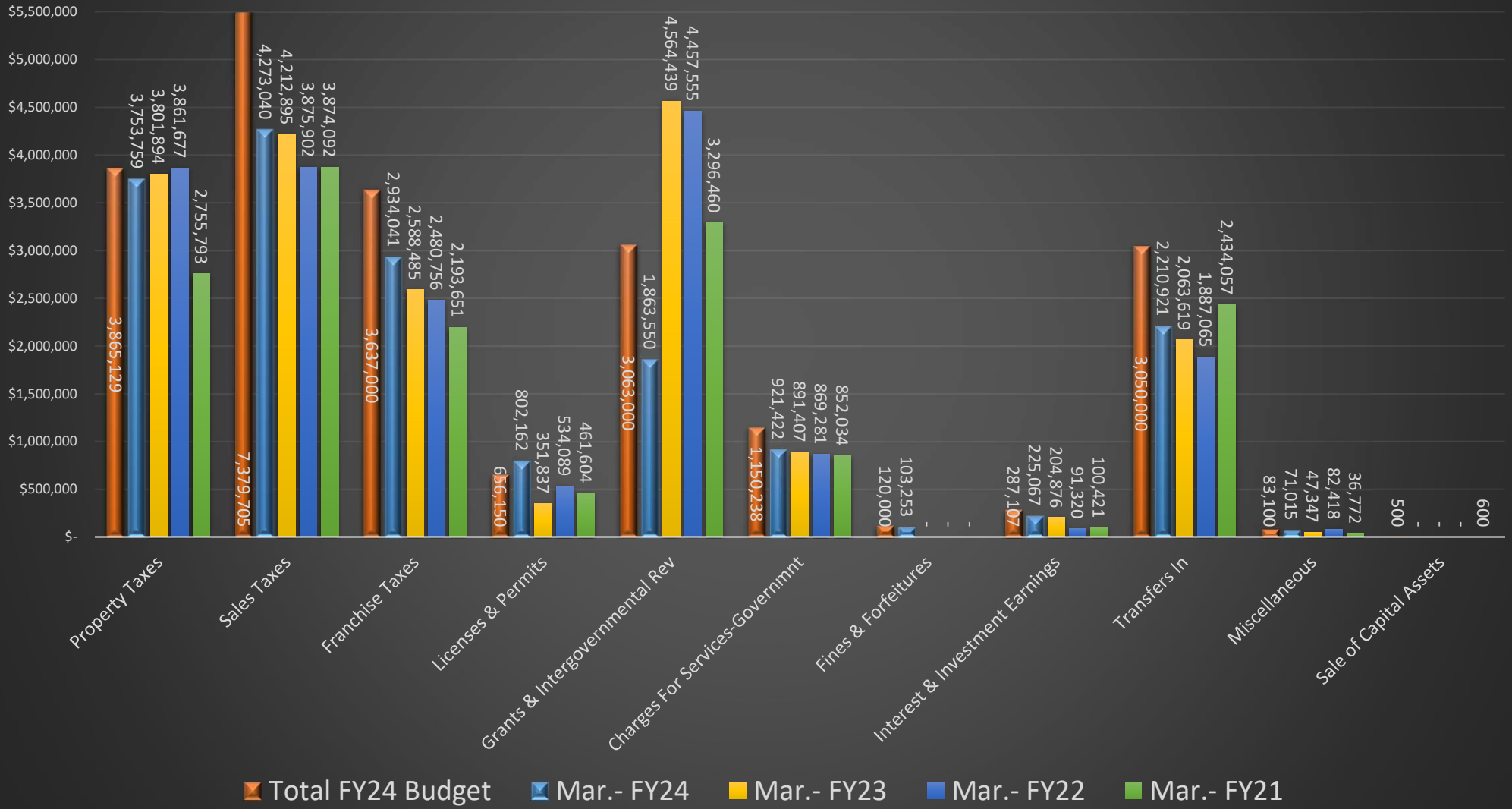
■ % of Budgeted Revenues Collected

■ % of Budgeted Expenditures Spent - Includes Capital Outlay

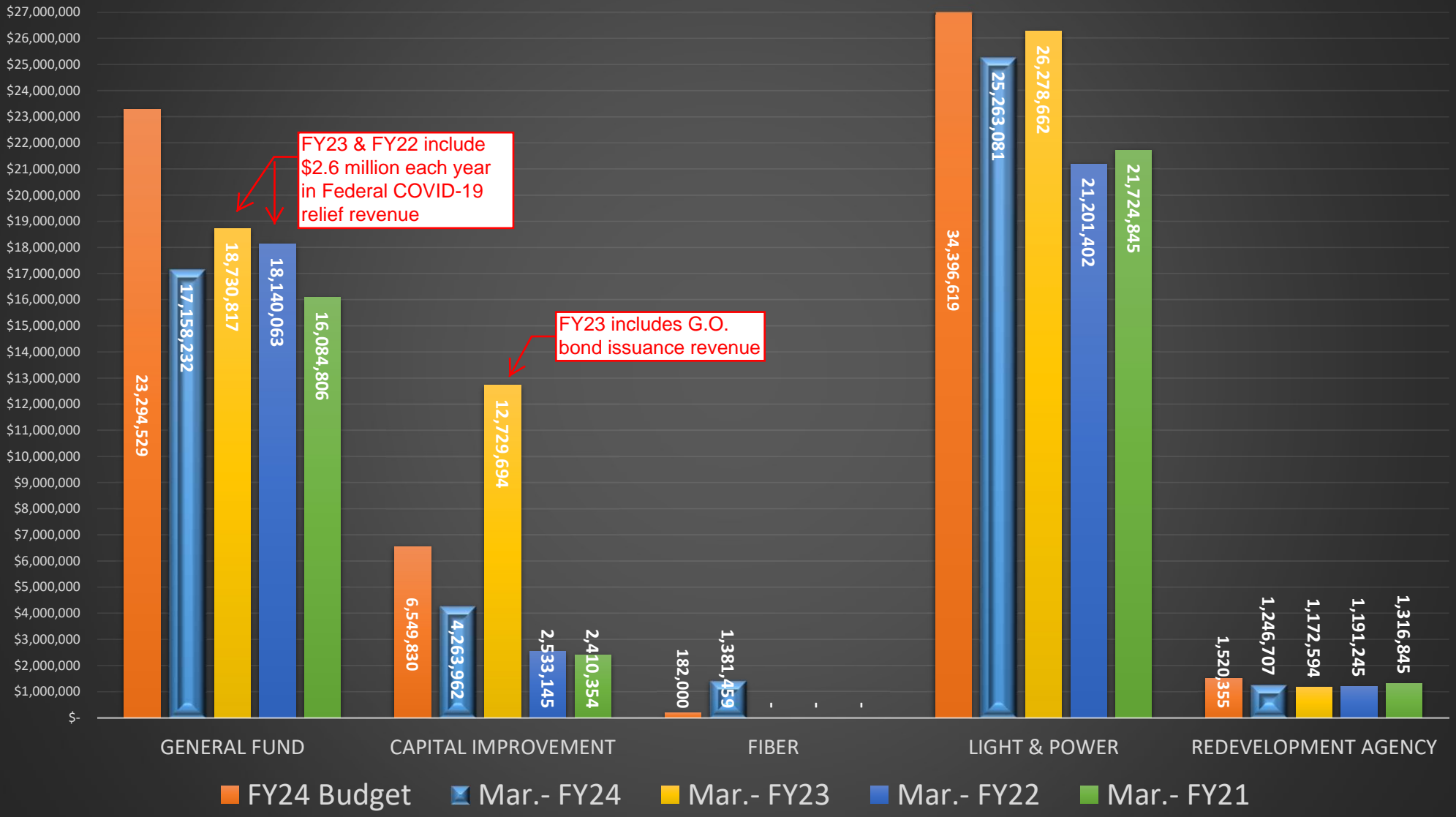


General Fund Detailed Revenues - March 2024

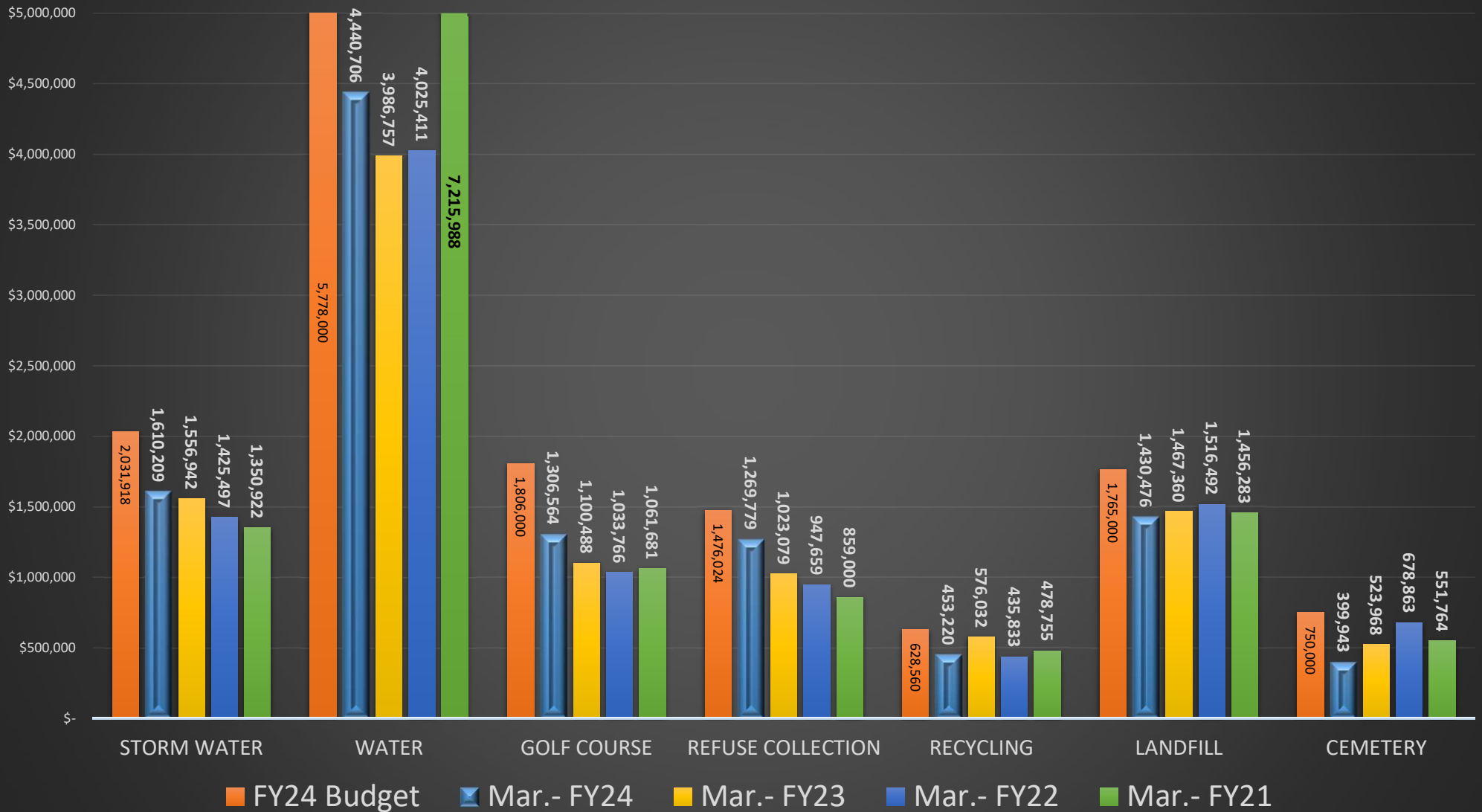
YTD Revenues (Fiscal Year 2024) Compared to Budget and also the Revenues of the Same Timeframe of the Past Three Fiscal Years



March 2024 YTD Revenues (Fiscal 2024) Compared to Budget and also the Revenues of Same Timeframe of the Past Three Fiscal Years

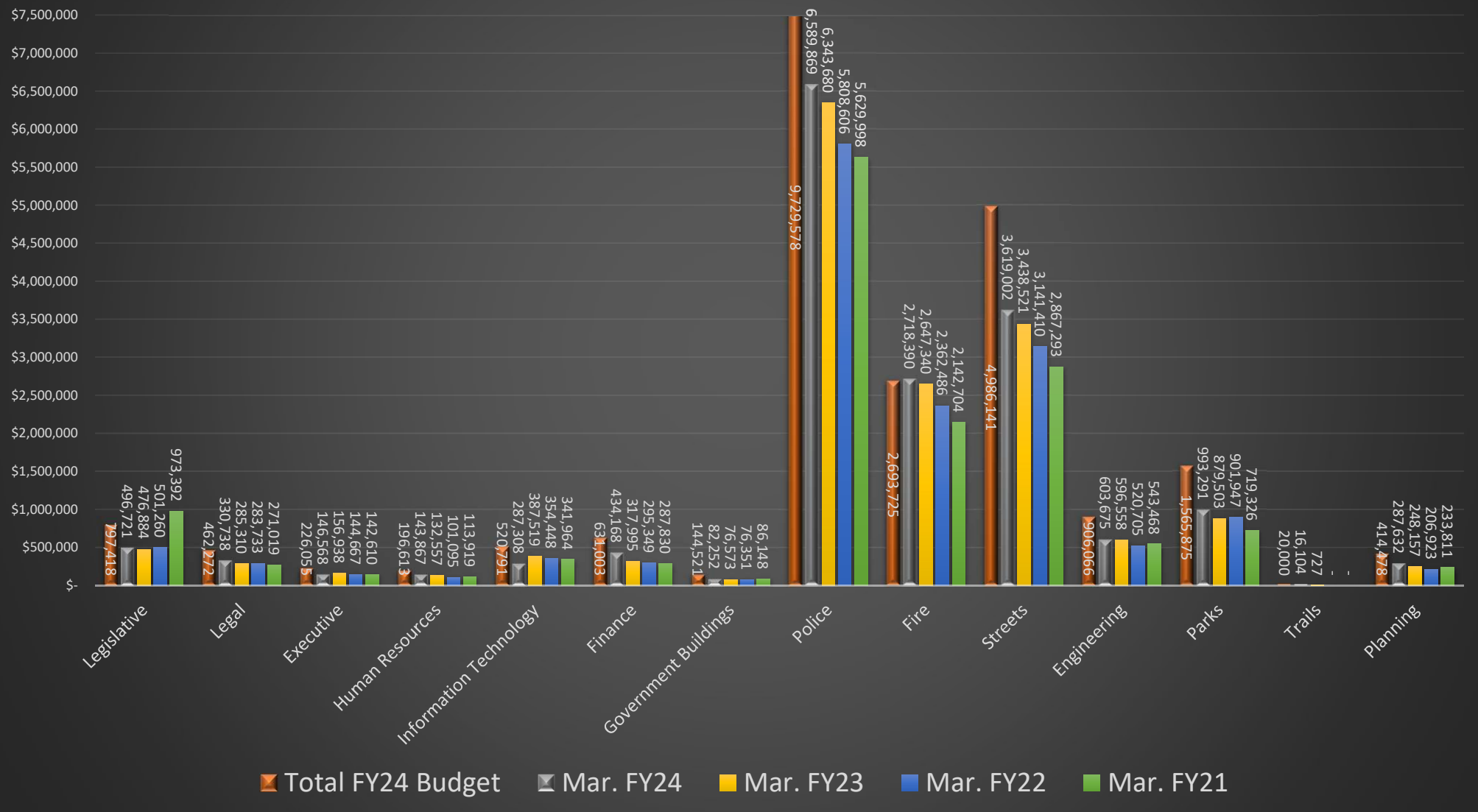


March 2024 (Fiscal 2024) YTD Revenues Compared to Budget and also the Revenues of Same Timeframe of the Past Three Fiscal Years

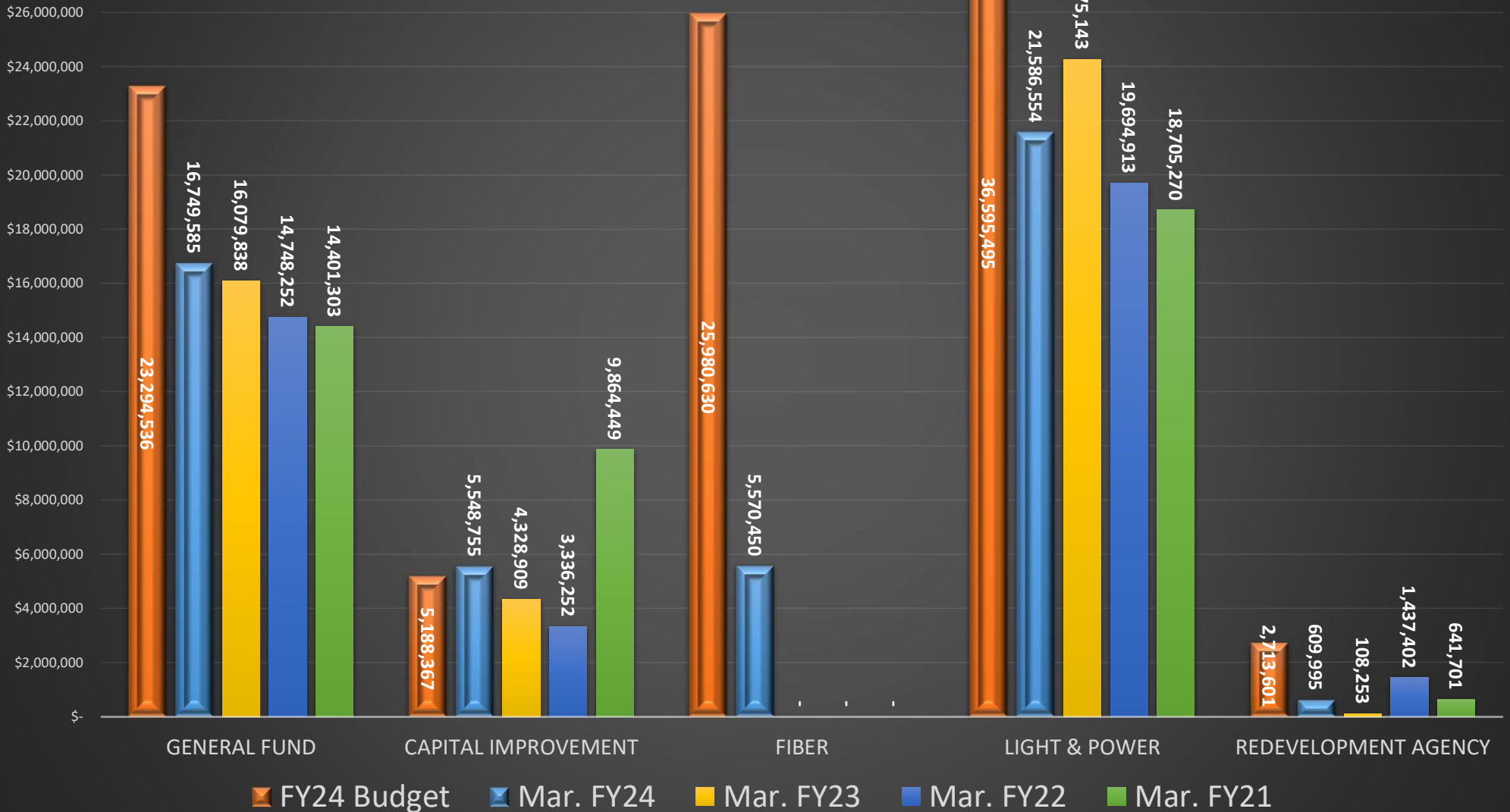


General Fund Detailed Expenditures - March 2024

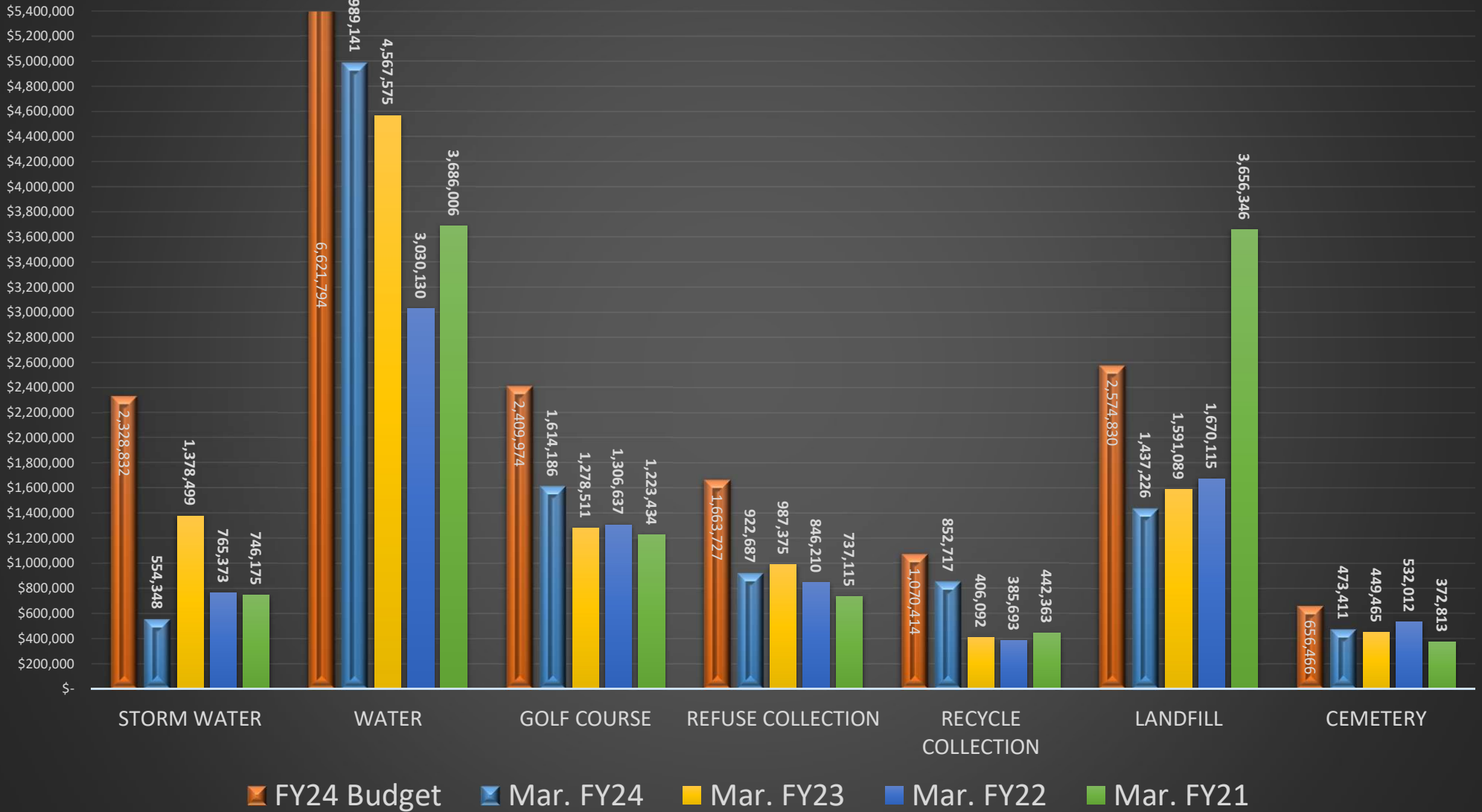
Fiscal 2024 YTD Expenditures Compared to Budget and also the Expenditures of the Same Timeframe of the Past Three Fiscal Years



March 2024 YTD (Fiscal 2024) Expenditures Compared to Budget and also the Expenditures of the Same Timeframe of the Past Three Fiscal Years



March 2024 YTD (Fiscal 2024) Expenses Compared Budget and also the Expenses of the Same Timeframe of the Past Three Fiscal Years



MARCH 2024 - FY2024 REVENUE & EXPENSE

FOR 2024 09

	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
10 GENERAL FUND							
1010 Property Taxes	-3,865,129	-3,865,129	-3,753,759.45	-665,638.57	.00	-111,369.55	97.1%
1020 Sales Taxes	-7,379,705	-7,379,705	-4,273,040.12	-611,940.31	.00	-3,106,664.88	57.9%
1030 Franchise Taxes	-3,637,000	-3,637,000	-2,934,041.15	-443,857.17	.00	-702,958.85	80.7%
1040 Property Tax Increment	-2,600	-2,600	.00	.00	.00	-2,600.00	.0%
2000 Licenses & Permits	-656,150	-656,150	-802,162.33	-26,518.44	.00	146,012.33	122.3%
3000 Grants & Intergovernmental Re	-3,063,000	-3,063,000	-1,863,550.45	-85,109.26	.00	-1,199,449.55	60.8%
3100 Fines & Forfeitures	0	-120,000	-103,253.48	-11,842.06	.00	-16,746.52	86.0%
4000 Charges For Services-Governmn	-1,150,238	-1,150,238	-921,422.44	-33,191.97	.00	-228,815.56	80.1%
4110 Legislative	797,418	797,418	496,720.75	65,118.85	.00	300,697.25	62.3%
4120 Legal	462,272	462,272	330,737.54	32,865.82	.00	131,534.46	71.5%
4130 Executive	226,055	226,055	146,568.04	11,387.79	.00	79,486.96	64.8%
4134 Human Resources	196,613	196,613	143,867.29	8,482.16	.00	52,745.71	73.2%
4136 Information Technology	520,791	520,791	287,308.27	30,107.17	.00	233,482.73	55.2%
4140 Finance	631,003	631,003	434,168.20	25,229.25	.00	196,834.80	68.8%
4160 Government Buildings	144,521	144,521	82,251.59	10,087.59	.00	62,269.41	56.9%
4210 Police	7,402,818	7,402,818	5,078,665.35	513,942.06	.00	2,324,152.65	68.6%
4215 Reserve Officers	10,000	10,000	.00	.00	.00	10,000.00	.0%
4216 Crossing Guards	163,385	163,385	107,197.30	13,428.96	.00	56,187.70	65.6%
4217 School Resource Officer	475,799	475,799	283,444.57	38,604.55	.00	192,354.43	59.6%
4218 Liquor Control	43,827	43,827	12,524.12	1,497.27	.00	31,302.88	28.6%
4219 PSAP - E911	1,633,749	1,633,749	1,108,037.23	122,169.69	.00	525,711.77	67.8%
4220 Fire	2,693,725	2,693,725	2,718,390.00	679,597.50	.00	-24,665.00	100.9%
4410 Streets	4,986,141	4,986,141	3,619,002.49	198,866.45	.00	1,367,138.51	72.6%
4450 Engineering	906,066	906,066	603,675.32	59,899.45	.00	302,390.68	66.6%
4510 Parks	1,565,875	1,565,875	993,290.93	68,589.48	.00	572,584.07	63.4%
4550 Trails	20,000	20,000	16,104.32	71.84	.00	3,895.68	80.5%
4610 Planning	414,478	414,478	287,631.94	24,684.94	.00	126,846.06	69.4%
5000 Fiber	-120,000	0	.00	.00	.00	.00	.0%
6000 Miscellaneous	-83,100	-83,100	-71,014.97	-3,968.08	.00	-12,085.03	85.5%
6010 Interest & Investment Earning	-287,107	-287,107	-225,066.80	-58,010.25	.00	-62,040.20	78.4%
6020 Sale of Capital Assets	-500	-500	.00	.00	.00	-500.00	.0%
8010 Transfers In	-3,050,000	-3,050,000	-2,210,920.78	-218,984.82	.00	-839,079.22	72.5%
TOTAL GENERAL FUND	7	7	-408,646.72	-254,430.11	.00	408,653.72*****	
TOTAL REVENUES	-23,294,529	-23,294,529	-17,158,231.97	-2,159,060.93	.00	-6,136,297.03	
TOTAL EXPENSES	23,294,536	23,294,536	16,749,585.25	1,904,630.82	.00	6,544,950.75	

30 DEBT SERVICE

MARCH 2024 - FY2024 REVENUE & EXPENSE

FOR 2024 09

30	DEBT SERVICE	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
1010	Property Taxes	-588,611	-588,611	-556,080.33	-98,023.97	.00	-32,530.67	94.5%
4710	Debt Sevice	561,700	561,700	404,419.25	-2.37	.00	157,280.75	72.0%
6010	Interest & Investment Earning	-200	-200	-1,619.42	-490.46	.00	1,419.42	809.7%
	TOTAL DEBT SERVICE	-27,111	-27,111	-153,280.50	-98,516.80	.00	126,169.50	565.4%
	TOTAL REVENUES	-588,811	-588,811	-557,699.75	-98,514.43	.00	-31,111.25	
	TOTAL EXPENSES	561,700	561,700	404,419.25	-2.37	.00	157,280.75	

45 CAPITAL IMPROVEMENT

1020	Sales Taxes	-3,882,027	-3,882,027	-2,231,348.72	-319,942.35	.00	-1,650,678.28	57.5%
3000	Grants & Intergovernmental Re	-907,928	-907,928	-875,000.00	.00	.00	-32,928.00	96.4%
4110	Legislative	640,000	640,000	638,279.64	.00	.00	1,720.36	99.7%
4136	Information Technology	70,000	70,000	59,678.48	1,259.13	.00	10,321.52	85.3%
4140	Finance	13,200	13,200	2,081.97	-541.70	.00	11,118.03	15.8%
4210	Police	871,167	871,167	626,887.15	1,768.80	.00	244,279.85	72.0%
4410	Streets	2,564,000	2,564,000	2,608,660.24	154,214.23	.00	-44,660.24	101.7%
4450	Engineering	250,000	250,000	110,486.17	.00	.00	139,513.83	44.2%
4510	Parks	50,000	50,000	51,987.00	51,987.00	.00	-1,987.00	104.0%
4550	Trails	730,000	730,000	1,450,694.39	.00	.00	-720,694.39	198.7%
6010	Interest & Investment Earning	-760,375	-760,375	-1,063,346.11	-120,806.82	.00	302,971.11	139.8%
6020	Sale of Capital Assets	-40,000	-40,000	-47,767.50	.00	.00	7,767.50	119.4%
8000	Contributions	0	0	-21,500.00	.00	.00	21,500.00	100.0%
8010	Transfers In	-959,500	-959,500	-25,000.00	.00	.00	-934,500.00	2.6%
	TOTAL CAPITAL IMPROVEMENT	-1,361,463	-1,361,463	1,284,792.71	-232,061.71	.00	-2,646,255.71	-94.4%
	TOTAL REVENUES	-6,549,830	-6,549,830	-4,263,962.33	-440,749.17	.00	-2,285,867.67	
	TOTAL EXPENSES	5,188,367	5,188,367	5,548,755.04	208,687.46	.00	-360,388.04	

49 STORM WATER

4900	Storm Water	2,328,832	2,328,832	554,348.03	58,085.02	.00	1,774,483.97	23.8%
6000	Miscellaneous	-5,800	-5,800	-5,540.26	-576.00	.00	-259.74	95.5%
6010	Interest & Investment Earning	-15,000	-15,000	-108,132.35	-14,677.69	.00	93,132.35	720.9%
7000	Charge For Services-Proprieta	-2,011,118	-2,011,118	-1,492,716.36	-171,354.30	.00	-518,401.64	74.2%
8020	Impact Fees	0	0	-3,820.00	.00	.00	3,820.00	100.0%
	TOTAL STORM WATER	296,914	296,914	-1,055,860.94	-128,522.97	.00	1,352,774.94	-355.6%
	TOTAL REVENUES	-2,031,918	-2,031,918	-1,610,208.97	-186,607.99	.00	-421,709.03	
	TOTAL EXPENSES	2,328,832	2,328,832	554,348.03	58,085.02	.00	1,774,483.97	

50 FIBER

MARCH 2024 - FY2024 REVENUE & EXPENSE

FOR 2024 09

50	FIBER	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
5000	Fiber	25,980,630	25,980,630	5,570,449.52	1,461,603.39	.00	20,410,180.48	21.4%
6000	Miscellaneous	-500	-500	.00	.00	.00	-500.00	.0%
6010	Interest & Investment Earning	-500	-500	-1,326,065.46	-179,724.51	.00	1,325,565.46*****%	
7000	Charge For Services-Proprieta	-181,000	-181,000	-55,393.36	-14,539.04	.00	-125,606.64	30.6%
	TOTAL FIBER	25,798,630	25,798,630	4,188,990.70	1,267,339.84	.00	21,609,639.30	16.2%
	TOTAL REVENUES	-182,000	-182,000	-1,381,458.82	-194,263.55	.00	1,199,458.82	
	TOTAL EXPENSES	25,980,630	25,980,630	5,570,449.52	1,461,603.39	.00	20,410,180.48	
51 WATER								
5100	Water	6,621,794	6,621,794	4,989,140.68	271,066.21	.00	1,632,653.32	75.3%
6000	Miscellaneous	-2,000	-2,000	-3,203.30	.00	.00	1,203.30	160.2%
6010	Interest & Investment Earning	-60,000	-60,000	-93,800.01	-11,048.23	.00	33,800.01	156.3%
6020	Sale of Capital Assets	-20,000	-20,000	.00	.00	.00	-20,000.00	.0%
7000	Charge For Services-Proprieta	-5,546,000	-5,546,000	-4,238,517.63	-367,987.73	.00	-1,307,482.37	76.4%
7010	Connection & Servicing	-40,000	-40,000	-13,830.50	-2,844.92	.00	-26,169.50	34.6%
8020	Impact Fees	-60,000	-60,000	-65,834.40	.00	.00	5,834.40	109.7%
8030	Capital Contributions/Donatio	-50,000	-50,000	-25,520.52	.00	.00	-24,479.48	51.0%
	TOTAL WATER	843,794	843,794	548,434.32	-110,814.67	.00	295,359.68	65.0%
	TOTAL REVENUES	-5,778,000	-5,778,000	-4,440,706.36	-381,880.88	.00	-1,337,293.64	
	TOTAL EXPENSES	6,621,794	6,621,794	4,989,140.68	271,066.21	.00	1,632,653.32	
53 LIGHT & POWER								
5300	Light & Power	36,595,495	36,595,495	21,586,554.01	2,149,447.56	.00	15,008,940.99	59.0%
6000	Miscellaneous	-122,000	-122,000	-100,195.85	-6,857.79	.00	-21,804.15	82.1%
6010	Interest & Investment Earning	-402,689	-402,689	-452,466.30	-61,049.34	.00	49,777.30	112.4%
6020	Sale of Capital Assets	-4,000	-4,000	-5,462.50	.00	.00	1,462.50	136.6%
7000	Charge For Services-Proprieta	-33,242,374	-33,242,374	-24,503,877.32	-2,635,342.20	.00	-8,738,496.68	73.7%
7010	Connection & Servicing	-100,000	-100,000	-66,461.56	-6,737.50	.00	-33,538.44	66.5%
7030	Equipment & Facility Rents	-75,556	-75,556	-43,401.50	-1,468.00	.00	-32,154.50	57.4%
8030	Capital Contributions/Donatio	-450,000	-450,000	-91,215.83	.00	.00	-358,784.17	20.3%
	TOTAL LIGHT & POWER	2,198,876	2,198,876	-3,676,526.85	-562,007.27	.00	5,875,402.85	-167.2%
	TOTAL REVENUES	-34,396,619	-34,396,619	-25,263,080.86	-2,711,454.83	.00	-9,133,538.14	
	TOTAL EXPENSES	36,595,495	36,595,495	21,586,554.01	2,149,447.56	.00	15,008,940.99	
55 GOLF COURSE								

MARCH 2024 - FY2024 REVENUE & EXPENSE

FOR 2024 09

55	GOLF COURSE	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
5500	Golf Course	2,409,974	2,409,974	1,614,185.92	240,123.56	.00	795,788.08	67.0%
6000	Miscellaneous	-3,000	-3,000	-4,157.46	.00	.00	1,157.46	138.6%
6010	Interest & Investment Earning	-8,000	-8,000	-26,209.50	-1,969.37	.00	18,209.50	327.6%
7020	Admission & Lesson Fees	-998,000	-998,000	-692,385.95	-26,543.21	.00	-305,614.05	69.4%
7030	Equipment & Facility Rents	-491,000	-491,000	-354,727.09	-13,048.41	.00	-136,272.91	72.2%
7040	Concession & Merchandise Sale	-306,000	-306,000	-229,084.35	-4,503.86	.00	-76,915.65	74.9%
	TOTAL GOLF COURSE	603,974	603,974	307,621.57	194,058.71	.00	296,352.43	50.9%
	TOTAL REVENUES	-1,806,000	-1,806,000	-1,306,564.35	-46,064.85	.00	-499,435.65	
	TOTAL EXPENSES	2,409,974	2,409,974	1,614,185.92	240,123.56	.00	795,788.08	
58 SANITATION								
5800	Refuse Collection Operations	1,663,727	1,663,727	922,687.25	101,748.63	.00	741,039.75	55.5%
5810	Recycle Collection Operations	1,070,414	1,070,414	852,716.66	44,458.83	.00	217,697.34	79.7%
5820	Landfill Operations	2,574,830	2,574,830	1,437,226.32	127,477.74	.00	1,137,603.68	55.8%
6000	Miscellaneous	0	0	-14.88	.00	.00	14.88	100.0%
6002	Miscellaneous - Landfill	-30,000	-30,000	-28,529.06	-2,375.22	.00	-1,470.94	95.1%
6010	Interest & Investment Earning	-58,000	-58,000	-214,902.14	-25,111.71	.00	156,902.14	370.5%
6012	Interest Earnings - Landfill	0	0	-128,763.42	-16,626.11	.00	128,763.42	100.0%
6022	Sale of Capital Assets-Landfill	0	0	-5,000.00	.00	.00	5,000.00	100.0%
7000	Charge For Services-Proprieta	-1,418,024	-1,418,024	-1,054,861.51	-121,692.26	.00	-363,162.49	74.4%
7001	Charge For Services - Recycle	-628,560	-628,560	-453,220.14	-52,342.36	.00	-175,339.86	72.1%
7002	Charge For Services - Landfil	-1,735,000	-1,735,000	-1,268,183.29	-119,509.56	.00	-466,816.71	73.1%
	TOTAL SANITATION	1,439,387	1,439,387	59,155.79	-63,972.02	.00	1,380,231.21	4.1%
	TOTAL REVENUES	-3,869,584	-3,869,584	-3,153,474.44	-337,657.22	.00	-716,109.56	
	TOTAL EXPENSES	5,308,971	5,308,971	3,212,630.23	273,685.20	.00	2,096,340.77	
59 CEMETERY								
5900	Cemetery	656,466	656,466	473,411.33	43,327.51	.00	183,054.67	72.1%
6010	Interest & Investment Earning	-11,000	-11,000	-22,947.52	-2,836.28	.00	11,947.52	208.6%
7000	Charge For Services-Proprieta	-462,500	-462,500	-306,295.00	-29,575.00	.00	-156,205.00	66.2%
7050	Cemetery Burial Plot Sales	-276,500	-276,500	-70,700.00	-10,025.00	.00	-205,800.00	25.6%
	TOTAL CEMETERY	-93,534	-93,534	73,468.81	891.23	.00	-167,002.81	-78.5%
	TOTAL REVENUES	-750,000	-750,000	-399,942.52	-42,436.28	.00	-350,057.48	
	TOTAL EXPENSES	656,466	656,466	473,411.33	43,327.51	.00	183,054.67	
61 COMPUTER MAINTENANCE								

MARCH 2024 - FY2024 REVENUE & EXPENSE

FOR 2024 09

61	COMPUTER MAINTENANCE	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
4000	Charges For Services-Governmn	-53,869	-53,869	-120,730.00	.00	.00	66,861.00	224.1%
6010	Interest & Investment Earning	-200	-200	-1,665.40	-150.40	.00	1,465.40	832.7%
6100	Computer Maintenance	74,640	74,640	69,589.73	2,558.51	.00	5,050.27	93.2%
	TOTAL COMPUTER MAINTENANCE	20,571	20,571	-52,805.67	2,408.11	.00	73,376.67	-256.7%
	TOTAL REVENUES	-54,069	-54,069	-122,395.40	-150.40	.00	68,326.40	
	TOTAL EXPENSES	74,640	74,640	69,589.73	2,558.51	.00	5,050.27	
63 LIABILITY INSURANCE								
6010	Interest & Investment Earning	-31,000	-31,000	-26,822.13	-3,121.57	.00	-4,177.87	86.5%
6300	Liability Insurance	766,956	766,956	863,520.86	27,766.49	.00	-96,564.86	112.6%
7000	Charge For Services-Proprieta	-591,497	-591,497	-706,782.00	.00	.00	115,285.00	119.5%
	TOTAL LIABILITY INSURANCE	144,459	144,459	129,916.73	24,644.92	.00	14,542.27	89.9%
	TOTAL REVENUES	-622,497	-622,497	-733,604.13	-3,121.57	.00	111,107.13	
	TOTAL EXPENSES	766,956	766,956	863,520.86	27,766.49	.00	-96,564.86	
64 WORKERS' COMP INSURANCE								
6010	Interest & Investment Earning	-21,000	-21,000	-20,213.75	-2,765.69	.00	-786.25	96.3%
6400	workers' Comp Insurance	361,353	361,353	406,096.69	6,894.02	.00	-44,743.69	112.4%
7000	Charge For Services-Proprieta	-350,973	-350,973	-245,335.93	-25,377.48	.00	-105,637.07	69.9%
	TOTAL WORKERS' COMP INSURANCE	-10,620	-10,620	140,547.01	-21,249.15	.00	-151,167.01	-1323.4%
	TOTAL REVENUES	-371,973	-371,973	-265,549.68	-28,143.17	.00	-106,423.32	
	TOTAL EXPENSES	361,353	361,353	406,096.69	6,894.02	.00	-44,743.69	
72 RDA REVOLVING LOAN FUND								
6000	Miscellaneous	-513,755	-513,755	-114,804.69	-12,155.54	.00	-398,950.31	22.3%
6010	Interest & Investment Earning	-92,303	-92,303	-114,486.49	-15,024.39	.00	22,183.49	124.0%
7200	RDA Revolving Loans	502,760	502,760	208.65	-54.33	.00	502,551.35	.0%
	TOTAL RDA REVOLVING LOAN FUND	-103,298	-103,298	-229,082.53	-27,234.26	.00	125,784.53	221.8%
	TOTAL REVENUES	-606,058	-606,058	-229,291.18	-27,179.93	.00	-376,766.82	
	TOTAL EXPENSES	502,760	502,760	208.65	-54.33	.00	502,551.35	

73 REDEVELOPMENT AGENCY

MARCH 2024 - FY2024 REVENUE & EXPENSE

FOR 2024 09

73	REDEVELOPMENT AGENCY	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
1010	Property Taxes	-76,000	-76,000	.00	.00	.00	-76,000.00	.0%
1040	Property Tax Increment	-827,497	-827,497	-992,457.00	-592,457.00	.00	164,960.00	119.9%
6010	Interest & Investment Earning	-10,800	-10,800	-24,958.38	-4,810.74	.00	14,158.38	231.1%
7300	Redevelopment Agency	2,210,841	2,210,841	609,786.60	9,342.53	.00	1,601,054.40	27.6%
	TOTAL REDEVELOPMENT AGENCY	1,296,544	1,296,544	-407,628.78	-587,925.21	.00	1,704,172.78	-31.4%
	TOTAL REVENUES	-914,297	-914,297	-1,017,415.38	-597,267.74	.00	103,118.38	
	TOTAL EXPENSES	2,210,841	2,210,841	609,786.60	9,342.53	.00	1,601,054.40	
74 CEMETERY PERPETUAL CARE								
6010	Interest & Investment Earning	-44,400	-44,400	-57,173.29	-7,246.63	.00	12,773.29	128.8%
7050	Cemetery Burial Plot Sales	-93,000	-93,000	-38,750.00	-6,025.00	.00	-54,250.00	41.7%
7400	Cemetery Perpetual Care	2,055	2,055	193.41	-34.99	.00	1,861.59	9.4%
	TOTAL CEMETERY PERPETUAL CARE	-135,345	-135,345	-95,729.88	-13,306.62	.00	-39,615.12	70.7%
	TOTAL REVENUES	-137,400	-137,400	-95,923.29	-13,271.63	.00	-41,476.71	
	TOTAL EXPENSES	2,055	2,055	193.41	-34.99	.00	1,861.59	
78 LANDFILL CLOSURE								
6010	Interest & Investment Earning	-37,200	-37,200	-38,494.40	-4,444.15	.00	1,294.40	103.5%
	TOTAL LANDFILL CLOSURE	-37,200	-37,200	-38,494.40	-4,444.15	.00	1,294.40	103.5%
	TOTAL REVENUES	-37,200	-37,200	-38,494.40	-4,444.15	.00	1,294.40	
83 RAP TAX								
1050	RAP Taxes	-770,000	-770,000	-462,180.72	-73,548.70	.00	-307,819.28	60.0%
6010	Interest & Investment Earning	-10,000	-10,000	-8,411.91	-1,436.79	.00	-1,588.09	84.1%
8300	RAP Tax	1,350,185	1,350,185	243,178.21	-6.94	.00	1,107,006.79	18.0%
	TOTAL RAP TAX	570,185	570,185	-227,414.42	-74,992.43	.00	797,599.42	-39.9%
	TOTAL REVENUES	-780,000	-780,000	-470,592.63	-74,985.49	.00	-309,407.37	
	TOTAL EXPENSES	1,350,185	1,350,185	243,178.21	-6.94	.00	1,107,006.79	
92 OPEB TRUST								

MARCH 2024 - FY2024 REVENUE & EXPENSE

FOR 2024 09

92	OPEB TRUST	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
6010	Interest & Investment Earning	0	0	-25,819.13	-2,862.96	.00	25,819.13	100.0%
9200	OPEB Trust	0	0	992.32	26.03	.00	-992.32	100.0%
	TOTAL OPEB TRUST	0	0	-24,826.81	-2,836.93	.00	24,826.81	100.0%
	TOTAL REVENUES	0	0	-25,819.13	-2,862.96	.00	25,819.13	
	TOTAL EXPENSES	0	0	992.32	26.03	.00	-992.32	
99 INVESTMENT								
6010	Interest & Investment Earning	0	0	-1,117,842.97	-72,718.56	.00	1,117,842.97	100.0%
	TOTAL INVESTMENT	0	0	-1,117,842.97	-72,718.56	.00	1,117,842.97	100.0%
	TOTAL REVENUES	0	0	-1,117,842.97	-72,718.56	.00	1,117,842.97	
	GRAND TOTAL	31,444,770	31,444,770	-755,212.83	-765,690.05	.00	32,199,982.83	-2.4%

** END OF REPORT - Generated by Tyson Beck **

City Council Staff Report

Subject: City Treasurer Appointment
Author: Tyson Beck, Finance Director
Date: May 14, 2024



Background

The City's Treasurer position became vacant last month. The position opening was widely advertised and there were 22 applicants for the position. Hunter Stone has gone through the recruitment and interview process and has been selected as the best candidate to fill this vacancy.

Analysis

State code section 10-3-916(1)(a) states that:

..the mayor, with the advice and consent of the city council, shall appoint a qualified person to the office of city treasurer.....all appointed officers shall continue in office until their successors are appointed and qualified.

Hunter is well qualified and will represent the City well in the City Treasurer role.

Department Review

The candidate review process was completed by the Finance Director, Assistant Finance Director, and the Assistant City Manager.

This staff report was reviewed by the City Manager.

Significant Impacts

Fills this employment vacancy within the Finance Department.

Recommendation

Staff is excited about Hunter's potential at the City and recommends that the Mayor and City Council approve the appointment of Hunter Stone to the City Treasurer position until such time as a successor is necessary.

Attachments

None

City Council Staff Report



Subject: Fireworks Ordinance
Author: Bradley Jeppsen
Dept: City Attorney
Date: May 14, 2024

Background

Utah Code Annotated 15A-5-202.5 allows municipalities to implement fireworks restrictions based on a fire code official's evaluation of the existing conditions within a city. If a fire code official determines that hazardous environmental conditions exist and recommends restrictions, a city council may enact an ordinance restricting fireworks. In 2023, Chief Stone recommended that fireworks be prohibited in the same area as is currently being proposed, and the City Council passed an ordinance matching his recommendation.

