



BOUNTIFUL CITY
PLANNING COMMISSION AGENDA
Tuesday, December 7, 2021
6:30 p.m.

NOTICE IS HEREBY GIVEN that the Bountiful City Planning Commission will hold a meeting in the Council Chambers, Bountiful City Hall, 795 South Main, Bountiful, Utah, 84010, at the time and on the date given above. The public is invited. Persons who are disabled as defined by the American with Disabilities Act may request an accommodation by contacting the Bountiful Planning Office at 298-6190. Notification at least 24 hours prior to the meeting would be appreciated.

1. Welcome
2. Swearing in of Alan Bott, new Planning Commission Member – *Shawna Andrus, City Recorder*
3. Approval of the minutes for October 5, 2021
4. 1560 South Renaissance Towne Dr – Renaissance Town Center Lot 14 - Preliminary Architectural and Site Plan Review, Bruce Broadhead, applicant – *Planning Director Francisco Astorga*
 - a. Review
 - b. Possible recommendation to the City Council
5. 262 North 500 West – Deseret First Credit Union PUD – Preliminary and Final PUD Review, Brian Knowlton, applicant – *City Engineer Lloyd Cheney*
 - a. Review
 - b. Possible recommendation to the City Council
6. 262 North 500 West – Deseret First Credit Union PUD – Preliminary and Final Architectural and Site Plan Review, Brian Knowlton, applicant – *Planning Director Francisco Astorga*
 - a. Review
 - b. Possible recommendation to the City Council
7. Election of Chairman and Vice Chairman of the Planning Commission for 2022
8. Approval of the 2022 Planning Commission Meeting Calendar
9. Adjourn

Draft Minutes of the
BOUNTIFUL CITY PLANNING COMMISSION
October 5, 2021

Present: Commission Members Lynn Jacobs (vice -chair), Jesse Bell, Jim Clark, Sharon Spratley, and Councilwoman Kendalyn Harris
City Attorney Clinton Drake
City Engineer Lloyd Cheney
Planning Director Francisco Astorga
Asst City Planner Kendal Black
Recording Secretary Darlene Baetz

Excused: Commission Chair Sean Monson and Commission Member Sam Bawden

1. Welcome.

Vice-Chair Jacobs opened the meeting at 6:30 pm and welcomed all those present.

2. Approval of minutes for September 7, 2021.

MOTION: Commissioner Spratley made a motion to approve the minutes for September 7, 2021, as written. Commissioner Clark seconded the motion.

VOTE: The motion passed unanimously (5-0).

3. Bountiful City Land Use Code Text Amendment – Accessory Dwelling Units in the Single-Family Residential Zone - *Planning Director Francisco Astorga*

Planning Director Francisco Astorga presented the item.

This Land Use Text Amendment for Accessory Dwelling Units (ADU) in the Single-Family zone would allow Bountiful City to be in compliance with House Bill 82. This bill made modifications for all cities to be able to comply with ADU standards. Prior to this bill, Bountiful City had amended the code in 2018 and 2020 to clarify additional requirements for both internal and detached ADUs. Currently the City code allows both in the primary dwelling and detached in the Single-Family zone.

The state’s intent of rentals would require the property to be owner occupied and would be occupied for 30 days or longer. The City would still require approval thru the Administrative Committee and receive an approved Conditional Use Permit for all detached units. The internal ADUs would be a permitted use but the City would require a permit that would keep track of the internal ADUs. There will be amendments made to the City code for short term rentals in the future.

There was discussion about the state requirements with lot size, parking, separate utility meters, property liens, and short-term rentals. Planning Director Astorga discussed the proposed changes to the code which would be reflected in Ordinance 2021-10 if approved.

Vice-Chair Jacobs opened and closed the public hearing at 6:59 p.m. without any comments.

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Councilwoman Harris asked if the State code makes the City more restrictive. Planning Director Astorga noted the only item more restrictive would be with short term rentals

MOTION: Commissioner Spratley made a motion to forward a positive recommendation to the City Council to approve the Land Use Code Text Amendment as drafted and outlined by staff. Commissioner Clark seconded the motion.

VOTE: The motion passed unanimously (5-0).

Vice-Chair Jacobs adjourned the meeting at 7:05.

Lynn Jacobs
Planning Commission Vice-Chair

Planning Commission Staff Report



Subject: Renaissance Towne Center Apartment Building
Preliminary Architectural and Site Plan Review
Address: 1671 South Renaissance Towne Drive
Author: Francisco Astorga, AICP, Planning Director
Date: December 7, 2021

Background

The Applicant, Bruce Broadhead with Town Center, LLC, has submitted an Architectural and Site Plan Review Application for the construction of a new multi-family residential apartment building at the former Five Points Mall site. The proposed structure will have frontage along Main Street and Renaissance Town Drive, and is located directly south of the existing parking structure in front of Renaissance Tower I.