Analysis

Fire Chief Dane Stone (Fire Code Official) has determined that current conditions within areas of Bountiful City are hazardous for fires and has recommended that restrictions be adopted for those areas posing a fire risk. Chief Stone's determination empowers the City Council to adopt fireworks restrictions by adopting a Fireworks Ordinance for 2024 which would expire on January 1, 2025.

Due to hazardous environmental conditions, the fire chief and city staff recommend the discharge of fireworks be prohibited at all times in the following areas of Bountiful City until January 1, 2025:

- (a) East of 400 East from Pages Lane to 500 South;
- (b) East of Orchard Drive from 500 South to the North Salt Lake border; and
- (c) Fireworks are prohibited in any other areas designated by South Davis Metro Fire Agency officials.

Notice to the public of the fireworks restrictions will be strategically placed within the City.

Department Review

This Staff Report was prepared by the City Attorney and reviewed by the City Manager.

Recommendation

It is recommended that the City Council adopt Ordinance 2024-03 to prohibit discharging fireworks east of 400 East and Orchard Drive

Significant Impacts

Imposing fireworks restrictions in the mountainous, brush-covered or forest-covered areas will minimize fire risks and increase public safety within the City.

Attachments

Ordinance 2024-03.

Map of Bountiful City including fire restricted areas.

Fire Chief Stone's letter of findings.

List of dates when fireworks are allowed in the non-prohibited areas of the City.



BOUNTIFUL

Bountiful City Ordinance No. 2024-03

MAYOR
Kendalyn Harris

CITY COUNCIL
Jesse Bell
Kate Bradshaw
Richard Higginson
Matt Murri
Cecilee Price-Huish

CITY MANAGER
Gary R. Hill

AN ORDINANCE ADOPTING RESTRICTIONS OF THE USE OF FIREWORKS WITHIN CERTAIN AREAS OF THE CITY OF BOUNTIFUL, UTAH, FOR THE YEAR 2024

WHEREAS, the Utah Legislature grants authority to local governments to regulate the sale and discharge of Class “C” fireworks; and

WHEREAS, the Utah Code provides for annual scrutiny and review of fire hazards and risks by fire code officials and legislative bodies regarding fireworks and fire restrictions; and

WHEREAS, the Fire Chief of the South Davis Metro Fire Agency, who is the Bountiful Fire Code Official, has determined under the International Fire Code, Chapter 3, Section 310.8, that hazardous environmental conditions in and around Bountiful necessitate controlled use of ignition sources, including fireworks, and has recommended temporary fireworks discharge restrictions; and

WHEREAS, the Fire Chief has issued a recommendation to prohibit the discharge of fireworks in areas described in the ordinance ; and

WHEREAS, the City Council finds it is in the best interest of the municipality and the general health, safety and welfare of the public that this Ordinance should be passed;

NOW, THEREFORE, IT IS HEREBY ORDAINED BY THE BOUNTIFUL CITY COUNCIL AS FOLLOWS:

Section 1. Ordinance Amendment. Section 5-10-108 of the Bountiful City Code is hereby amended as follows:

5-10-108. Fireworks Restrictions.

(1) Within the limits of the City of Bountiful east of Bountiful Boulevard, and, north of 400 North, east of 900 East:

(a) The discharge of class C common fireworks is prohibited at all times.

(2) Due to hazardous environmental conditions, the discharge of fireworks is prohibited at all times in the following areas of Bountiful City until January 1, 2025:

(a) East of 400 East from Pages Lane to 500 South;

(b) East of Orchard Drive from 500 South to the North Salt Lake border.

(c) Fireworks are prohibited in any other areas designated by South Davis Metro Fire Agency officials.

(3) Campfires and other fires are allowed only in an approved fire pit designed and installed by the Forest Service or the City. No homemade or makeshift fire pits are allowed. The restrictions of this Section do not apply to residential structures or improved fire pits adjacent to a residential structure.

(4) This Section does not apply to Bountiful City’s annual public fireworks display because of adequate fire prevention preparations.

(5) This Section shall not expire until rescinded or amended by the City Council.

(6) In other parts of the City where not prohibited by this Section, the possession, display or discharge of Class C common state approved fireworks is permitted only as provided by State law. Any other possession, display or discharge is prohibited.

(7) It is unlawful to negligently discharge class C common state approved explosives, in such a manner as to cause, or to recklessly risk causing, a fire or injury to people or property.

(8) This ordinance shall not limit the authority of the Fire Chief or Fire Marshal to at any time issue emergency decrees or order fireworks and/or other fire restrictions depending upon conditions or needs.

(9) Fireworks possessed, sold or offered for sale in violation of this Ordinance may be seized and destroyed and the license of the person selling or offering fireworks for sale may be revoked.

(10) All terms relating to fireworks used in this Ordinance shall have the same meaning as defined in Utah Code § 53-7-202 of the Utah Fire Prevention Act.

(11) A violation of this Section is a class “B” misdemeanor.

Section 2. Effective Date. This Ordinance shall become effective immediately upon passage.

Adopted by the City Council of Bountiful, Utah, this 14th day of May, 2024.

Kendalyn Harris, Mayor

Attest:

Shawna Andrus, City Recorder



South Davis Metro Fire Service Area

Proudly Serving the Communities of

Bountiful - Centerville - Davis County - North Salt Lake - West Bountiful - Woods Cross

Dane Stone, Fire Chief

May 7, 2024.

Mr. Hill:

I have evaluated the areas within Bountiful City where existing and historically hazardous environmental conditions exist and meet the requirements of Utah Code 15A-5-202.5(b). With the approaching month of July, these areas are anticipated to become even drier and more susceptible to fire hazards. With the amount of precipitation we have had over the last few years, we will likely see a significant growth in flash fuels, which may contribute to possible wildland urban-interface fires. Based on the location of such areas and the historical environmental conditions, in the outlined area on the map, the use of any ignition source, including fireworks, lighters, matches, and sky lanterns should be prohibited in the restricted area.

It is my recommendation that the discharge of fireworks be prohibited in the city of Bountiful within the areas East of Orchard Drive, from the North Salt Lake City Boundary to 500 South and continuing on 400 East to the Centerville City Boundary, as described on the attached map.

Campfires and all other fires are allowed only in an approved fire pit designed and installed by the forest service or the city. No homemade or makeshift fire pits are allowed. This restriction does not apply to residential structures or improved fire pits adjacent to a residential structure.

Please note that exemptions are granted for the Bountiful City Handcart Days public fireworks display, because of the adequate fire prevention measures that have been implemented.

Respectfully,

A handwritten signature in black ink, appearing to read 'Dane Stone', written over a horizontal line.

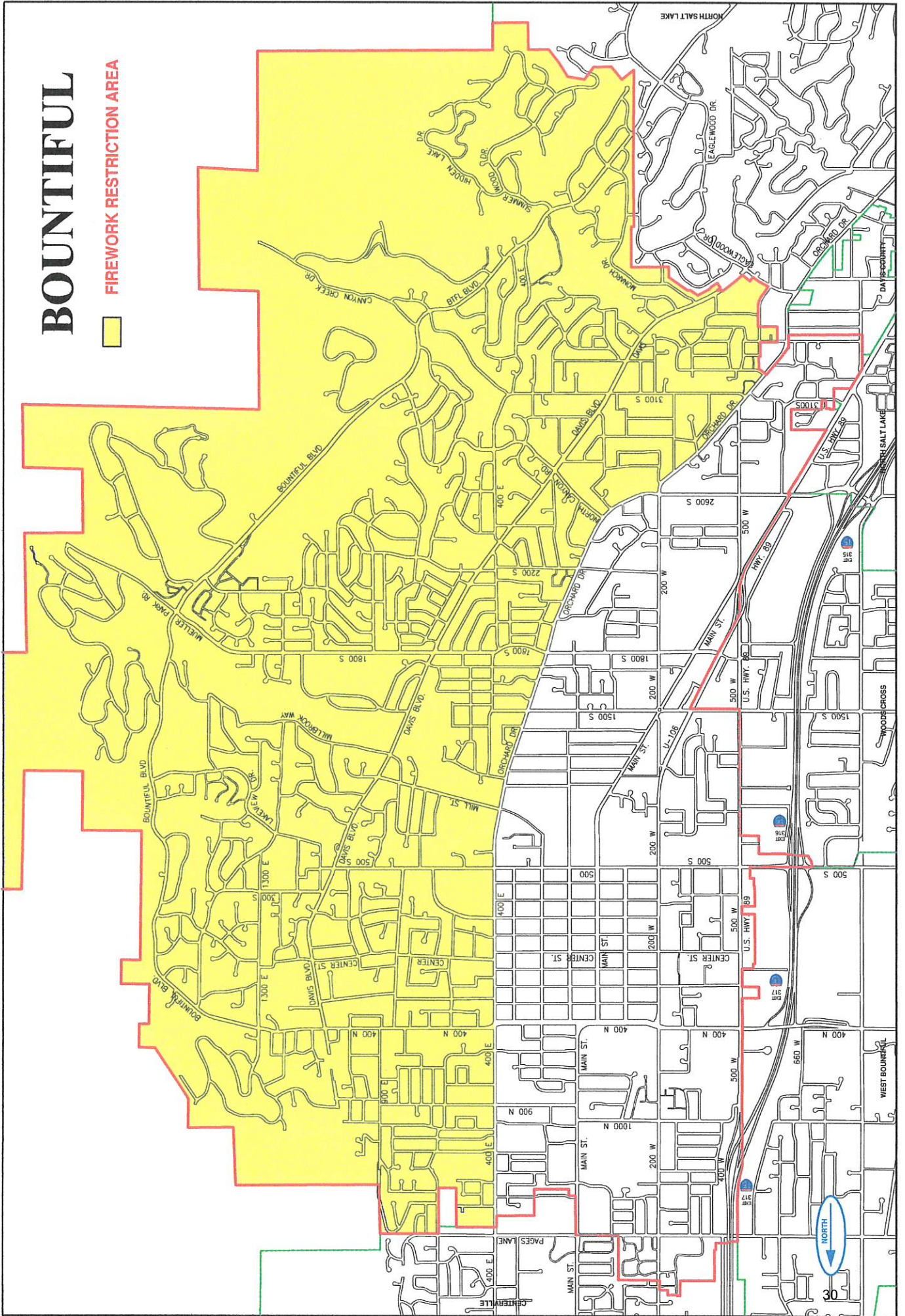
Dane Stone
Fire Chief
South Davis Metro Fire Service Area

Board of Trustees: *Kendalyn Harris – Clark Wilkinson – Bob Stevenson – Brian Horrocks –
Ken Romney – Ryan Westergard*

P.O. Box 1547 • Bountiful, Utah 84011 • 801-677-2400 • Fax 801-677-0166

BOUNTIFUL

 FIREWORK RESTRICTION AREA





2024 FIREWORKS SALES AND DISCHARGE DATES

Sales

Class "C" fireworks can be sold the following dates:

June 24 – July 25

December 29 – December 31

2 days before & on Chinese New Year's Eve

Discharge

Between the hours of 11am & 11pm except as noted:

July 2 – July 5

(July 4 hours extended to midnight)

July 22 – July 25

(July 24 hours extended to midnight)

December 31, 11am – January 1, 11pm

Chinese New Year's Eve

February 9 – February 10, 2024

(11am – 1am the following day)

*If New Year's Eve is on a Sunday and the county, municipality or metro township determines to celebrate New Year's Eve on the prior Saturday (December 30), then a person may discharge Class C common State approved explosives on that prior Saturday within the county, municipality, or metro township;

City Council Staff Report

Subject: Calder Well Motor
Author: Kraig Christensen
Department: Water
Date: May 14, 2024



Background

The Calder Well site went through a major rehabilitation. This project started in October of 2023 and was completed in early spring of 2024. This project rebuilt the well shaft with new piping for the casing and gravel pack to improve water production. The well was test pumped and disinfected and is ready for a pump and motor to be installed.

Analysis

During the test pumping it was determined that a 125 HP motor would be needed to obtain the proper water flows. We found one supplier (Nickerson Company) that can get the motor we need for this well. Approval for this purchase was given by our City Manager (Gary Hill) this way we could get the pump and motor installation done before the high water demands of summer.

Department Review

This purchase has been reviewed by the City Manager and Public Works Director.

Significant Impacts

This will have an impact on our budget. The Contingency line in our budget will cover this purchase.

Recommendation

It is staff recommendation that the City Council approve the purchase of the motor from Nickerson Company in the amount of \$20,000.

Attachments

City Council Staff Report



Subject: Preliminary/Final Architectural and Site Plan
for a Medical Office Building
Address: 370 West 500 South
Author: Amber Corbridge, Senior Planner
Department: Planning
Date: May 14, 2024

Background

The applicant, Whitney Johnson, with Stout Building Contractors, is requesting a Preliminary/Final Architectural Site Plan Approval to build a new medical office building located at 370 West 500 South. The property is zoned C- G (General Commercial) where professional offices, including medical, are listed as permitted use. The applicant states this proposal is to build a new two-story building for use as a professional and light-medical office space.

The Planning Commission reviewed this application on Tuesday, May 7, 2024. The Planning Commission forwarded a positive recommendation (6-0) to the City Council to approve the new development with conditions noted below.

Analysis

The building would be approximately 18,000 square ft., 30' tall, and sit behind a vacant lot (future Jack in the Box site) facing 500 South. The proposed use requires at least seventy-two (72) parking stalls, and seventy-two (72) stalls are being proposed. The building would include a main entrance facing 500 South with large commercial storefront windows. The exterior building materials include neutral-colored wood plank cladding, brick veneer, and stucco, as shown in the rendering below:



Architectural and Site Plan Review

The City Council shall determine if the proposed architectural and site development plans submitted are consistent with the purpose and objectives of the Code (14-2-301). The purpose of the architectural and site plan review and approval process is:

- 1. To determine compliance with the Land Use Code*
- 2. To promote the orderly and safe development of land in the City*
- 3. To implement the policies and goals established in the Bountiful City General Plan*
- 4. To promote the orderly layout of buildings, landscaping, walkways, lighting, and other site improvements.*

The architectural and site plans have been reviewed by staff, where setbacks, height, landscaping, screening, parking, loading, lighting, and all other applicable standards are reviewed for compliance. There are outstanding conditions of approval regarding the lighting plan, landscape plan, and site plan (see attached plans), which need to be satisfied prior to the City issuing building permits.

The proposed access for this commercial lot will need to comply with UDOT requirements, as the only entrance to the lot is through private property adjacent to UDOT owned rights-of-way. The property will also need to record necessary easements/agreements regarding access, parking, and utilities as conditions of approval. The site plan below shows the proposed access/easements (in red) to this site:

Attachments

1. Design Plan Set

PLAN REVIEW
03/14/2024
LLOYD CHENEY
BOUNTIFUL CITY ENGINEER

Reviewed by 03/27/2024
Building Department
Don Simons, Building Official
REVIEWED, NO COMMENTS.

Reviewed by Planning
Department
Amber Corbridge, Senior Planner
03/27/2024

THE FOLLOWING ARE STILL REQUIRED:

- 1. PLANS WILL REQUIRE UDOT APPROVAL FOR ACCESS
- 2. EASEMENTS/AGREEMENTS FOR ACCESS ARE REQUIRED
- 3. PLANNING COMMISSION WILL NEED TO REVIEW AND MAKE A RECOMMENDATION TO COUNCIL
- 4. CITY COUNCIL WILL NEED TO REVIEW AND MAKE A DECISION.

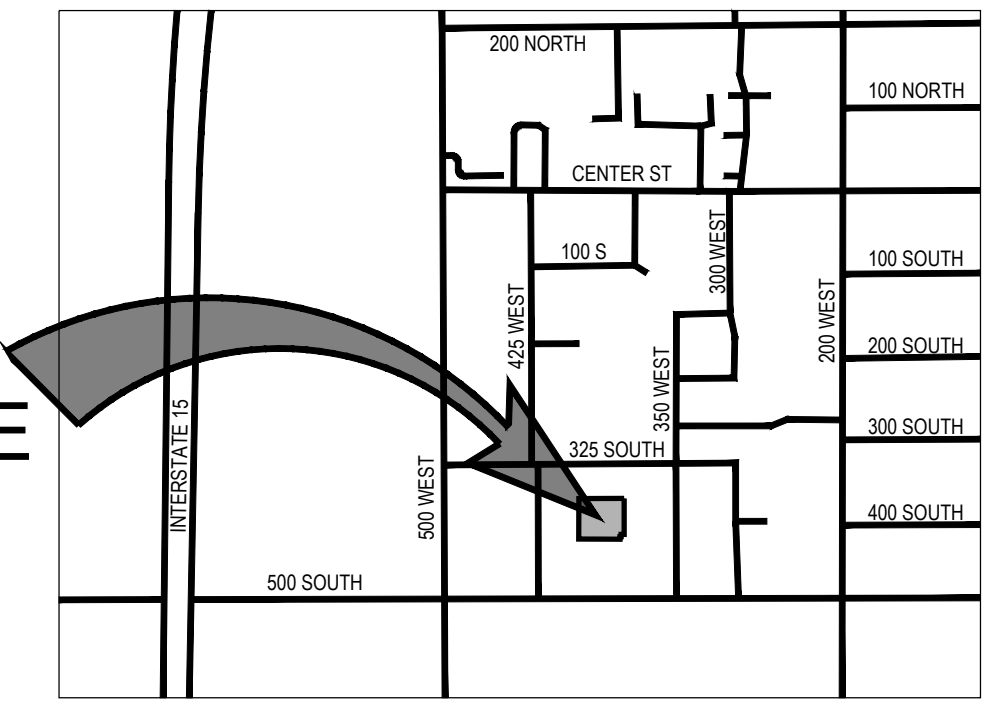
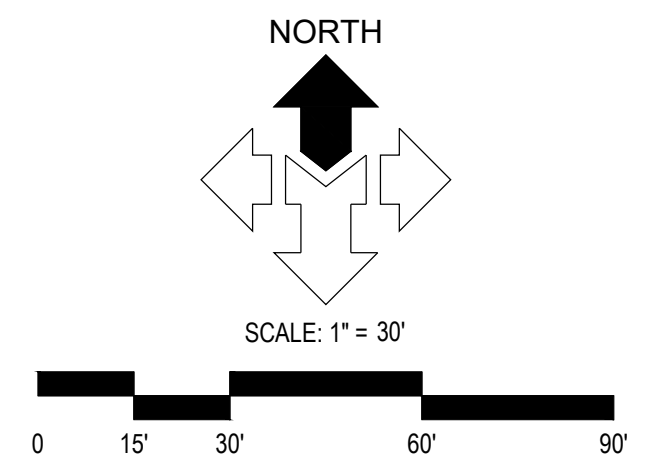
NOTE: THESE PLANS REQUIRE PRELIMINARY AND FINAL REVIEW. THESE PLANS MAY BE PLACED ON THE PLANNING COMMISSION AGENDA AND CITY COUNCIL AGENDA AS A PRELIMINARY REVIEW - BUT NOT FINAL. THEY WILL NEED TO BE REVIEWED AGAIN BY PLANNING COMMISSION AND CITY COUNCIL FOR FINAL REVIEW. IF THE PLANS MEET ALL REQUIREMENTS EXCEPT A FEW MINOR CONDITIONS (DETERMINED BY STAFF) THE PLANS FOR PRELIMINARY AND FINAL MAY BE COMBINED AND PLACED ON A PLANNING COMMISSION AGENDA AND THEN A CITY COUNCIL AGENDA.

BOUNTIFUL OFFICE BUILDING CONSTRUCTION PLANS

347 WEST 500 SOUTH
BOUNTIFUL, UT 84010

PROJECT SECTION

LOCATED IN THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 2 NORTH, RANGE 1 EAST, S.L.B. & M.



VICINITY MAP
SCALE: N.T.S.

DRAWING INDEX

SHEET	DESCRIPTION
C0.00	CIVIL COVER SHEET
C0.01	GENERAL NOTES, LEGEND AND ABBREVIATIONS
C0.10	SITE DEMOLITION PLAN
C1.01	CIVIL SITE PLAN
C2.01	GRADING AND DRAINAGE PLAN
C2.10	EROSION CONTROL PLAN
C4.01	SITE UTILITY PLAN
C5.01	CIVIL DETAILS
C5.02	CIVIL DETAILS
C5.03	CIVIL DETAILS
C5.04	CIVIL DETAILS
C5.05	CIVIL DETAILS

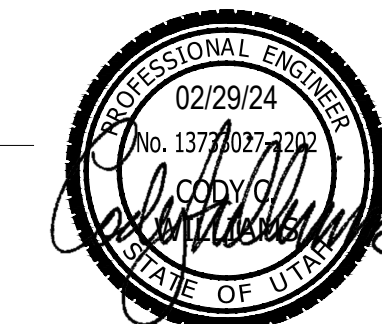
ALL WORK AND MATERIALS FOR WATER
MUST CONFORM TO BOUNTIFUL CITY
WATER STANDARDS AND
SPECIFICATIONS

ALL WORK AND MATERIALS FOR SEWER
MUST CONFORM TO SOUTH DAVIS
SEWER DISTRICT STANDARDS AND
SPECIFICATIONS

ALL WORK AND MATERIALS MUST
CONFORM TO APWA STANDARDS AND
SPECIFICATIONS

DEVELOPER & OWNER

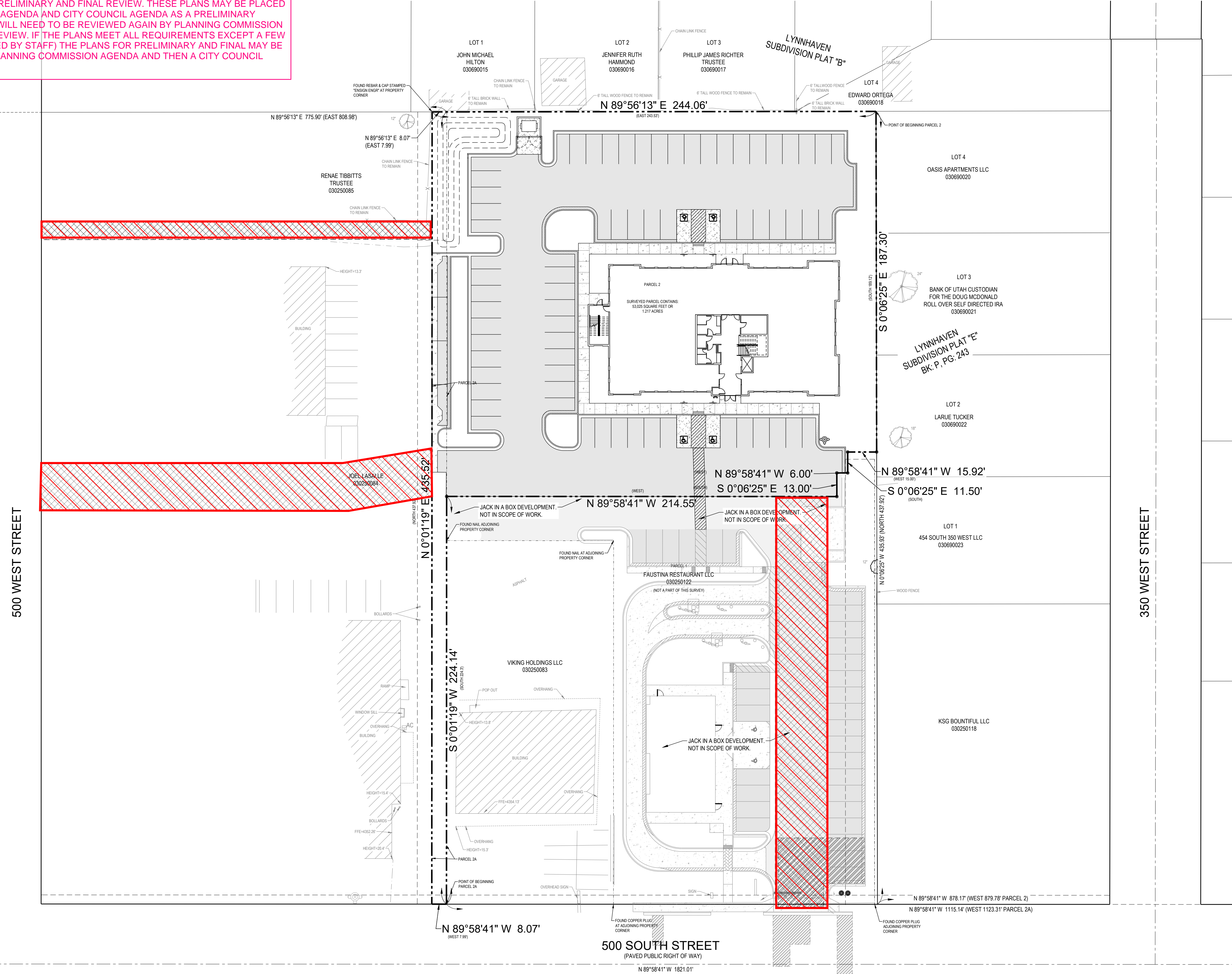
STOUT BUILDING CONTRACTORS LLC
WHITNEY JOHNSON
1113 S 500 W
BOUNTIFUL, UT 84010
801-296-2150
whitneyj@stoutlic.com



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GENERAL NOTES

- 1.1 COMPLIANCE
1. ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
2. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING...
1.2 PERMITTING AND INSPECTIONS
1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED...
1.3 COORDINATION & VERIFICATION
1. ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION...
1.4 SAFETY AND PROTECTION
1. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION...
1.5 MATERIALS
1. SITE CONCRETE SHALL BE A MINIMUM 6.5 BAG MIX, 4000 P.S.I. @ 28 DAYS...
1.6 GRADING / SOILS
1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT...

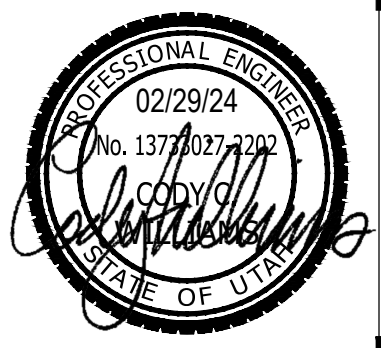
GENERAL NOTES: CONTINUED

- 1.7 UTILITIES
1. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS...
1.8 SURVEY CONTROL
1. CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS...
1.9 AMERICAN DISABILITIES ACT
1. PEDESTRIAN ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
"ROUTES SHALL HAVE A 2.0% (1:48) MAXIMUM CROSS SLOPE.
"RAMP SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
"RAMP SHALL HAVE A 2.08% (1:48) MAXIMUM RUNNING SLOPE IN ANY DIRECTION.

LEGEND
NEW EXISTING
MONUMENT LINE
CENTER LINE
SUBJECT PROPERTY LINE
ADJACENT PROPERTY LINE
EASEMENT LINE
DITCH FLOWLINE
FENCE LINE
ATMS CABLE TV LINE
COMMUNICATIONS LINE
FIBER-OPTIC CABLE
FIRE LINE
IRRIGATION LINE
NATURAL GAS LINE
OVERHEAD COMMUNICATIONS
OVERHEAD POWER LINE
OVERHEAD TELEPHONE LINE
OVERHEAD TELEVISION LINE
POWER LINE
POWER/COMMUNICATIONS LINE
POWER/TELEPHONE LINE
POWER/TELE/COMM LINE
ROOF DRAIN LINE
SECONDARY WATER LINE
SANITARY SEWER LINE
STEAM LINE
STORM DRAIN LINE
TELEPHONE LINE
TELEPHONE/COMM LINE
UNDERDRAIN
UNDERGROUND COMMUNICATIONS
UNDERGROUND POWER LINE
UNDERGROUND TELEPHONE LINE
UNDERGROUND TELEVISION
WATER LINE
CONTOUR LINE
CURB & GUTTER (STD)
CURB & GUTTER (OUTFALL)

ABBREVIATIONS
AC ACRE
ADA AMERICANS WITH DISABILITIES ACT
ATMS ADVANCED TRAFFIC MGMT. SYSTEM
B&C BAR & CAP
BC BUILDING CORNER
BFG BOTTOM FINISH GRADE
BLUE BLUE STAKED ELECTRIC
BLUFO BLUE STAKED FIBER OPTIC
BLUG BLUE STAKED NATURAL GAS
BLUIRR BLUE STAKED IRRIGATION
BLUSS BLUE STAKED STORM DRAIN
BLUSSS BLUE STAKED SANITARY SEWER
BLUT BLUE STAKED TELEPHONE
BLWV BLUE STAKED WATER
BM BENCHMARK
BOF BOTTOM OF FOOTING
BOB BOTTOM OF BOX
BOL BOLLARD
BOT BOTTOM
BOV BLOW-OFF VALVE
BOW BACK OF WALK
BW FINISH GRADE AT BOTTOM OF WALK
& CENTERLINE
CATV CABLE TELEVISION
CBR CONCRETE BARRIER
CC CURBS CUT
COL COLUMN
COMM COMMUNICATIONS
CONC CONCRETE
CONST CONSTRUCTION
CMP CORRUGATED METAL PIPE
CP CONTROL POINT
CTREE CONIFEROUS TREE
CUBC CUBIC FOOT
CUDY CUBIC YARD
DEL DELINEATOR
DIA or Ø DIAMETER
DIP DUCTILE IRON PIPE
DIREE DEODIOUS TREE
DYL DOUBLE YELLOW LINE
E EAST
EB ELECTRIC BOX
EGL ENERGY GRADE LINE
ELEV ELEVATION
EM ELECTRIC METER
EMH ELECTRIC MANHOLE
EOA EDGE OF ASPHALT
EOC EDGE OF CONCRETE
EOG EDGE OF GRAVEL
EOL EDGE OF LAWN
EX or EXIST EXISTING
FIRE FIRE
FC FOUNDATION CORNER
FD FOUND OF FOUNDATION DRAIN
FDC FIRE DEPT. CONNECTION
FDM FOUND MONUMENT
FDSO FOUND SECTION CORNER
FFE FINISHED FLOOR ELEVATION
FG FINISHED GRADE
FH FIRE HYDRANT
FL FLOW LINE
FENCE FENCE
FNCZ CHAIN LINK FENCE
FNCZLN IRON FENCE
FNCRN IRON FENCE
FNCRV VINYL FENCE
FNCRD WOOD FENCE
FNCRW WIRE FENCE
FO FIBER OPTIC
FOW FRONT OF WALK
FT FEET
G NATURAL GAS
GAR GARAGE
GB GRADE BREAK
GL GROUND LIGHT
GM GAS METER
GMH GAS MANHOLE
GUY GUY WIRE
GV GAS VALVE
HPPE HIGH-DENSITY POLYETHYLENE HEADCAP
HGL HYDRAULIC GRADE LINE
HP HIGH POINT
HW HEADWALL OR HIGH WATER
HWY HIGHWAY
ICD IRRIGATION CLEANOUT
ICV IRRIGATION CONTROL VALVE
IE IRRIGATION
IRR IRRIGATION
IRF RIGHT-OF-WAY
LIP LIP OF GUTTER
LP LOW POINT OR LIGHT POLE
MAX MAXIMUM
MIN MINIMUM
MON MONUMENT
MP METAL PIPE
MWR MONITORING WELL
N NORTH
NG NATURAL GROUND
NGRET NG AT RETAINING WALL
NR NAIL & RIBBON
NW NAIL & WASHER
NQFT SQUARE FEET
NQYD SQUARE YARD
NGR NOT TO SCALE
NGRND ORIGINAL GROUND
SSCO SANITARY SEWER CLEANOUT
SSMH SANITARY SEWER MANHOLE
OHP OVERHEAD POWER
OHT OVERHEAD TELEPHONE
OHTV OVERHEAD TELEVISION
STD STANDARD
STM STORM
STL SOLID YELLOW LINE
SWL SOLID WHITE LINE
PCC POINT OF COMPOUND CURVE
PI POINT OF INTERSECTION
PM PARKING METER
PP POWER POLE
PRC POINT OF REVERSE CURVE
PRK PARKING STRIPE
POC POINT OF CONNECTION
PT TOP OF ASPHALT
PWR POWER
PVC POLYVINYL CHLORIDE PIPE
R RANGE
RCP REINFORCED CONCRETE PIPE
RD ROOF DRAIN
REV REVISION
ROW RIGHT-OF-WAY
RR RAILROAD
S SOUTH
SAD SEE ARCHITECTURAL DRAWINGS
SD STORM DRAIN
SDCB STORM DRAIN CATCH BASIN
SDCO STORM DRAIN CLEANOUT BOX
SDMH STORM DRAIN MANHOLE
SEC SECTION
SPECS SPECIFICATIONS
SLBAM SALT LAKE BASE & MERIDIAN
NL & RIBBON NAIL & RIBBON
SQFT SQUARE FEET
SQYD SQUARE YARD
SP SANITARY SEWER
SSCO SANITARY SEWER CLEANOUT
SSMH SANITARY SEWER MANHOLE
STA STATION
STL STANDARD
STM STORM
STL SOLID YELLOW LINE
SWL SOLID WHITE LINE
T TOWNSHIP
TBC TOP BACK OF CURB
TELE TELEPHONE
TFC TOP FACE OF CURB
TFG TOP FINISH GRADE
TL TREE LINE
TMH TELEPHONE MANHOLE
TOA TOP OF ASPHALT
TOC TOP OF CONCRETE
TOF TOP OF FOOTING
TOG TOP OF GRADE
TOE TOE OF SLOPE
TOP TOP OF SLOPE OR TOP OF PIPE
TOW TOP OF WALL
TR TELEPHONE RISER
TV TELEVISION
TW FINISH GRADE AT TOP OF WALL
TRNSP TRANSFORMER
TSP TRAFFIC SIGNAL POLE
TSB TRAFFIC SIGNAL BOX
UD UNDERDRAIN
UGCC UNDERGROUND COMMUNICATIONS
UGP UNDERGROUND POWER
UGT UNDERGROUND TELEPHONE
UGTV UNDERGROUND TELEVISION
UN O. UTILITY POLE
VCP VITRIFIED CLAY PIPE
VP VERTICAL PIPE
W WEST OF WATER
WM WATER METER
WMH WATER MANHOLE
WS WATER SURFACE
WTR WATER
WV WATER VALVE
WVW WATERWAY

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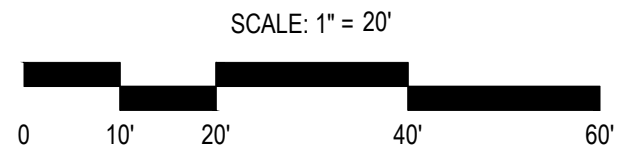
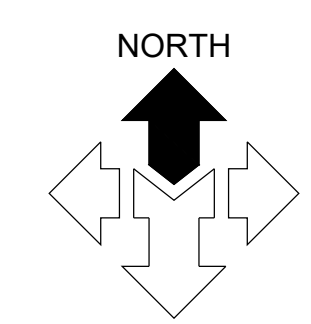
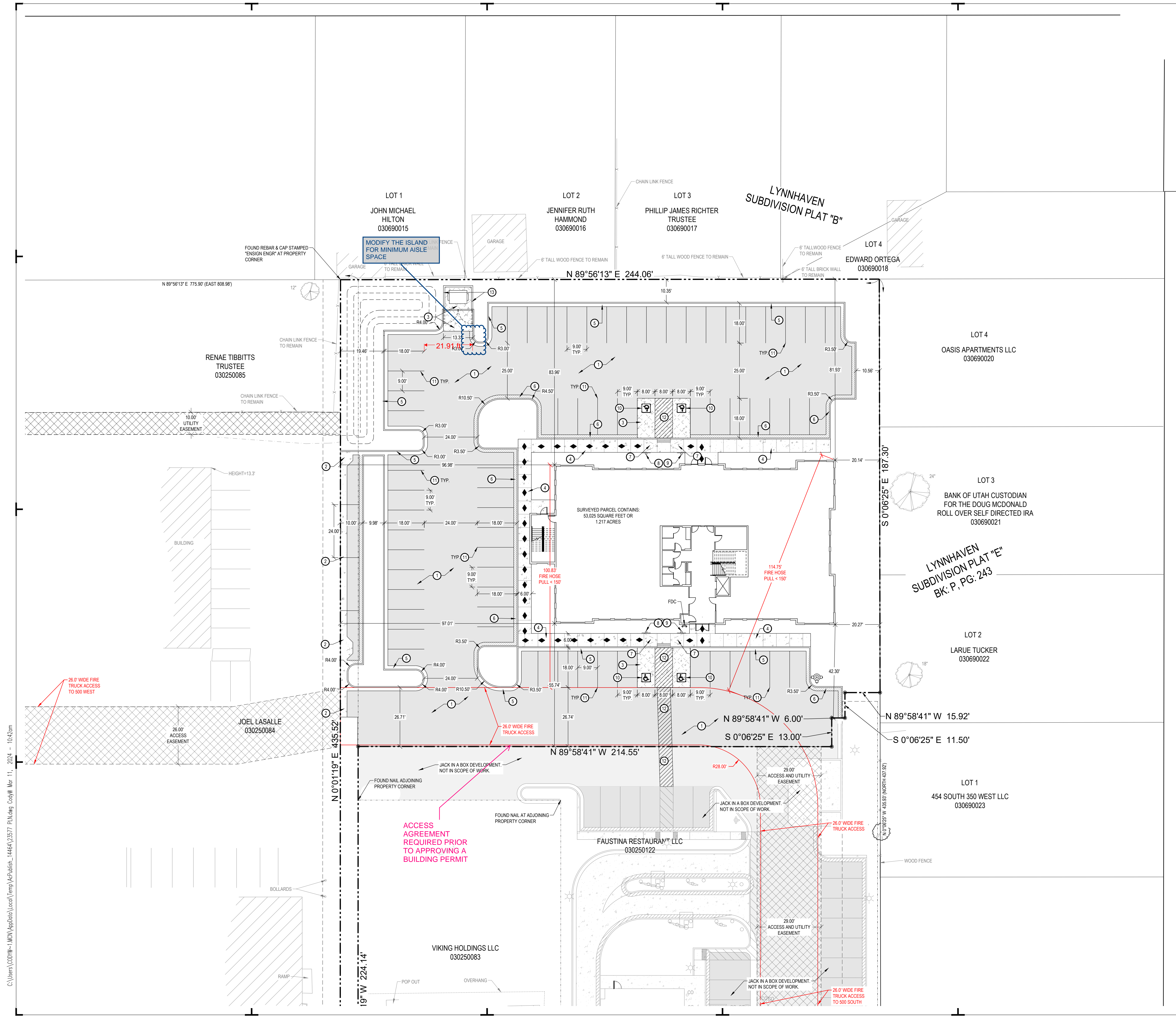


BOUNTIFUL OFFICE BUILDING
347 W 500 S
BOUNTIFUL, UT 84010
LOCATED IN THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 2 NORTH, RANGE 1 EAST, S.1.B. & M.

REVISIONS
Table with columns: REV, DATE, DESCRIPTION

PROJECT NO: 23577
DRAWN BY: TJO
CHECKED BY: CCW
DATE: 02-29-2024

GENERAL NOTES, LEGEND AND ABBREVIATIONS
C0.01



DESCRIPTION	AREA	%
HARDSCAPE	32,091 SQFT	61%
LANDSCAPE	11,788 SQFT	22%
BUILDINGS	9,166 SQFT	17%
TOTAL	53,025 SQFT	100%

GENERAL NOTES:
 ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
 SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFORMATION.
 SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING.
 ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

- KEYED NOTES:**
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- ① STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL 'D1', SHEET C5.01.
 - ② 36" CONCRETE WATERWAY PER DETAIL 'D3' ON SHEET C5.01.
 - ③ CONCRETE PAVEMENT WITH GRANULAR BASE PER DETAIL 'C1', SHEET C5.01.
 - ④ CONCRETE SIDEWALK, PER BOUNTIFUL STANDARD PLAN ON SHEET C5.01.
 - ⑤ 24" CONCRETE CURB AND GUTTER, SEE DETAIL 'D2', SHEET C5.01.
 - ⑥ 24" CONCRETE RELEASE CURB AND GUTTER, SEE DETAIL 'C2', SHEET C5.01.
 - ⑦ ADA RAMP WITH DETECTABLE WARNING SURFACE, SEE APWA PLAN NO. 236.3, FOR RAMP DETAIL AND APWA PLAN NO. 238 FOR DETECTABLE WARNING SURFACE DETAIL.
 - ⑧ ADA PARKING SIGN, SEE DETAIL 'D5', SHEET C5.01.
 - ⑨ VAN ACCESSIBLE ADA PARKING SIGN, SEE DETAIL 'D6', SHEET C5.01.
 - ⑩ PAINTED ADA SYMBOL, SEE DETAIL 'D5', SHEET C5.01.
 - ⑪ 4" WIDE SOLID YELLOW PARKING STALL STRIPE LINES.
 - ⑫ 4" WIDE SOLID YELLOW PEDESTRIAN STRIPE LINES.
 - ⑬ DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS.
 - ◆◆ ACCESSIBLE ROUTE WITH MAXIMUM 1:48 CROSS-SLOPE AND MAXIMUM 1:20 RUNNING-SLOPE.

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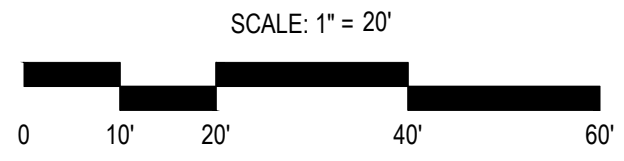
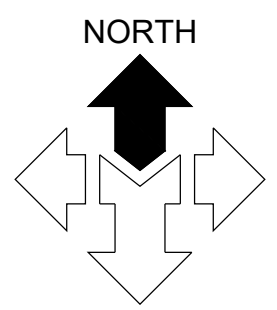
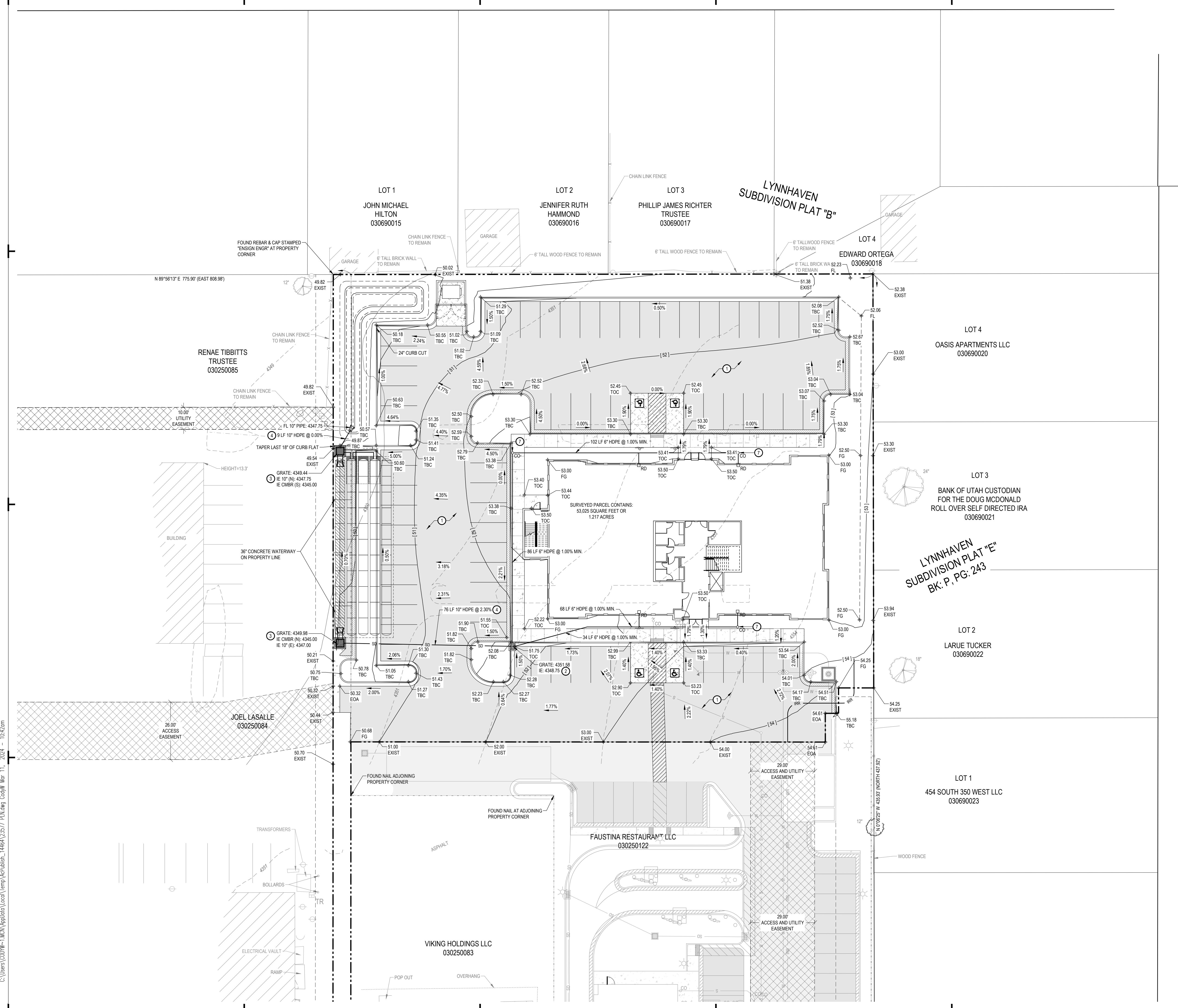
REV	DATE	DESCRIPTION

PROJECT NO: 23577
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 CHECKED BY: CCW
 DATE: 02-29-2024

Blue Stakes of UTAH811
 NOTICE!
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

CIVIL SITE PLAN
C1.01

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GENERAL NOTES:
 SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT (IF AVAILABLE). THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS & SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C2.10 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

ALL ELEVATIONS SHOWN AT TOP AND BOTTOM OF WALL(S), IF ANY, ARE ELEVATIONS AT FINISH GRADE, UNLESS OTHERWISE NOTED.

KEYED NOTES:
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.
- 2 STORM DRAIN GUTTER INLET WITH HEAVY DUTY BICYCLE SAFE GRATE. SEE DETAIL 'C4', SHEET C5.02.
- 3 STORM DRAIN AREA INLET BOX WITH HEAVY DUTY BICYCLE SAFE GRATE. SEE DETAIL 'C2', SHEET C5.02.
- 4 10" DIAMETER HDPE STORM DRAIN LINE. SEE APWA PLANS NO. 381 & 382 FOR TRENCHING DETAIL.
- 5 SURFACE RETENTION BASIN WITH MAX SIDE SLOPES 3:1.
 FREEBOARD: 4349.75'
 HIGH WATER: 4348.75'
 BOTTOM OF BASIN: 4347.75'
 DESIGN VOLUME: 405 CF
- 6 UNDERGROUND STORMTECH SC-740 CHAMBER SYSTEM INCLUDING ALL ITEMS BY ADS. SEE DETAILS ON SHEET C5.05.
 TOP OF GRAVEL: 4348.00'
 TOP OF CHAMBERS: 4347.50'
 BOTTOM OF CHAMBERS: 4345.50'
 BASE STONE ELEVATION: 4344.50'
 DESIGN VOLUME: 4,747 CF
- 7 STORM DRAIN CLEANOUT PER DETAIL 'D6' ON SHEET C5.01.

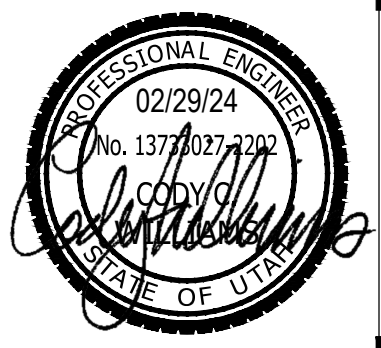
COMMON GRADING ABBREVIATIONS:
 SEE SHEET C0.01 FOR ADDITIONAL ABBREVIATIONS

- BFE BASEMENT FLOOR ELEVATION
- BW FINISH GRADE AT BOTTOM OF WALL
- EX or EXIST EXISTING
- EOA EDGE OF ASPHALT
- EOC EDGE OF CONCRETE
- FFE FINISH FLOOR ELEVATION
- FG FINISH GRADE
- FL FLOW LINE
- GB GRADE BREAK
- HP HIGH POINT
- LP LOW POINT
- NG NATURAL GROUND
- SDCB STORM DRAIN CATCH BASIN
- SDOC STORM DRAIN CLEANOUT BOX
- SDOB STORM DRAIN BASIN
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK OF CURB
- TOA TOP OF ASPHALT
- TOC TOP OF CONCRETE
- TOG TOP OF GRATE
- TOW TOP OF WALL
- TW FINISH GRADE AT TOP OF WALL WATERWAY



NOTICE!
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

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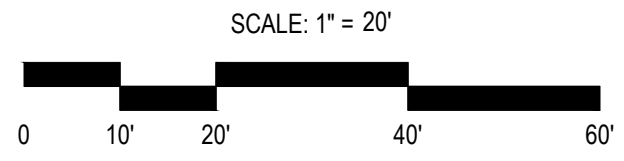
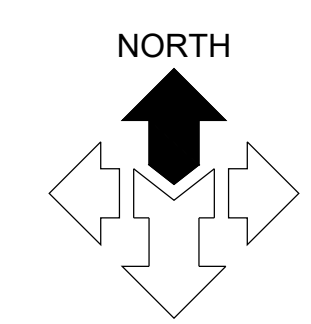
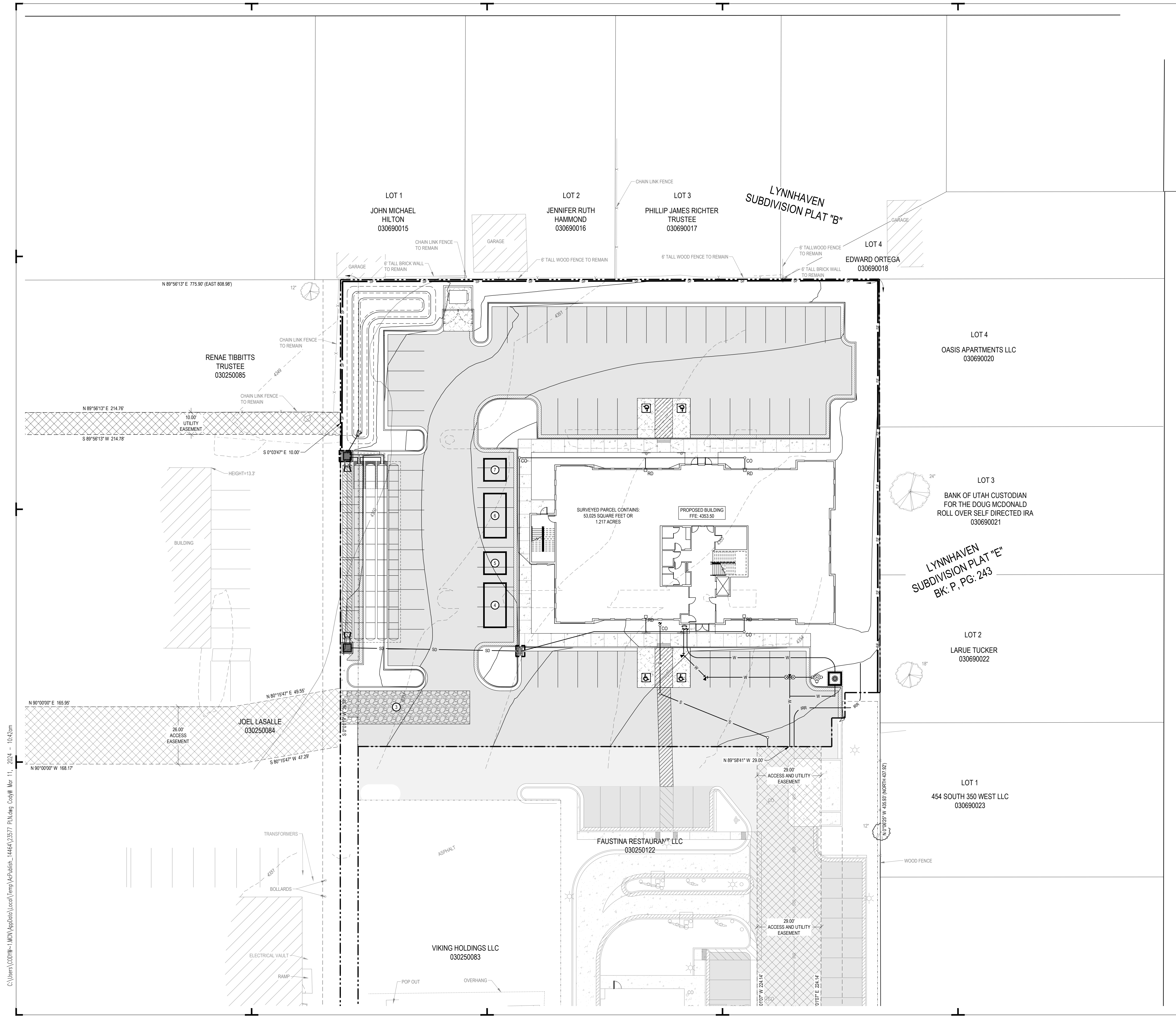
LOCATED IN THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 2 NORTH, RANGE 1 EAST, S.1.B. & M.

REV	DATE	DESCRIPTION

PROJECT NO: 23577
 DRAWN BY: TJO
 CHECKED BY: CCW
 DATE: 02-29-2024

GRADING AND DRAINAGE PLAN

C2.01



GENERAL NOTES:
 THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS REFERRED TO ON THIS SHEET SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.
 ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LOCAL AGENCY'S EROSION CONTROL STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE AGENCY HAVING JURISDICTION. ALSO INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES. IF CONFLICTS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
 THE CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL.
 WHEN GRADING OPERATIONS HAVE BEEN COMPLETED AND THE DISTURBED GROUND SHALL BE LEFT "OPEN" FOR 30 DAYS OR MORE THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS OF THE AREA.
 THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

MAINTENANCE:
 THE OWNER'S REPRESENTATIVE SHALL MAKE ROUTINE CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIRS OR SEDIMENT REMOVAL IS NECESSARY. DUE TO CONDITIONS THAT MAY ARISE IN THE FIELD, ADDITIONAL CONTROL MAY BE DETERMINED TO BE NECESSARY.
 SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT THE LEAST DAILY DURING PROLONGED RAINFALL.
 CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCES, END RUNS, AND UNDERCUTTING BENEATH SILT FENCING.
 NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SILT FENCING SHALL BE ACCOMPLISHED PROMPTLY.
 SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

KEYED NOTES:
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
 ① SILT FENCE AS SHOWN ON PLAN. SEE DETAIL 'C3', SHEET C5.04.
 ② INLET PROTECTION AROUND EXISTING OR NEW STORM DRAIN CATCH BASINS OR CURB INLETS. SEE DETAIL 'A1', SHEET C5.04.
 ③ TEMPORARY CONSTRUCTION ENTRANCE. SEE DETAIL 'C1', SHEET C5.04. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
 ④ CONCRETE WASHOUT AREA. CREATE A MIN. 10'X10' AREA WITH A 1' HIGH BERM. LINE AREA WITH PLASTIC. DISCARD WASTE IN DUMPSTER WHEN FULL AND LEGALLY DISPOSE OF. SEE DETAIL 'C5', SHEET C5.04. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
 ⑤ CONSTRUCTION DUMPSTER. CHECK LEVEL DAILY. LEGALLY DISPOSE OF WASTE AS NEEDED. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
 ⑥ PORTABLE CONSTRUCTION TOILET. TOILET TO BE PROPERLY SECURED TO PREVENT TIPPING. BUILD UP BERM AROUND TOILET TO CONTAIN ANY SPILLS OR LEAKAGE. CHECK LEVEL DAILY. LEGALLY DISPOSE OF WASTE AS NEEDED. SEE DETAIL 'A3', SHEET C5.04. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
 ⑦ MATERIAL STORAGE AND STOCK PILE AREA. SEE DETAIL 'A5', SHEET C5.04. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.

SWPPP, STORM WATER PERMIT, BOND AND FEES ARE REQUIRED FOR THIS PROJECT.
 AN INSPECTION AND VERIFICATION OF BMP INSTALLATION REQUIRED PRIOR TO A BUILDING PERMIT BEING ISSUED ON THIS SITE.

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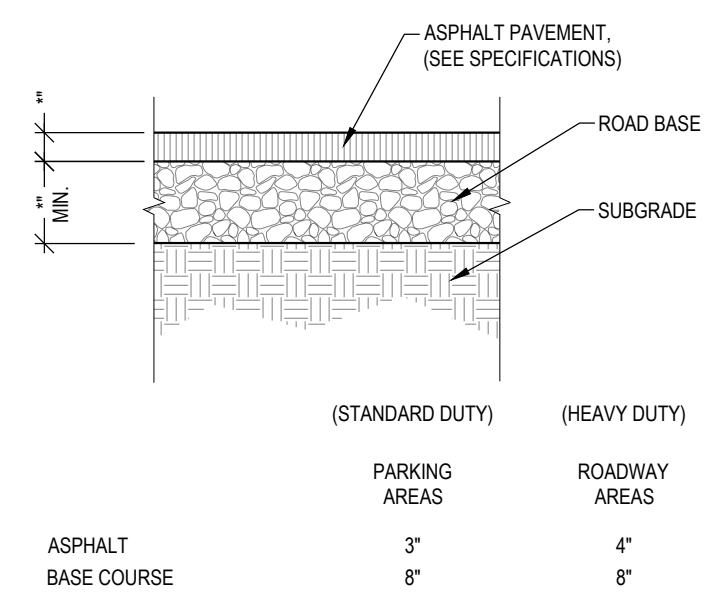
EROSION CONTROL PLAN

C2.10

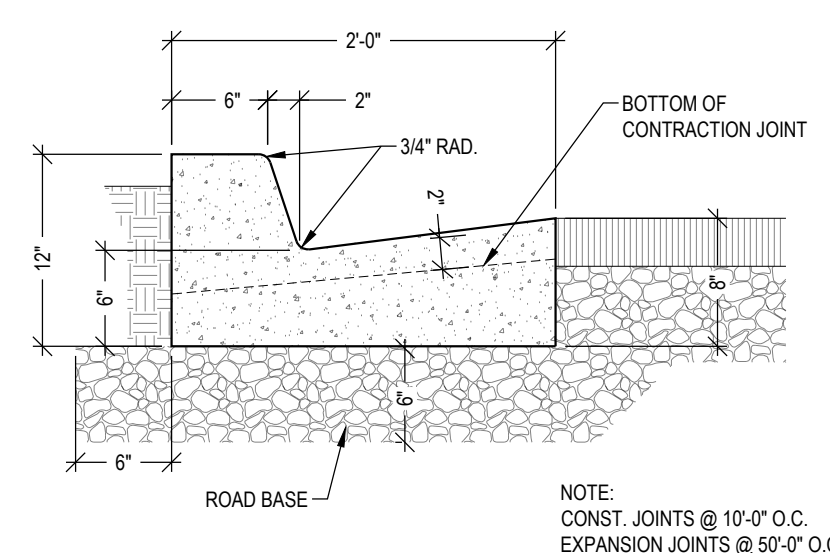
Blue Stakes of UTAH811
 Bluestakes.org

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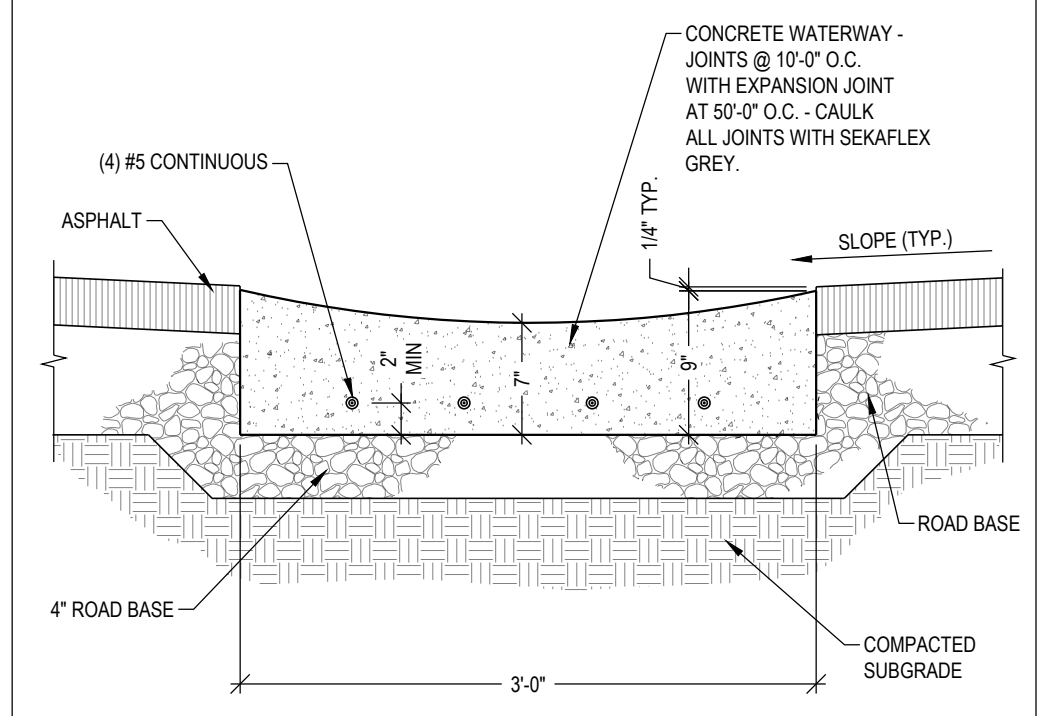
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ASPHALTIC PAVEMENT SECTION
SCALE: N.T.S. **D1**



24\"/>



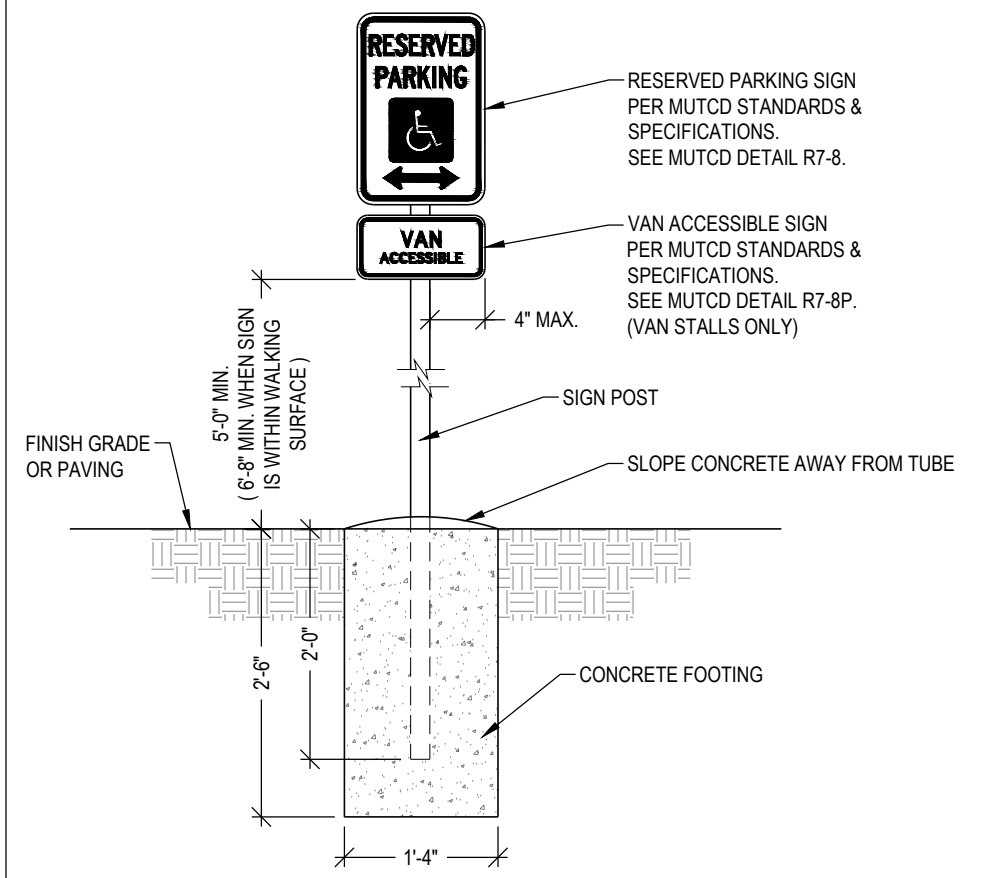
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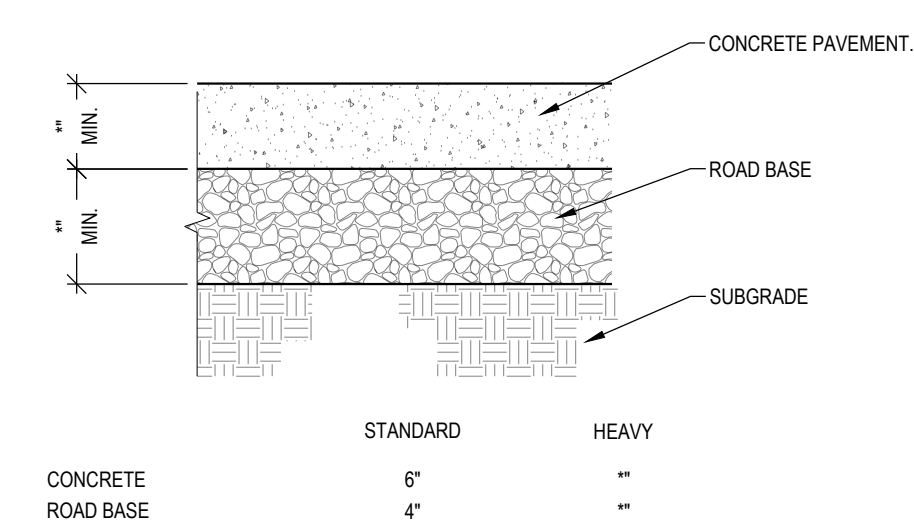
PAINTED EMBLEM ON ASPHALT PAVING TYP. AT ALL ADA PARKING STALLS PER CITY REQUIREMENTS. (2 COATS)

NOTE: SEE SPECIFICATIONS FOR PAINT TYPE AND COLOR. (2 COATS)

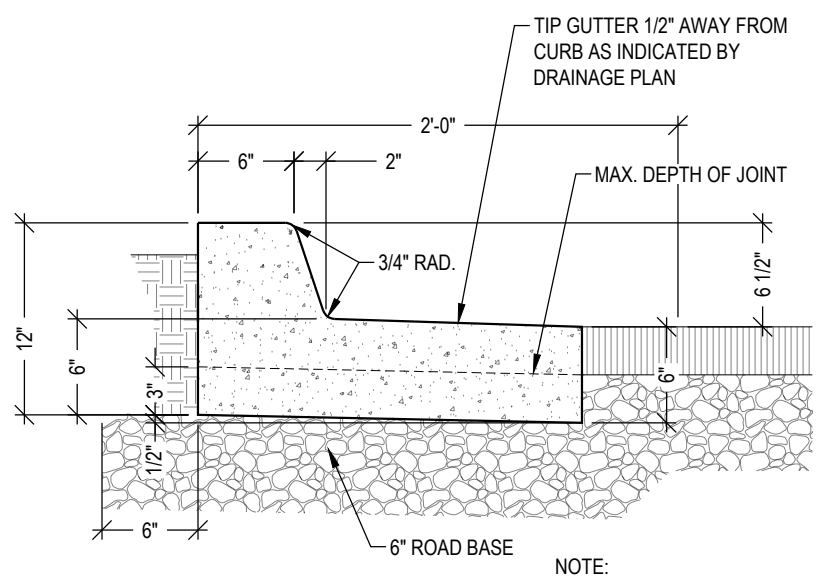
PAINTED ADA SYMBOL
SCALE: N.T.S. **D5**



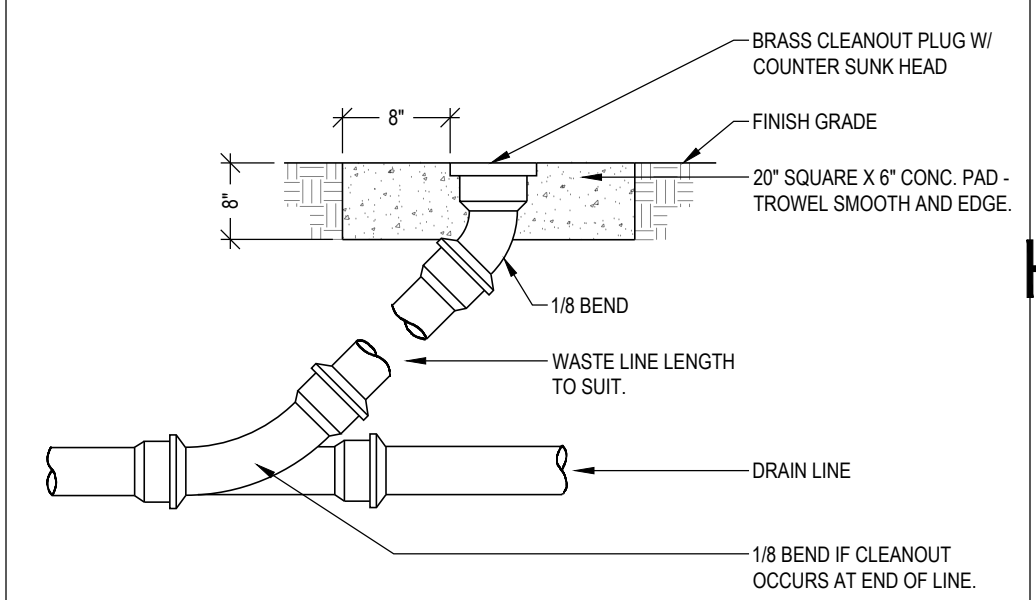
ADA PARKING SIGN
SCALE: N.T.S. **D6**



CONCRETE PAVEMENT SECTION
SCALE: N.T.S. **C1**

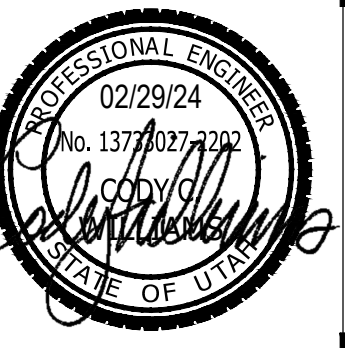


24\"/>



CLEANOUT DETAIL
SCALE: N.T.S. **C6**

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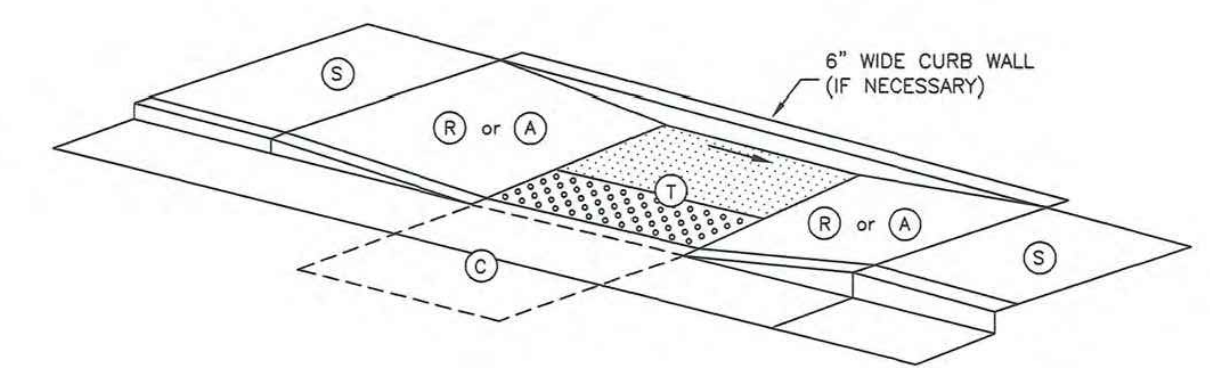
REV	DATE	DESCRIPTION

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CIVIL DETAILS

C5.01

TURNING SPACE AT STREET LEVEL



EXAMPLE 5

ELEMENT	DIMENSION
(A)	4 FEET WIDE MINIMUM
(B)	4 FEET SQUARE MINIMUM

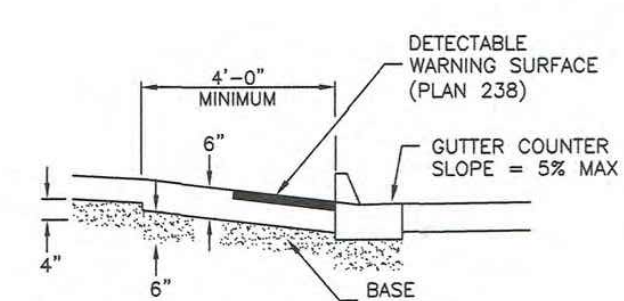
WHERE TURNING SPACE IS CONSTRAINED ON 2 SIDES, PROVIDE 5 FEET IN THE DIRECTION OF THE CROSSWALK

TABLE OF DIMENSIONS

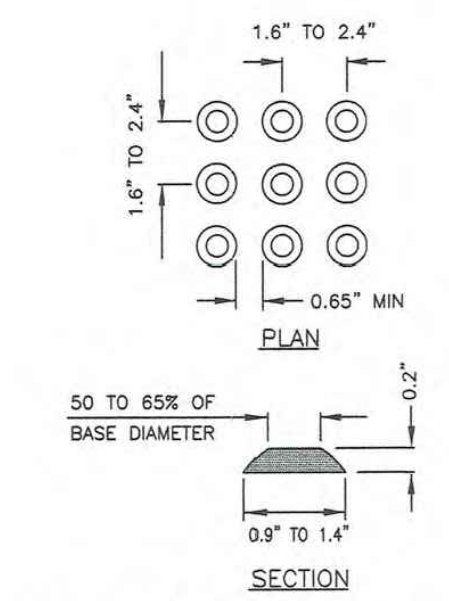
	RUNNING SLOPE (%)	CROSS SLOPE (%)
TURNING SPACE (A)	STREET GRADE	2
CURB RAMP (B)	8.33	2
CLEAR SPACE (C)	5	STREET GRADE
SIDEWALK (S)	STREET GRADE	2
APPROACH (A)	8.33	2

(a) RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL. RUNNING SLOPE OF FLARE IS PARALLEL TO BACK OF CURB
(b) CROSS SLOPE IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAVEL

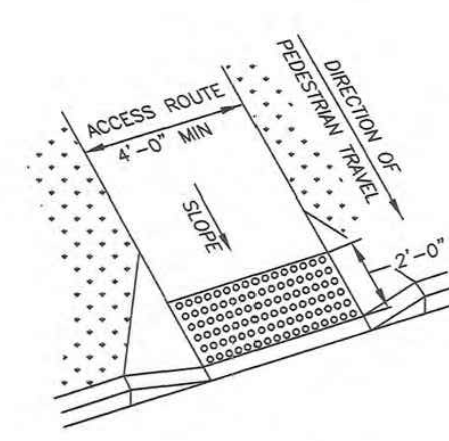
SLOPE TABLE



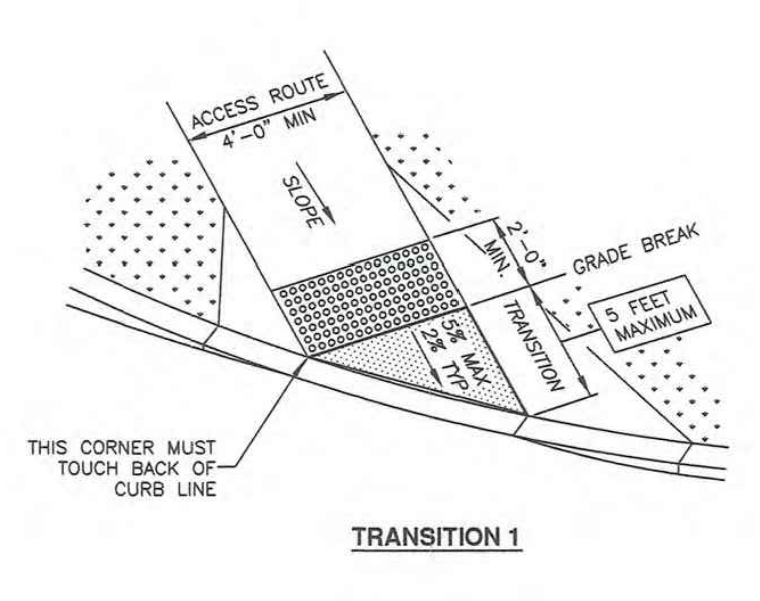
MATERIALS



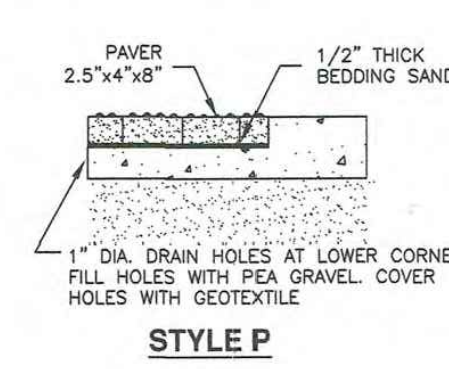
TRUNCATED DOME DETAIL



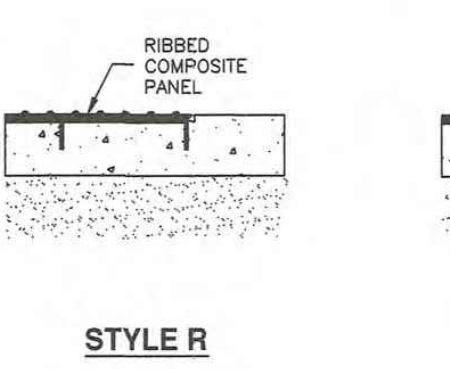
PERPENDICULAR ASSEMBLY



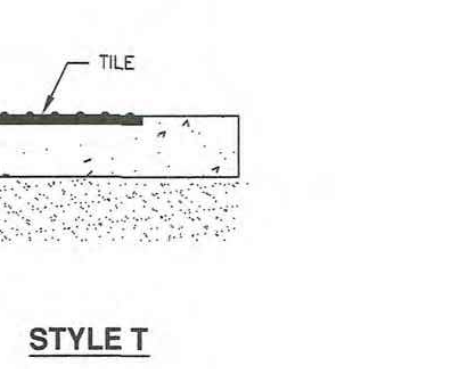
NON-PERPENDICULAR ASSEMBLY



STYLE P



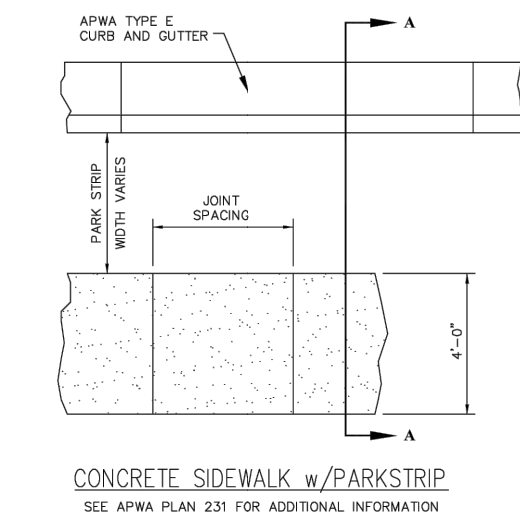
STYLE R



STYLE T

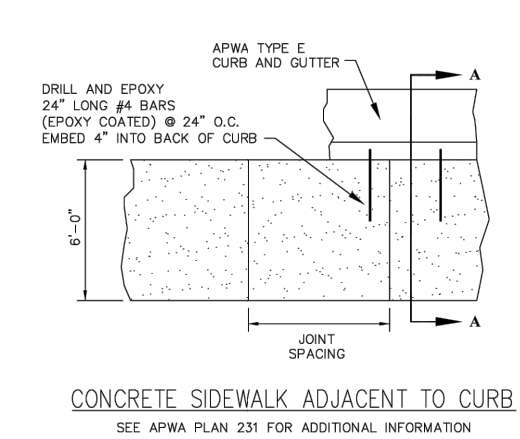
BOUNTIFUL STANDARD SIDEWALK

PLAN VIEW

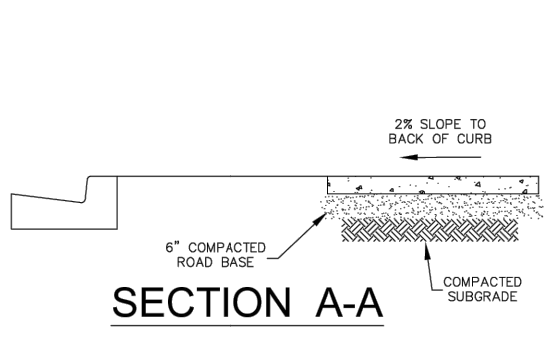


CONCRETE SIDEWALK w/PARKSTRIP
SEE APWA PLAN 231 FOR ADDITIONAL INFORMATION

PLAN VIEW

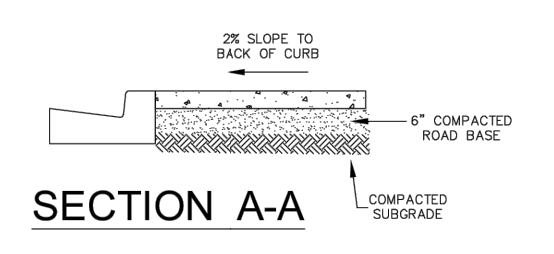


CONCRETE SIDEWALK ADJACENT TO CURB
SEE APWA PLAN 231 FOR ADDITIONAL INFORMATION



SECTION A-A

NOTES:
1. SEE DRIVE APPROACH DETAILS FOR SIDEWALK THICKNESS THROUGH DRIVE APPROACHES.
2. EXPANSION JOINT SPACING: 100 FT OR AT DRIVE APPROACHES
3. JOINT SPACING: WIDTH (MIN), 1.5 WIDTH (MAX)
4. APWA MATERIAL SPECIFICATIONS APPLY.

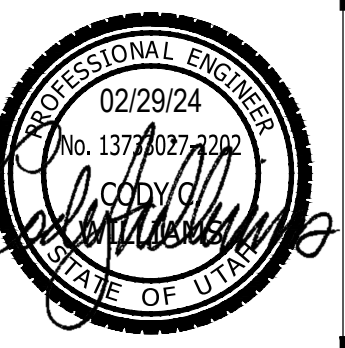


SECTION A-A

NOTES:
1. SEE DRIVE APPROACH DETAILS FOR SIDEWALK THICKNESS THROUGH DRIVE APPROACHES.
2. EXPANSION JOINT SPACING: 100 FT OR AT DRIVE APPROACHES
3. JOINT SPACING: WIDTH (MIN), 1.5 WIDTH (MAX); MATCH CURB JOINT SPACING.
4. APWA MATERIAL SPECIFICATIONS APPLY.
5. TREAT FIELD JOINT ENDS OR SPOT COATED REINFORCING PRIOR TO PLACING CONCRETE FOR SIDEWALK.

REVISED 10/2016

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347 W 500 S
BOUNTIFUL, UT 84010

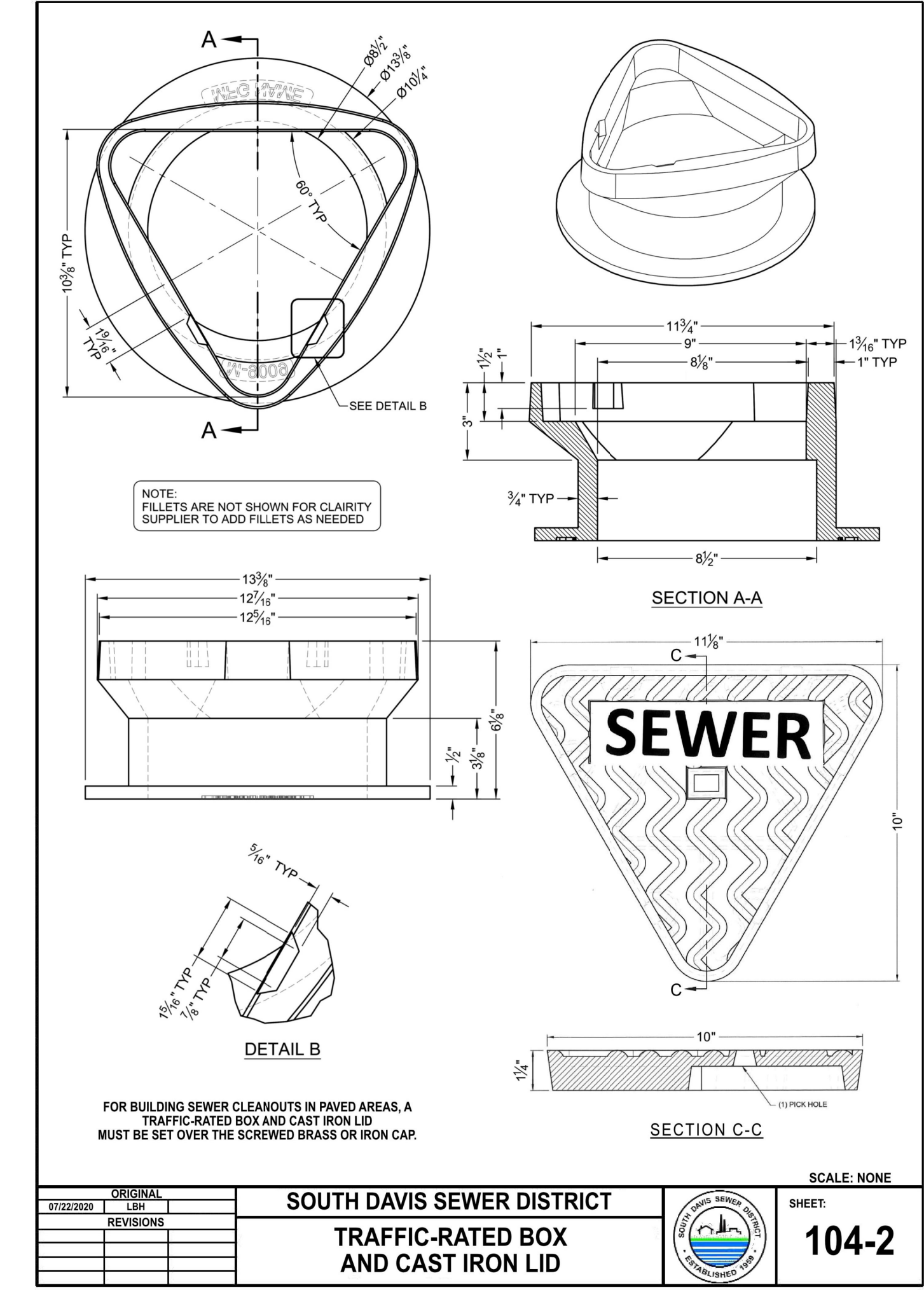
LOCATED IN THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 2 NORTH, RANGE 1 EAST, S.1.B. & M.

REV	DATE	DESCRIPTION

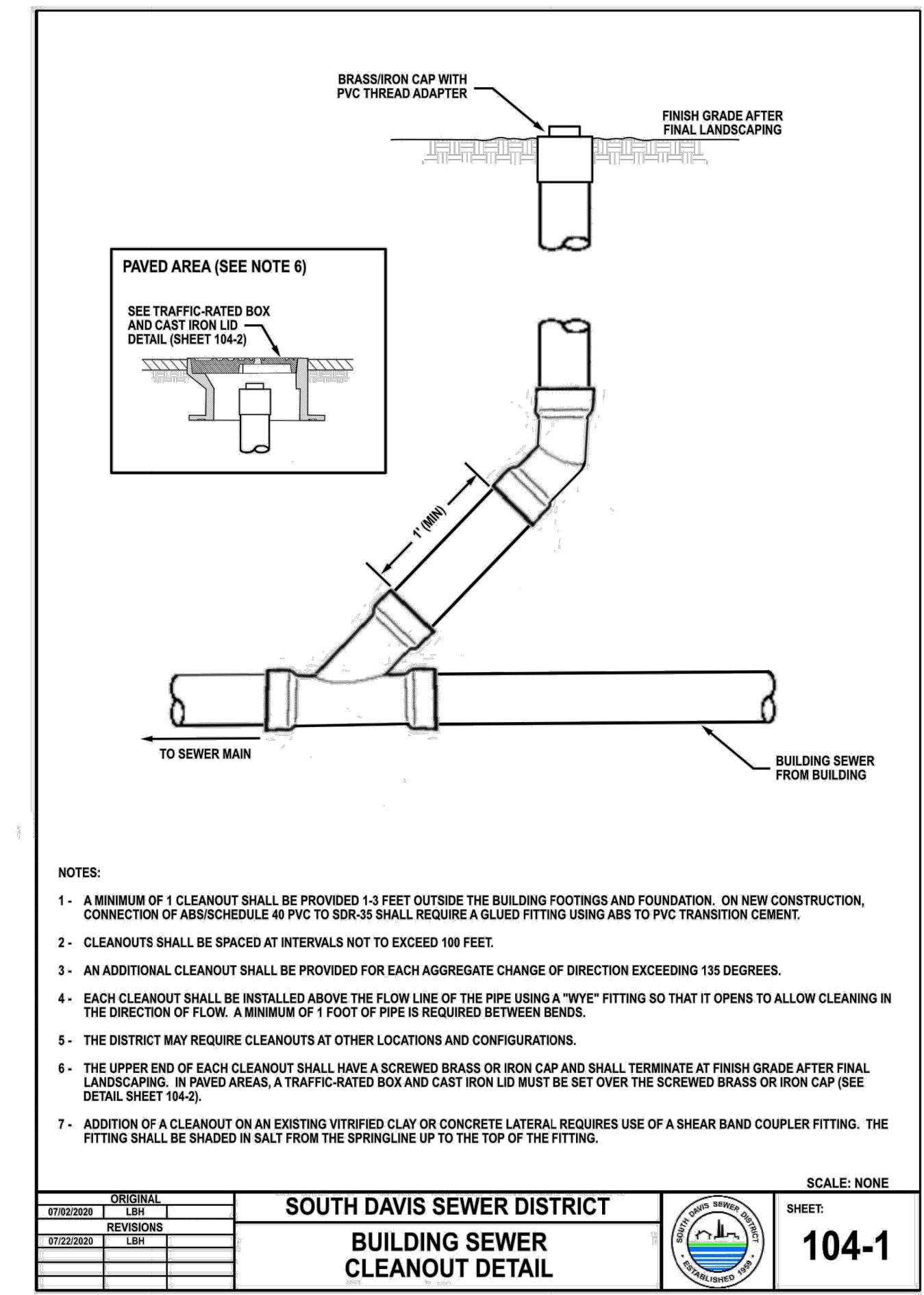
PROJECT NO: 23577
 DRAWN BY: TJO
 CHECKED BY: CCW
 DATE: 02-29-2024