The site is located in the Mixed-Use (MXD-R) zone and is a part of the Renaissance Towne Centre (RTC) Development Plan approved in May of 2019 and amended in April of 2021. The entire RTC area is zoned MXD-R having a majority focus towards residential use.

The proposed five (5) story building contains 287 apartment units which partially wrap around a new concrete parking garage which will serve the new apartment building and the public. The building includes apartments, leasing office, clubrooms, fitness room, etc. The amenity space overlooks a swimming pool and outdoor space. There are three (3) exterior courtyards. The proposed building, including the parking garage, will be divided into four (4) buildings with fire walls and will be completed and occupied in stages.

Analysis

Use. The approved Development Plan identified a potential of 298 residential units consisting of approximately 333,264 square feet at Site no. 14. This new proposal includes 287 residential units consisting of 255,921 square feet. The residential building consists of 189 1-bedroom units, 90 2-bedroom units, and 8 3-bedroom units. Based on the approved Development Plan, consisting of tables, diagrams, graphic representations, etc., multi-family residential use is specified as a permitted use in the zone.

Minimum Building Setbacks. As specified in the Development Plan, the minimum building setback from Main Street is twenty feet (20'), and the minimum setback from other public rights-of-way is five feet (5'). The review also includes consistency with the conceptual renderings, potential architectural design precedents, potential traffic and pedestrian thoroughfares, potential landscape plan, and street design precedents. Spacing between building as required by the International Building Code is also required. The proposal complies with the specified minimum building setbacks and spacing.

Building Height. As specified in the Development Plan, the maximum building height of the residential building within this specific site (lot 14) is sixty-five feet (65'), which provides

flexibility for a range of building height which translates to a structure with 5-6 stories. The proposed five story structure complies with the maximum building height. The parking garage has a total of seven (7) levels, as the proposal includes a top parking deck and the underground parking level.

Parking. The Development Plan indicates that individual sites (or lots) need to be consistent with the number of parking stalls required by the Bountiful City Land Use Code or may be modified by an approved parking study prepared by an accepted professional using the latest industry trends, etc. to be analyzed individually during each Site Plan Review. The applicant submitted an updated Parking Study by Hales Engineering, see attachment C. The study indicates that the proposal requires a total of 376 parking spaces. The proposed parking garage contains 397 parking spaces. The updated parking study indicates that the total number of required parking spaces in the entire development is 1,426. The development anticipates accommodating a total of 1,585 parking spaces. The proposal complies with the land use code and the Development in that an approved parking study is utilized to modify the required parking. It is also worth noting that it is anticipated that a high-end Main Street bus rapid transit station is to be built near this development in the future.

Site Planning. The proposal includes placing the parking garage towards the middle of the building. This creates a break in parking areas as the original concept had the second parking garage adjacent to the existing parking garage adjacent to Tower I. Breaking up the parking allows an opportunity to break uses which enhances the pedestrian experience along Main Street as well as the aesthetic look of the building as it relates to the existing parking structure.

Landscaping. The development requires 15% of the gross floor area or 15% of the gross site area. At preliminary site plan review a fully (stamped and signed) landscape plan is not required. The applicant submitted overall landscaping features consistent with the Development Plan. At Final site plan review the applicant is required to submit a stamped and signed landscaping plan that will show all proposed features includes required trees, shrubs, plantings, etc.

Building Materials. A flat roof with parapets will be used. The building will be clad with high-end materials consisting of fiber cement lap siding, fiber cement panel, with metal reveals and brick. The parking garage consists of pre-cast concrete and prefabricated decorative screens. See Attachment A – Renderings.

Review Process

The Preliminary Architectural and Site Plan Review process allows the Commission to comment on the submitted plans. During the Final Architectural and Site Plan Review the Commission follows up on any modification that need to be made, as applicable. Staff has already provided comments to the applicant regarding redlines that need to be addressed prior to Final Site Plan Review, which the applicant has already started address:

1. Minor typos found.
2. Placing private patios along Main Street completely within private property, not on the right-of-way.
3. Removing incorrect footprints of future buildings adjacent to the subject site.

4. Providing more specificity in the required sidewalk widths throughout.
5. Minor amendments to the Grading Plan for clarity.
6. Receiving a Landscape Plan (signed and stamped by landscape architect) with specific trees, shrubs, plantings.
7. Consistency between the landscape plan, architectural site plan and civil set site plan.
8. Placing the property line boundary on all floor plans for clarity.
9. Minor amendments to the elevation sheets for clarity.

The list found herein is not the final correction list, as it was prepared based on the preliminary plans that were provided to the Planning Department. There may be additional corrections identified in the future.