CIVIL DETAILS

C5.03



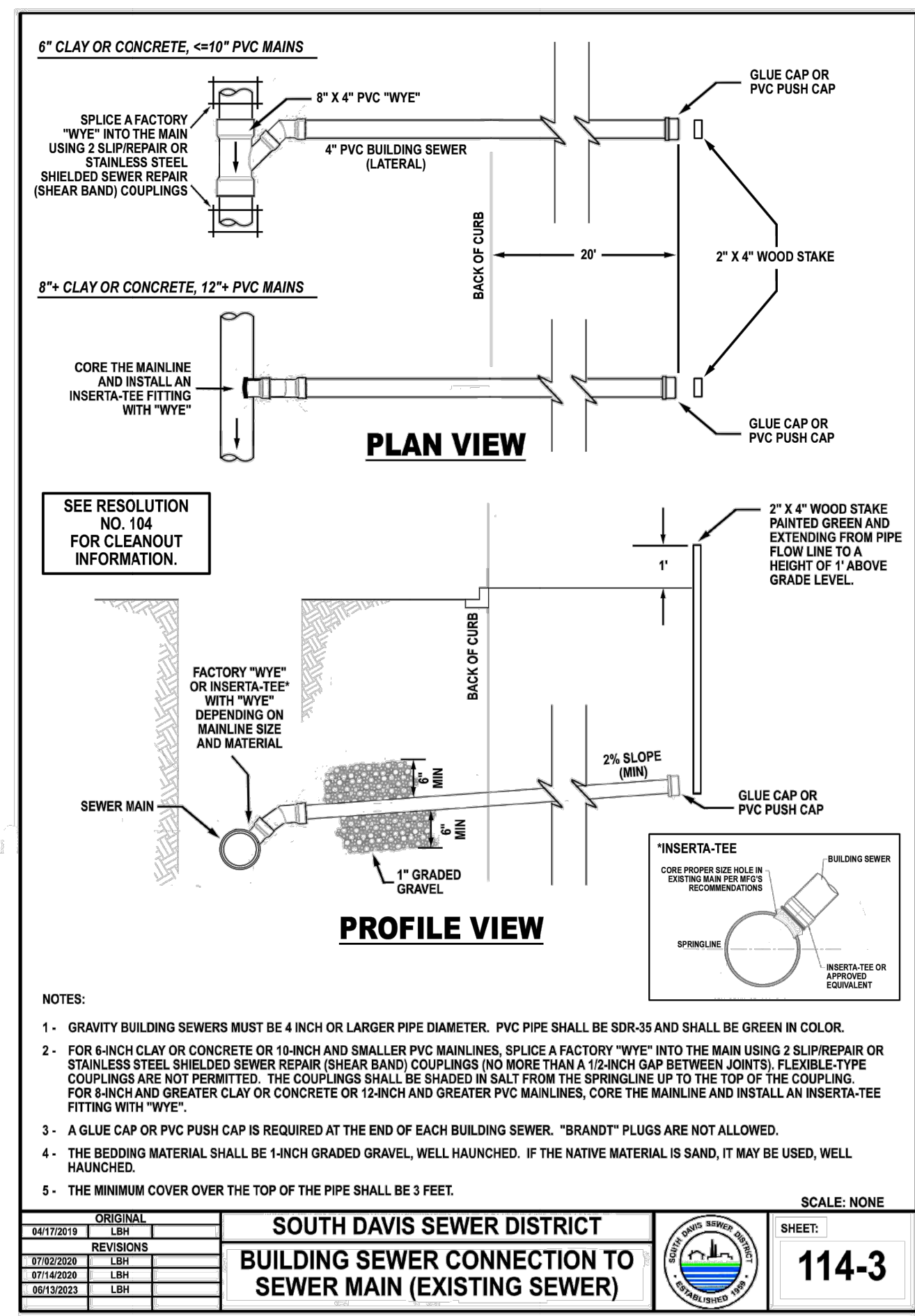
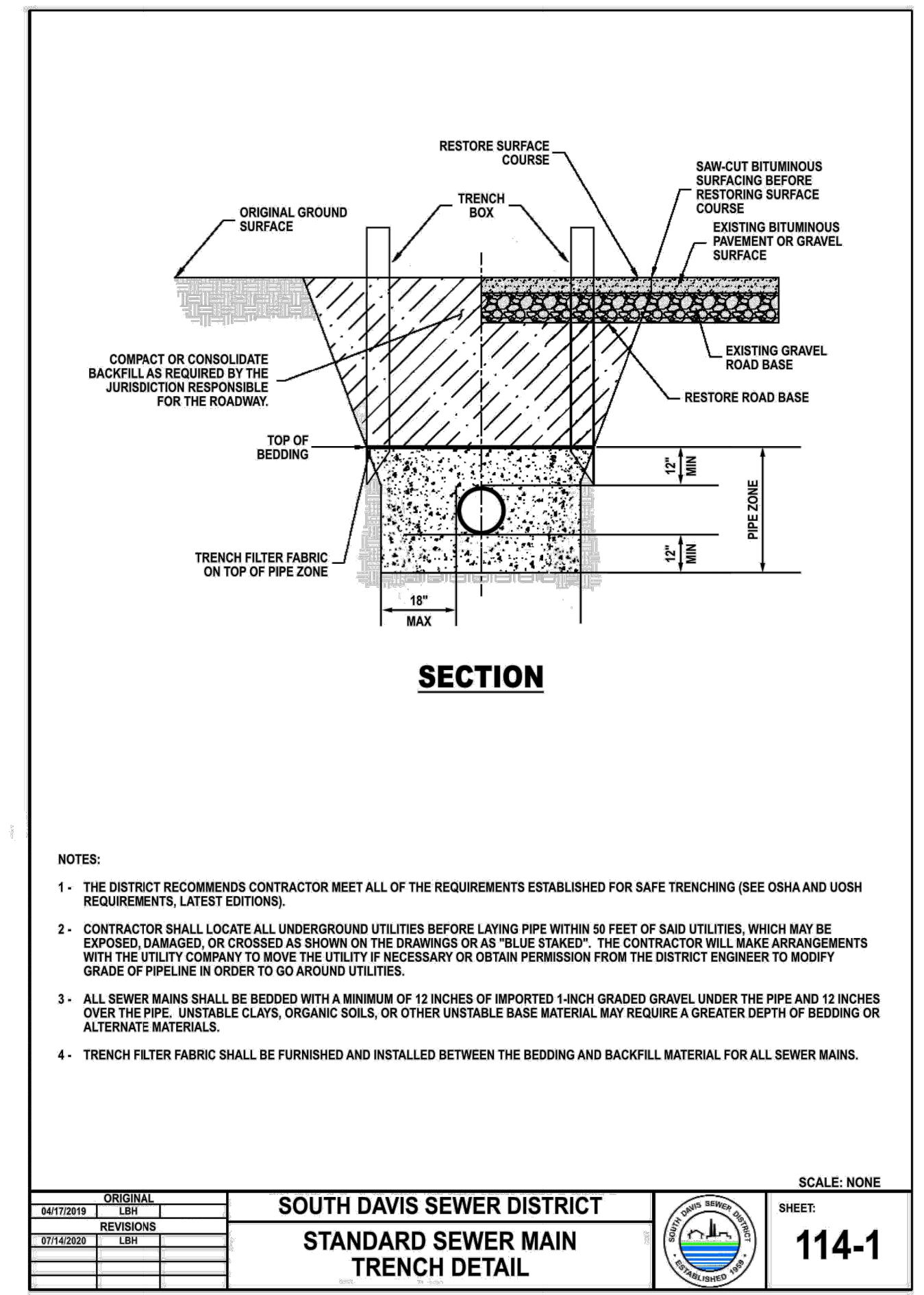
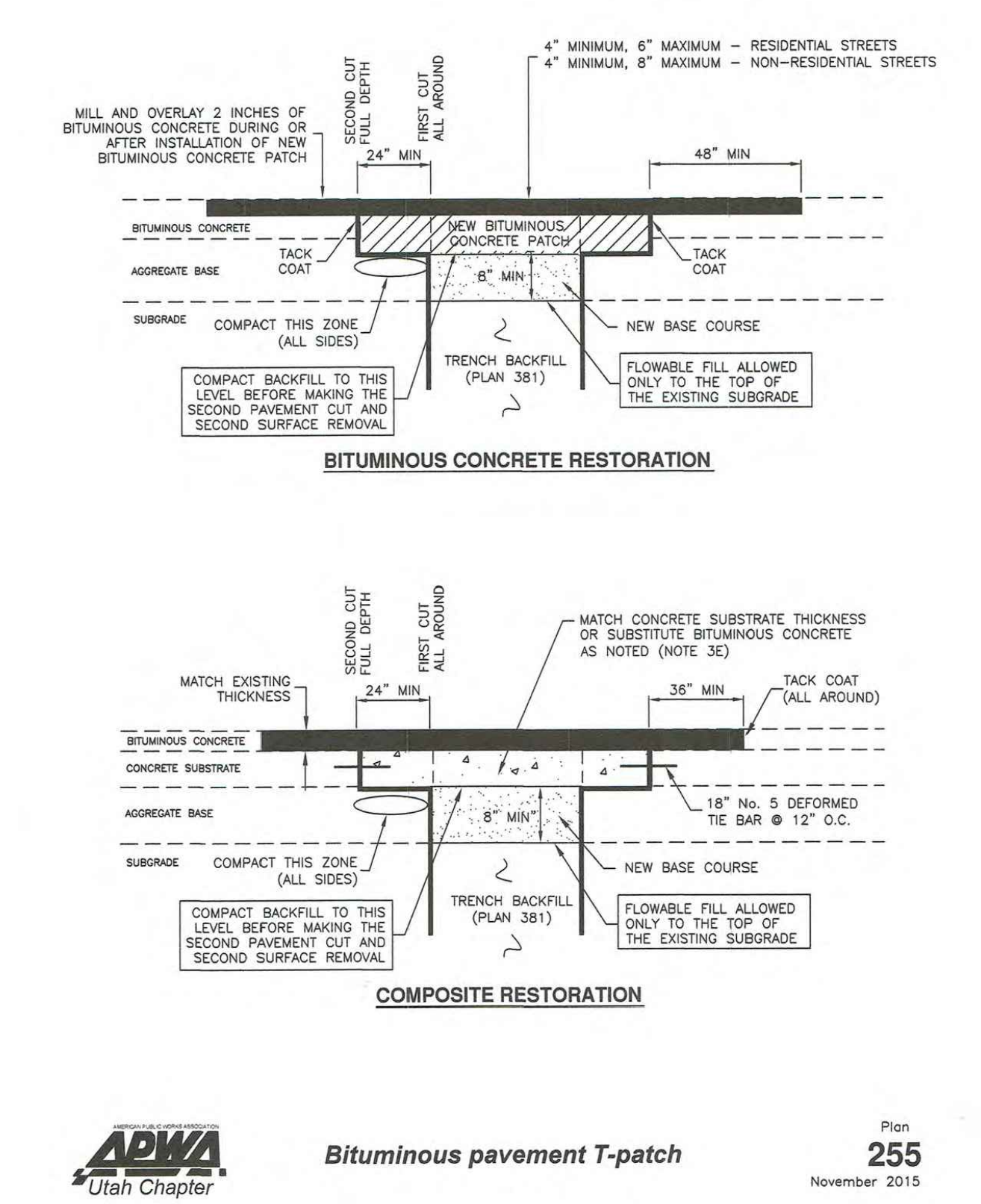
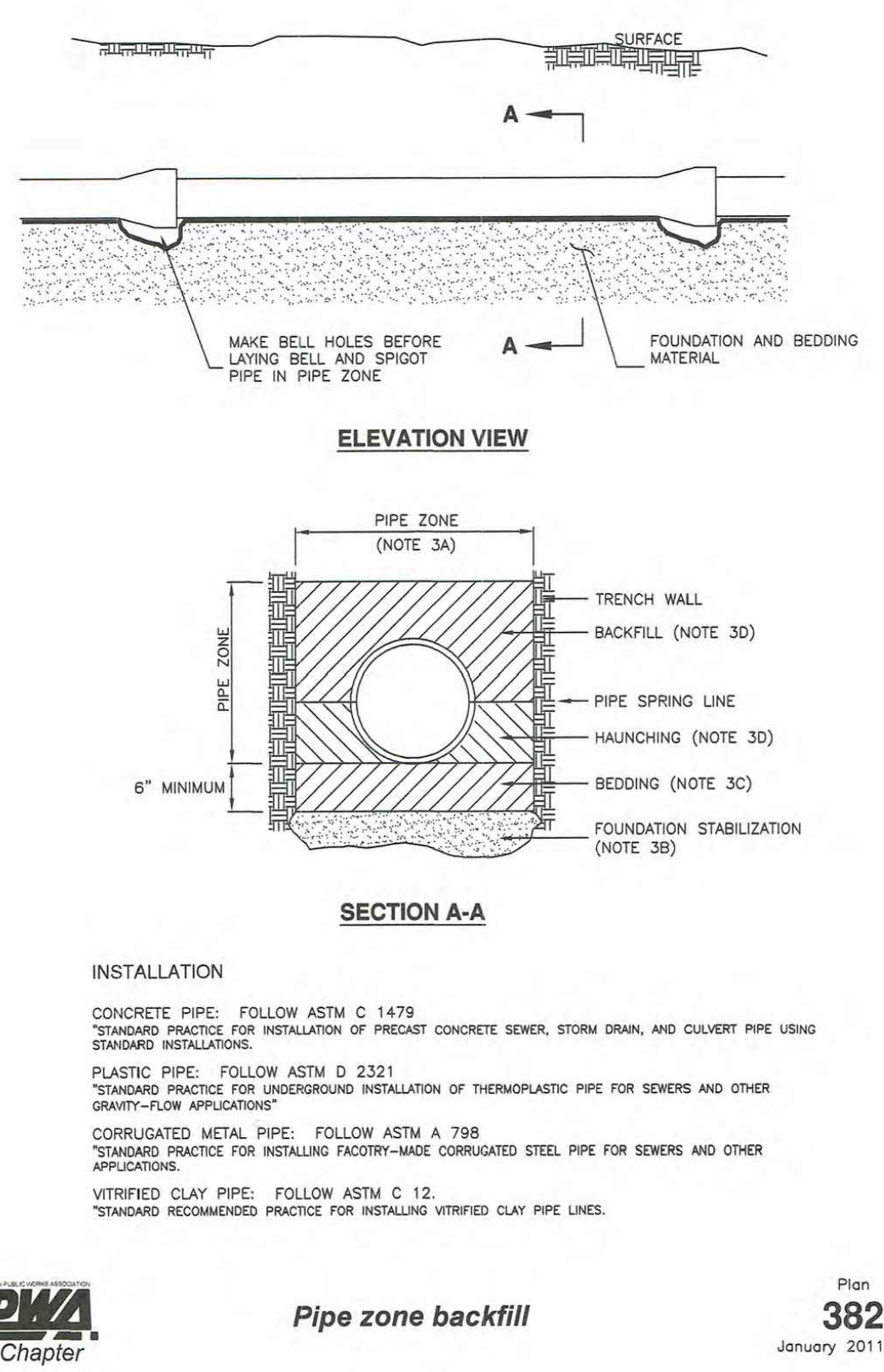
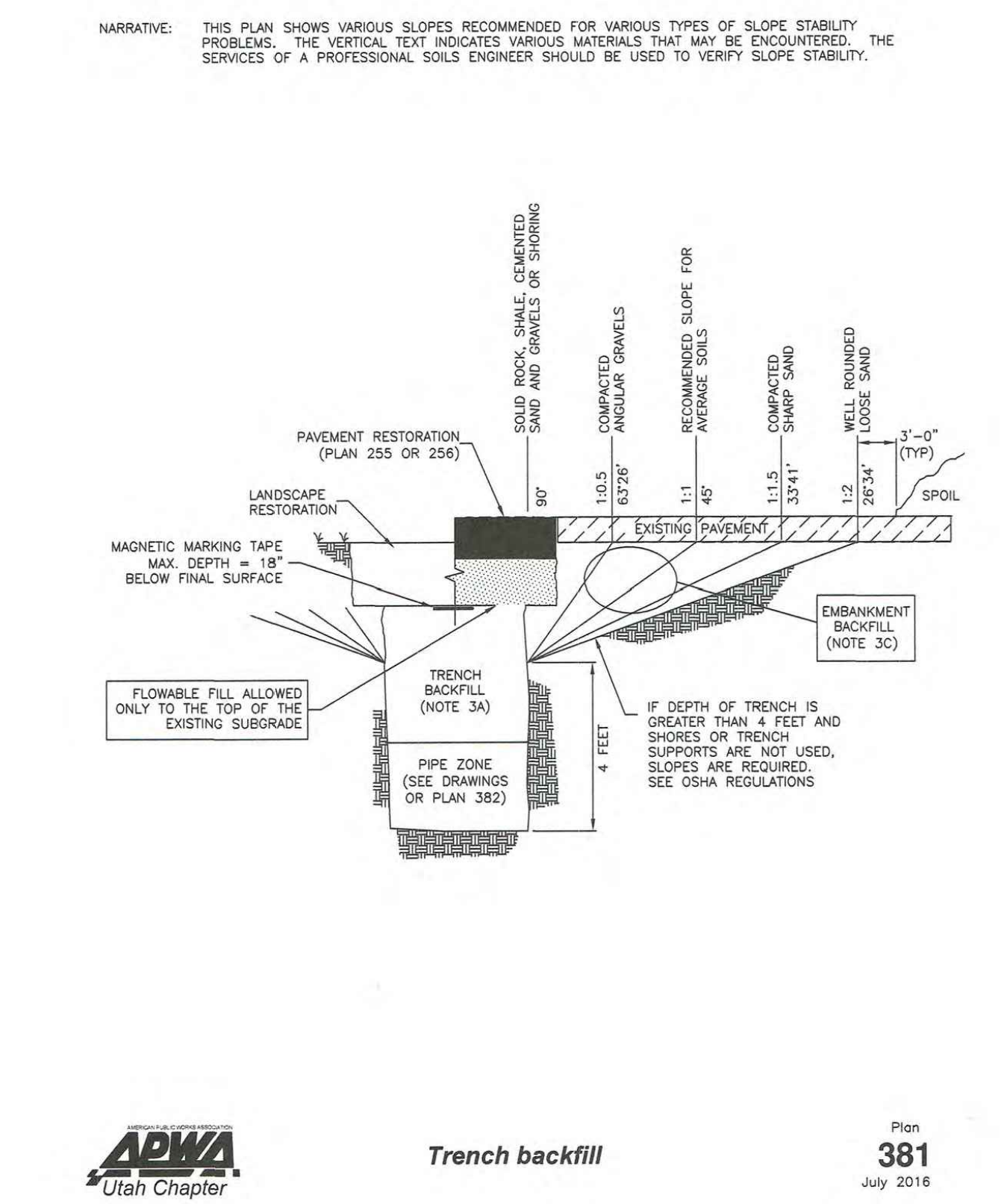
ORIGINAL	REVISIONS	SCALE: NONE	SHEET:
07/20/2020		SOUTH DAVIS SEWER DISTRICT	104-2
		TRAFFIC-RATED BOX AND CAST IRON LID	



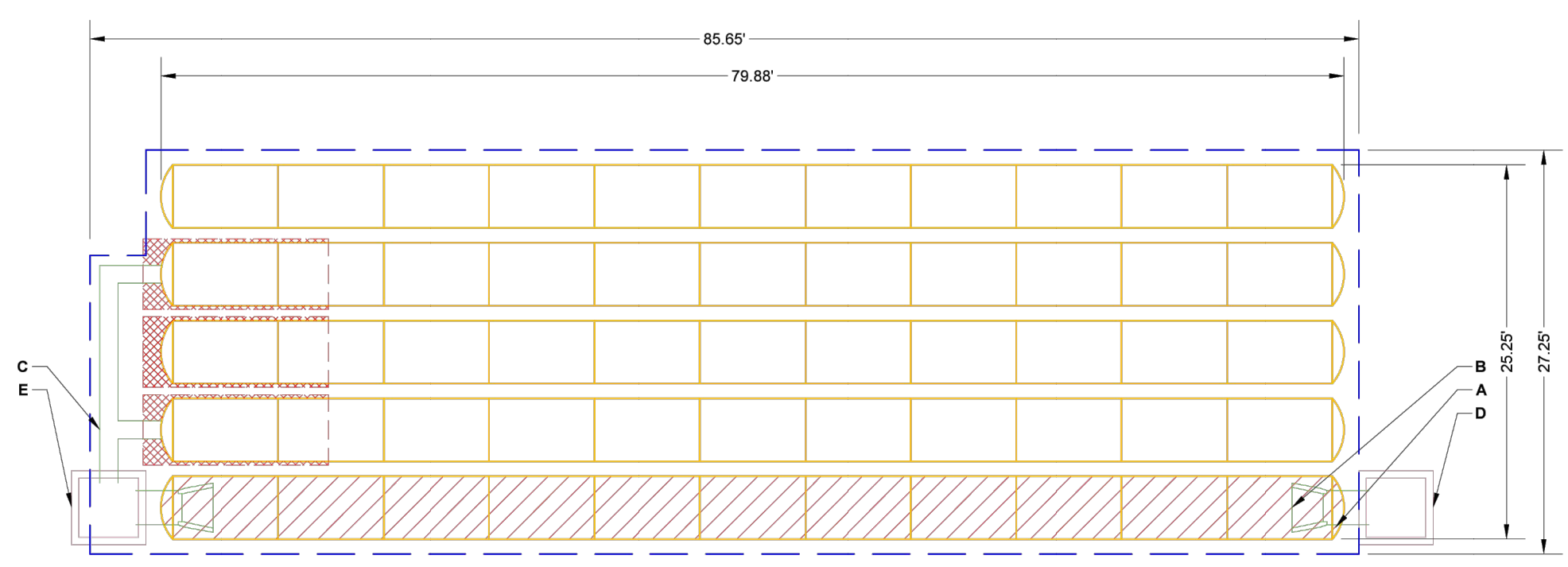
NOTES:

- A MINIMUM OF 1 CLEANOUT SHALL BE PROVIDED 1-3 FEET OUTSIDE THE BUILDING FOOTINGS AND FOUNDATION. ON NEW CONSTRUCTION, CONNECTION OF ABS/SCHEDULE 40 PVC TO SDR-35 SHALL REQUIRE A GLOUED FITTING USING ABS TO PVC TRANSITION CEMENT.
- CLEANOUTS SHALL BE SPACED AT INTERVALS NOT TO EXCEED 100 FEET.
- AN ADDITIONAL CLEANOUT SHALL BE PROVIDED FOR EACH AGGREGATE CHANGE OF DIRECTION EXCEEDING 135 DEGREES.
- EACH CLEANOUT SHALL BE INSTALLED ABOVE THE FLOW LINE OF THE PIPE USING A "WYE" FITTING SO THAT IT OPENS TO ALLOW CLEANING IN THE DIRECTION OF FLOW. A MINIMUM OF 1 FOOT OF PIPE IS REQUIRED BETWEEN BENDS.
- THE DISTRICT MAY REQUIRE CLEANOUTS AT OTHER LOCATIONS AND CONFIGURATIONS.
- THE UPPER END OF EACH CLEANOUT SHALL HAVE A SCREWED BRASS OR IRON CAP AND SHALL TERMINATE AT FINISH GRADE AFTER FINAL LANDSCAPING. IN PAVED AREAS, A TRAFFIC-RATED BOX AND CAST IRON LID MUST BE SET OVER THE SCREWED BRASS OR IRON CAP (SEE DETAIL SHEET 104-2).
- ADDITION OF A CLEANOUT ON AN EXISTING VITRIFIED CLAY OR CONCRETE LATERAL REQUIRES USE OF A SHEAR BAND COUPLER FITTING. THE FITTING SHALL BE SHADED IN SALT FROM THE SPRINGLINE UP TO THE TOP OF THE FITTING.

ORIGINAL	REVISIONS	SCALE: NONE	SHEET:
07/20/2020		SOUTH DAVIS SEWER DISTRICT	104-1
		BUILDING SEWER CLEANOUT DETAIL	

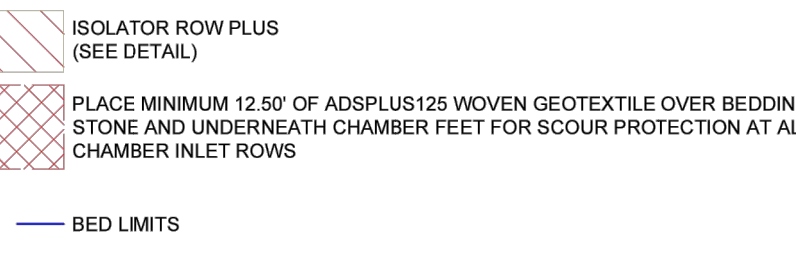


PROPOSED LAYOUT		PROPOSED ELEVATIONS:		PART TYPE		ITEM ON LAYOUT		DESCRIPTION		INVERT		MAX FLOW	
55	STORMTECH SC-740 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT UNPAVED)	4355.50										
10	STORMTECH SC-740 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC)	4349.50										
8	STONE ABOVE (IN)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC)	4349.00										
6	STONE BELOW (IN)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT)	4349.00										
49	STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT)	4349.00										
4747	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED) (COVER STONE INCLUDED)	TOP OF SC-740 CHAMBER	4348.00										
2307	SYSTEM AREA (SQ FT)	12" x 12" TOP MANIFOLD INVERT	4347.50										
229.8	SYSTEM PERIMETER (ft)	24" ISOLATOR ROW PLUS INVERT	4345.01										
		24" ISOLATOR ROW PLUS INVERT	4345.01										
		BOTTOM OF SC-740 CHAMBER	4345.00										
		BOTTOM OF STONE	4344.55										



NOTES

- MANHOLE SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #632 FOR MANHOLE SIZING GUIDANCE.
- BE DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANHOLE COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
- NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.



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SC-740 TECHNICAL SPECIFICATION

NTS

NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	51.0' X 30.0' X 85.4'	(1295 mm X 762 mm X 2169 mm)
CHAMBER STORAGE	45.9 CUBIC FEET	(1.30 m ³)
MINIMUM INSTALLED STORAGE*	74.9 CUBIC FEET	(2.12 m ³)
WEIGHT	75.0 lbs.	(33.8 kg)

*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

PRE-FAB STUB AT BOTTOM OF END CAP WITH FLAMP END WITH "BR"
 PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
 PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
 PRE-CORED END CAPS END WITH "PC"

PART #	STUB	A	B	C
SC740PE06T / SC740PE06TPC	6" (150 mm)	10.9' (277 mm)	18.5' (470 mm)	—
SC740PE06B / SC740PE06BPC	—	—	—	0.5' (13 mm)
SC740PE08T / SC740PE08TPC	8" (200 mm)	12.2' (310 mm)	16.5' (419 mm)	—
SC740PE08B / SC740PE08BPC	—	—	—	0.6' (15 mm)
SC740PE10T / SC740PE10TPC	10" (250 mm)	13.4' (340 mm)	14.5' (368 mm)	—
SC740PE10B / SC740PE10BPC	—	—	—	0.7' (18 mm)
SC740PE12T / SC740PE12TPC	12" (300 mm)	14.7' (373 mm)	12.5' (318 mm)	—
SC740PE12B / SC740PE12BPC	—	—	—	1.2' (30 mm)
SC740PE15T / SC740PE15TPC	15" (375 mm)	18.4' (467 mm)	9.0' (229 mm)	—
SC740PE15B / SC740PE15BPC	—	—	—	1.3' (33 mm)
SC740PE18T / SC740PE18TPC	18" (450 mm)	19.7' (500 mm)	5.0' (127 mm)	—
SC740PE18B / SC740PE18BPC	—	—	—	1.6' (41 mm)
SC740ECEZ*	24" (600 mm)	18.5' (470 mm)	—	0.1' (3 mm)

ALL STUBS, EXCEPT FOR THE SC740ECEZ ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2684.

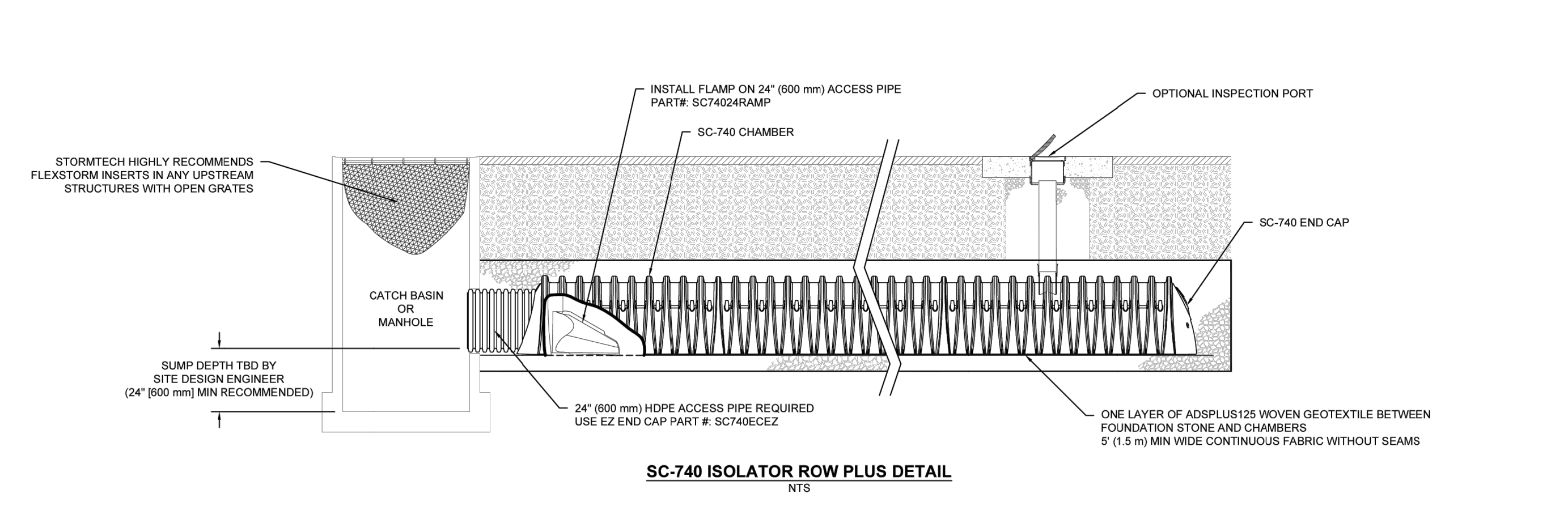
* FOR THE SC740ECEZ THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 SUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL

DRAWN: CW
 CHECKED: N/A
 REV: NOT TO SCALE

DATE:
 PROJECT #:
 REV:

BOUNTIFUL OFFICE BUILDING
 BOUNTIFUL, UT, USA



INSPECTION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT

A. INSPECTION PORTS (IF PRESENT)

A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN

A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED

A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG

A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)

A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

B. ALL ISOLATOR ROW PLUS

B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS

B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE

i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY

ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE

B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS

A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED

B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN

C. VACUUM STRUCTURE SUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

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ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR #1 (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNERS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

SC-740 CROSS SECTION DETAIL

NTS

NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 560 LBS/FT². THE ASG IS DEFINED IN SECTION 6.2.8 OF ASTM F2418, AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

1 SC-740 CROSS SECTION DETAIL

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 Economic and Sustainable Designs, Professionals You Know and Trust
 8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcneilengineering.com
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 STATE OF UTAH

BOUNTIFUL OFFICE BUILDING
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 Chamber System
 888-892-2684 | WWW.STORMTECH.COM

4640 TRUEWMAN BLVD
 HILLIARD, OH 43026
 1-800-733-7473

ADS

REVISIONS

REV	DATE	DESCRIPTION

PROJECT NO: 23577
 DRAWN BY: TJO
 CHECKED BY: CCW
 DATE: 02-29-2024

CIVIL DETAILS
C5.04

LOCATED IN THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 2 NORTH, RANGE 1 EAST, S.1.B. & M.

COMMON EARTHWORK NOTES

- 1. VERIFICATION OF CONDITIONS:
A. FORTY-EIGHT (48) HOURS MINIMUM BEFORE PERFORMING ANY WORK ON SITE...
B. VERIFY LOCATION OF VARIOUS EXISTING UNDERGROUND UTILITIES AT SUFFICIENT LOCATIONS TO ASSURE THAT NO CONFLICT WITH THE PROPOSED WORK EXISTS...
C. PERFORMANCE INVESTIGATIVE EXCAVATING TEN (10) DAYS MINIMUM IN ADVANCE OF PERFORMING ANY EXCAVATION UNDERGROUND WORK...
D. UPON DISCOVERY OF CONFLICTS OR PROBLEMS WITH EXISTING FACILITIES, NOTIFY ARCHITECT BY PHONE OR FAX WITHIN TWENTY-FOUR (24) HOURS...

TOPSOIL & GRADING NOTES

- 1. IMPORT AND INSTALL TOPSOIL AS NEEDED TO FILL ALL PLANTING AREAS. SUBMIT TEST BY LICENSED LABORATORY TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION...
2. INSTALL A MINIMUM DEPTH OF 5 INCHES TOPSOIL IN LAWN AND GROUND COVER PLANTING AREAS...
3. FINISH TOPSOIL GRADE OF PLANTING AREAS BEFORE PLANTING AND AFTER ADDITION OF SOIL...
4. RAKE THE FINISH GRADE OF THE TOPSOIL WITHIN THE PLANTING AREAS TO REMOVE CLODS, ROCKS, WEEDS, ROOTS, DEBRIS OR OTHER MATERIAL 1-1/2" OR MORE IN ANY DIMENSION...

IRRIGATION NOTES

- 1. FURNISH AND INSTALL LANDSCAPE IRRIGATION SYSTEM AS DESCRIBED IN CONTRACT DOCUMENTS COMPLETE WITH ACCESSORIES NECESSARY FOR PROPER FUNCTION.
2. FIELD TESTS AND INSPECTIONS:
A. IRRIGATION SYSTEM
1. SYSTEM PRESSURE TEST:
a) NOTIFY LANDSCAPE ARCHITECT TWO (2) WORKING DAYS MINIMUM BEFORE CONDUCTING TEST...
b) IN PRESENCE OF LANDSCAPE ARCHITECT, PRESSURE TEST MAIN LINE WITH ALL VALVES INSTALLED...
c) TEST PRESSURE AT 100 PSI (690 KPA) MINIMUM FOR TWO (2) HOURS MINIMUM...
d) VERIFY THERE ARE NO LEAKS...
e) RECEIVE LANDSCAPE ARCHITECT APPROVAL TO PROCEED PRIOR TO BACKFILLING...
2. TEST REPORT:
a) FOLLOWING PRESSURE TEST, CREATE PRESSURE TEST REPORT...
3. SUBSTANTIAL COMPLETION WALKTHROUGH:
1. LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE WILL INSPECT SITE AND CREATE LIST OF NON-CONFORMING ITEMS...
2. INSTALLATIONS COMPLETED AFTER WATER SOURCE HAS BEEN TURNED OFF...
C. IRRIGATION APPROVAL:
1. IRRIGATION WILL BE APPROVED WHEN ALL NON-CONFORMING WORK IS BROUGHT INTO CONFORMANCE...
2. CORRECT ANY WORK FOUND DEFECTIVE OR NOT COMPLYING WITH CONTRACT DOCUMENT REQUIREMENTS...
3. WINTERIZATION AND SPRING START-UP:
DURING FIRST YEAR OF OPERATION, INSTALLER SHALL SHUT-DOWN IRRIGATION SYSTEM PRIOR TO FREEZING TEMPERATURES...
A. WINTER SHUT-DOWN IS INTENDED TO REMOVE ALL POTENTIALLY DAMAGING WATER FROM IRRIGATION SYSTEM...
4. REPAIR / RESTORATION:
A. ADJUST EXISTING COVERS, BOXES, AND VAULTS TO GRADE...
B. REPLACE BROKEN OR DAMAGED COVERS, BOXES, AND VAULTS...
C. INDEPENDENTLY CONFIRM SIZE, LOCATION, AND NUMBER OF COVERS, BOXES, AND VAULTS THAT REQUIRE ADJUSTMENT...
5. NON-CONFORMING WORK:
A. IF SPECIFIC PROTECTION PRECAUTIONS ARE NOT TAKEN OR CORRECTIONS AND REPAIRS NOT MADE PROMPTLY, OWNER MAY TAKE SUCH STEPS AS MAY BE DEEMED NECESSARY AND DEDUCT COSTS OF SUCH FROM MONIES DUE TO CONTRACTOR...
2. SUBMIT MANUFACTURER'S CUT SHEETS FOR EACH ELEMENT OF SYSTEM TO THE LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE(S) FOR REVIEW AND APPROVAL PRIOR TO BEGINNING INSTALLATION.
3. CLOSEOUT SUBMITTALS:
A. SUBMITTAL: DIGITAL FORMAT ONLY.
B. OPERATIONS AND MAINTENANCE DATA:
1) PROVIDE IRRIGATION SYSTEM OPERATION AND MAINTENANCE RECOMMENDATIONS FROM MANUFACTURERS.
2) PROVIDE IRRIGATION SYSTEM WINTERIZATION INSTRUCTIONS.
3) PROVIDE PLANT ESTABLISHMENT PERIOD WATERING SCHEDULE.
4) PROVIDE POST PLANT ESTABLISHMENT PERIOD WATERING SCHEDULE.
C. IRRIGATION SYSTEM WARRANTY DOCUMENTATION.
D. RECORD DOCUMENTATION:
1) PROVIDE MANUFACTURER'S PRINTED LITERATURE AND CUT SHEETS FOR EACH ELEMENT OF SYSTEM.
2) TESTING AND INSPECTION REPORTS.
3) IRRIGATION RECORD DRAWINGS.
AS INSTALLATION OCCURS, PREPARE ACCURATE RECORD DRAWING TO BE SUBMITTED BEFORE FINAL INSPECTION, INCLUDING:
A) DETAIL AND DIMENSION CHANGES MADE DURING CONSTRUCTION. RECORD AT TIME OF INSTALLATION.
B) SIGNIFICANT DETAILS AND DIMENSIONS NOT SHOWN IN ORIGINAL CONTRACT DOCUMENTS.
C) FIELD DIMENSIONED LOCATIONS OF VALVE BOXES, MANUAL DRAINS, QUICK-COUPLED VALVES, CONTROL WIRE RUNS NOT IN MAINLINE DITCH AND BOTH ENDS OF SLEEVES.
D) TAKE DIMENSIONS FROM PERMANENT CONSTRUCTED SURFACES OR EDGES LOCATED AT OR ABOVE FINISH GRADE.
E) TAKE AND RECORD DIMENSIONS AT TIME OF INSTALLATION.
4) PROVIDE PHOTOGRAPHS PRIOR TO BURIAL OF KEY ELEMENTS.
E. FINAL PAYMENT FOR SYSTEM WILL NOT BE AUTHORIZED UNTIL CLOSEOUT SUBMITTALS ARE RECEIVED AND ACCEPTED BY ARCHITECT AND LANDSCAPE ARCHITECT.

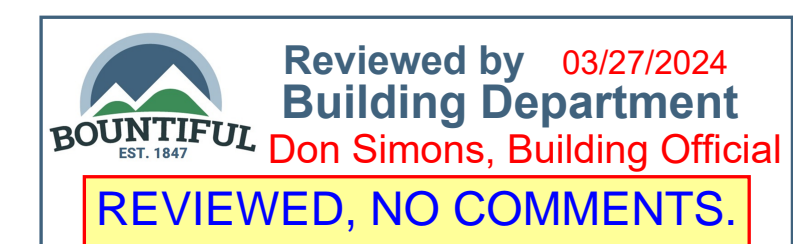
- 6. REGULATORY REQUIREMENTS:
A. WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH LATEST RULES AND REGULATIONS, AND OTHER APPLICABLE STATE OR LOCAL LAWS.
B. NOTHING IN CONTRACT DOCUMENTS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
7. QUALIFICATIONS:
A. IRRIGATION SUBCONTRACTOR:
1. COMPANY SPECIALIZING IN PERFORMING WORK OF THIS SECTION.
2. MINIMUM FIVE (5) YEARS EXPERIENCE IN IRRIGATION SPRINKLER INSTALLATIONS.
3. MINIMUM FIVE (5) SATISFACTORILY COMPLETED IRRIGATION SPRINKLER INSTALLATIONS IN PAST THREE (3) YEARS OF PROJECTS SIMILAR IN SIZE, SCOPE, AND COMPLEXITY REQUIRED FOR THIS PROJECT BEFORE BIDDING.
4. USE TRAINED PERSONNEL FAMILIAR WITH REQUIRED IRRIGATION SPRINKLER PROCEDURES AND WITH CONTRACT DOCUMENTS.
5. FOREMAN OR SUPERVISOR REQUIRED TO ATTEND SITE MEETINGS.
6. UPON REQUEST, SUBMIT DOCUMENTATION.
B. IRRIGATION INSTALLER:
1. PERFORM INSTALLATION UNDER DIRECTION OF FOREMAN OR SUPERVISOR.
2. MINIMUM THREE (3) YEARS EXPERIENCE IN IRRIGATION SPRINKLER INSTALLATIONS SIMILAR IN SIZE, SCOPE, AND COMPLEXITY.
8. WARRANTY:
WARRANTY IRRIGATION SYSTEM FOR PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION. AS PART OF WARRANTY, INSTALLER SHALL PERFORM FOLLOWING:
1) FILLING AND REPAIRING DEPRESSIONS AND REPLACING PLANTINGS DUE TO SETTLEMENT OF IRRIGATION SYSTEM.
2) REPAIRING FAULTY EQUIPMENT, WIRING AND PIPE INSTALLATIONS.
3) REPAIRING EQUIPMENT AND PIPE NOT PROPERLY WINTERIZED.
9. VERIFICATION OF CONDITIONS:
A. PERFORM SOURCE PRESSURE TEST AT SUB-OUT ON IRRIGATION SYSTEM LINE PRIOR TO IRRIGATION SYSTEM, OR AT NEAR-BY FIRE HYDRANT.
B. NOTIFY ARCHITECT IF PRESSURES OVER 70 PSI (480 KPA) OR UNDER 35 PSI (239 KPA) ARE FOUND TO DETERMINE IF SOME RE-DESIGN OF SYSTEM IS NECESSARY BEFORE BEGINNING WORK ON SYSTEM.
10. PROTECTION:
A. REPAIR OR REPLACE WORK DAMAGED DURING COURSE OF WORK AT NO ADDITIONAL COST TO OWNER. IF DAMAGED WORK IS NEW, INSTALLER OF ORIGINAL WORK SHALL PERFORM REPAIR OR REPLACEMENT.
B. DO NOT CUT EXISTING ROOTS MEASURING OVER 2 INCHES (50 MM) IN DIAMETER IN ORDER TO INSTALL IRRIGATION LINES.
11. LAYOUT OF IRRIGATION SYSTEM:
A. LOCATION OF IRRIGATION EQUIPMENT SHOWN ON CONTRACT DRAWINGS IS APPROXIMATE. ACTUAL PLACEMENT MAY VARY SLIGHTLY AS IS REQUIRED TO ACHIEVE FULL, EVEN COVERAGE WITHOUT SPRAYING ONTO BUILDINGS, SIDEWALKS, FENCES, ETC.
B. DURING LAYOUT, CONSULT WITH ARCHITECT TO VERIFY PROPER PLACEMENT AND MAKE RECOMMENDATIONS, WHERE REVISIONS ARE ADVISABLE.
C. MINOR ADJUSTMENTS TO SYSTEM LAYOUT WILL BE PERMITTED TO AVOID EXISTING FIXED OBSTRUCTIONS.
D. MAKE CERTAIN CHANGES FROM CONTRACT DOCUMENTS ARE SHOWN ON RECORD DRAWINGS.
12. TRENCHING AND BACKFILLING:
A. PULLING OF PIPE IS NOT PERMITTED.
B. EXCAVATE TRENCHES TO SPECIFIED DEPTH. REMOVE ROCKS LARGER THAN 1-1/2 INCH (38 MM) IN ANY DIRECTION FROM BOTTOM OF TRENCH. SEPARATE OUT ROCKS LARGER THAN 1-1/2 INCH (38 MM) IN ANY DIRECTION UNCOVERED IN TRENCHING OPERATION FROM EXCAVATED MATERIAL AND REMOVE FROM AREAS TO RECEIVE LANDSCAPING.
C. COVER PIPE BOTH TOP AND SIDES WITH 2 INCHES (50 MM) OF ROCK-FREE SOIL OR SAND. REMAINDER OF BACKFILL TO TOPSOIL DEPTH USING NATIVE MATERIAL.
D. DO NOT COVER PRESSURE MAIN, IRRIGATION PIPE, OR FITTINGS UNTIL LANDSCAPE ARCHITECT HAS INSPECTED AND APPROVED SYSTEM.
13. SLEEVING:
A. SLEEVE WATER LINES AND CONTROL WIRES UNDER WALKS AND PAVING. EXTEND SLEEVES 6 INCHES (150 MM) MINIMUM BEYOND WALK OR PAVEMENT EDGE. COVER SLEEVE ENDS UNTIL PIPES AND WIRES ARE INSTALLED TO KEEP SLEEVE CLEAN AND FREE OF DIRT AND DEBRIS.
B. POSITION SLEEVES WITH RESPECT TO BUILDINGS AND OTHER OBSTRUCTIONS SO PIPE CAN BE EASILY REMOVED.
C. INSTALL SLEEVES AND CONDUIT BEFORE INSTALLATION OF CAST-IN-PLACE CONCRETE SITE ELEMENTS AND PAVING. COORDINATE WITH APPROPRIATE SUB-CONTRACTOR AS NEEDED FOR TIMELY INSTALLATION.
14. GRADES AND DRAINING:
IN LOCALITIES WHERE WINTERIZATION IS REQUIRED, GRADE PIPING SO SYSTEM CAN BE COMPLETELY DRAINED OR BLOWN OUT WITH COMPRESSED AIR. IF SYSTEM IS NOT DESIGNED TO BE BLOWN OUT WITH COMPRESSED AIR:
1. SLOPE PIPE TO DRAIN TO CONTROL VALVE BOX WHERE POSSIBLE.
2. WHERE THIS IS NOT POSSIBLE, SLOPE PIPE TO MINIMUM NUMBER OF LOW POINTS. AT THESE LOW POINTS, INSTALL:
a) 3/4 INCH (19 MM) BRASS BALL VALVE FOR MANUAL DRAIN. DO NOT USE AUTOMATIC DRAIN VALVES.
b) INSTALL 2 INCH (50 MM) CLASS 200 PVC PIPE OVER TOP OF DRAIN AND CUT AT FINISH GRADE.
c) PROVIDE RUBBER VALVE CAP MARKER.
d) PROVIDE ONE CU FT (0.03 CU M) PEA GRAVEL SUMP AT OUTLET OF EACH DRAIN.
3. SLOPE PIPES UNDER PARKING AREAS OR DRIVEWAYS TO DRAIN OUTSIDE THESE AREAS.
4. PROVIDE AND INSTALL QUICK-COUPLING VALVE OR VALVES IN LOCATION FOR EASY BLOWOUT OF ENTIRE SYSTEM. INSTALL VALVES WITH 2 LINEAL FEET (0.60 M) MINIMUM OF GALVANIZED PIPE BETWEEN VALVE AND MAIN LINE.

- 15. INSTALLATION OF PIPE:
A. INSTALL PIPE IN MANNER TO PROVIDE FOR EXPANSION AND CONTRACTION AS RECOMMENDED BY MANUFACTURER.
B. UNLESS OTHERWISE INDICATED ON CONTRACT DRAWINGS, INSTALL MAIN LINES WITH MINIMUM COVER OF 18 INCHES (450 MM) BASED ON FINISHED GRADE. INSTALL LATERAL LINES, INCLUDING THOSE CONNECTING DRAIN TAPS, WITH MINIMUM OF 12 INCHES (300 MM) OF COVER BASED ON FINISH GRADE.
C. INSTALL PIPE AND WIRES UNDER DRIVEWAYS OR PARKING AREAS IN SPECIFIED SLEEVES 18 INCHES (450 MM) BELOW FINISH GRADE OR AS SHOWN ON CONTRACT DRAWINGS.
D. LOCATE PIPE SO NO SPRINKLER HEAD WILL BE CLOSER THAN 12 INCHES (300 MM) FROM BUILDING FOUNDATION.
E. CUT PLASTIC PIPE SQUARE. REMOVE BURRS AT CUT ENDS BEFORE INSTALLATION SO UNOBSTRUCTED FLOW WILL RESULT.
F. MAKE SOLVENT WELD JOINTS AS FOLLOWS:
1. DO NOT MAKE SOLVENT WELD JOINTS IF AMBIENT TEMPERATURE IS BELOW 35 DEG F (2 DEG C).
2. CLEAN MATING PIPE AND FITTING WITH CLEAN, DRY CLOTH AND APPLY ONE (1) COAT OF PRIMER TO EACH SURFACE.
3. APPLY UNIFORM COAT OF SOLVENT CEMENT TO OUTSIDE OF PIPE.
4. APPLY SOLVENT CEMENT TO FITTING IN SIMILAR MANNER.
5. INSERT PIPE COMPLETELY INTO FITTING.
6. GIVE OTHER OR FITTING QUARTER TURN TO INSURE EVEN DISTRIBUTION OF SOLVENT AND MAKE SURE PIPE IS INSERTED TO FULL DEPTH OF FITTING SOCKET.
7. ALLOW JOINTS TO SET AT LEAST TWENTY-FOUR (24) HOURS BEFORE APPLYING PRESSURE TO PVC PIPE.
G. TAPE THREADED CONNECTIONS WITH TEFLON TAPE.
H. IF PIPE IS LARGER THAN 3 INCHES (75 MM), INSTALL JOINT RESTRAINTS WHEREVER CHANGE OF DIRECTION OCCURS ON PVC MAIN LINES.
16. CONTROL VALVES AND CONTROL VALVE WIRING:
A. INSTALL VALVES IN PLASTIC BOXES WITH REINFORCED HEAVY-DUTY PLASTIC COVERS. LOCATE VALVE BOXES WITHIN 12 INCHES (300 MM) TO 24 INCHES (600 MM) OF SIDEWALKS AND SHRUB BED EDGES WITH TOPS AT FINISH GRADE. DO NOT INSTALL MORE THAN ONE (1) VALVE IN SINGLE BOX.
B. INSTALL ELECTRICAL EQUIPMENT FOR REMOVAL.
C. PLACE 3 INCHES (75 MM) MINIMUM OF PEA GRAVEL BELOW BRICKS SUPPORTING VALVE BOXES TO DRAIN BOX. SET VALVE BOXES OVER VALVE SO ALL PARTS OF VALVE CAN BE REACHED FOR SERVICE. SET COVER OF VALVE BOX EVEN WITH FINISH GRADE. VALVE BOX CAVITY SHALL BE REASONABLY FREE FROM DIRT AND DEBRIS.
D. WIRING:
1. GRADE WATERPROOF WIRE CONNECTORS CONSISTING OF PROPERLY-SIZED WIRE NUT AND GREASE CAP AT SPLICES AND LOCATE ALL SPLICES WITHIN VALVE BOXES.
a) WIRE LENGTH FROM ANY DECODER TO THE CONTROLLER SHALL BE NO MORE THAN 8,500 FT (2,590 M).
b) DO NOT LOOP WIRING.
c) INSTALL LIGHTNING ARRESTOR(S) AS PER MANUFACTURER'S RECOMMENDATIONS.
d) FOLLOW ALL OTHER MANUFACTURER RECOMMENDATIONS WHEN INSTALLING WIRE.
2. TRADITIONAL WIRING:
a) TAPE CONTROL WIRE TO SIDE OF MAIN LINE EVERY 10 FEET (3,050 M). WHERE CONTROL WIRE LEAVES MAIN OR LATERAL LINE, ENCLOSE IT IN GRAY CONDUIT.
b) USE WHITE OR GRAY COLOR FOR COMMON WIRE AND OTHER COLORS FOR ALL OTHER WIRE. EACH COMMON WIRE MAY SERVE ONLY ONE (1) CONTROLLER.
c) RUN ONE (1) SPARE CONTROL WIRE FROM PANEL CONTINUOUSLY FROM VALVE TO VALVE THROUGHOUT SYSTEM SIMILAR TO COMMON WIRE FOR USE AS REPLACEMENT IF WIRE FAILS:
1) RUN SPARE WIRE TO EACH BRANCH OF SYSTEM.
2) SPARE WIRE SHALL BE DIFFERENT COLOR THAN OTHER WIRES. USE OF GREEN WIRE IS NOT ACCEPTABLE.
3) MARK SPARE CONTROL WIRE VISIBLY WITHIN VALVE BOX AS AN UN-CONNECTED WIRE.
EXTEND SPARE CONTROL WIRES 24 INCHES (600 MM) AND LEAVE COILED IN EACH VALVE BOX. MARK SPARE WIRE VISIBLY WITHIN CONTROLLER AS UN-CONNECTED WIRE.
E. ARRANGE VALVE STATIONS TO OPERATE IN AN EASY-TO-VIEW PROGRESSIVE SEQUENCE AROUND BUILDING. TAG VALVES WITH WATERPROOF LABELS SHOWING FINAL SEQUENCE STATION ASSIGNMENTS.
17. SPRINKLER HEADS AND ROTOR POP-UPS:
A. SET SPRINKLER HEADS AND QUICK-COUPLING VALVES PERPENDICULAR TO FINISH GRADE.
B. DO NOT INSTALL SPRINKLERS USING INLET SLEETS. INSTALL USING BAKE INLETS ONLY.
C. HEADS IMMEDIATELY ADJACENT TO MOW STRIPS, WALKS, OR CURBS SHALL BE
18. EXCAVATION:
A. IF UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN EXCAVATION OF PLANTING HOLES, LANDSCAPE ARCHITECT WILL SELECT ALTERNATE LOCATIONS.
B. PLANT EXCAVATION SIZE:
1. DIAMETER: TWICE DIAMETER OF ROOT BALL OR CONTAINER MINIMUM.
2. DEPTH: EQUAL TO CONTAINER OR ROOTBALL DEPTH. UNLESS EXCAVATED MATERIAL MEETS TOPSOIL REQUIREMENTS AS SPECIFIED IN "TOPSOIL & GRADING NOTES". REMOVE FROM LANDSCAPE AREAS AND DO NOT USE FOR LANDSCAPING PURPOSES.
C. ROUGHEN SIDES AND BOTTOMS OF EXCAVATIONS.
E. WITH APPROVAL OF LANDSCAPE ARCHITECT, SELECT FIVE (5) TYPICAL PLANTING EXCAVATIONS THROUGHOUT SITE FOR DRAINAGE TESTING.
1. THAT WATER DRAINS AWAY AT RATE OF 3 INCHES (75 MM) PER HOUR MINIMUM. INFORM LANDSCAPE ARCHITECT IN WRITING OF EXCAVATIONS WHERE WATER DOES NOT DRAIN PROPERLY.
2. SELECT THREE (3) EXCAVATIONS APPROXIMATELY 5 FEET (1,500 MM) AWAY FROM EACH NON-DRAINING EXCAVATION AND REPEAT TESTS. CONTINUE TESTING PROCESS UNTIL NON-DRAINING AREAS HAVE BEEN IDENTIFIED.
3. IN EXCAVATIONS LOCATED IN IDENTIFIED NON-DRAINING AREAS, AUGER 6 INCH (150 MM) DIAMETER HOLE 4 FEET (1,200 MM) DEEP IN LOW POINT OF EACH EXCAVATION AND FILL WITH TAMPED PLANTING MIX.
4. DO NOT PLANT TREES OR SHRUBS IN HOLES THAT DO NOT PROPERLY DRAIN.

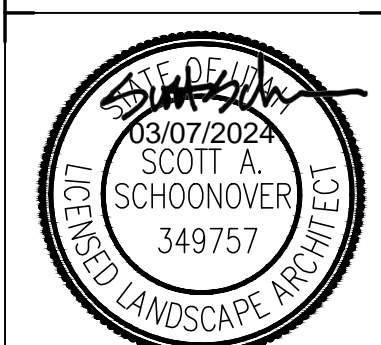
PLANTING NOTES:

- 1. BEFORE PROCEEDING WITH WORK, CHECK AND VERIFY DIMENSIONS AND QUANTITIES. REPORT VARIATIONS BETWEEN DRAWINGS AND SITE TO LANDSCAPE ARCHITECT BEFORE PROCEEDING.
2. PLANT TOTALS ARE FOR CONVENIENCE ONLY AND ARE NOT GUARANTEED. VERIFY AMOUNTS SHOWN ON CONTRACT DOCUMENTS. ALL PLANTING INDICATED ON CONTRACT DOCUMENTS IS REQUIRED UNLESS INDICATED OTHERWISE.
3. LAYOUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULCH PLANTING PERIOD.
A. STAKE LOCATIONS AND OUTLINE AREAS.
B. SECURE LANDSCAPE ARCHITECT'S APPROVAL BEFORE PLANTING.
C. MAKE MINOR ADJUSTMENTS AS MAY BE REQUESTED.
4. MAINTENANCE:
A. GENERAL:
1. BEFORE BEGINNING MAINTENANCE PERIOD, PLANTS SHALL BE IN AT LEAST AS SOUND, HEALTHY, VIGOROUS, AND IN APPROVED CONDITION AS WHEN DELIVERED TO SITE. UNLESS ACCEPTED BY ARCHITECT IN WRITING AT FINAL LANDSCAPE INSPECTION.
2. MAINTAIN LANDSCAPING FOR THIRTY (30) CONTINUOUS DAYS MINIMUM AFTER SUBSTANTIAL COMPLETION. IF MAINTENANCE PERIOD IS INTERRUPTED BY NON-GROWING SEASON OR IRRIGATION WINTER SHUT-DOWN, BEGIN MAINTENANCE PERIOD AFTER START OF GROWING SEASON AS AGREED WITH ARCHITECT AND CONTINUE ONE (1) CONTINUOUS MONTH THEREAFTER.
3. REPLACE LANDSCAPING THAT IS DEAD OR APPEARS UNHEALTHY OR NON-VIGOROUS AS DIRECTED BY ARCHITECT BEFORE MAINTENANCE PERIOD. MAKE REPLACEMENTS WITHIN TEN (10) DAYS OF NOTIFICATION. LAWN BEING REPLACED SHALL BE GUARANTEED AND MAINTAINED AN ADDITIONAL THIRTY (30) DAYS FROM DATE OF REPLACEMENT.
B. SEEDED LAWN:
1. SEEDED LAWN AREAS WILL NOT BE ACCEPTED AS COMPLETE AND THIRTY (30) DAY MAINTENANCE PERIOD WILL NOT BEGIN UNTIL UNIFORM STROCK OF GRASS AT LEAST 3 INCHES (75 MM) TALL HAS BEEN OBTAINED.
2. AFTER GRASS IS ESTABLISHED AND 3 INCHES (75 MM) TALL, MOW LAWN AREAS AT LEAST WEEKLY TO A HEIGHT OF 2 INCHES (50 MM). DURING THIS PERIOD, PERFORM WORK NECESSARY TO MAINTAIN A FULL, EVEN STAND OF GRASS.
3. AT END OF THIRTY (30) DAYS OF MAINTENANCE PERIOD, FERTILIZE LAWN.
4. APPLY HERBICIDES AS NECESSARY IN ORDER TO OBTAIN WEE FREE LAWN. APPLY HERBICIDE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS DURING CALM WEATHER WHEN AIR TEMPERATURE IS BETWEEN 50 AND 80 DEG F (10 AND 27 DEG C).
C. SODDED LAWN:
1. MAINTAIN SODDED LAWN AREAS UNTIL LAWN COMPLIES WITH SPECIFIED REQUIREMENTS AND THROUGHOUT MAINTENANCE PERIOD.
2. WATER SODDED AREAS IN SUFFICIENT QUANTITIES AND AT REQUIRED FREQUENCY TO MAINTAIN A SUB-SOIL IMMEDIATELY UNDER SOD CONTINUOUSLY MOIST 3 TO 4 INCHES (75 TO 100 MM) DEEP.
3. CUT GRASS FIRST TIME WHEN IT REACHES 3 INCHES (75 MM) HIGH. CONTINUE TO MOW AT LEAST ONCE EACH WEEK THROUGHOUT MAINTENANCE PERIOD. REMOVE CLIPPINGS.
4. APPLY HERBICIDE AS NECESSARY TO MAINTAIN WEE-FREE LAWN. APPLY HERBICIDE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS DURING CALM WEATHER WHEN AIR TEMPERATURE IS BETWEEN 50 AND 80 DEG F (10 AND 27 DEG C).
5. AT END OF THIRTY (30) DAY MAINTENANCE PERIOD, FERTILIZE LAWN.
D. TREES, SHRUBS, AND PLANTS:
1. MAINTAIN BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH.
2. RESTORE PLANTING BASINS.
3. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITIONS AS REQUIRED.
4. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
5. PROVIDE SUPPLEMENTAL WATER BY HAND AS NEEDED IN ADDITION TO WATER FROM SPRINKLING SYSTEM.
6. WARRANTY:
1. PROVIDE WRITTEN WARRANTIES AS FOLLOWS:
A. WARRANTY WILL EXTEND THIRTY (30) CONTINUOUS DAYS MINIMUM AFTER SUBSTANTIAL COMPLETION. IF A CONTINUOUS FIRST THIRTY (30) DAYS OF THE WARRANTY PERIOD IS INTERRUPTED BY NON-GROWING SEASON OR IRRIGATION WINTER SHUT-DOWN, BEGIN WARRANTY PERIOD AFTER START OF GROWING SEASON AS AGREED ON WITH ARCHITECT. THEREAFTER, CONTINUE WARRANTY PER THE PERIOD DESCRIBED HEREIN.
B. WARRANTY SHRUBS, GROUND COVERS, AND VINES TO LIVE AND REMAIN IN STRONG, VIGOROUS, AND HEALTHY CONDITION FOR 90 DAYS MINIMUM FROM DATE OF SUBSTANTIAL COMPLETION.
C. WARRANTY TREES TO LIVE AND REMAIN IN STRONG, VIGOROUS, AND HEALTHY CONDITION FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
D. WHEN TREES ARE COMPLETELY ACCEPTED AT END OF WARRANTY PERIOD, REMOVE STAKING.

- 7. DELIVERY, STORAGE, AND HANDLING:
A. DO NOT ACCEPTANCE REQUIREMENTS:
1. DELIVER TREES, SHRUBS, GROUND COVERS, AND PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY.
2. DO NOT PRUNE BEFORE DELIVERY, EXCEPT AS APPROVED BY LANDSCAPE ARCHITECT.
3. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WHIPPING, AND OTHER HANDLING AND THING DAMAGE.
4. DO NOT BIND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY NATURAL SHAPE.
5. PROVIDE PROTECTIVE COVERING DURING DELIVERY, STORAGE AND HANDLING REQUIREMENTS.
1. HANDLE BALLED STOCK BY ROOT BALL OR CONTAINER. DO NOT DROP TREES AND SHRUBS DURING DELIVERY.
2. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET PLANTING MATERIALS IN SHADE AND PROTECT FROM WEATHER AND MECHANICAL DAMAGE.
3. SET BALLED STOCK ON GROUND AND COVER BALL WITH SOIL, SAW DUST, OR OTHER ACCEPTABLE MATERIAL APPROVED BY LANDSCAPE ARCHITECT.
4. DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING.
5. RIGIDLY PROTECT ROOT BALLS ON PAVEMENT.
6. WATER ROOT SYSTEMS OF TREES AND SHRUBS STORED ON SITE WITH FINE SPRAY. WATER AS OFTEN AS NECESSARY TO MAINTAIN ROOT SYSTEMS SO MOIST CONTENT DO NOT ALLOW PLANT FOLIAGE TO DRY OUT.
8. PLANT MATERIAL:
A. CONFORM TO REQUIREMENTS OF PLANT LIST AND KEY ON CONTRACT DOCUMENTS AND TO ANLA / ANSI Z60.1.
B. PLANT NAMES USED IN PLANT LIST CONFORM TO 'STANDARDIZED PLANT NAMES' BY AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE AND BEING USED IN THE PAST. IN THESE INSTANCES, FOLLOW CUSTOM OF NURSERY TRADE. PLANTS SHALL BEAR TAG SHOWING GENUS, SPECIES, AND VARIETY OF AT LEAST 10 PERCENT OF EACH SPECIES DELIVERED TO SITE.
C. QUALITY:
1. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASE, INSECT PESTS OR ROOT ROT EGGS, INJURY, AND UNUSUAL GROWTH. HEALTHY, NORMAL ROOT SYSTEMS. CONTAINER STOCK SHALL BE WELL ESTABLISHED AND FREE OF EXCESSIVE ROOT-BOUND CONDITIONS.
2. DO NOT PRUNE PLANTS OR TOP TREES PRIOR TO DELIVERY.
3. PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AS TO SIZE, HEALTH, QUALITY, AND CHARACTER.
4. BARE ROOT TREES ARE NOT ACCEPTABLE.
5. PROVIDE PLANT MATERIALS FROM LICENSED NURSERY OR GROWER.
D. MEASUREMENTS:
1. MEASURE HEIGHT AND SPREAD OF SPECIMEN PLANT MATERIALS WITH BRANCHES IN THEIR NORMAL POSITION AS INDICATED ON CONTRACT DOCUMENTS OR PLANT LIST.
2. MEASUREMENTS SHOULD BE AVERAGE OF PLANT, NOT GREATEST DIAMETER. FOR EXAMPLE, PLANT MEASURING 15 INCHES (375 MM) IN WIDEST DIRECTION AND 9 INCHES (225 MM) IN NARROWEST DIRECTION, SHOULD BE CLASSIFIED AS 12 INCH (300 MM) STOCK.
3. PLANTS PROPERLY TRIMMED AND TRANSPORTED SHOULD MEASURE SAME IN EVERY DIRECTION.
4. MEASURE CALIPER OF TREES 6 INCHES (150 MM) ABOVE SURFACE OF GROUND.
5. WHERE CALIPER OR OTHER DIMENSIONS OF PLANT MATERIALS ARE OMITTED FROM PLANT LIST, PLANT MATERIALS SHALL BE NORMAL STOCK FOR TYPE LISTED.
E. SHAPE AND FORM:
1. PLANT MATERIALS SHALL BE SYMMETRICAL OR TYPICAL FOR VARIETY AND SPECIES AND CONFORM TO MEASUREMENTS SPECIFIED IN PLANT LIST.
2. WELL-GROWN MATERIAL WILL GENERALLY HAVE HEIGHT EQUAL TO OR GREATER THAN SPREAD. HOWEVER, SPREAD SHALL NOT BE LESS THAN 2/3'S OF HEIGHT.
9. EXCAVATION:
A. IF UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN EXCAVATION OF PLANTING HOLES, LANDSCAPE ARCHITECT WILL SELECT ALTERNATE LOCATIONS.



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BOUNTIFUL MOB
347 WEST 500 SOUTH
BOUNTIFUL, UTAH

Table with 2 columns: REV. DATE, DESCRIPTION. Includes project info: PROJECT NO: 23577, DRAWN BY: TG, CHECKED BY: SS, DATE: DECEMBER 2023, PROPERTY NO, LANDSCAPE NOTES & SPECIFICATIONS.

L0.01

DRAWING INDEX table with columns SHEET and DESCRIPTION. Lists sheets L0.01 through L5.03.



BOUNTIFUL CITY DATA

CH. 6: COMMERCIAL

CH. 16: LANDSCAPING AND FENCING

ZONED AS	GENERAL COMMERCIAL (C-G)	
TOTAL SITE AREA	52,991 S.F.	
ON-SITE LANDSCAPE AREA	11,676 S.F. = 22%	
	REQUIRED	PROVIDED
GENERAL:		
REQUIRED LANDSCAPE AREA	15% MIN. = 7,949 S.F.	11,676 S.F. = 22%
REQUIRED TREES - 1 PER 750 S.F. OF REQUIRED LANDSCAPE AREA (EXCL. REQUIRED BUFFER TREES)	7,949 S.F. / 750 = 11	11
REQUIRED SHRUBS - 1 PER 200 S.F. OF REQUIRED LANDSCAPE AREA	7,949 S.F. / 200 = 40	>40
LAWN AREAS	20% MAX. = 1,590 S.F.	0%
SETBACKS:		
FRONT YARD	20' MIN.	YES
SIDE YARD	10' MIN.	YES
REAR YARD	10' MIN.	YES
YARD ABUTTING RESIDENTIAL	20' MIN. ON THE ABUTTING SIDE(S)	YES
BUFFER:		
LANDSCAPE BUFFER ADJACENT TO RESIDENTIAL PROPERTIES	10' MIN.	YES
REQUIRED TREES (FROM TREE SELECTION LIST) - 1 PER 30' ALONG BUFFER		YES
PARKING LOT:		
REQUIRED LANDSCAPE AREA	5% = 1,496 S.F.	2,764 S.F. = 9%
LANDSCAPE BUFFER ADJACENT TO PROPERTY LINE	5' MIN.	YES
REQUIRED TREES - 1 PER 40' OF LANDSCAPE MEDIAN		YES

WHAT MATERIALS/METHODS ARE BEING USED HERE? SHOW PEDESTRIAN PATH MARKINGS OR MATERIALS

LANDSCAPE SCHEDULE

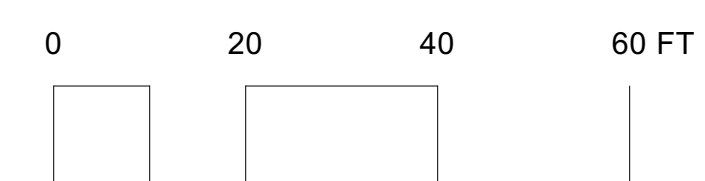
SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	DETAIL	
DECIDUOUS TREES						
	7	LAVELLE HAWTHORN	CRATAEGUS x LAVALLEI	2" CAL.	D/L5.01	
	8	GREEN VASE ZELKOVA	ZELKOVA SERRATA 'GREEN VASE'	2" CAL.	D/L5.01	
EVERGREEN TREES						
	7	HORSTMANN BLUE ATLAS CEDAR	CEDRUS ATLANTICA 'HORSTMANN'	6' HT.	E/L5.01	
	3	HOOPSII BLUE SPRUCE	PICEA PUNGENS 'HOOPSII'	8' HT.	E/L5.01	
SHRUBS						
	41	FERN BUSH	CHAMAEBATIARIA MILLEFOLIUM	5 GAL.	B/L5.01	
	83	ALPINE CARPET JUNIPER	JUNIPERUS COMMUNIS 'MONDAP'	5 GAL.	B/L5.01	
	72	PAWNEE BUTTES WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL.	B/L5.01	
	23	SILVER TOTEM BUFFALOBERRY	SHEPHERDIA ARGENTEA 'TOTEM'	5 GAL.	B/L5.01	
ORNAMENTAL GRASSES						
	404	TUFTED HAIR GRASS	DESCHAMPSIA CESPITOSA 'PIXIE FOUNTAIN'	1 GAL.	A/L5.01	
	27	MAIDEN GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	3 GAL.	A/L5.01	
SYMBOL	QTY.	DESCRIPTION	INSTRUCTIONS	SIZE	SOURCE	DETAIL
BOULDERS						
	79	"BROWNS CANYON" BOULDERS	BURY 1/3 THE DEPTH OF THE BOULDER INTO FINISH GRADE. DO NOT USE BOULDERS THAT ARE LESS THAN 24" DIAMETER. BOULDER SHALL BE WASHED AND FREE OF DIRT AND OTHER FOREIGN DEBRIS.	2'-4" DIAMETER IN ALL DIRECTIONS	BOULDERS FROM BROWN'S CANYON QUARRY. CONTACT ONE SOURCE MATERIALS, ONESOURCEMATERIALS.COM, (885) 447-9374.	F/L5.01
CRUSHED ROCK						
	9,928 S.F.	"BROWNS CANYON" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	3/4" DIAMETER	CRUSHED ROCK FROM BROWN'S CANYON QUARRY. CONTACT ONE SOURCE MATERIALS, ONESOURCEMATERIALS.COM, (885) 447-9374.	G/L5.01
	944 S.F.	"BROWNS CANYON" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	2" DIAMETER	CRUSHED ROCK FROM BROWN'S CANYON QUARRY. CONTACT ONE SOURCE MATERIALS, ONESOURCEMATERIALS.COM, (885) 447-9374.	G/L5.01
MULCH						
	725 S.F.	"SUPREME SHREDDED BARK"	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. BARK MULCH SHALL BE FREE OF DIRT, ROCK AND OTHER FOREIGN DEBRIS.		MILLER COMPANIES (435) 245-3157 OR APPROVED EQUAL	G/L5.01
			ALWAYS PLANT ACCORDING TO CENTER POINT OF THE SYMBOL			

GENERAL NOTE

- REFER TO COMMON EARTHWORK, TOPSOIL & GRADING, AND PLANTING NOTES ON SHEET L0.01

REFERENCE NOTES

- L-1. 1/4" x 6" METAL EDGING SEE DETAIL H/L5.01



AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

Call BEFORE YOU DIG

1-800-662-4111

NOTICE!

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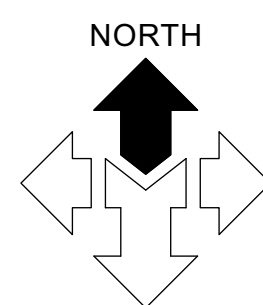
BOUNTIFUL MOB
347 WEST 500 SOUTH
BOUNTIFUL, UTAH

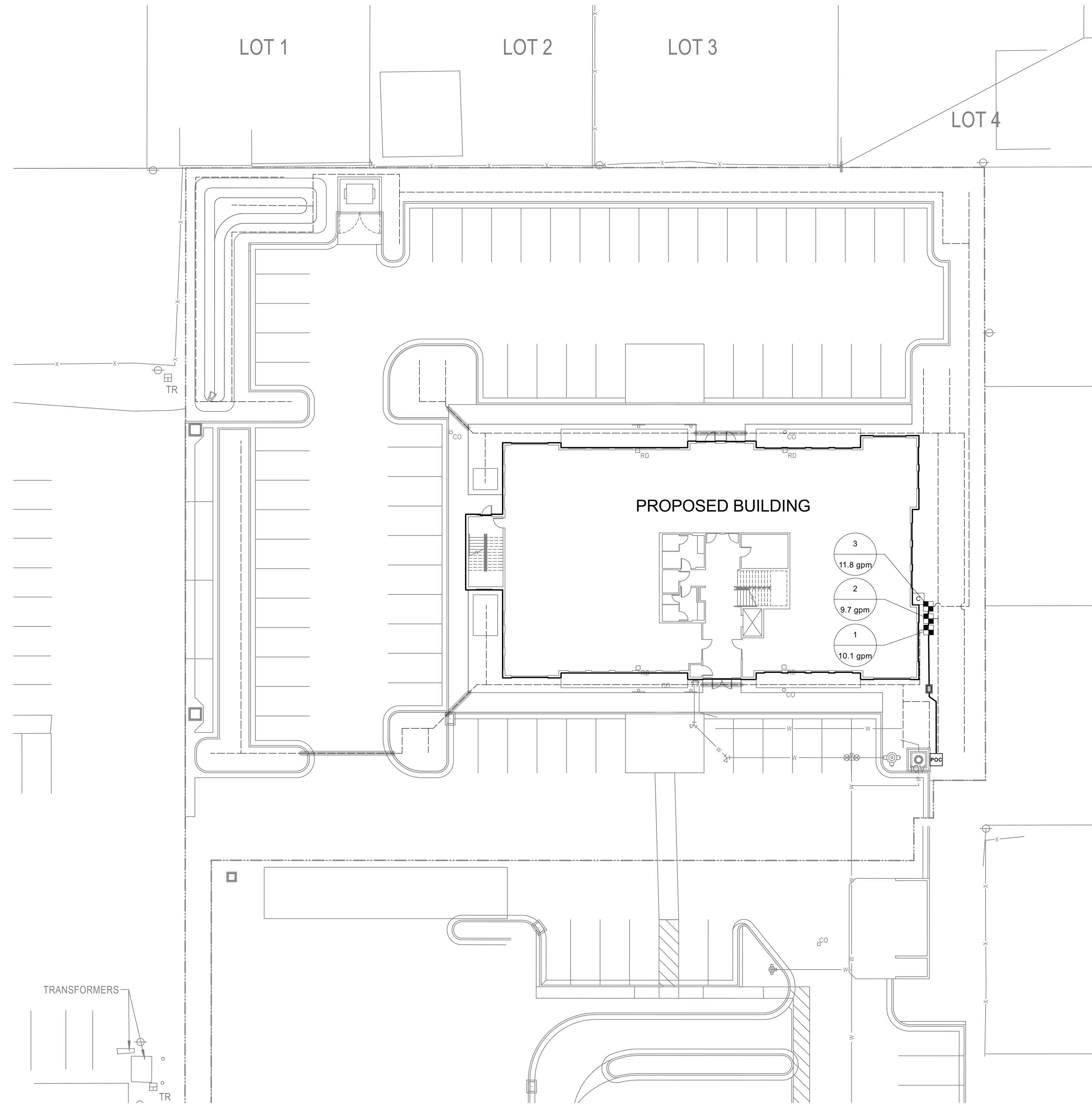
REV	DATE	DESCRIPTION
03/05/24		CITY REVIEW COMMENTS

PROJECT NO: 23577
DRAWN BY: TG
CHECKED BY: SS
DATE: DECEMBER 2023

PROPERTY NO:
LANDSCAPE PLANTING PLAN

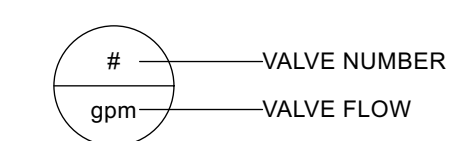
L2.01





IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	SERIES	DETAIL
	DRIP CIRCUIT CONTROL VALVE	RAIN BIRD	XCZ-100-PRB-COM DRIP ZONE KIT WITH 100-PEB CONTROL VALVE AND BASKET FILTER WITH BUILT-IN PRV	C/L5.02
	IRRIGATION CONTROLLER WITH RAIN SHUTOFF DEVICE	RAIN BIRD	ESPBLXME	G/L5.03
	POINT OF CONNECTION			A/L5.03
	CONCRETE PAD FOR FILTER ASSEMBLY			C/L5.03
SYMBOL	TYPE	MATERIAL	DETAIL	
	1" DRIP SUPPLY LINE, 1/2" SWING PIPE (FUNNY PIPE) AND EMITTERS NOT SHOWN ON PLAN FOR GRAPHIC CLARITY.	SCHEDULE 40 PVC PIPE WITH SCHEDULE 40 PVC FITTINGS.	A/L5.02	
	1" MAIN LINE	SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 PVC FITTINGS.	A/L5.02	
	PIPE SLEEVE UNDER NEW PAVING	SCHEDULE 40 PVC	B/L5.02	

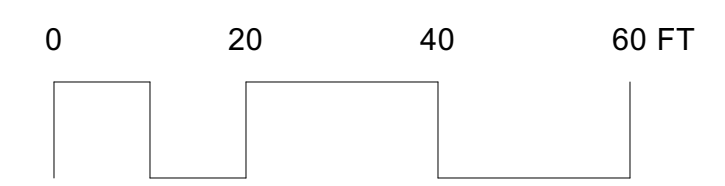
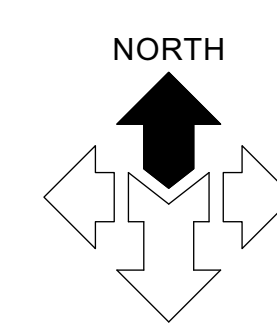
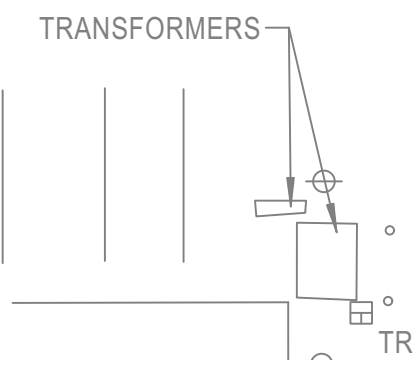


EMITTER SCHEDULE

PLANT NAME	DRIP EMISSION DEVICE	MANUFACTURER	MODEL	DETAIL
GREEN VASE ZELKOVA	(4) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	E/L5.02
HOOPSII BLUE SPRUCE	(4) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	E/L5.02
HORSTMANN BLUE ATLAS CEDAR	(4) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	E/L5.02
LAVELLE HAWTHORN	(4) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	E/L5.02
ALPINE CARPET JUNIPER	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	D/L5.02
FERN BUSH	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	D/L5.02
MAIDEN GRASS	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	D/L5.02
PAWNEE BUTTES WESTERN SAND CHER	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	D/L5.02
SILVER TOTEM BUFFALOBERRY	(1) 6-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	D/L5.02
TUFTED HAIR GRASS	(1) 2-GPH Emitter	GPH IRRIGATION PRODUCTS	GPSTCV SPEC-CHECK PC 'DESERT CAMO' COLOR	D/L5.02

GENERAL NOTE

- REFER TO IRRIGATION NOTES ON SHEET L0.01



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Call
BEFORE YOU
Dig
1-800-662-4111

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BOUNTIFUL MOB
347 WEST 500 SOUTH
BOUNTIFUL, UTAH

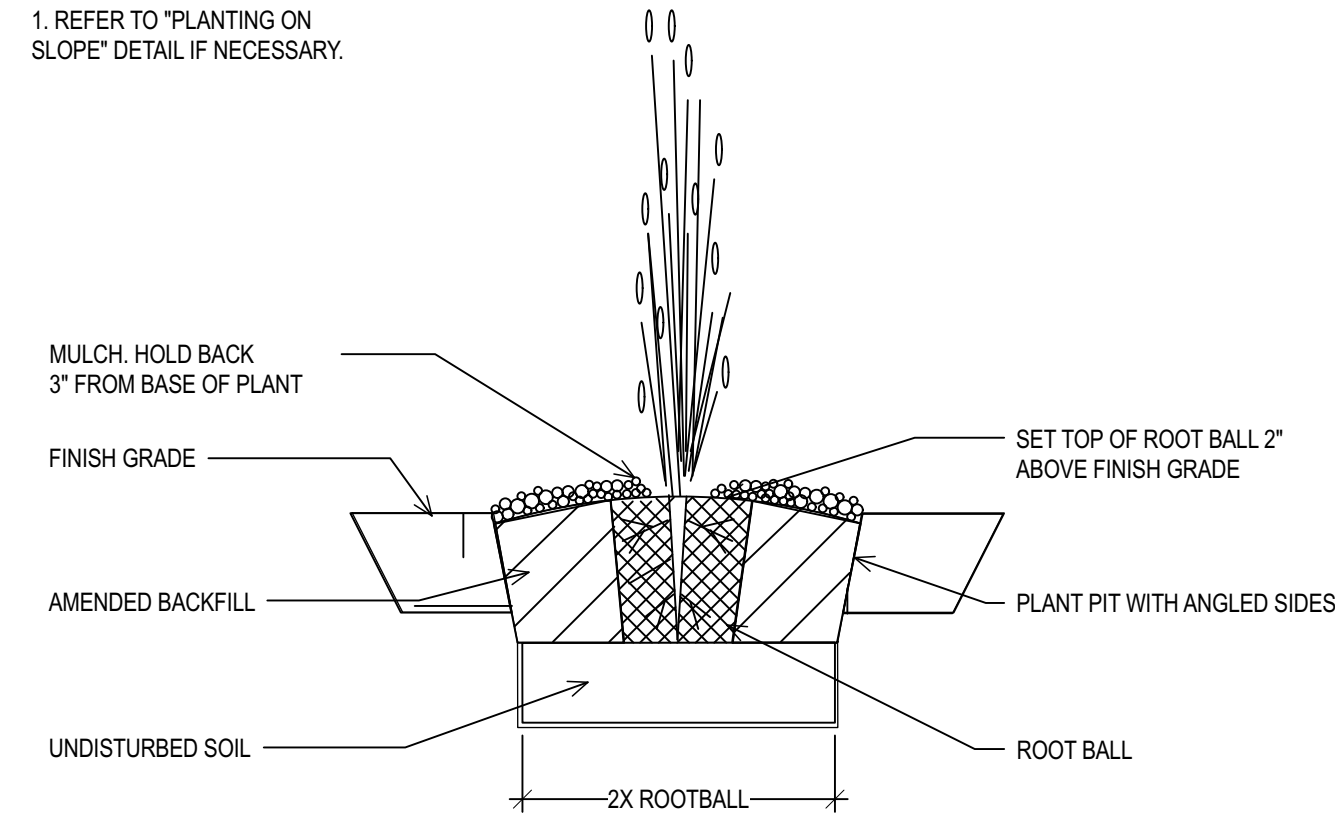
REV	DATE	DESCRIPTION
03	05/24	CITY REVIEW COMMENTS

PROJECT NO: 23577
DRAWN BY: TG
CHECKED BY: SS
DATE: DECEMBER 2023
PROPERTY NO:

LANDSCAPE
IRRIGATION
PLAN

L3.01

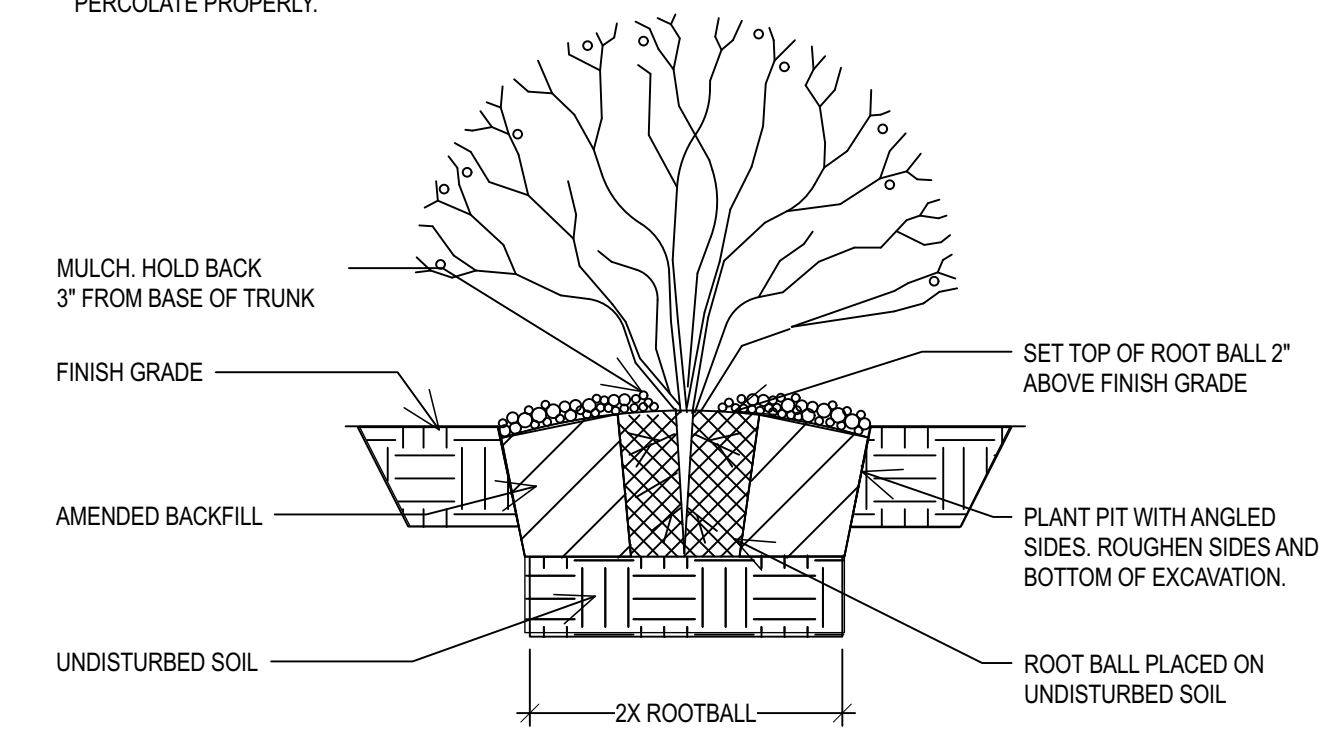
NOTE:
1. REFER TO "PLANTING ON SLOPE" DETAIL IF NECESSARY.



A GRASSES AND PERENNIALS

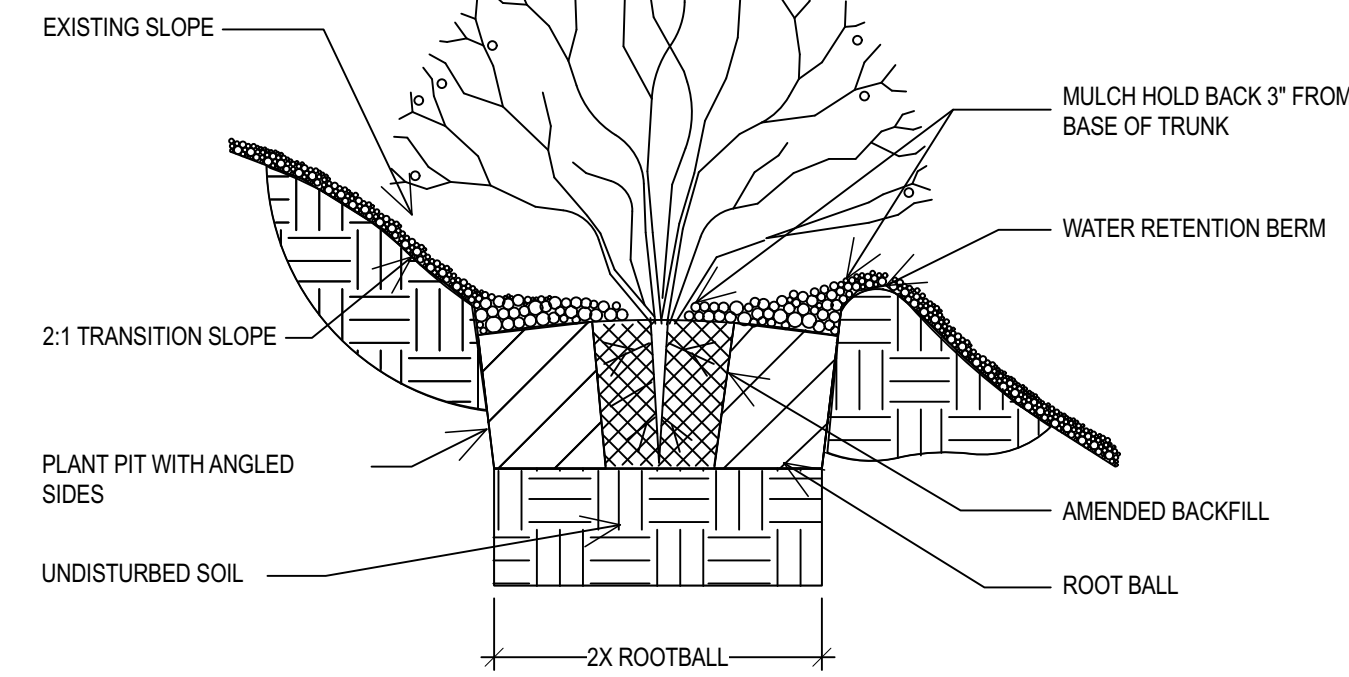
NO SCALE

- NOTES:
- REFER TO "PLANTING ON SLOPE" DETAIL IF NECESSARY.
 - AMENDED BACKFILL SHALL BE A BLENDED MIXTURE OF THREE (3) PARTS EXCAVATED SOIL OR IMPORTED TOPSOIL AND ONE (1) PART WELL ROTTED COMPOSTED MANURE, APPROVED COMMERCIAL MIX, OR OTHER AMENDMENT RECOMMENDED IN TOPSOIL TESTING REPORT.
 - DO NOT PLANT IN HOLES THAT DO NOT DRAIN OR PERCOLATE PROPERLY.



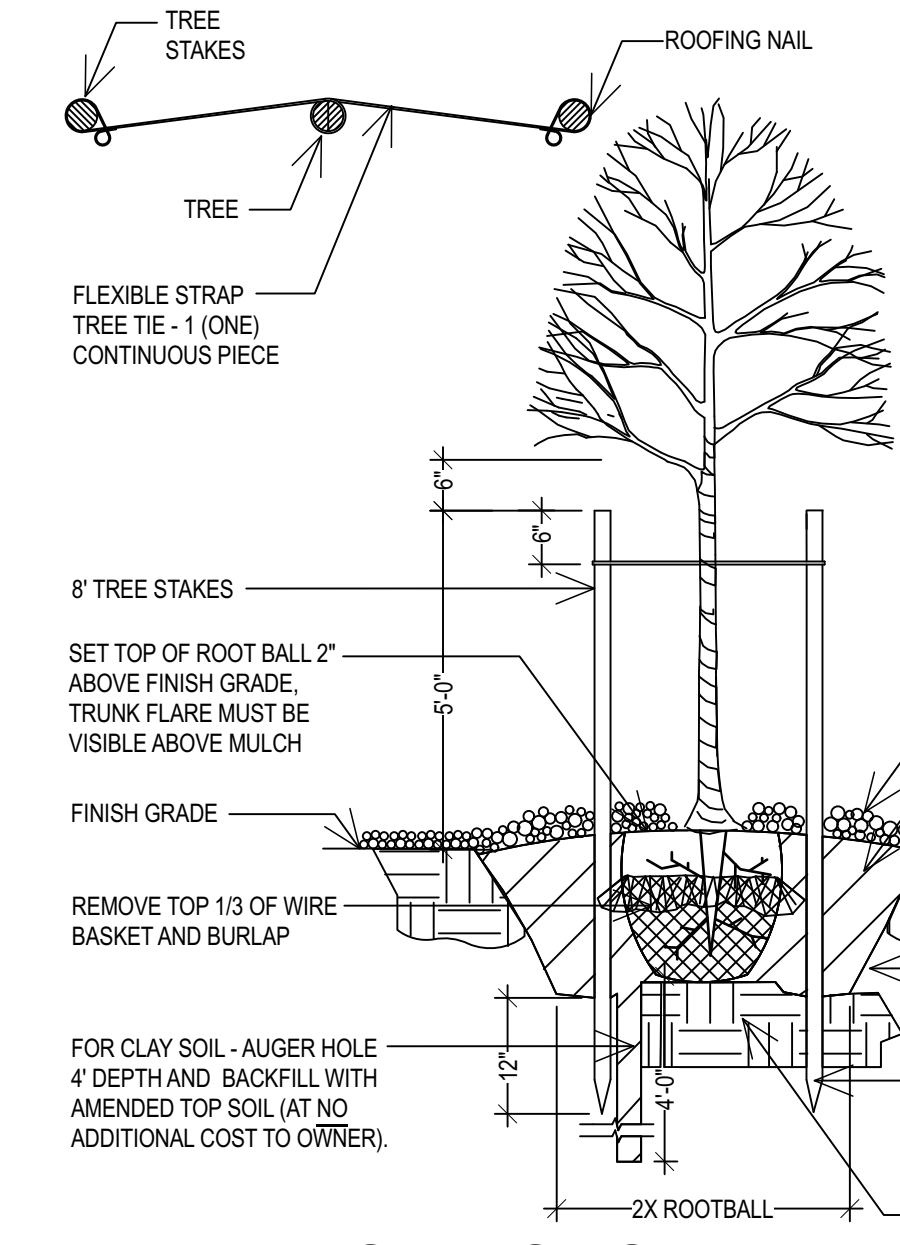
B SHRUB PLANTING

NO SCALE



C PLANTING ON SLOPE

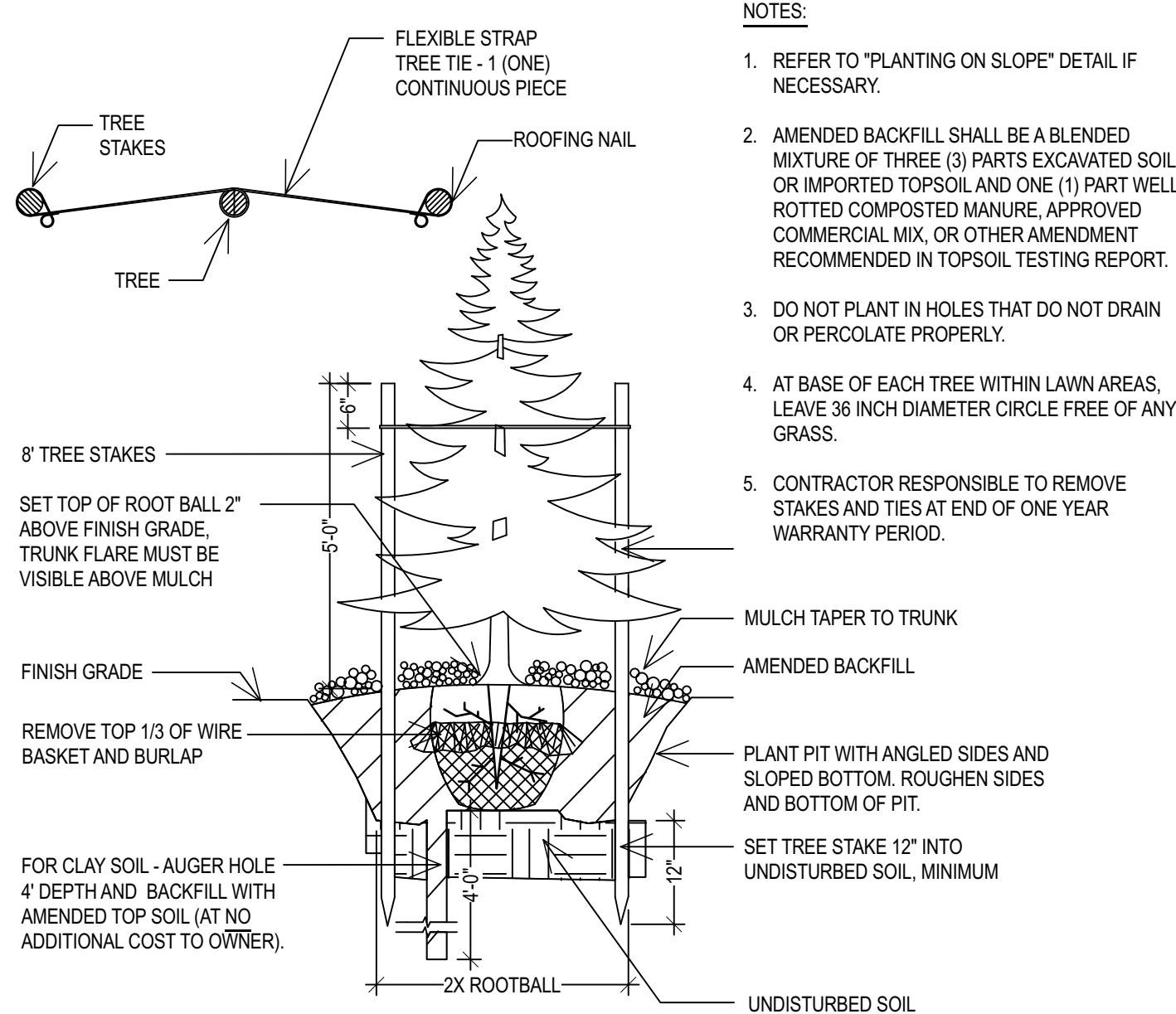
NO SCALE



D DECIDUOUS TREE

NO SCALE

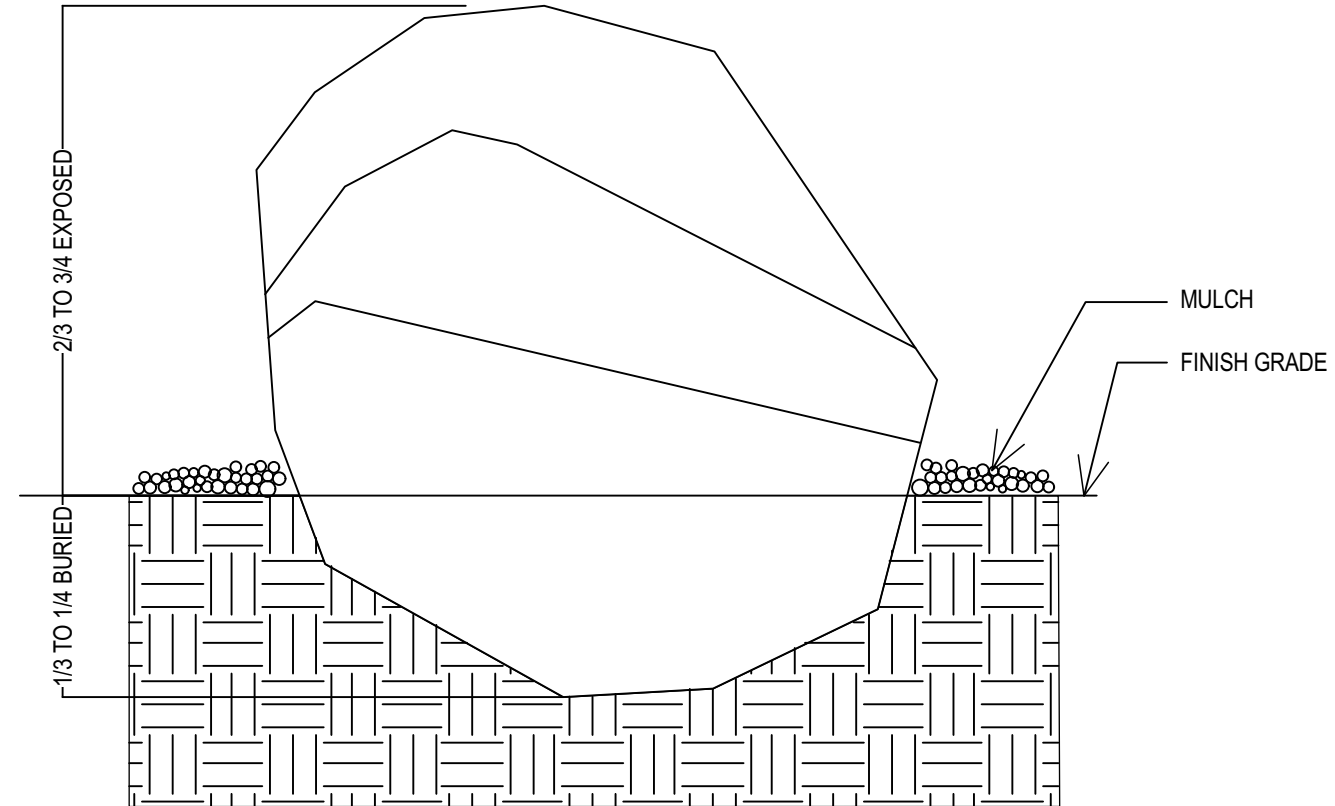
- NOTES:
- REFER TO "PLANTING ON SLOPE" DETAIL IF NECESSARY.
 - AMENDED BACKFILL SHALL BE A BLENDED MIXTURE OF THREE (3) PARTS EXCAVATED SOIL OR IMPORTED TOPSOIL AND ONE (1) PART WELL ROTTED COMPOSTED MANURE, APPROVED COMMERCIAL MIX, OR OTHER AMENDMENT RECOMMENDED IN TOPSOIL TESTING REPORT.
 - DO NOT PLANT IN HOLES THAT DO NOT DRAIN OR PERCOLATE PROPERLY.
 - AT BASE OF EACH TREE WITHIN LAWN AREAS, LEAVE 36 INCH DIAMETER CIRCLE FREE OF ANY GRASS.
 - CONTRACTOR RESPONSIBLE TO REMOVE STAKES AND TIES AT END OF ONE YEAR WARRANTY PERIOD.



E EVERGREEN TREE

NO SCALE

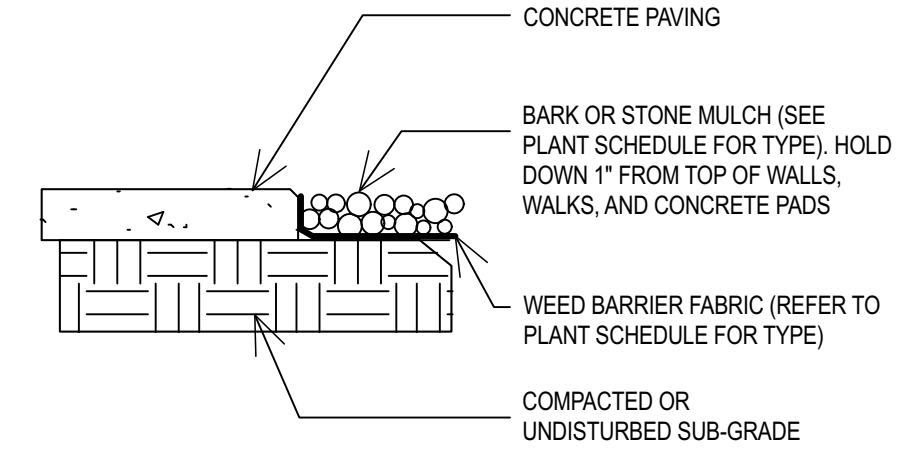
- NOTES:
- REFER TO "PLANTING ON SLOPE" DETAIL IF NECESSARY.
 - AMENDED BACKFILL SHALL BE A BLENDED MIXTURE OF THREE (3) PARTS EXCAVATED SOIL OR IMPORTED TOPSOIL AND ONE (1) PART WELL ROTTED COMPOSTED MANURE, APPROVED COMMERCIAL MIX, OR OTHER AMENDMENT RECOMMENDED IN TOPSOIL TESTING REPORT.
 - DO NOT PLANT IN HOLES THAT DO NOT DRAIN OR PERCOLATE PROPERLY.
 - AT BASE OF EACH TREE WITHIN LAWN AREAS, LEAVE 36 INCH DIAMETER CIRCLE FREE OF ANY GRASS.
 - CONTRACTOR RESPONSIBLE TO REMOVE STAKES AND TIES AT END OF ONE YEAR WARRANTY PERIOD.



F BOULDER

NO SCALE

- NOTES:
- APPLY PRE-EMERGENT HERBICIDE TO SHRUB AND GROUND COVER PLANTING AREAS AND GRASS-FREE AREAS AT TREES IN LAWN PRIOR TO PLACEMENT OF WEED BARRIER FABRIC AND MULCH.
 - PRE-EMERGENT SHALL BE "SURFLAN AS" (LIQUID) BY UNITED PHOSPHORUS INC, TRENTON, NJ, OR APPROVED EQUAL.
 - INSTALL MULCH TO UNIFORM DEPTH AND RAKE TO NEAT FINISHED APPEARANCE FREE OF HUMPS AND DEPRESSIONS.



G MULCH

NO SCALE



BOUNTIFUL MOB
347 WEST 500 SOUTH
BOUNTIFUL, UTAH

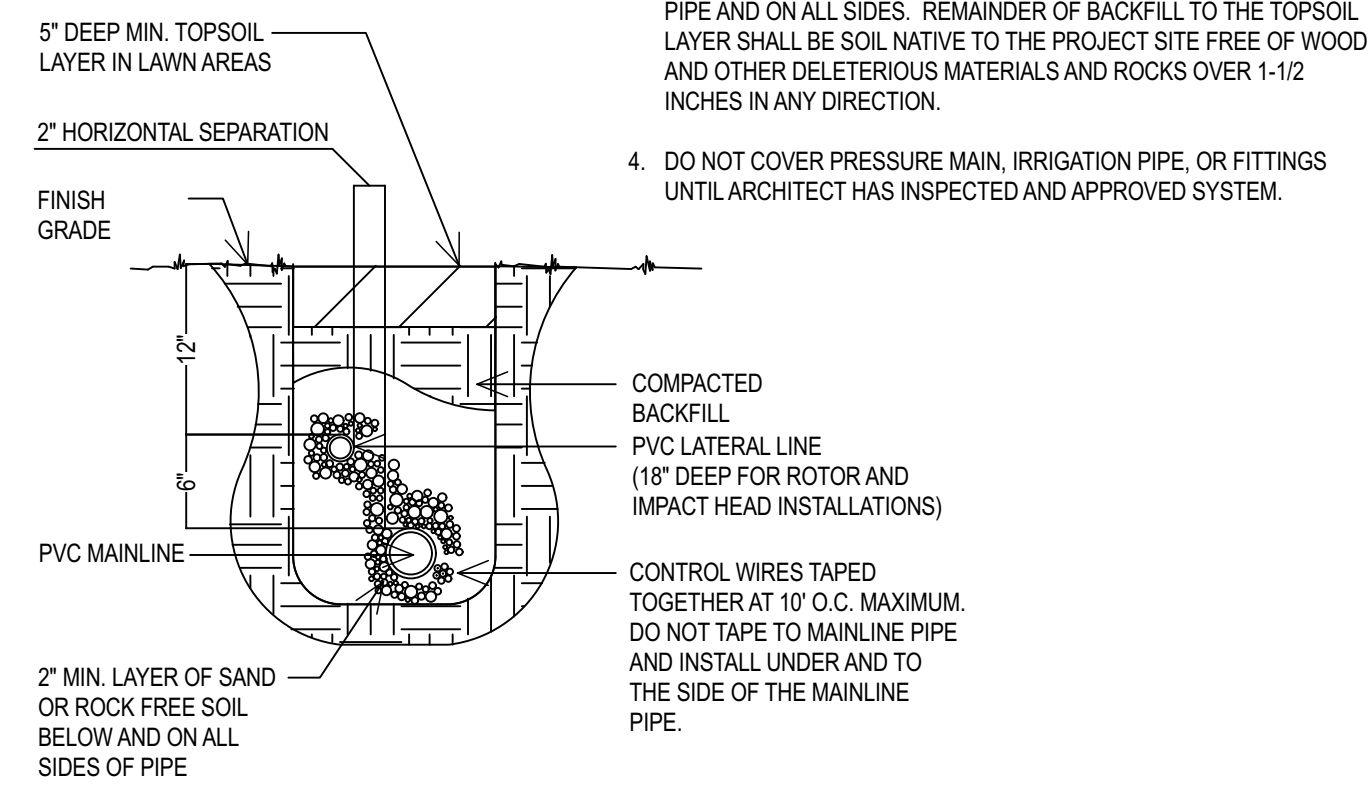
REV	DATE	DESCRIPTION

PROJECT NO: 23577
DRAWN BY: TG
CHECKED BY: SS
DATE: DECEMBER 2023
PROPERTY NO:

LANDSCAPE
DETAILS

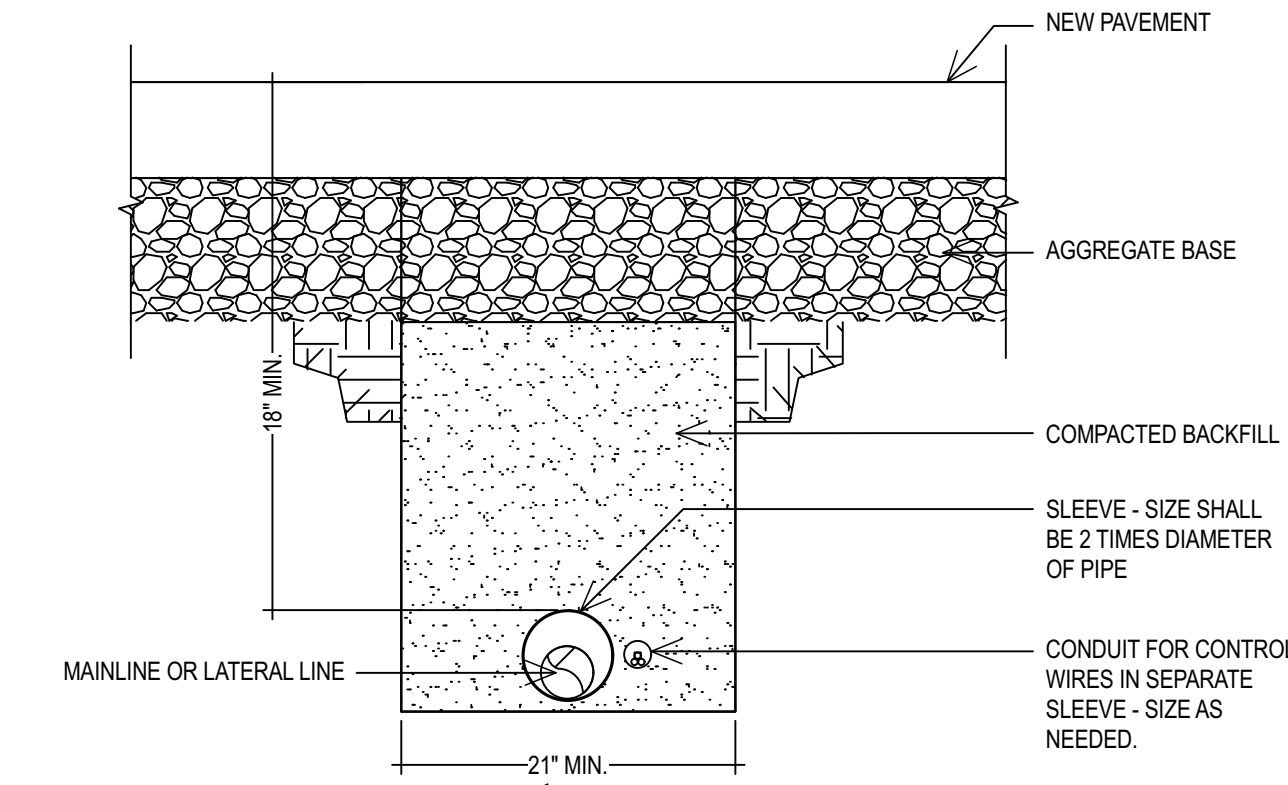
L5.01

A TRENCH
NO SCALE



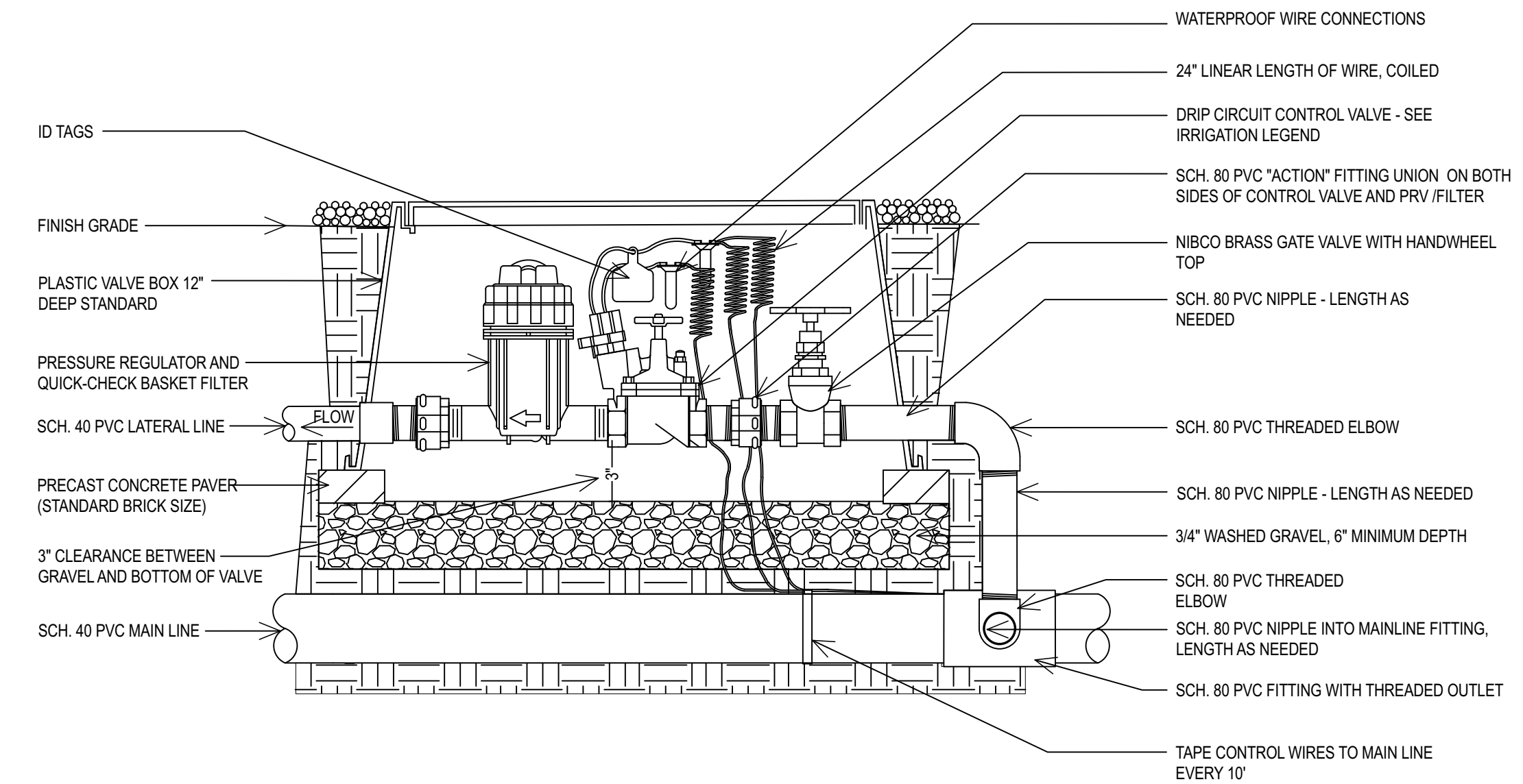
- NOTES:**
- PULLING OF PIPE IS NOT PERMITTED.
 - EXCAVATE TRENCHES TO SPECIFIED DEPTH. REMOVE ROCKS LARGER THAN 1-1/2 INCH IN ANY DIRECTION FROM BOTTOM OF TRENCH. SEPARATE OUT ROCKS LARGER THAN 1-1/2 INCH IN ANY DIRECTION UNCOVERED IN TRENCHING OPERATION FROM EXCAVATED MATERIAL AND REMOVE FROM AREAS TO RECEIVE LANDSCAPING.
 - INSTALL A 2" MIN. LAYER OF ROCK-FREE SOIL OR SAND UNDER THE PIPE AND ON ALL SIDES. REMAINDER OF BACKFILL TO THE TOPSOIL LAYER SHALL BE SOIL NATIVE TO THE PROJECT SITE FREE OF WOOD AND OTHER DELETERIOUS MATERIALS AND ROCKS OVER 1-1/2 INCHES IN ANY DIRECTION.
 - DO NOT COVER PRESSURE MAIN, IRRIGATION PIPE, OR FITTINGS UNTIL ARCHITECT HAS INSPECTED AND APPROVED SYSTEM.

B TRENCH UNDER NEW PAVEMENT
NO SCALE



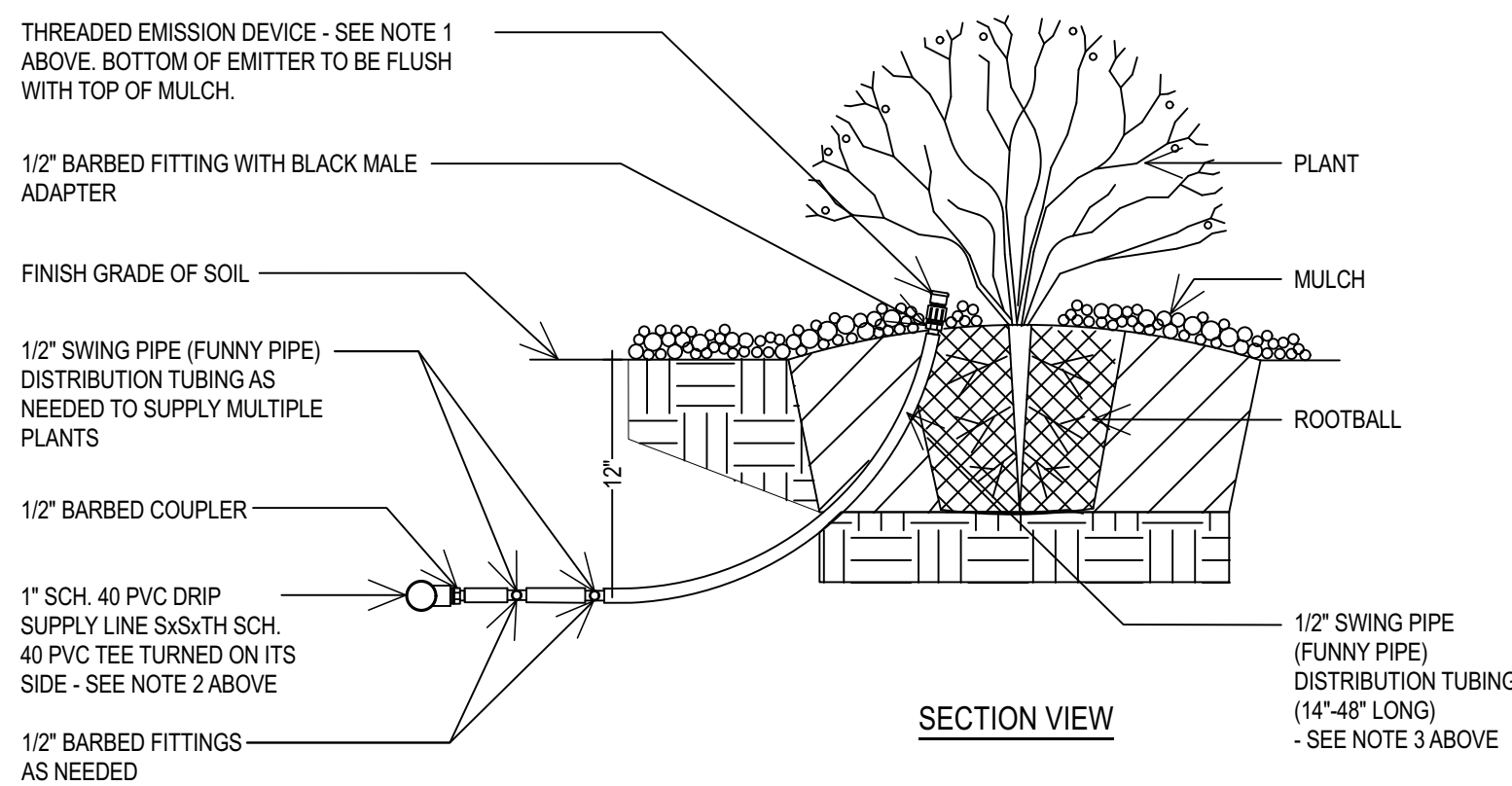
- NOTES:**
- SLEEVE WATER LINES AND CONTROL WIRES UNDER WALKS AND PAVING. EXTEND SLEEVES 6 INCHES MINIMUM BEYOND WALK OR PAVEMENT EDGE. COVER SLEEVE ENDS UNTIL PIPES AND WIRES ARE INSTALLED TO KEEP SLEEVE CLEAN AND FREE OF DIRT AND DEBRIS.
 - POSITION SLEEVES WITH RESPECT TO BUILDINGS AND OTHER OBSTRUCTIONS SO PIPE CAN BE EASILY REMOVED.

C CONTROL VALVE - DRIP CIRCUIT
NO SCALE

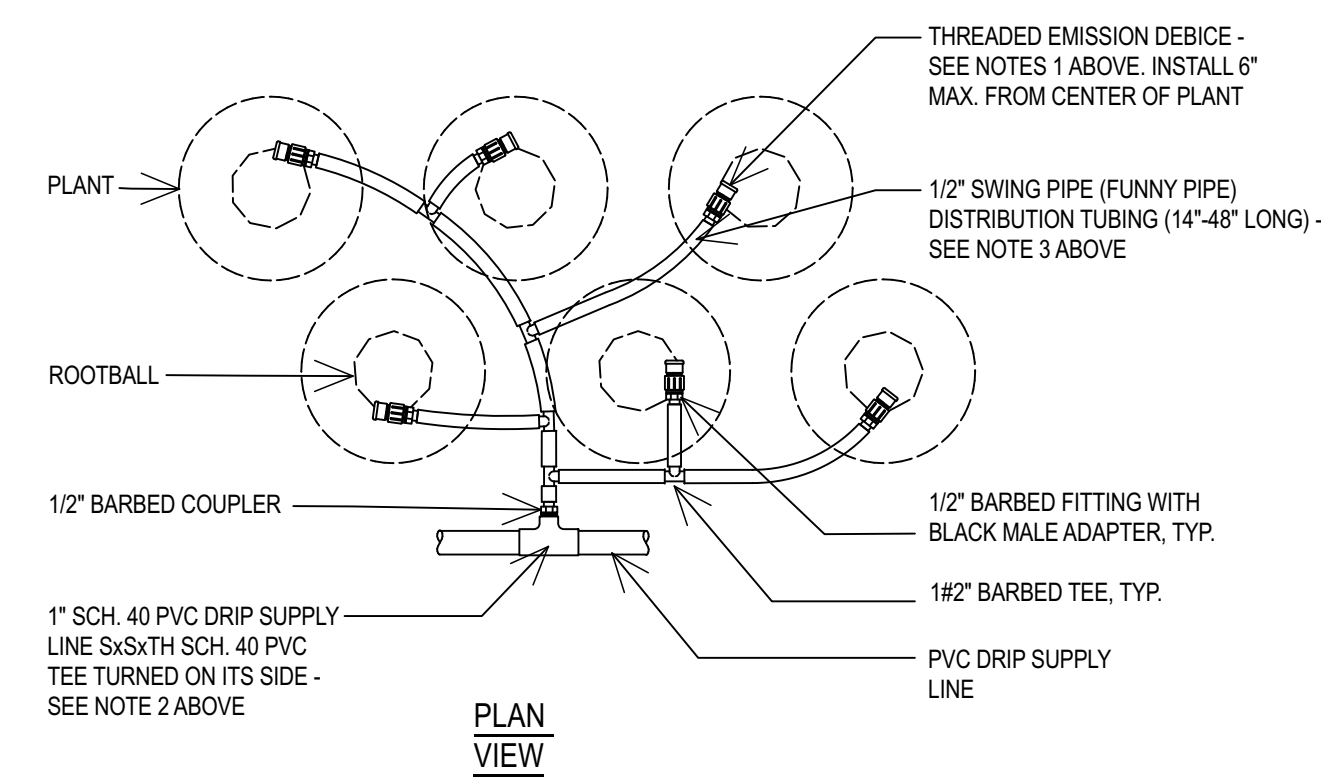


- NOTES:**
- LIMIT (1) DRIP VALVE ASSEMBLY PER BOX
 - INSTALL GREEN COLORED VALVE BOXES AND LIDS IN THE LAWN AREAS AND TAN COLORED BOXES AND LIDS IN THE PLANTING BEDS
 - ALL FITTINGS WITHIN VALVE BOX SHALL BE SCH. 80 PVC AND SAME SIZE AS THE VALVE
 - CONTRACTOR TO REPLACE EXISTING 200 MESH (WHITE) SCREEN WITH A NEW 100 MESH (RED) SCREEN

- NOTES:**
- SEE EMISSION DEVICE SCHEDULE ON IRRIGATION PLAN FOR TYPE, QUANTITY AND SIZE OF EMISSION DEVICE PER PLANT.
 - INSTALL A MAX. OF (6) EMISSION DEVICES PER PVC CONNECTION.
 - DISTRIBUTION TUBING SHALL BE INSTALLED A MINIMUM OF 12" BELOW FINISHED GRADE AND ONLY BE BROUGHT TO THE SURFACE AT EACH PLANT.

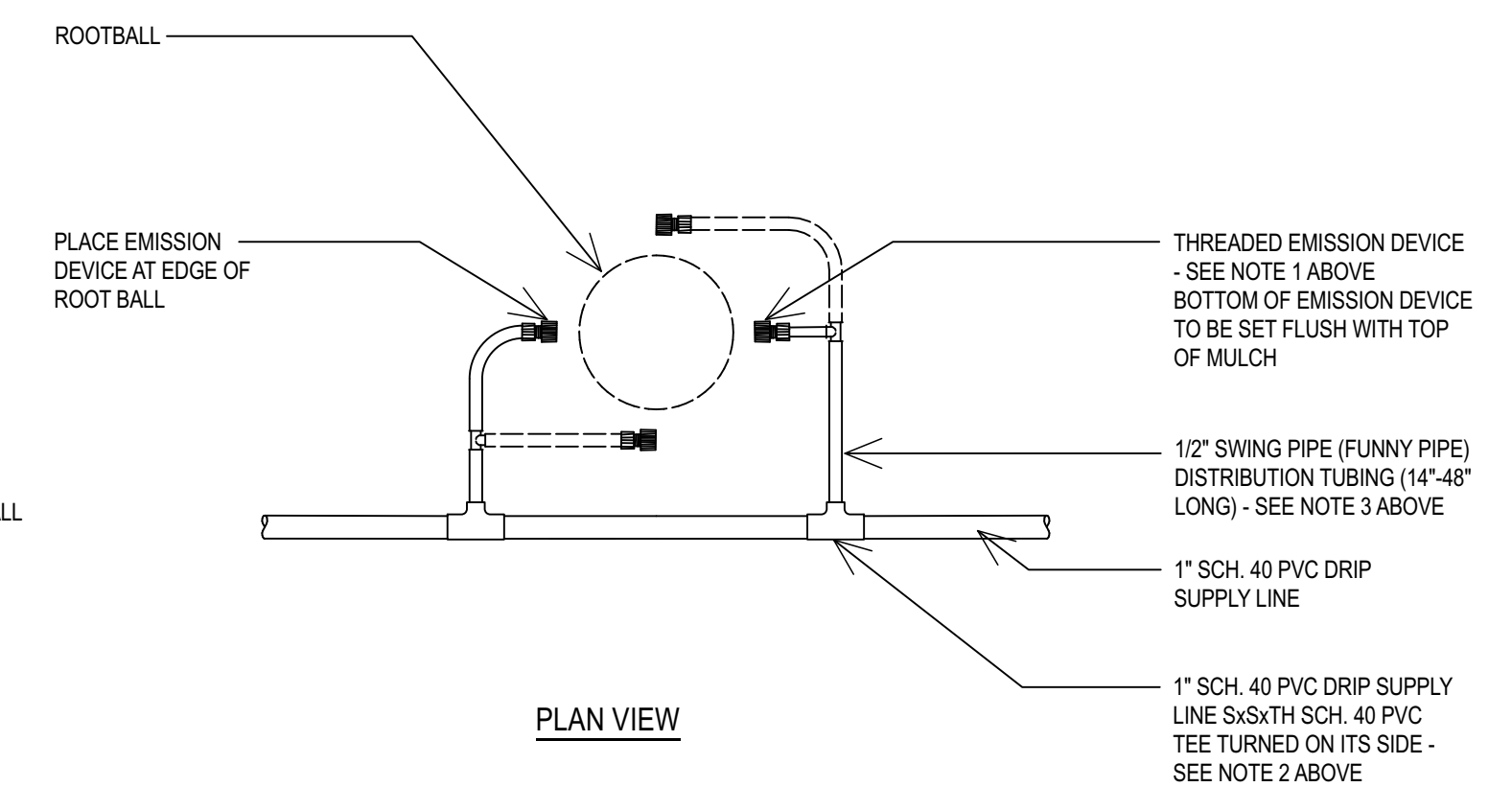


D DRIP EMISSION DEVICE @ SHRUBS
NO SCALE



E DRIP EMISSION DEVICE @ TREES
NO SCALE

- NOTES:**
- SEE EMISSION DEVICE SCHEDULE ON IRRIGATION PLAN FOR TYPE, QUANTITY AND SIZE OF EMISSION DEVICE PER PLANT.
 - INSTALL A MAX. OF (2) EMISSION DEVICES PER PVC CONNECTION.
 - DISTRIBUTION TUBING SHALL BE INSTALLED A MINIMUM OF 12" BELOW FINISHED GRADE AND ONLY BE BROUGHT TO THE SURFACE AT EACH PLANT.

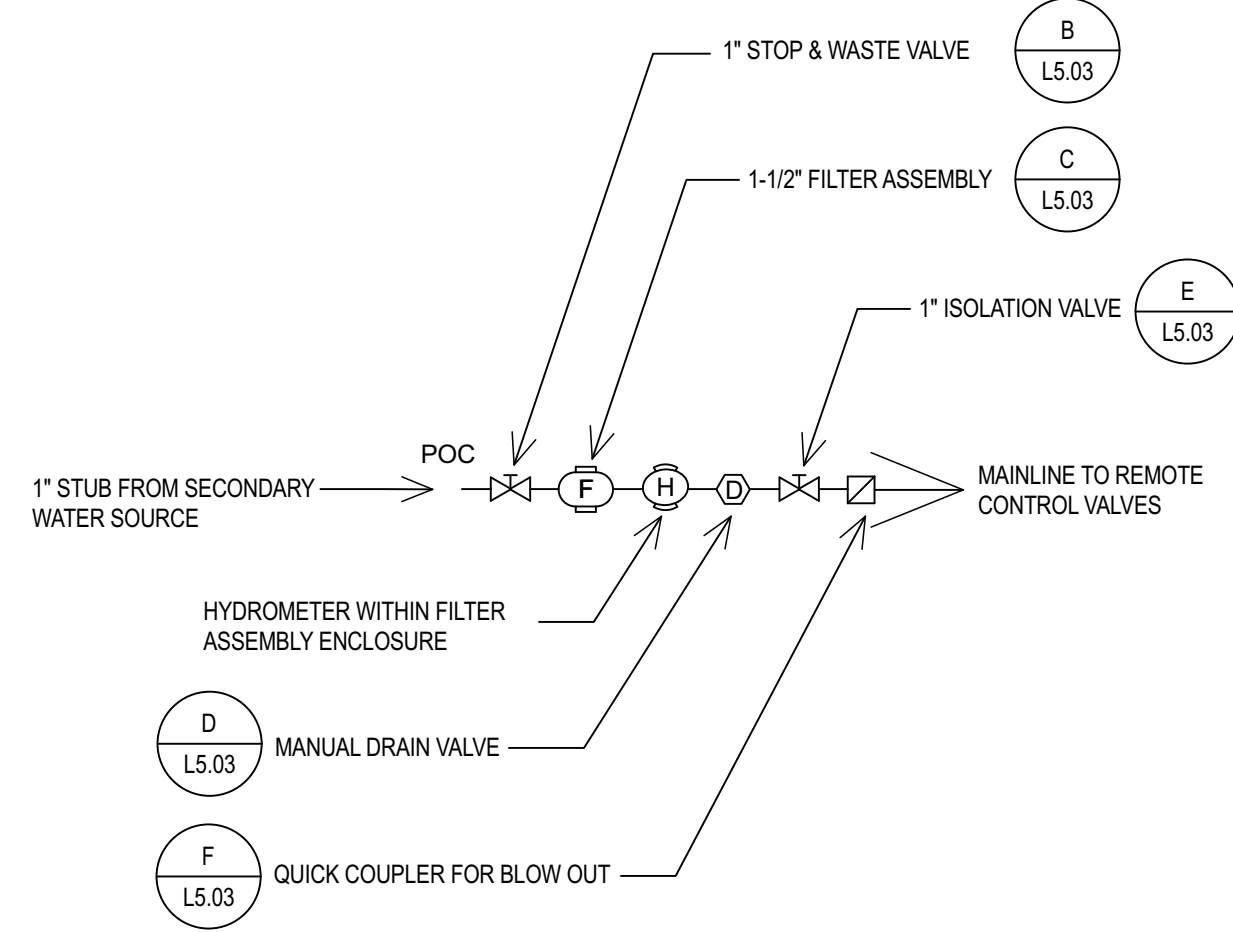


REV	DATE	DESCRIPTION

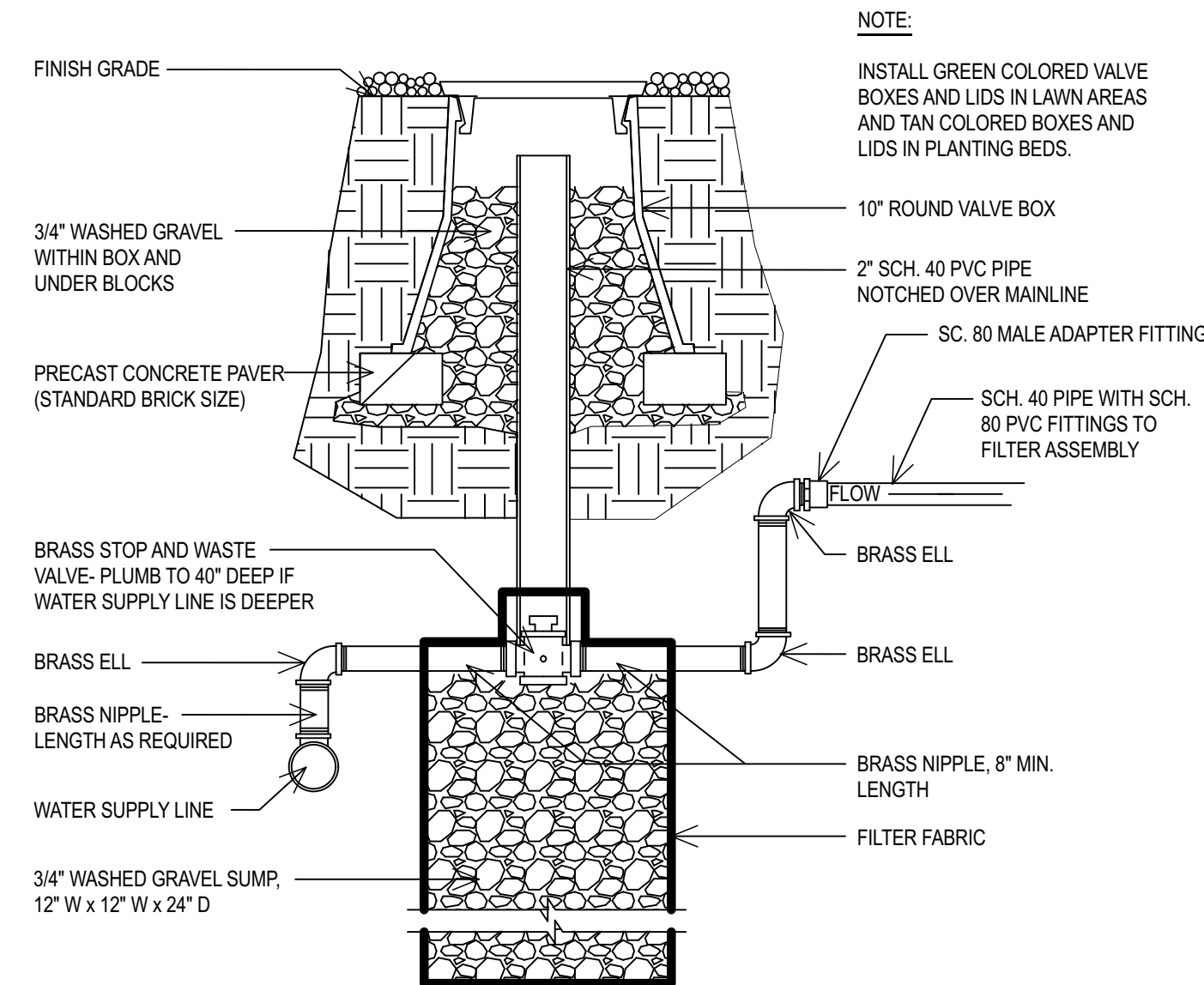
PROJECT NO: 23577
DRAWN BY: TG
CHECKED BY: SS
DATE: DECEMBER 2023
PROPERTY NO:

LANDSCAPE IRRIGATION DETAILS

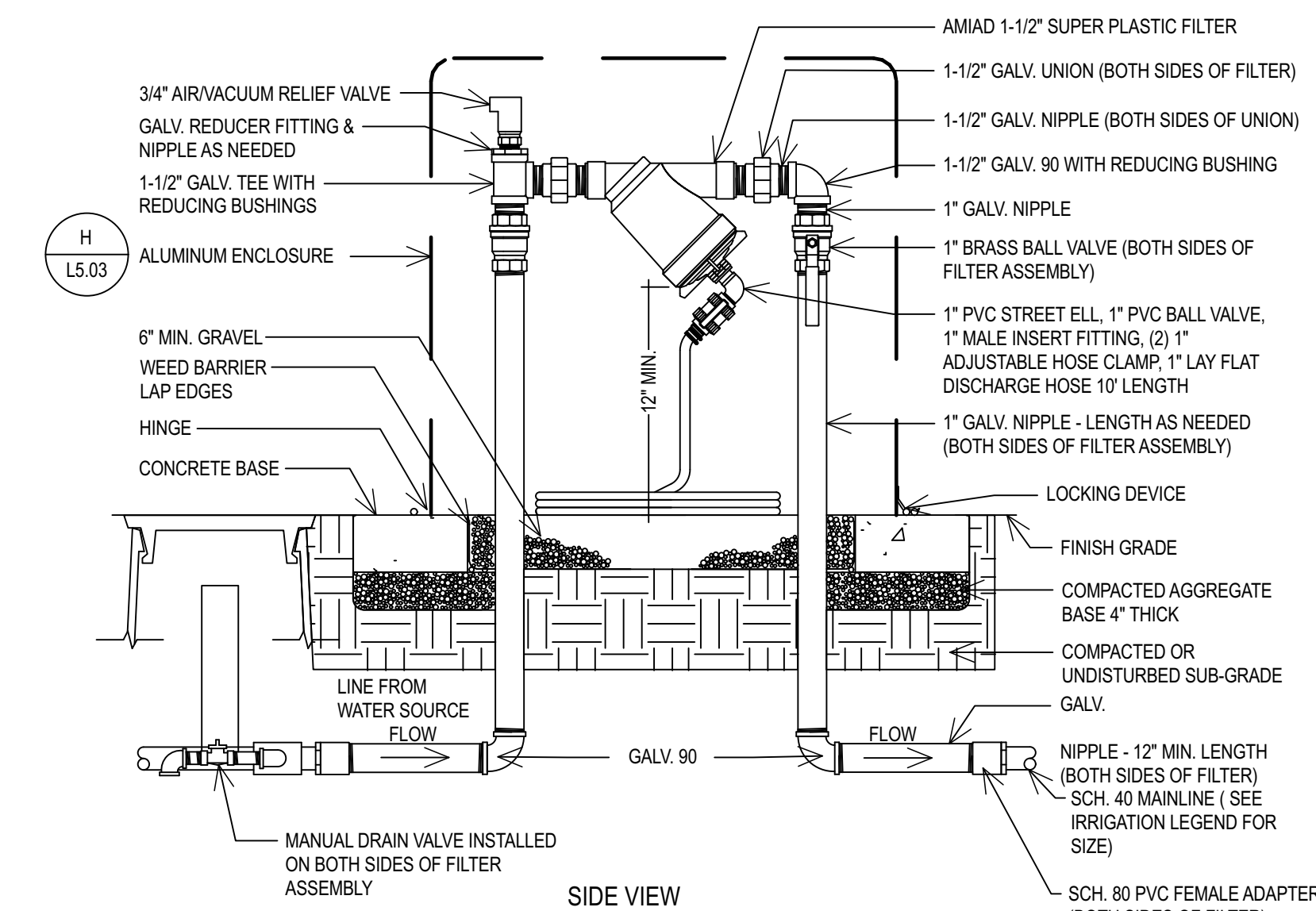
NOTE:
INSTALL ISOLATION VALVE AFTER THE FLOW SENSOR AND BEFORE THE QUICK COUPLER.
THE FLOW SENSOR, MASTER VALVE, AND FILTER ASSEMBLY IS TO BE DRAINED MANUALLY.



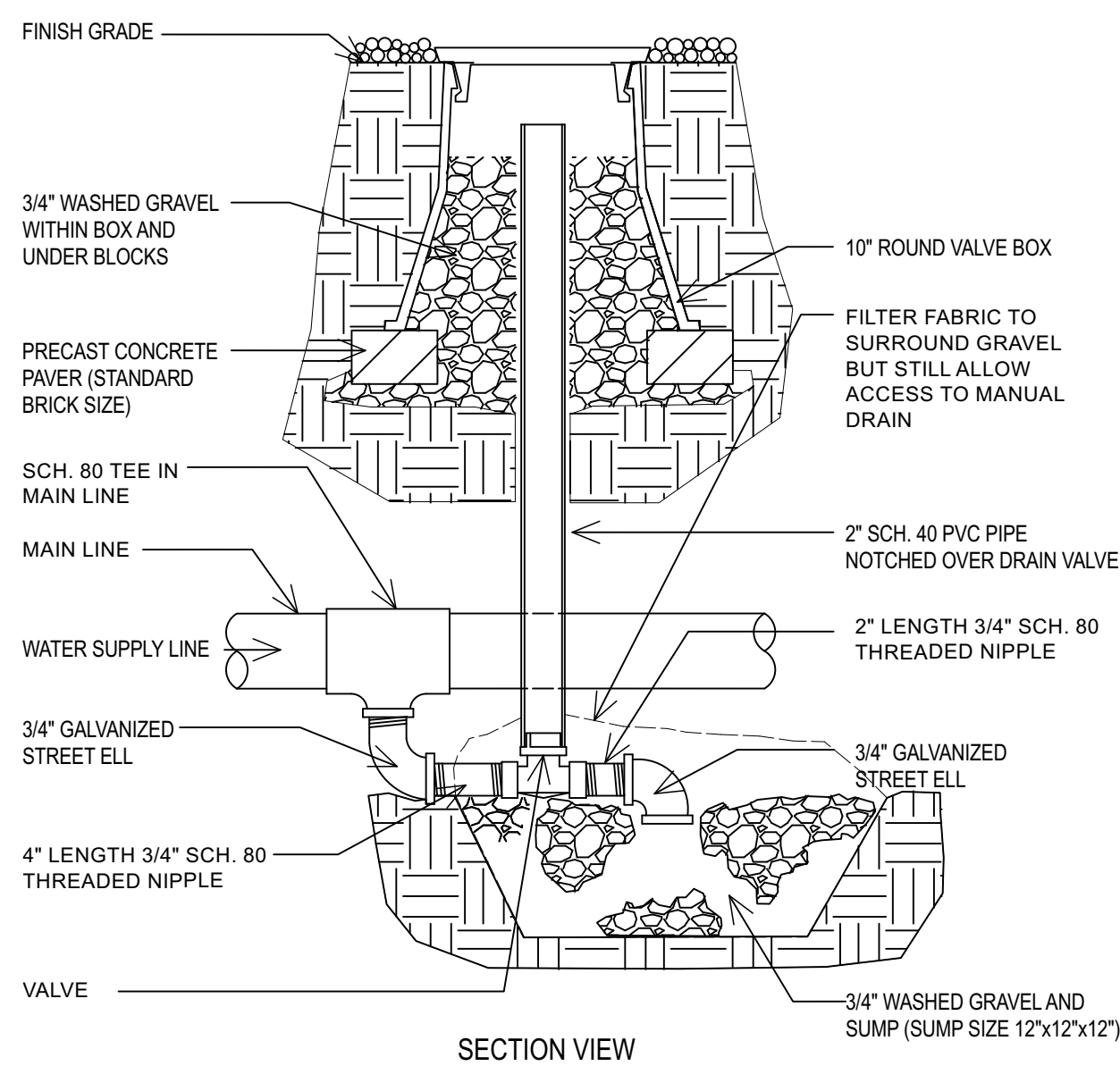
A POC SCHEMATIC LAYOUT
NO SCALE



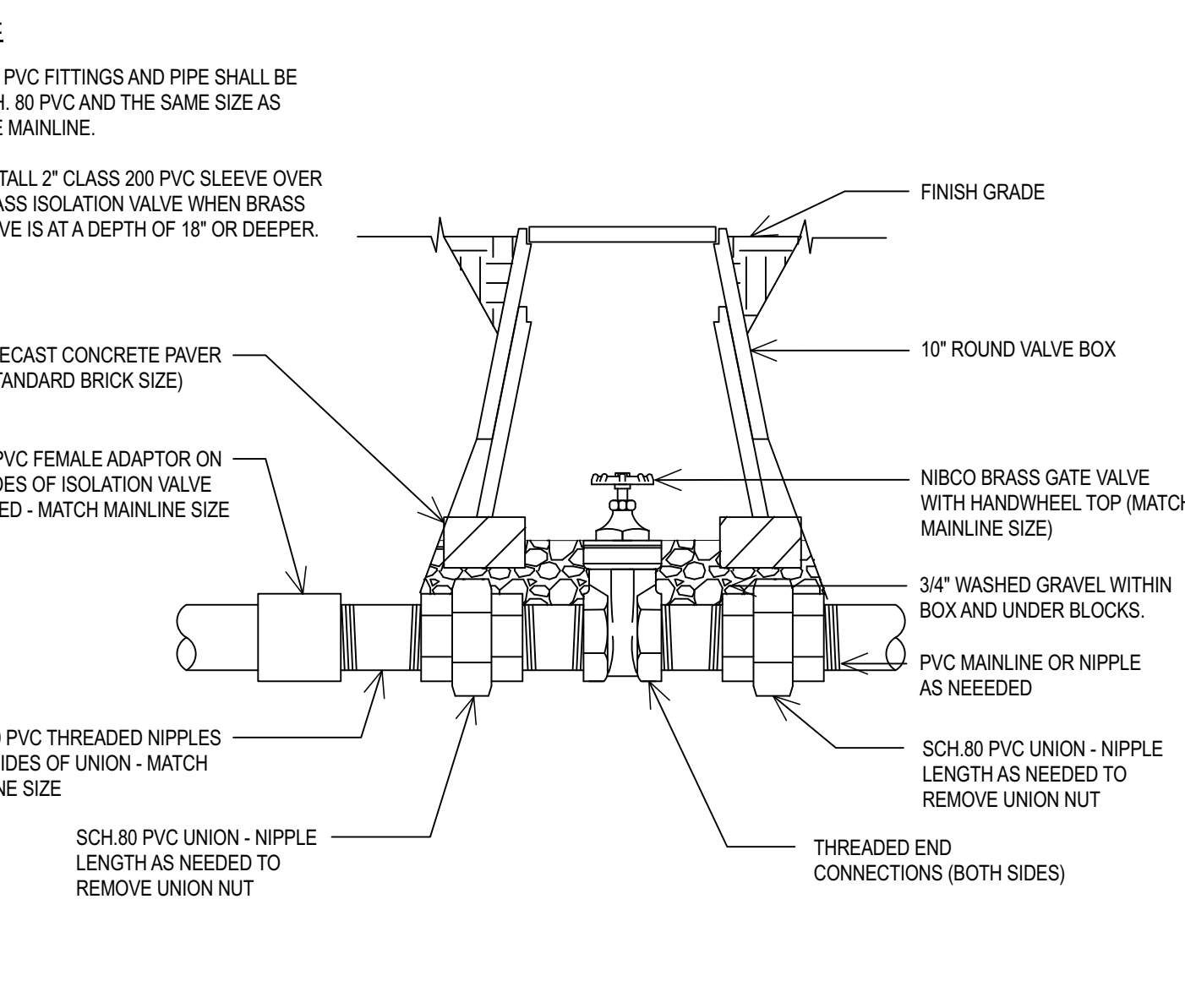
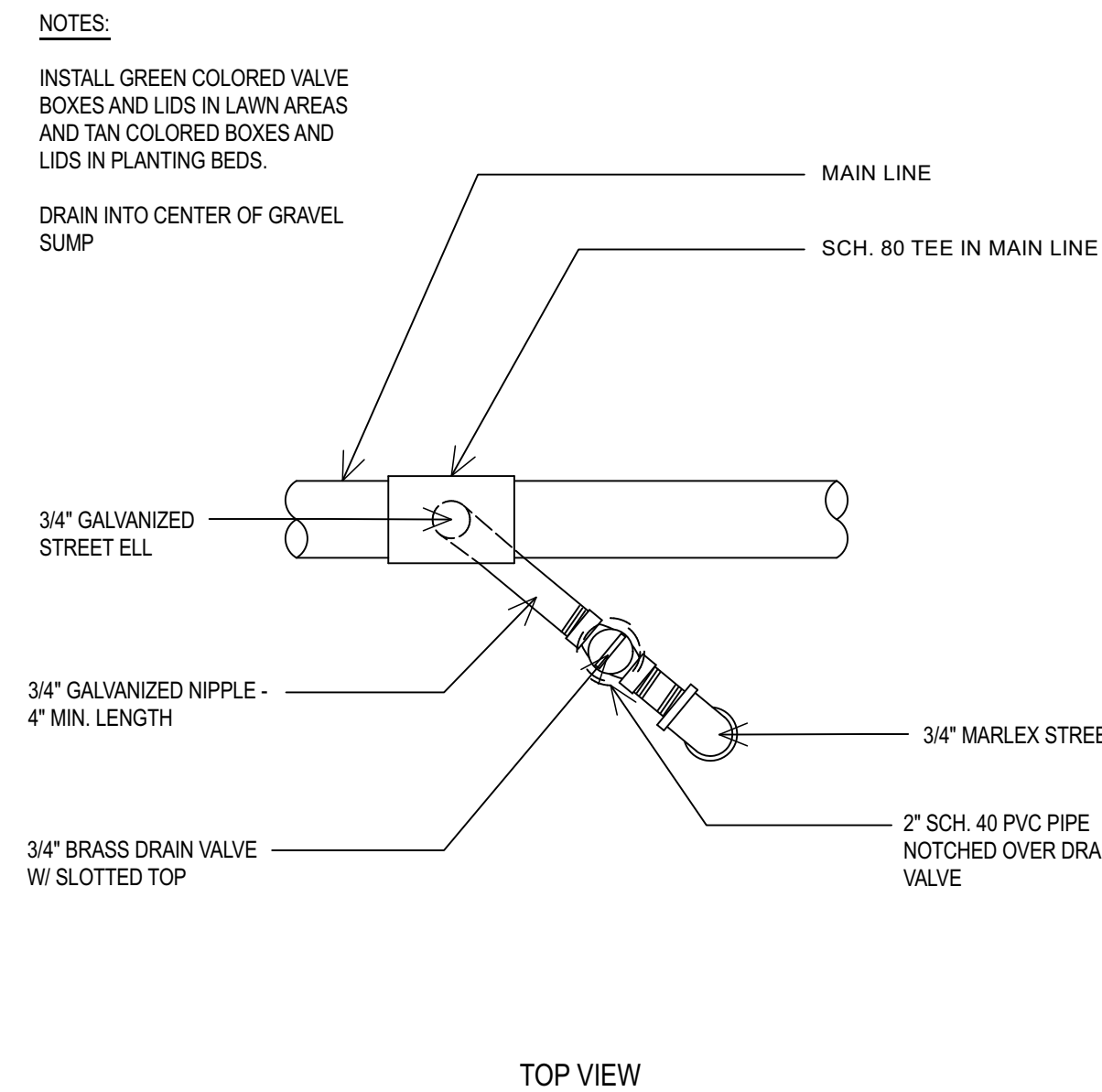
B STOP & WASTE VALVE
NO SCALE



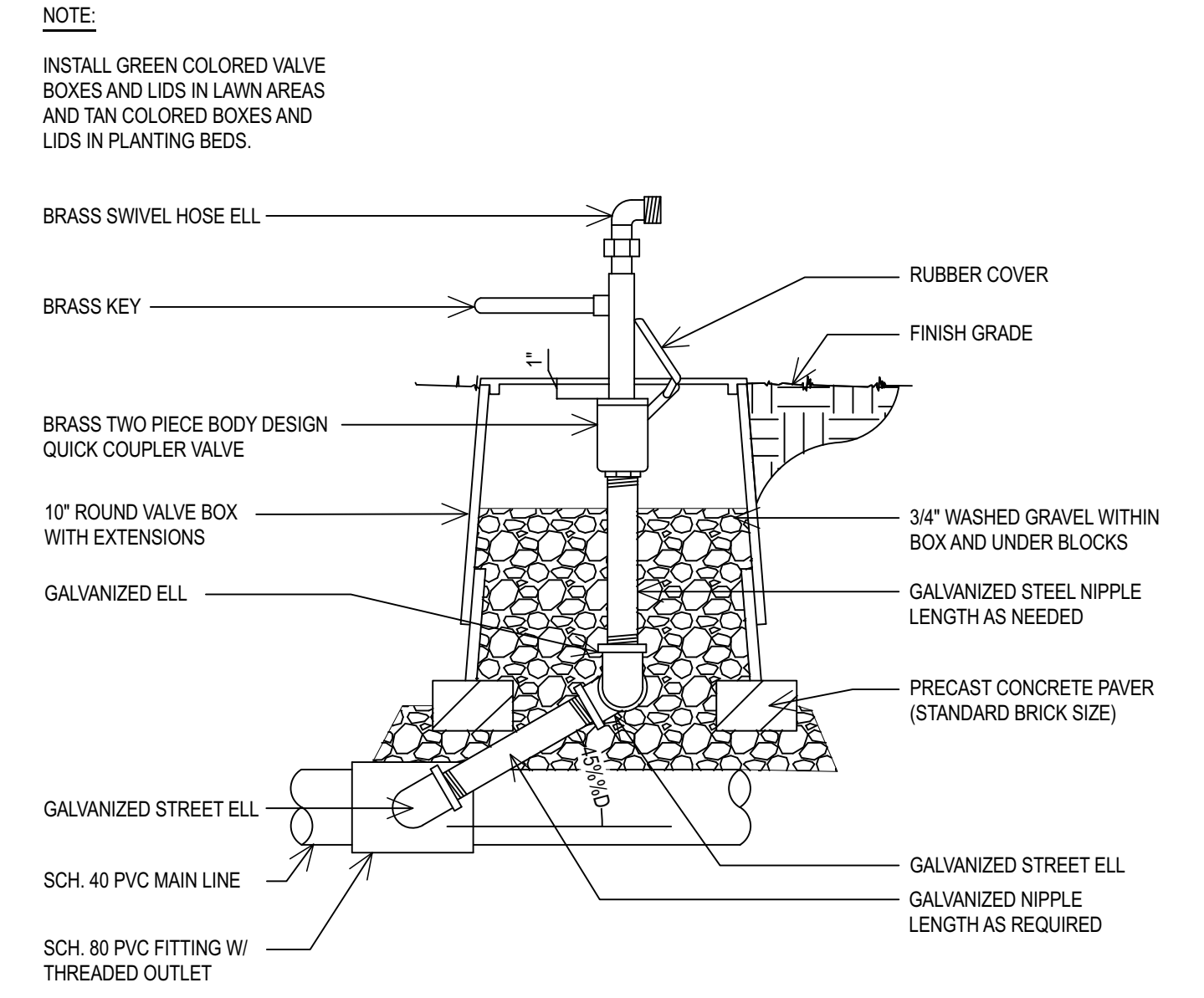
C FILTER ASSEMBLY - MANUAL
NO SCALE



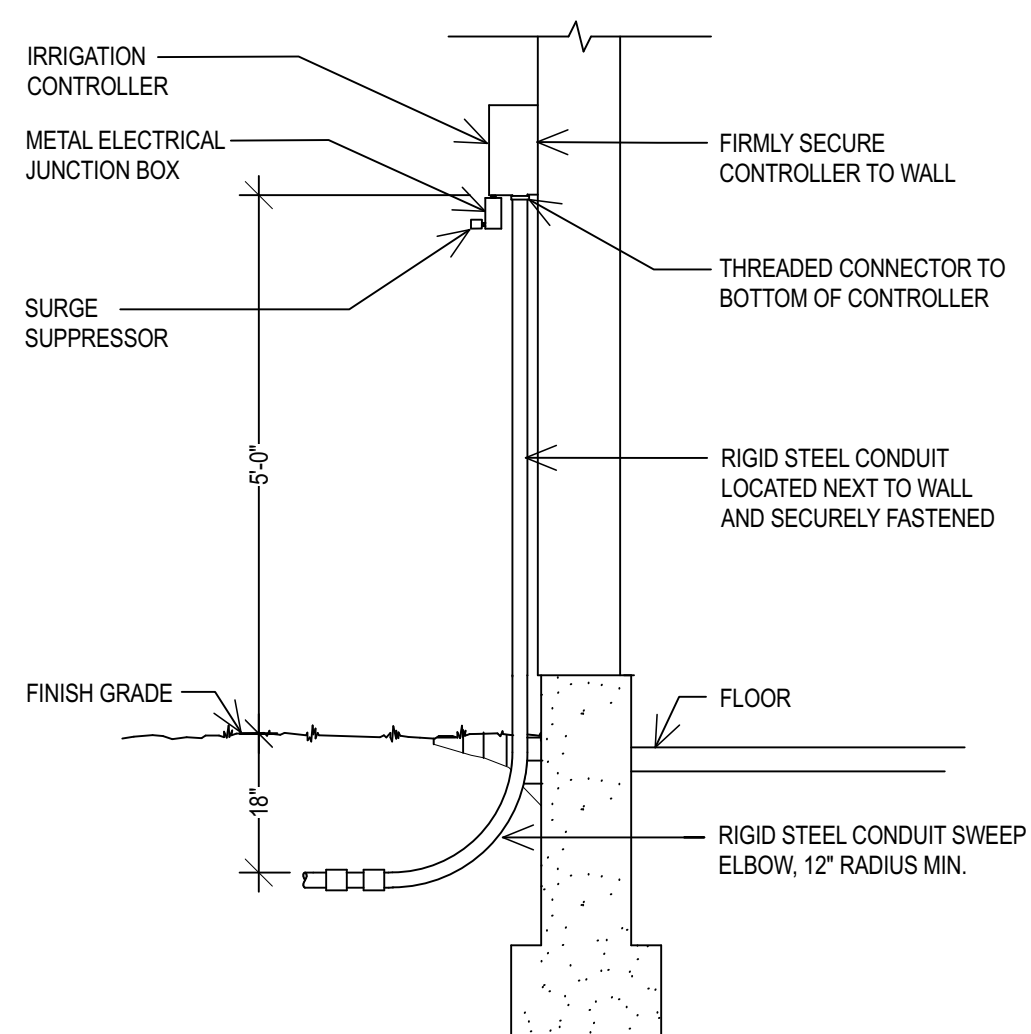
D MAINLINE DRAIN VALVE
NO SCALE



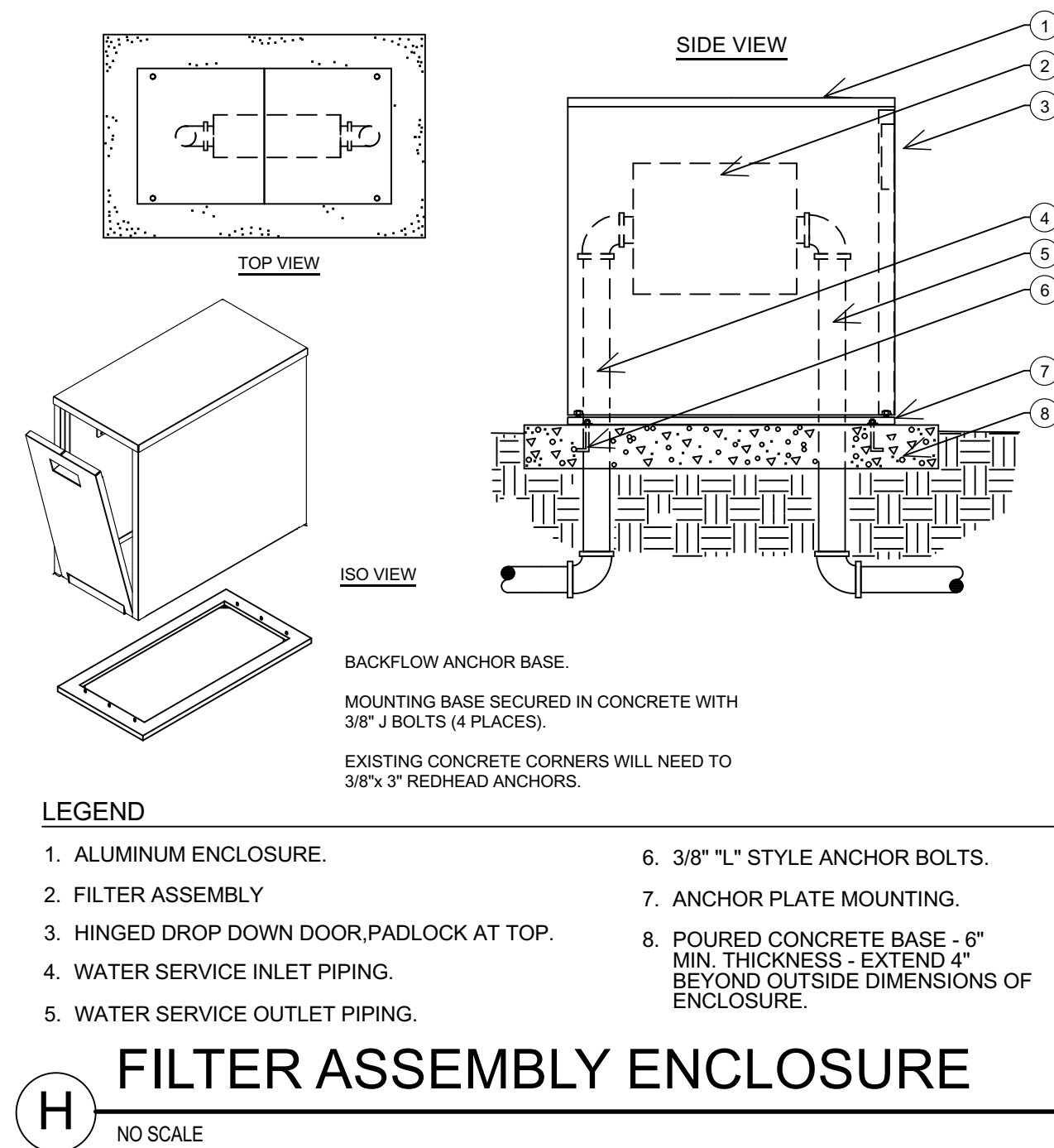
E ISOLATION VALVE - THREADED
NO SCALE



F QUICK COUPLER VALVE
NO SCALE



G CONTROLLER
NO SCALE



H FILTER ASSEMBLY ENCLOSURE
NO SCALE

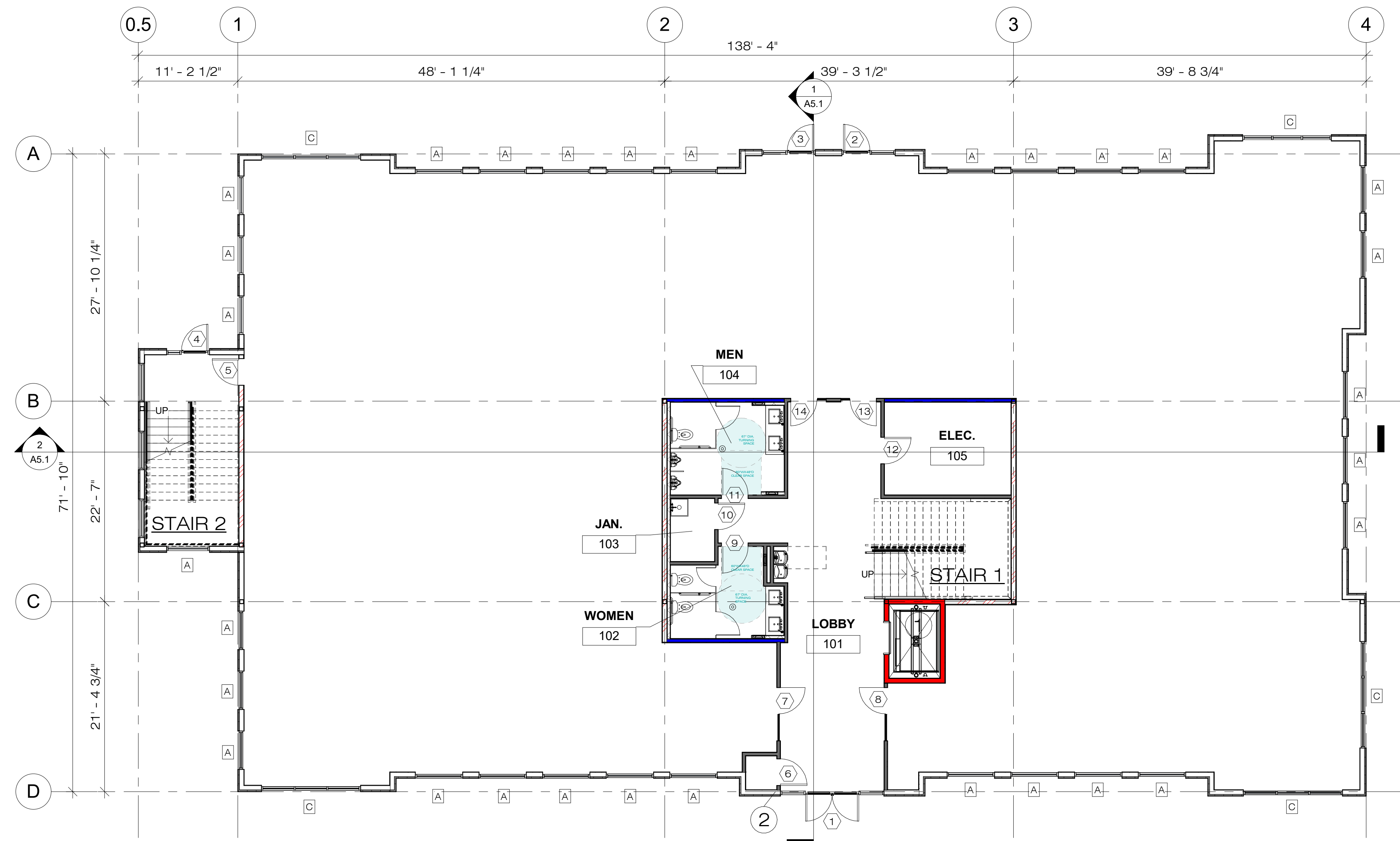
- LEGEND**
1. ALUMINUM ENCLOSURE.
 2. FILTER ASSEMBLY
 3. HINGED DROP DOWN DOOR, PADLOCK AT TOP.
 4. WATER SERVICE INLET PIPING.
 5. WATER SERVICE OUTLET PIPING.
 6. 3/8" "L" STYLE ANCHOR BOLTS.
 7. ANCHOR PLATE MOUNTING.
 8. POURED CONCRETE BASE - 6" MIN. THICKNESS - EXTEND 4" BEYOND OUTSIDE DIMENSIONS OF ENCLOSURE.



REV	DATE	DESCRIPTION

PROJECT NO: 23577
DRAWN BY: TG
CHECKED BY: SS
DATE: DECEMBER 2023
PROPERTY NO:

LANDSCAPE IRRIGATION DETAILS



CODE DATA

- 1 TYPE OF CONSTRUCTION V-B
- 2 B OCCUPANCY
- 3 AUTOMATIC FIRE SPRINKLERS
- 4 FIRE RATED CORRIDORS: NONE (TABLE 1020.2 B OCCUPANCY W/ SPRINKLERS)
- 5 FIRE RATED EXIT ACCESS STAIRWAYS: NONE (1019.3 EXCEPTION 1)

370 W 500 S

WALL TYPES

<p> NEW 2X6 WOOD STUDS W/ R-21 INSULATION W/ VAPOR BARRIER (SEE FLOOR PLAN NOTE #1) IN STUD CAVITY W/ 5/8" GYPSUM BOARD (TYPE 'X') INTERIOR SIDE, AND W/ SHEATHING (SEE STRUCTURAL), DUPONT™ TYVEK®, W/ EXTERIOR FINISH (SEE ELEVATIONS ON A3.1)</p> <p> NEW 2X6 WOOD STUDS W/ R-21 INSULATION W/ VAPOR BARRIER (SEE FLOOR PLAN NOTE #1) IN STUD CAVITY W/ 5/8" GYPSUM BOARD (TYPE 'X') INTERIOR SIDE, AND W/ SHEATHING (SEE STRUCTURAL), DUPONT™ TYVEK®, W/ EXTERIOR FINISH (SEE ELEVATIONS ON A3.1) SHEAR WALL: SEE STRUCT. DRAWINGS FOR SHEAR WALL SCHEDULE.</p> <p> NEW 2X WOOD STUDS W/ 5/8" GYPSUM BOARD (TYPE 'X') EACH SIDE. SHEAR WALL: SEE STRUCT. DRAWINGS FOR SHEAR WALL SCHEDULE</p> <p> NEW 2X4 WOOD STUDS W/ 5/8" GYPSUM BOARD (TYPE 'X') EACH SIDE. SHEAR WALL: SEE STRUCT. DRAWINGS FOR SHEAR WALL SCHEDULE</p>	<p> NEW 6" METAL STUDS W/ 5/8" GYPSUM BOARD (TYPE 'X') EACH SIDE. COORD. STUD GAUGE, SIZING PER MANUF. LIMITING HEIGHT TABLES (5 PSF LOAD & L/240 DEFLECTION LIMIT REQUIREMENTS).</p> <p> NEW 3-5/8" METAL STUDS 5/8" GYPSUM BOARD (TYPE 'X') EACH SIDE. COORD. STUD GAUGE, SIZING PER MANUF. LIMITING HEIGHT TABLES (5 PSF LOAD & L/240 DEFLECTION LIMIT REQUIREMENTS).</p> <p> ALTERNATE: PROVIDE SOUND INSULATION: NEW 3-5/8" METAL STUDS W/ R-11 BATT INSULATION, PROVIDE/ COORD. MECHANICAL SOUND BOOTS, AND 5/8" GYPSUM BOARD (TYPE 'X') EACH SIDE, COORD. STUD GAUGE, SIZING PER MANUF. LIMITING HEIGHT TABLES (5 PSF LOAD & L/240 DEFLECTION LIMIT REQUIREMENTS).</p> <p> NEW 1-HOUR FIRE RATED WALL. SEE FIRE RATED WALL ASSEMBLY.</p> <p> NEW 3-5/8" METAL STUDS 5/8" GYPSUM BOARD (TYPE 'X') ONE SIDE. COORD. STUD GAUGE, SIZING PER MANUF. LIMITING HEIGHT TABLES (5 PSF LOAD & L/240 DEFLECTION LIMIT REQUIREMENTS).</p>
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FLOOR PLAN NOTES

- 1 PROVIDE CLASS I OR II VAPOR RETARDER ON INTERIOR SIDE OF ALL EXTERIOR WALLS.

CLASS I: SHEET POLYETHYLENE, NONPERFORATED ALUMINUM FOIL WITH A PERM RATING OF LESS THAN OR EQUAL TO 0.1.
CLASS II: KRAFT-FACED FIBERGLASS BATTS OR PAINT WITH A PERM RATING GREATER THAN 0.1 AND LESS THAN OR EQUAL TO 1.0.
 - 2 PROVIDE NEW 5'-0" X 5'-0" LANDING MAX SLOPE 1:48 AT ALL EXTERIOR DOORS.
 - 3 WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT ARE IN CONTACT WITH EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES (203 MM) FROM EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.
- NOTE:
PROVIDE 5,000 ALLOWANCE FOR HARDWOOD MOULDING/ TRIM. COORD. PROFILE W/ INTERIOR DESIGNER

KEY NOTES

- 1 THYSSENKRUPP ENDURA MRL 2500 LB CAPACITY TWIN POST ABOVE GROUND 2-STAGE, 90 FPM UP / 115 FPM DOWN, MACHINE ROOM-LESS, W/ SMOKE SENSOR FOR AUTOMATIC CLOSING.
- 2 PROVIDE KNOX BOX FOR FIRE DEPARTMENT ACCESS.

GENERAL CONTRACTOR SHALL CHALK-LINE ALL NEW WALLS FOR ARCHITECTS APPROVAL, PRIOR TO ANY NEW CONSTRUCTION, TO INSURE THAT SPACE BUILD-OUT MEETS TENANT REQUIREMENTS

NOTE: ALL FURNITURE/EQUIPMENT SHOWN FOR REFERENCE ONLY. COORD. EXACT LOCATION AND REQUIREMENTS W/ TENANT/FURNITURE VENDOR.

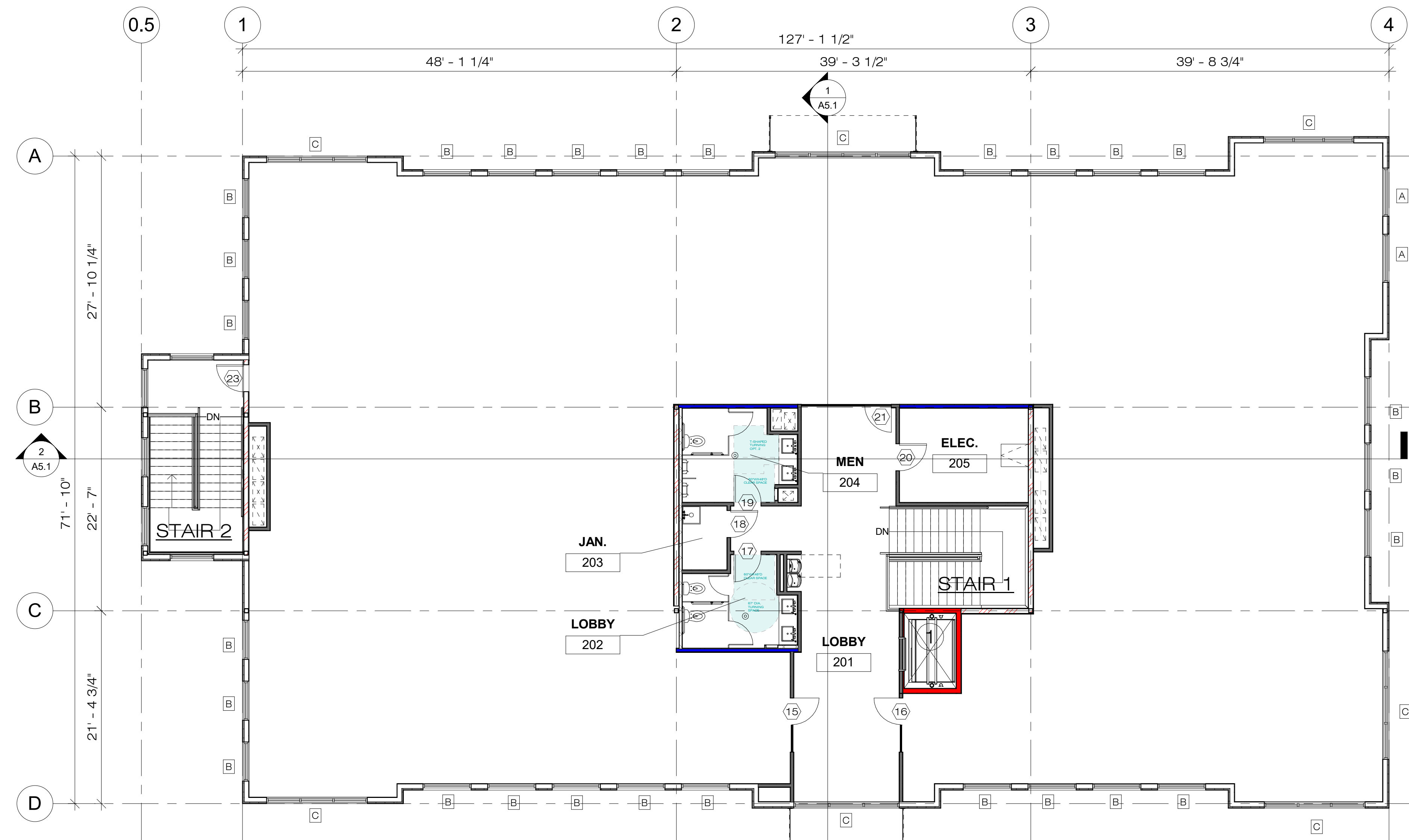
BOUNTIFUL UT, 84010
PROPOSED BUILDING

FIRST FLOOR
FLOOR PLAN

SCALE: 1/8" = 1'-0"
APRIL 11, 2024
2068101



A1.1



CODE DATA

- 1 TYPE OF CONSTRUCTION V-B
- 2 B OCCUPANCY
- 3 AUTOMATIC FIRE SPRINKLERS
- 4 FIRE RATED CORRIDORS: NONE (TABLE 1020.2 B OCCUPANCY W/ SPRINKLERS)
- 5 FIRE RATED EXIT ACCESS STAIRWAYS: NONE (1019.3 EXCEPTION 1)

WALL TYPES

<ul style="list-style-type: none"> NEW 2X6 WOOD STUDS W/ R-21 INSULATION W/ VAPOR BARRIER (SEE FLOOR PLAN NOTE #1) IN STUD CAVITY W/ 5/8" GYPSUM BOARD (TYPE 'X') INTERIOR SIDE, AND W/ SHEATHING (SEE STRUCTURAL), DUPONT™ TYVEK®, W/ EXTERIOR FINISH (SEE ELEVATIONS ON A3.1) NEW 2X6 WOOD STUDS W/ R-21 INSULATION W/ VAPOR BARRIER (SEE FLOOR PLAN NOTE #1) IN STUD CAVITY W/ 5/8" GYPSUM BOARD (TYPE 'X') INTERIOR SIDE, AND W/ SHEATHING (SEE STRUCTURAL), DUPONT™ TYVEK®, W/ EXTERIOR FINISH (SEE ELEVATIONS ON A3.1) SHEAR WALL: SEE STRUCT. DRAWINGS FOR SHEAR WALL SCHEDULE. NEW 2X WOOD STUDS W/ 5/8" GYPSUM BOARD (TYPE 'X') EACH SIDE. SHEAR WALL: SEE STRUCT. DRAWINGS FOR SHEAR WALL SCHEDULE NEW 2X4 WOOD STUDS W/ 5/8" GYPSUM BOARD (TYPE 'X') EACH SIDE. SHEAR WALL: SEE STRUCT. DRAWINGS FOR SHEAR WALL SCHEDULE 	<ul style="list-style-type: none"> NEW 6" METAL STUDS W/ 5/8" GYPSUM BOARD (TYPE 'X') EACH SIDE. COORD. STUD GAUGE, SIZING PER MANUF. LIMITING HEIGHT TABLES (5 PSF LOAD & L/240 DEFLECTION LIMIT REQUIREMENTS). NEW 3-5/8" METAL STUDS 5/8" GYPSUM BOARD (TYPE 'X') EACH SIDE. COORD. STUD GAUGE, SIZING PER MANUF. LIMITING HEIGHT TABLES (5 PSF LOAD & L/240 DEFLECTION LIMIT REQUIREMENTS). ALTERNATE: PROVIDE SOUND INSULATION: NEW 3-5/8" METAL STUDS W/ R-11 BATT INSULATION, PROVIDE/COORD. MECHANICAL SOUND BOOTS, AND 5/8" GYPSUM BOARD (TYPE 'X') EACH SIDE, COORD. STUD GAUGE, SIZING PER MANUF. LIMITING HEIGHT TABLES (5 PSF LOAD & L/240 DEFLECTION LIMIT REQUIREMENTS). NEW 1-HOUR FIRE RATED WALL. SEE FIRE RATED WALL ASSEMBLY. NEW 3-5/8" METAL STUDS 5/8" GYPSUM BOARD (TYPE 'X') ONE SIDE. COORD. STUD GAUGE, SIZING PER MANUF. LIMITING HEIGHT TABLES (5 PSF LOAD & L/240 DEFLECTION LIMIT REQUIREMENTS).
---	---

FLOOR PLAN NOTES

- 1 PROVIDE CLASS I OR II VAPOR RETARDER ON INTERIOR SIDE OF ALL EXTERIOR WALLS.

CLASS I: SHEET POLYETHYLENE, NONPERFORATED ALUMINUM FOIL WITH A PERM RATING OF LESS THAN OR EQUAL TO 0.1.
CLASS II: KRAFT-FACED FIBERGLASS BATTS OR PAINT WITH A PERM RATING GREATER THAN 0.1 AND LESS THAN OR EQUAL TO 1.0.
- 2 PROVIDE NEW 5'-0" X 5'-0" LANDING MAX SLOPE 1:48 AT ALL EXTERIOR DOORS.
- 3 WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT ARE IN CONTACT WITH EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES (203 MM) FROM EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.

KEY NOTES

- 1 THYSSENKRUPP ENDURA MRL 2500 LB CAPACITY TWIN POST ABOVE GROUND 2-STAGE, 90 FPM UP / 115 FPM DOWN, MACHINE ROOM-LESS, W/ SMOKE SENSOR FOR AUTOMATIC CLOSING.
- 2 PROVIDE KNOX BOX FOR FIRE DEPARTMENT ACCESS.

NOTE:
PROVIDE 5,000 ALLOWANCE FOR HARDWOOD MOULDING/TRIM. COORD. PROFILE W/ INTERIOR DESIGNER

GENERAL CONTRACTOR SHALL CHALK-LINE ALL NEW WALLS FOR ARCHITECT'S APPROVAL, PRIOR TO ANY NEW CONSTRUCTION, TO INSURE THAT SPACE BUILD-OUT MEETS TENANT REQUIREMENTS

NOTE: ALL FURNITURE/EQUIPMENT SHOWN FOR REFERENCE ONLY. COORD. EXACT LOCATION AND REQUIREMENTS W/ TENANT/FURNITURE VENDOR.

370 W 500 S

BOUNTIFUL UT, 84010 PROPOSED BUILDING

SECOND FLOOR FLOOR PLAN

SCALE: 1/8" = 1'-0"
APRIL 11, 2024
2068101



A1.2



SAMUEL J. BRADY

ARCHITECTS

200 E. South Temple
Suite 160
Salt Lake City, Utah 84111
(801) 595-1752
www.sambrady.com

NOTE: THIS DRAWING IS PROVIDED FOR OWNER/TENANT APPROVAL OF THE SPACE NOTED AND IS NOT FOR CONSTRUCTION. ACTUAL SITE DIMENSIONS COULD VARY.



NOTE: PROVIDE ADDRESS SIGNAGE TO MEETS 2021 IBC 502.1 REQS. OF MIN. 6" HIGH AND MIN. .5" WIDE AND SHALL BE ARABIC NUMBERS OR ALPHABETIC LETTERS AND SHALL BE CONTRASTING COLOR OF THE BACKGROUND.

FINISH SCHEDULE

MATERIAL	MANUFACTURER	COLOR
BRICK VENEER	TBD	TBD
WOOD PLANK CLADDING	PARKLEX PRODEMA	CINDER
WOOD PLANK CLADDING	PARKLEX PRODEMA	STONEGREY
EIFS STUCCO FINISH	STOLIT MILANO	STO 16279
EIFS STUCCO FINISH	STOLIT MILANO	STO 16005
METAL CAP	DREXEL METALS	CHARCOAL GRAY SR.27
CANOPY SUPPORT STEEL (PAINTED)	SHERWIN WILLIAMS	MATCH METAL CAP COLOR
ALUMINUM STOREFRONT	KAWNEER	DARK BRONZE
EXTERIOR GLASS	GUARDIAN GLASS	CRYSTAL GRAY

FINISH PERCENTAGE

MATERIAL	PERCENTAGE			
	NORTH	SOUTH	EAST	WEST
BRICK VENEER	19%	19%	12%	23%
ALUMINUM STOREFRONT	38%	38%	32%	32%
WOOD PLANK CLADDING	12%	13%	06%	10%
EIFS STUCCO	31%	30%	50%	35%

ARCHITECTURAL FEATURE PERCENTAGE

ARCHITECTURAL FEATURE	FACADE AREA	FEATURE AREA	PERCENTAGE
PRIMARY FACADE (SOUTH)	4,010.5 SF	1,104.46 SF	28%
SECONDARY FACADE (NORTH)	4,010.5 SF	1,093.38 SF	27%
OTHER FACADE (EAST)	2,179.63 SF	940.39 SF	43%
OTHER FACADE (WEST)	2,109.3 SF	989.55 SF	47%

370 W 500 S

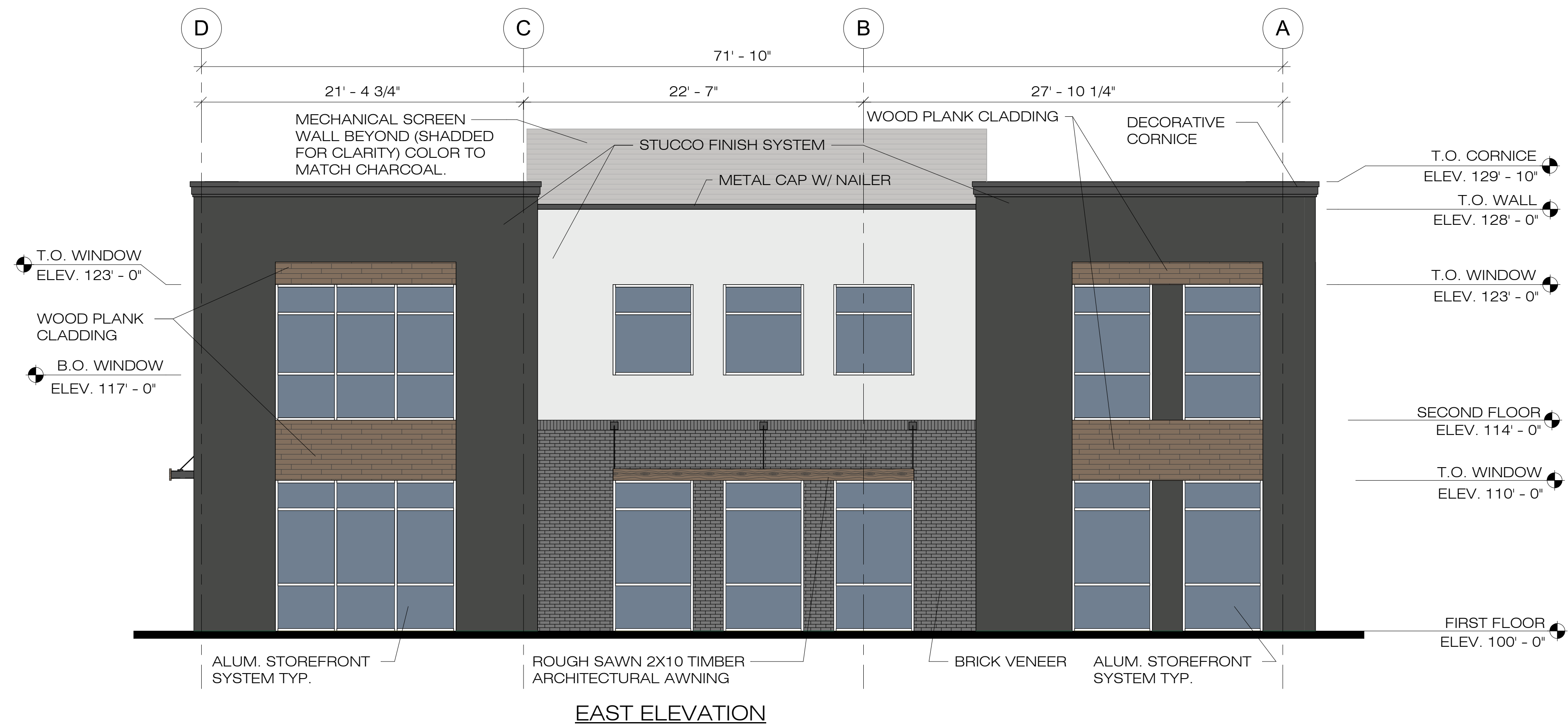
BOUNTIFUL UT, 84010 PROPOSED BUILDING

EXTERIOR ELEVATIONS

SCALE: 3/16"=1'-0"
APRIL 11, 2024
2068101

A3.1

NOTE:
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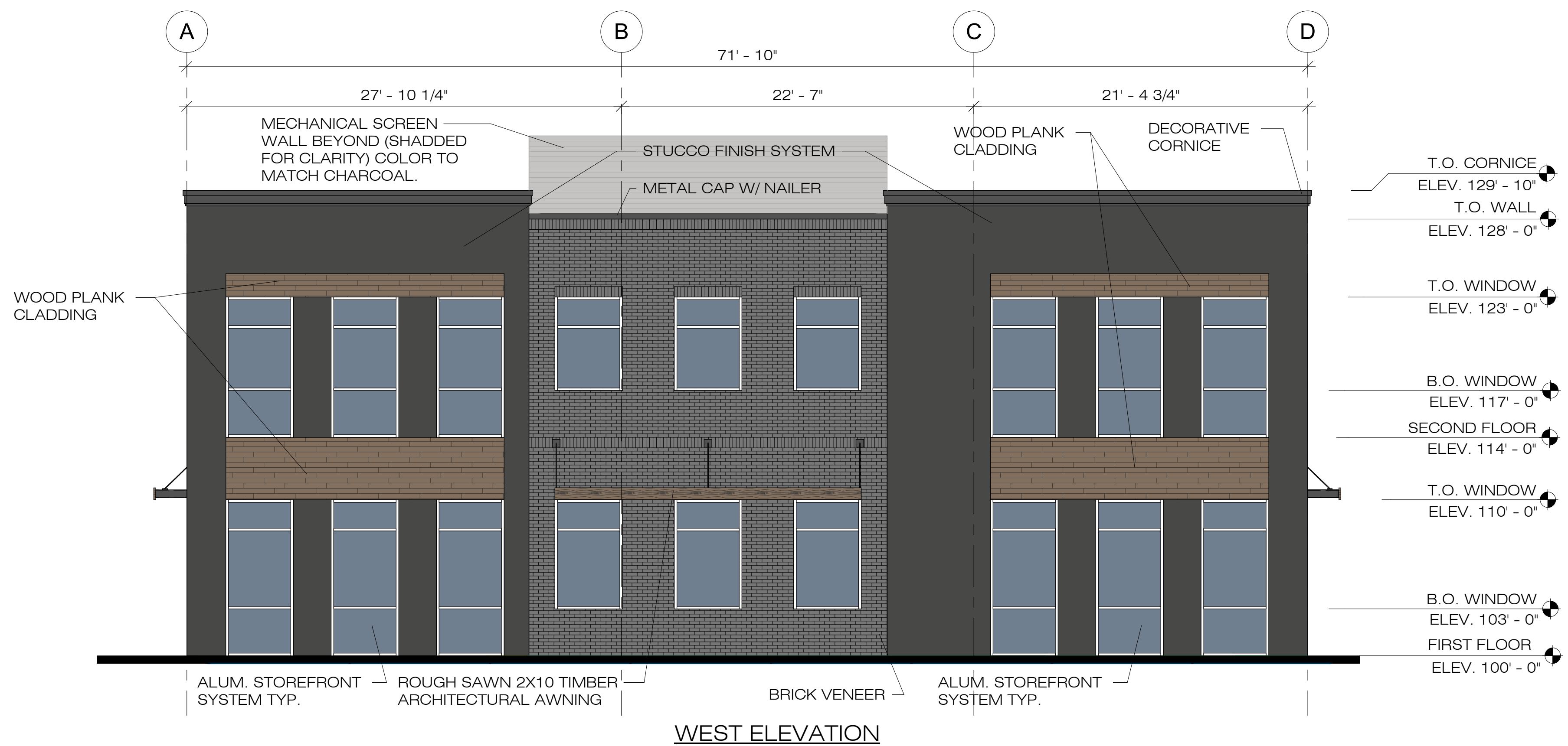
FINISH SCHEDULE		
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370 W 500 S

BOUNTIFUL UT, 84010 PROPOSED BUILDING

EXTERIOR ELEVATIONS

SCALE: 3/16"=1'-0"
 APRIL 11, 2024
 2068101

A3.2



SOUTHWEST CORNER



NORTHWEST CORNER

sba

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370 W 500 S

**BOUNTIFUL
UT, 84010
PROPOSED
BUILDING**

RENDERING

SCALE:
APRIL 11, 2024
2068101

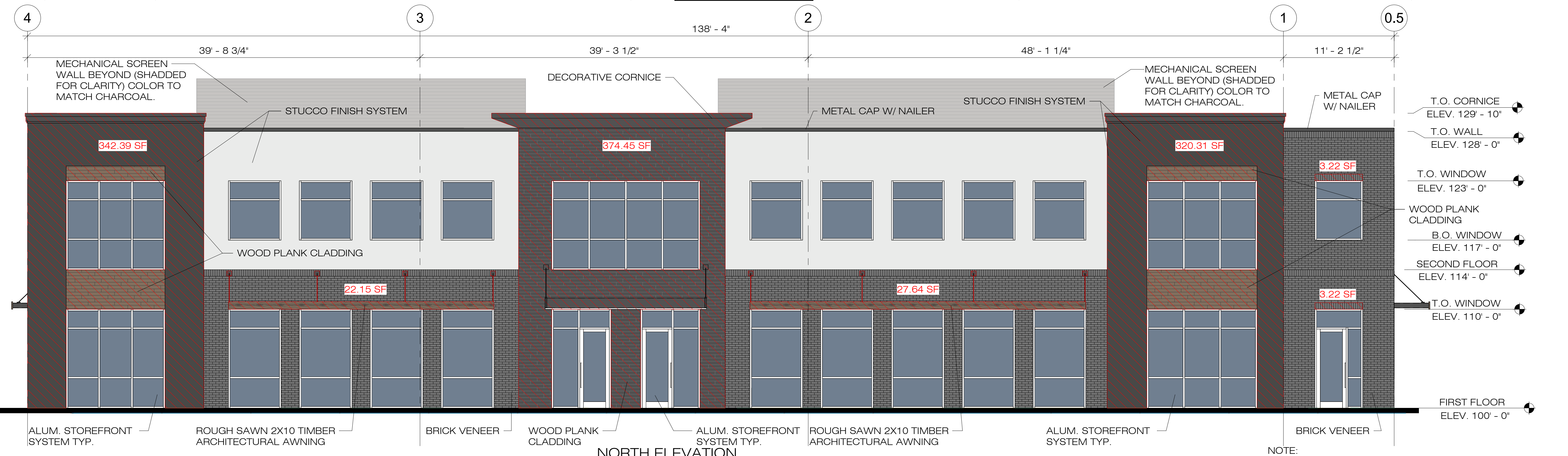
A3.3



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370 W 500 S

BOUNTIFUL UT, 84010 PROPOSED BUILDING

EXTERIOR ELEVATIONS

FINISH SCHEDULE

MATERIAL	MANUFACTURER	COLOR
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WOOD PLANK CLADDING	PARKLEX PRODEMA	STONEGREY
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SCALE: 3/16"=1'-0"
APRIL 11, 2024
2068101

A3.4



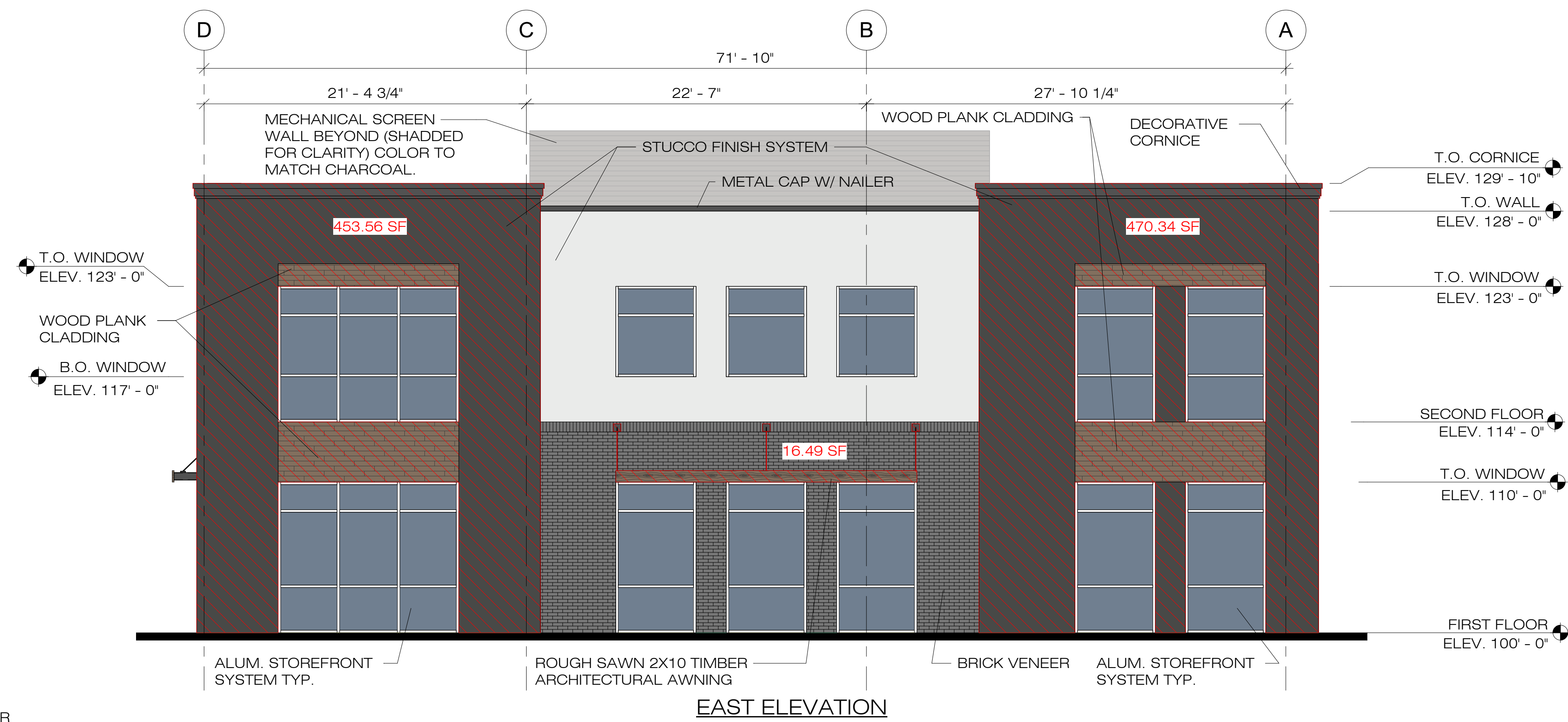
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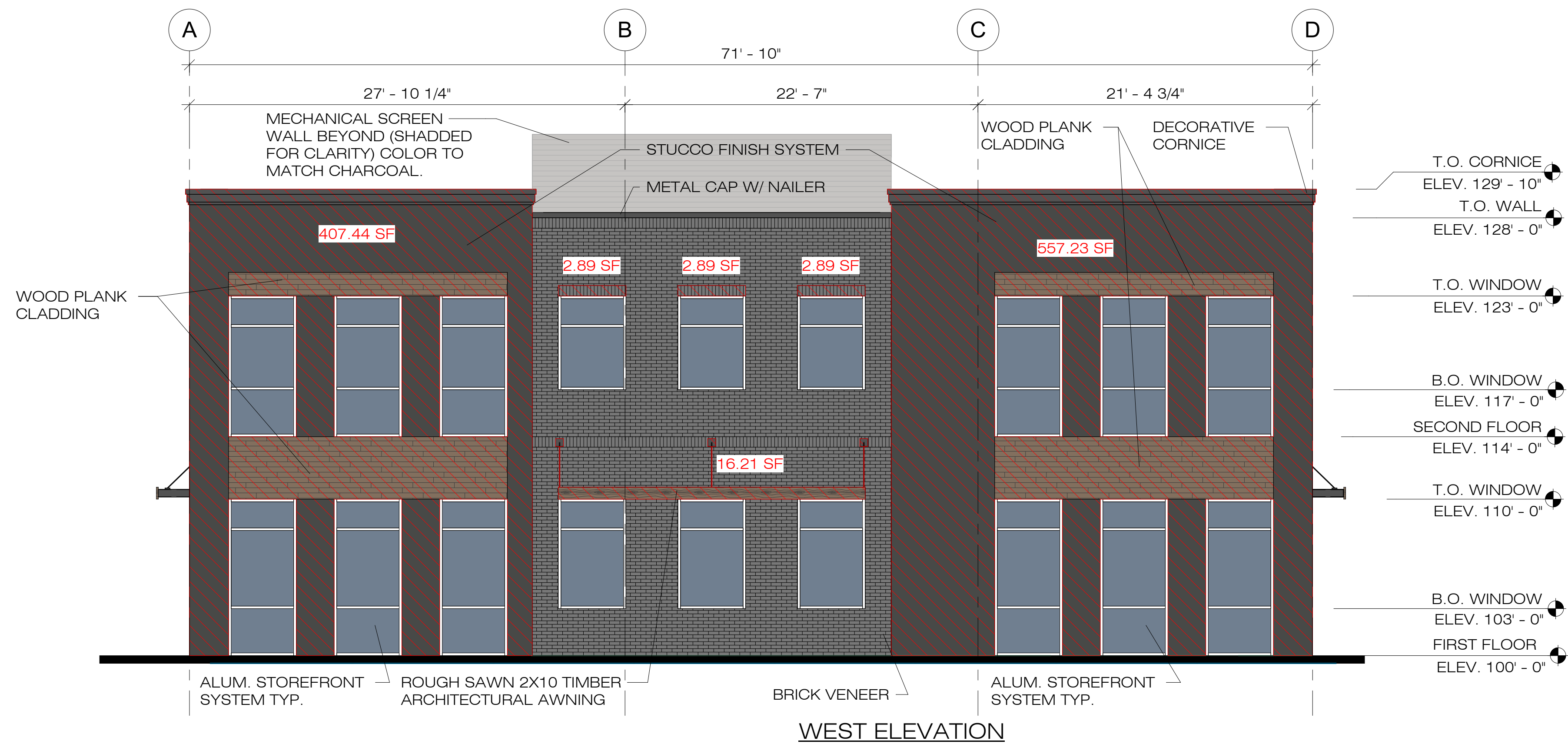
FINISH SCHEDULE		
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370 W 500 S

BOUNTIFUL UT, 84010 PROPOSED BUILDING

EXTERIOR ELEVATIONS

SCALE: 3/16"=1'-0"
APRIL 11, 2024
2068101

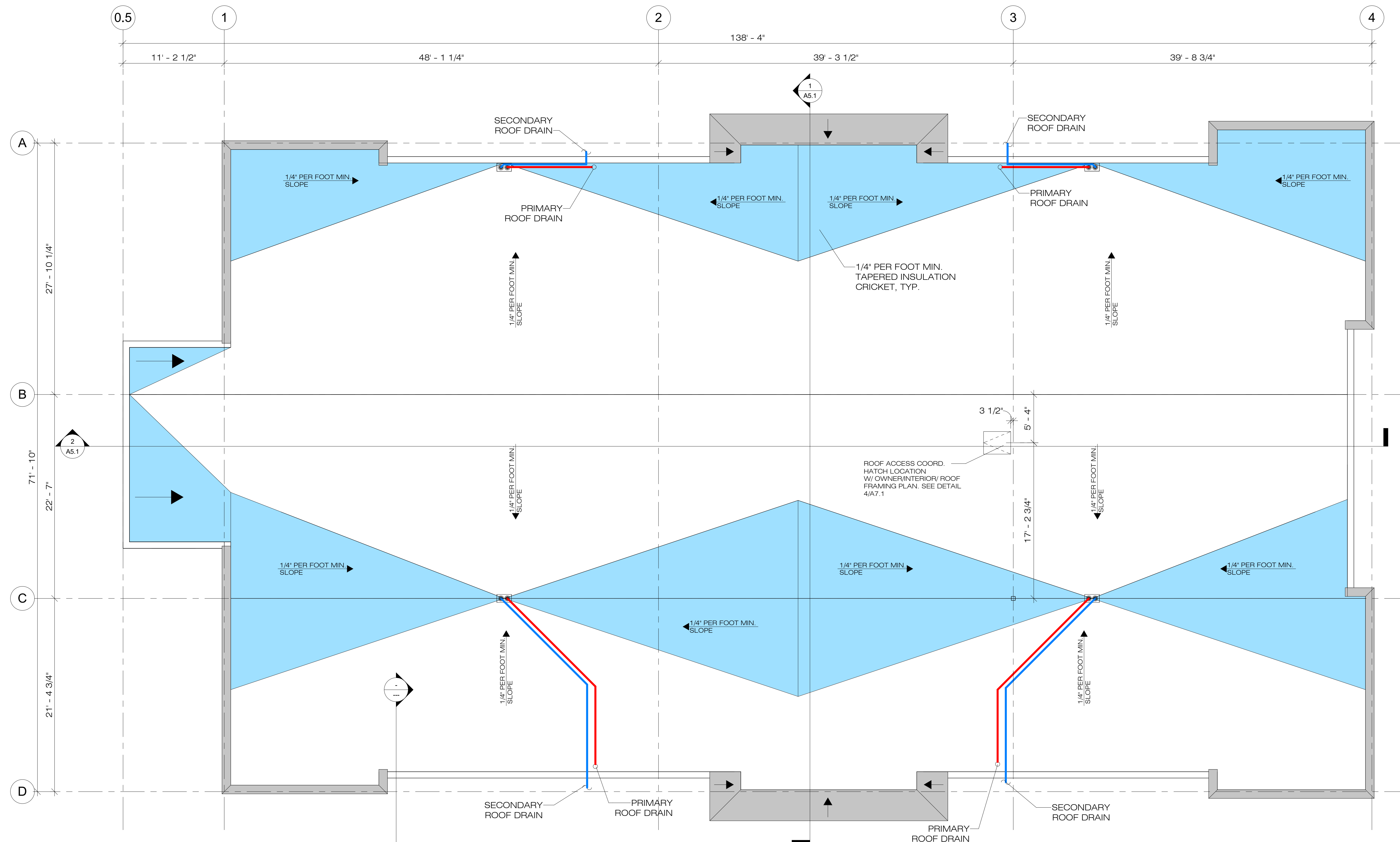
A3.5



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370 W 500 S

**BOUNTIFUL
UT, 84010
PROPOSED
BUILDING**

ROOF PLAN

ROOF PLAN NOTES

1. SEE ENGR. DWGS. FOR ROOF DRAINAGE SYSTEM/ EXACT LOCATION OF ALL ROOF DRAINS.
2. COORD. ROOF DRAINAGE W/ SITE DRAINAGE, SEE CIVIL ENGR. PLANS.
3. SEE DWG. A7.2 FOR PRIMARY AND SECONDARY ROOF DRAIN DETAILS.
4. COORDINATE ALL ROOF SLOPES W/ STRUCTURAL ROOF FRAMING PRIOR TO WORK.
5. INSULATE ALL DRAIN LINES
6. R-30 ROOF INSULATION W/ TPO MEMBRANE
7. PROVIDE BILCO BIL GUARD 2.0 HATCH RAIL SYSTEM.



SCALE: 3/16" = 1'-0"
APRIL 11, 2024
2068101

A7.0

BOUNTIFUL MEDICAL OFFICE BUILDING

347 W 500 S
BOUNTIFUL, UT 84010

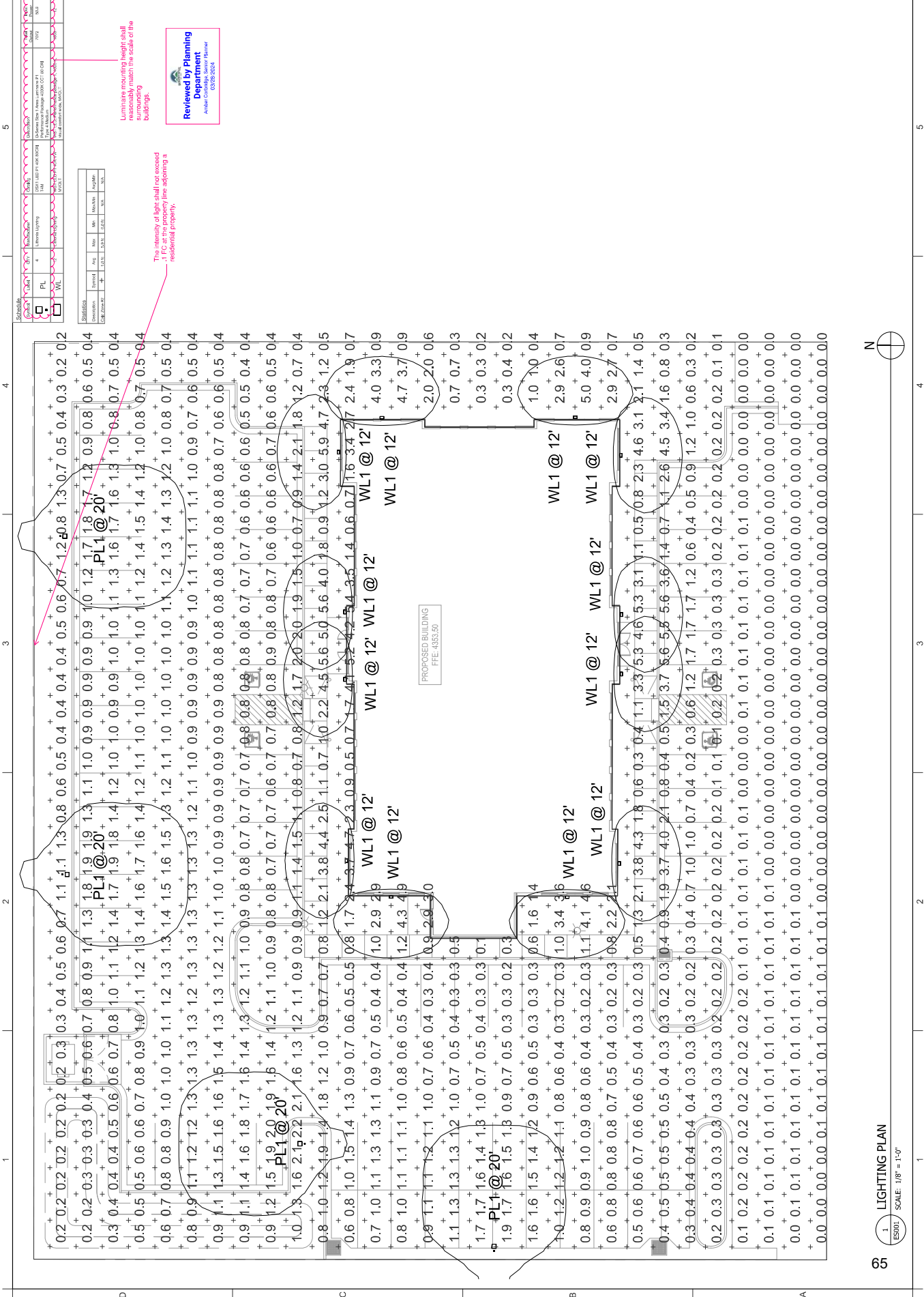


REVISIONS

ROCKY MOUNTAIN CONSULTING ENGINEERS, INC. - 2024
DATE: 03/13/2024
CHECKED BY: WM
DRAWN BY: JG / QS
PROJECT #: 24023
CONSULTING ENGINEERS, INC.
2023 West 2420 South, Suite # 1000, Bountiful, UT 84002
(801) 966-0533 www.rmeinc.com

SHEET TITLE:
SITE
PHOTOMETRIC
PLAN

ES001



Symbol	Description
□	PL
□	WL

Standard	Symbol	Area	Max. Height	Min. Height	Footcandle
PL	PL	100	20	10	1.0
WL	WL	100	12	10	1.0

1 LIGHTING PLAN
ES001 SCALE: 1/8" = 1'-0"



City Council Staff Report

Subject: Release of Easements at
1654 E and 1634 E Vineyard Dr
Author: Lloyd Cheney, City Engineer
Department: Engineering
Date: May 14, 2024



Background

Charles Reist, owner of the property located at 1634 E Vineyard Dr. and Jerry Benson, owner of the property located at 1654 E Vineyard Dr. have requested the release of the 7 ft wide Public Utility Easements along the common side yard property line to accommodate and construction of a retaining wall and re-landscaping on the Reist's property.

Analysis

The easements associated with this request were originally created as interior easements between lots 2 and 3 of the Granada Hills No. 6 subdivision. These two 7 ft easements on each lot established a 14 ft wide easement area along the common lot lines which provided access and continuity between the rear yard and the front yard easements.

Having reviewed the configuration of easements in the adjoining subdivision phases, there is sufficient "easement capacity" to serve these properties from the remaining easements. Additionally, the rear yard easement on the Benson property is connected to the easements and street right of way for Temple View Drive via a corresponding set of side yard easements between lots 7 and 8 of the Granada Hills No. 9 subdivision.

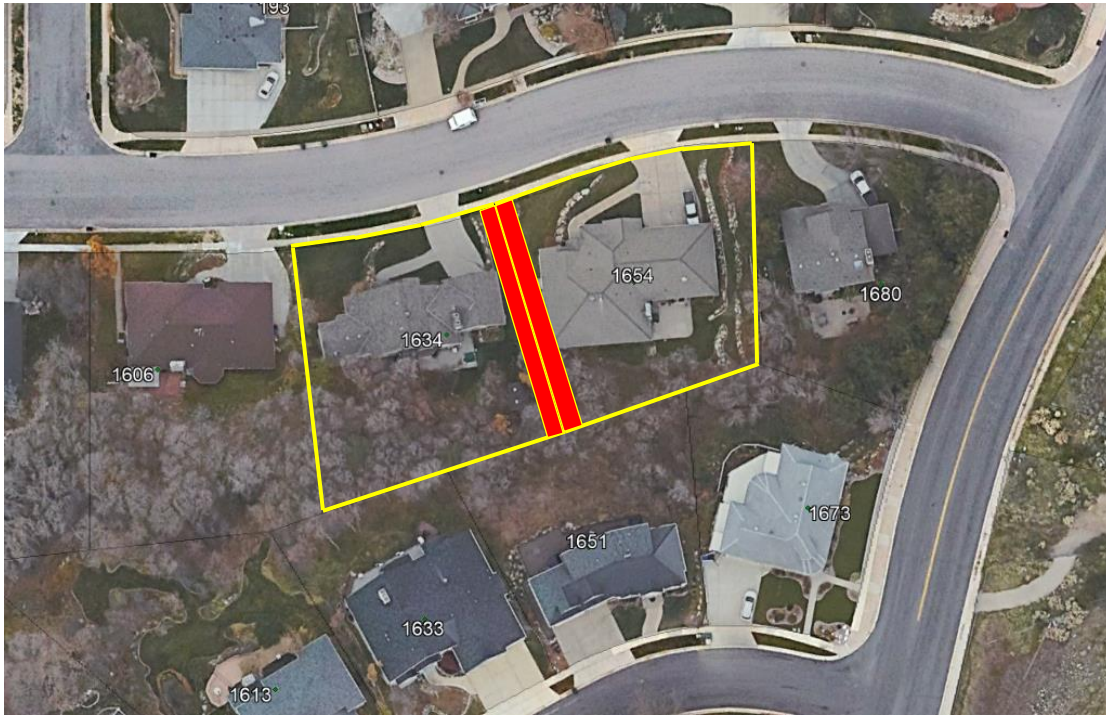


Figure 1 Benson and Reist Properties 1934 and 1654 E Vineyard Dr.

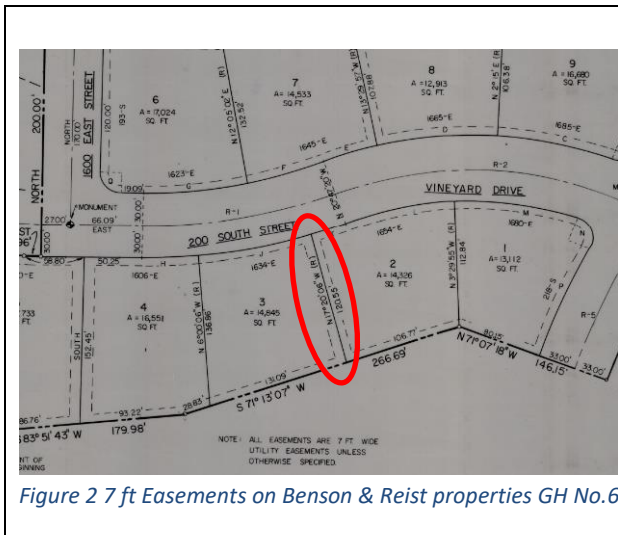


Figure 2 7 ft Easements on Benson & Reist properties GH No.6

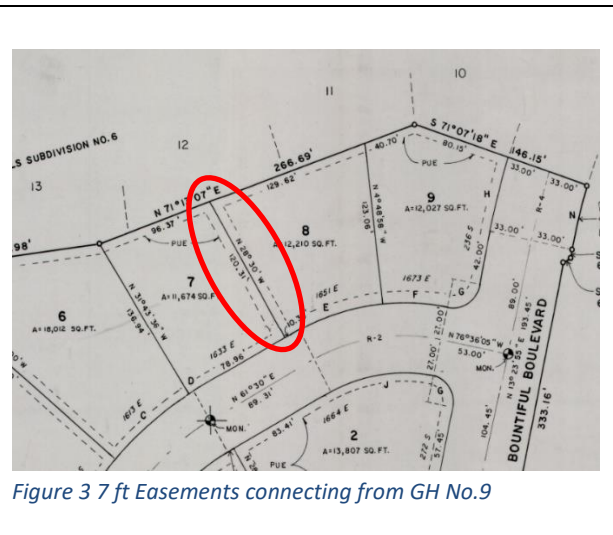


Figure 3 7 ft Easements connecting from GH No.9

Signatures have been collected from the utility companies agreeing to the release of these two segments.

Department Review

This report has been reviewed by the City Manager.

Significant Impacts

No significant impacts are anticipated.

Recommendation

- Staff recommends the City Council authorize the release of the Public Utility Easements on Lots 2 and 3 of the Granada Hills No.6 subdivisions as shown in the staff report and as described by the legal descriptions.

Attachments

- Exhibit depicting the locations of the requested release of easement
- Legal description of the portion of the easement to be released
- Utility signatures & associated documentation

RELEASE OF EASEMENT

BOUNTIFUL, a municipal corporation, does hereby release a utility easement over, and under and across the following described property:

SEE ATTACHMENT

UTILITY COMPANY APPROVAL

Bountiful City Engineer	_____	Date	_____
Bountiful Light & Power	<u>R. Alan Farnels</u>	Date	<u>2-20-2024</u>
Bountiful Subcon. District	<u>Kurt Anderson</u>	Date	<u>2/20/24</u>
Dominion Energy	<u>See Attached Letter</u>	Date	<u>3-5-2024</u>
Century Link	<u>See Attached Letter</u>	Date	_____
Bountiful Water	<u>[Signature]</u>	Date	<u>2-20-2024</u>
South Davis Sewer	<u>[Signature]</u>	Date	<u>2/23/2024</u>
South Davis Water	<u>[Signature]</u>	Date	<u>2-20-24</u>
Comcast Television	<u>See attached Letter</u>	Date	<u>2-16-24</u>
Weber Basin Water	<u>N/A</u>	Date	_____

Release of the easement described above was authorized by the action of the Bountiful City Council on the _____ day of _____, 20_____.

Dated this _____ day of _____, 20_____.

Mayor _____

Attest: _____
City Recorder

EASEMENT RELEASE LOT 3 DESCRIPTION

IN LOT 3, GRANADA HILLS SUBDIVISION PLAT NO. 6
Being a part of the Southwest Quarter of Section 21, T2N, R1E, SLB&M


Beginning at a point N17°20'06"W 7.00 feet along the east property line of Lot 3, Granada Hills Subdivision Plat No. 6 from the southeast corner of said Lot 3;

thence N17°20'06"W 106.54 feet along said east property line to a point on the arc of a 537.00 foot radius curve (the center of which bears N17°20'06"W);

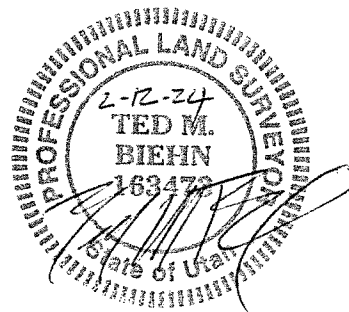
thence Southwesterly 7.00 feet along said curve to the right through a central angle of 0°44'49" (chord bears S73°02'18"W 7.00 feet) to the westerly line of a 7.00 foot wide Public Utility Easement (P.U.E.);

thence S17°20'06"E 106.77 feet along said westerly P.U.E. line;

thence N71°13'07"E 7.00 feet to the point of beginning. Contains 746.52 square feet or 0.0171 acre.


Ted M Biehn P.L.S. (UT 163473)

02-12-2024
DATE



Space above for County Recorder's use
PARCEL I.D.# 041140003

DISCLAIMER OF UTILITY EASEMENT

The undersigned, QUESTAR GAS COMPANY dba Dominion Energy Utah, Grantor, hereby disclaims and releases any rights, title or interest which it may have in and to the following-described real property in Davis County, Utah, to-wit:

All public utility easements, excepting the easement(s) or portion of easement(s) running adjacent and parallel to the street(s), located within Lot 3, Granada Hills Subdivision, located in the Southwest quarter of Section 21, Township 2 North, Range 1 East, Salt Lake Base and Meridian, Davis County, Utah; said Subdivision recorded in the Office of the County Recorder for Davis County, Utah.

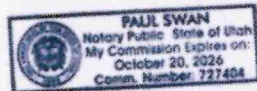
IN WITNESS WHEREOF, this disclaimer and release of any right, title or interest has been duly executed on March 5, 2024.

QUESTAR GAS COMPANY
Dba Dominion Energy Utah

By: 
Authorized Representative

STATE OF UTAH)
) ss.
COUNTY OF SALT LAKE)

On March 5, 2024, personally appeared before me Alex Howard, who, being duly sworn, did say that (s)he is an Authorized Representative for QUESTAR GAS COMPANY dba Dominion Energy Utah, and that the foregoing instrument was signed on behalf of said corporation pursuant to a Delegation of Authority.




Notary Public

3/25/2024



Charles Reist
1654 Vinyard Dr
Bountiful, UT 84010

P861094
No Reservations/No Objection

SUBJECT: Vacation request for a planned easement within Lot 3, of Granada Hills Subdivision Plat No. 6, being a part of the Southwest Quarter of Section 21, T2N, R1E SLMB&M, in Davis County, Utah.

To Whom It May Concern:

CenturyLink of Colorado, Inc. d/b/a CENTURYLINK ("CenturyLink") has reviewed the request for the subject vacation and has determined that it has no objections with respect to the areas proposed for vacation as shown and/or described on Exhibit "A", said Exhibit "A" attached hereto and incorporated by this reference.

It is the intent and understanding of CenturyLink that this Vacation shall not reduce our rights to any other existing easement or rights we have on this site or in the area.

This vacation response is submitted WITH THE STIPULATION that if CenturyLink facilities are found and/or damaged within the vacated area as described, the Applicant will bear the cost of relocation and repair of said facilities.

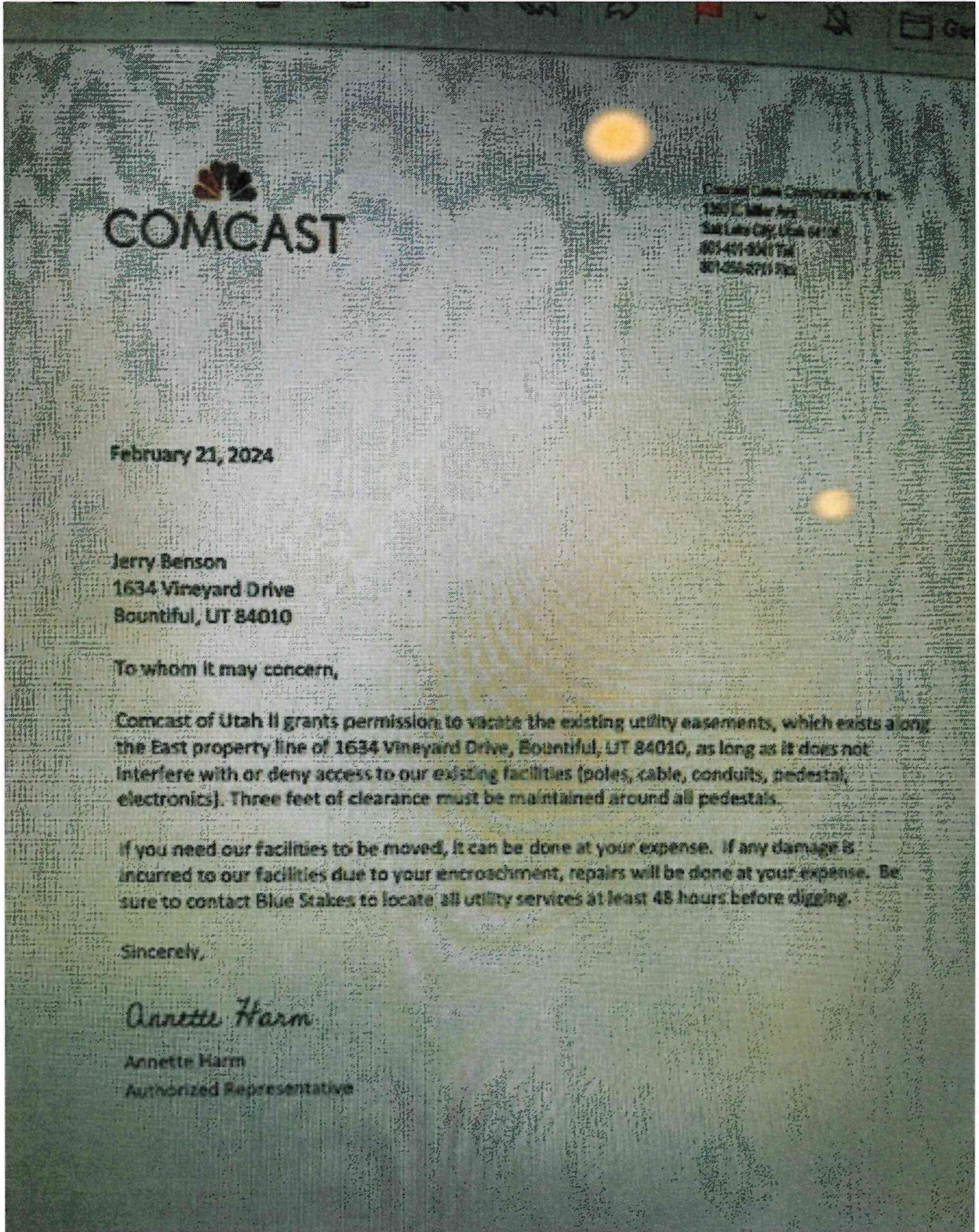
If you have any questions please contact Phil Hackler at (432) 288-08418 or Phil.Hackler@lumen.com.

Sincerely yours,

/s/

CenturyLink Right of Way Team

From: Charles Reist cjreist@icloud.com
Subject: Benson
Date: February 21, 2024 at 17:28
To: Charles Reist cjreist@icloud.com



Comcast Cable Communications, Inc.
1120 E. Miller Ave.
Salt Lake City, Utah 84143
801-471-8411 Fax
801-255-8711 TDD

February 21, 2024

Jerry Benson
1634 Vineyard Drive
Bountiful, UT 84010

To whom it may concern,

Comcast of Utah ll grants permission to vacate the existing utility easements, which exists along the East property line of 1634 Vineyard Drive, Bountiful, UT 84010, as long as it does not interfere with or deny access to our existing facilities (poles, cable, conduits, pedestals, electronics). Three feet of clearance must be maintained around all pedestals.

If you need our facilities to be moved, it can be done at your expense. If any damage is incurred to our facilities due to your encroachment, repairs will be done at your expense. Be sure to contact Blue Stakes to locate all utility services at least 48 hours before digging.

Sincerely,

Annette Harm
Annette Harm
Authorized Representative

RELEASE OF EASEMENT

BOUNTIFUL, a municipal corporation, does hereby release a utility easement over, and under and across the following described property:

SEE ATTACHMENT

UTILITY COMPANY APPROVAL

Bountiful City Engineer _____ Date _____

Bountiful Light & Power R. Alan Farnell Date 2-12-2024

Bountiful Subcon. District Kate Anderson Date 2-12-2024

Dominion Energy See Attached Letter Date 3-6-2024

Century Link See Attached Letter Date 3-20-2024

Bountiful Water [Signature] Date 2-20-2024

South Davis Sewer [Signature] Date 2/23/2024

South Davis Water [Signature] Date 2-20-24

Comcast Television See Attached Letter Date 2-16-24

Weber Basin Water N/A Date N/A

Release of the easement described above was authorized by the action of the Bountiful City Council on the _____ day of _____, 20_____.

Dated this _____ day of _____, 20_____.

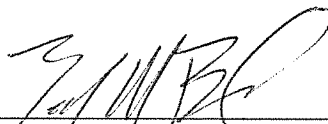
Mayor _____

Attest: _____
City Recorder

EASEMENT RELEASE LOT 2 DESCRIPTION

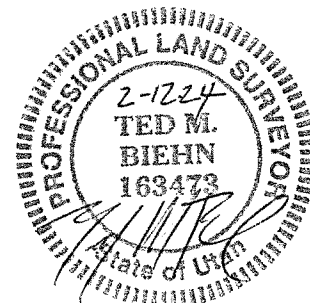
IN LOT 2, GRANADA HILLS SUBDIVISION PLAT NO. 6
Being a part of the Southwest Quarter of Section 21, T2N, R1E, SLB&M

Beginning at a point N17°20'06"W 7.00 feet along the west property line of Lot 2, Granada Hills Subdivision Plat No. 6 from the southwest corner of said Lot 2;
thence N17°20'06"W 106.54 feet along said west property line to a point on the arc of a 537.00 foot radius curve (the center of which bears N17°20'06"W);
thence Northeasterly 7.00 feet along said curve to the left through a central angle of 0°44'49" (chord bears N72°17'30"E 7.00 feet) to the easterly line of a 7.00 foot wide Public Utility Easement (P.U.E.);
thence S17°20'06"E 106.41 feet along said easterly P.U.E. line;
thence S71°13'07"W 7.00 feet to the point of beginning. Contains 745.28 square feet or 0.0171 acre.



Ted M Biehn P.L.S. UT 163473

02-12-2024
DATE



Space above for County Recorder's use
PARCEL I.D.# 041140002

DISCLAIMER OF UTILITY EASEMENT

The undersigned, QUESTAR GAS COMPANY dba Dominion Energy Utah, Grantor, hereby disclaims and releases any rights, title or interest which it may have in and to the following-described real property in Davis County, Utah, to-wit:

All public utility easements, excepting the easement(s) or portion of easement(s) running adjacent and parallel to the street(s), located within Lot 2, Granada Hills Subdivision, located in the Southwest quarter of Section 21, Township 2 North, Range 1 East, Salt Lake Base and Meridian, Davis County, Utah; said Subdivision recorded in the Office of the County Recorder for Davis County, Utah.

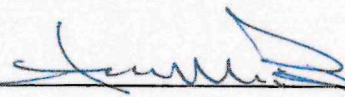
IN WITNESS WHEREOF, this disclaimer and release of any right, title or interest has been duly executed on March 6, 2024.


QUESTAR GAS COMPANY
Dba Dominion Energy Utah

By: 
Authorized Representative

STATE OF UTAH)
) ss.
COUNTY OF SALT LAKE)

On March 6, 2024, personally appeared before me Paul Swan, who, being duly sworn, did say that (s)he is an Authorized Representative for QUESTAR GAS COMPANY dba Dominion Energy Utah, and that the foregoing instrument was signed on behalf of said corporation pursuant to a Delegation of Authority.


Notary Public





CenturyLink

3/20/2024

Charles Reist
1654 Vinyard Dr
Bountiful, UT 84010

P861094
No Reservations/No Objection

SUBJECT: Vacation request for a planned easement within Lot 2, of Granada Hills Subdivision Plat No. 6, being a part of the Southwest Quarter of Section 21, T2N, R1E SLMB&M, in Davis County, Utah.

To Whom It May Concern:

CenturyLink of Colorado, Inc. d/b/a CENTURYLINK ("CenturyLink") has reviewed the request for the subject vacation and has determined that it has no objections with respect to the areas proposed for vacation as shown and/or described on Exhibit "A", said Exhibit "A" attached hereto and incorporated by this reference.

It is the intent and understanding of CenturyLink that this Vacation shall not reduce our rights to any other existing easement or rights we have on this site or in the area.

This vacation response is submitted WITH THE STIPULATION that if CenturyLink facilities are found and/or damaged within the vacated area as described, the Applicant will bear the cost of relocation and repair of said facilities.

If you have any questions please contact Phil Hackler at (432) 288-08418 or Phil.Hackler@lumen.com.

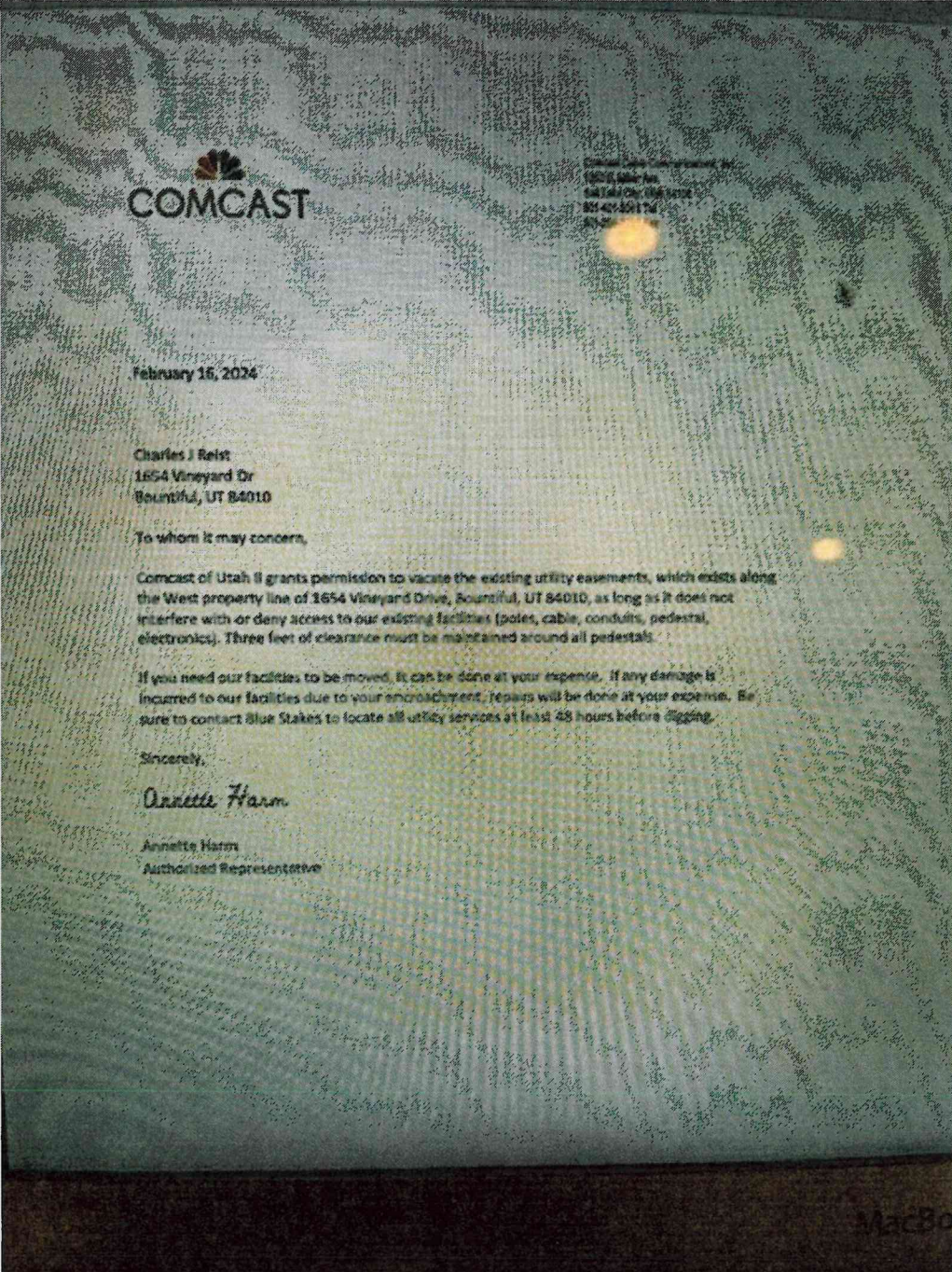
Sincerely yours,

/s/

CenturyLink Right of Way Team

From: Charles Reist cjreist@icloud.com
Subject: 1654 easement release
Date: February 22, 2024 at 08:57
To: Charles Reist cjreist@icloud.com

CR



Sent from my iPhone

City Council Staff Report

Subject: Fiscal Year 2024-2025 Tentative Budget
Author: Galen D. Rasmussen, Assistant City Manager
Department: Executive
Date: May 14, 2024



Background

As required by State law (Utah Code Sections 10-6-109 to 10-6-113), a budget has been prepared by management and staff for consideration as Bountiful City's Tentative Budget for Fiscal Year 2024-2025. State law requires adoption of a tentative budget at the first regular meeting in May of each year along with the setting of a time and place for a public hearing on that Tentative Budget before adopting a final budget for the ensuing fiscal year.

Analysis

The document, "**City of Bountiful, Operating and Capital Budget, Fiscal Year 2024-2025 (July 1, 2024 to June 30, 2025) Tentative Budget**" was distributed previously to each of you for use in conducting Council Budget Committee Meetings with every department and fund of the City and the Bountiful Redevelopment Agency (RDA).

Development of the budget begins in July as departments start the new fiscal year. Needs begin to emerge from conversations with the City Council, the public, and as a result of department operations. These needs are considered as departments develop their budgets in late December and early February. Departments meet with the City Manager beginning in March to match identified needs with resources. The City Manager, Assistant City Manager, Human Resources Director, and others prepare projections and various analyses to arrive at the budget document you received.

This budget document is presented tonight for adoption by the Mayor and City Council as the "Tentative Budget" of the City for Fiscal Year 2024-2025 which begins on July 1, 2024, and ends on June 30, 2025. The budget document contains a summary of the budget process, Council priorities, a variety of narrative descriptions, and quantitative measures. This collection of data provides documentation for results of past operations, projected results for the current fiscal year, and the request for Fiscal Year 2024-2025. There are also sections for fees and charges and a long-term capital plan. Submitted also for adoption, by reference, along with the budget document are:

1. Compensation schedules which were used to develop the personnel services sections of the budget document.
2. A certification of participation in the Public Employees Contributory Retirement System and the Public Safety Contributory Retirement System of the Utah Retirement Systems (URS) for fiscal year 2024-2025.

I will also conduct a brief presentation during the Council Meeting to highlight overall budget amounts and key points of the budget for each fund of the City for consideration of the Council. The budget document itself is prepared in accordance with the State Uniform Fiscal Procedures Act and is balanced regarding revenues and expenditures/expenses.

Department Reviews

The referenced budget document for Fiscal Year 2024-2025 has been reviewed by every department manager in the City; Council Budget Committees; and the City Manager for concurrence. During the Council Budget Committee Meetings there were some discussions and recommendations that will be included in the final budget including the following items:

- 2.0% increase in water rates as recommended by the Water Fund Council Budget Committee.
- Transfer of \$2,000,000 from the Capital Projects Fund to the Water Fund from ARPA funds received in a prior year. The funds will be used for the Millcreek Reservoir project.
- Reduction of the preliminary health insurance increase from 15.0% currently in the Tentative Budget to the actual increase of 10.5%
- Increase of the employee COLA from 5% to 6%

The Tentative Budget presented tonight will be revised to incorporate the recommendations above along with any additional corrections necessary to arrive at a final budget to be presented for adoption by the Mayor and City Council on June 11, 2024, after applicable public hearing processes. The companion analysis presentation to be provided tonight during the meeting is derived from the Tentative Budget document and has also been reviewed for concurrence by the City Manager.

Significant Impacts

None.

Recommendation

Based on the analysis provided, and the Operating & Capital Budget document referenced, it is recommended that the Mayor and City Council:

1. Adopt the “**City of Bountiful, Operating and Capital Budget, Fiscal Year 2024-2025 (July 1, 2024 to June 30, 2025) Tentative Budget**” as the City’s Tentative Budget for Bountiful City and all component units including the Redevelopment Agency.
2. Set the time and place for public hearings on the Tentative Budget and related matters at the City Council Meeting scheduled to begin at 7:00 p.m. on Tuesday, June 11, 2024 in the Council Chambers of Bountiful City Hall.

Attachments

- None