Department Review

The preliminary plans were reviewed by the Bountiful Building Official, City Engineer, Power Department, Police Department, Planning Department, and the South Davis Metro Fire Marshall. This staff report was written by the Planning Director and reviewed by the City Engineer and the City Attorney.

Significant Impacts

The development is occurring in an area with urban levels of infrastructure already in place. Impacts from the development of this property have been anticipated in the design of the existing storm water, sewer, and water and transportation systems. The conditions of approval are designed to mitigate other impacts anticipated by the development.

Recommendation

Staff recommends that the Planning Commission forward a positive recommendation to the City Council for the Preliminary Architectural and Site Plan Review for the proposed apartment building subject to the following conditions of approval:

1. Address all redlines provided to the Applicant from the City.

Attachments

1. Renderings
2. Preliminary Plans
3. Bountiful RTC Parking Study Update dated November 8, 2021



BROADHEAD
& COMPANY



BOWEN STUDIOS





RENAISSANCE TOWN CENTER

MAIN STREET
VIEW: MAIN POOL ENTRY WIDE | LOOKING EAST
RENAISSANCE TOWNE DRIVE
NORTH



RENAISSANCE TOWN CENTER

VIEW: OVERALL 2 | LOOKING WEST

MAIN STREET
RENAISSANCE TOWNE DRIVE
NORTH



RENAISSANCE TOWN CENTER

VIEW: MAIN STREET PARKING | LOOKING NORTH





RENAISSANCE TOWN CENTER

VIEW: OVERALL 1 | LOOKING NORTH

MAIN STREET
RENAISSANCE TOWNE DRIVE
NORTH

An orientation diagram consisting of a stylized map of the site. It shows a grid of streets with 'MAIN STREET' at the top and 'RENAISSANCE TOWNE DRIVE' at the bottom. A north arrow is located to the right of the diagram.






RENAISSANCE TOWN CENTER

VIEW: MAIN POOL | LOOKING WEST

MAIN STREET
RENAISSANCE TOWNE DRIVE





RENAISSANCE TOWN CENTER

VIEW: MAIN POOL & BAR | LOOKING SOUTH WEST





RENAISSANCE TOWN CENTER

VIEW: RESIDENCE PATIO | LOOKING NORTH



RENAISSANCE TOWNE CENTER

1560 SOUTH RENAISSANCE TOWNE DRIVE
BOUNTIFUL, UT 84010

BROADHEAD & COMPANY

SITE PLAN APPROVAL



350 WEST 380 SOUTH
UNIT 102
SALT LAKE CITY, UT 84101
PHONE: 363.273.8888
www.dwelldesignstudio.com

RENAISSANCE TOWNE
CENTER
1560 SOUTH RENAISSANCE TOWNE DRIVE
BOUNTIFUL, UT 84010

BROADHEAD & COMPANY

TEAM MEMBERS

OWNER
BRUCE BROADHEAD
BROADHEAD & COMPANY
1560 SOUTH RENAISSANCE TOWNE DRIVE
SUITE 104
BOUNTIFUL, UT 84010

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DWELL DESIGN STUDIO, LLC
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(385) 273-8888

CIVIL
SCOTT ARGYLE
ENTELLUS, INC.
1470 SOUTH 600 WEST
WOODS CROSS, UT 84010
(801) 298-2236

MECHANICAL
BRAD SHAKESPEARE
SHAKESPEARE ENGINEERING
6306 WEST CEDAR HILL ROAD
WEST JORDAN, UT 84081
(801) 613-1419

ELECTRICAL
BRIAN HICKS
BNA CONSULTING
635 SOUTH STATE STREET
SALT LAKE CITY, UT 84111
(801) 532-2196

PLUMBING
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SHAKESPEARE ENGINEERING
6306 WEST CEDAR HILL ROAD
WEST JORDAN, UT 84081
(801) 613-1419

STRUCTURAL
BRIAN WARNER
MCNEIL ENGINEERING
8610 SANDY PKWY SUITE 200,
SANDY, UT 84070
(801) 255-7700 x111

PROJECT INFORMATION

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE CODES OR STATUTES WHETHER OR NOT SPECIFICALLY REFERENCED IN THE CONSTRUCTION DOCUMENTS

- 2018 INTERNATIONAL BUILDING CODE (ICC), AS ADOPTED BY THE STATE OF UTAH.
- 2018 INTERNATIONAL PLUMBING CODE (IPC), AS ADOPTED BY THE STATE OF UTAH.
- 2018 INTERNATIONAL MECHANICAL CODE (IMC), AS ADOPTED BY THE STATE OF UTAH.
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC), AS ADOPTED BY THE STATE OF UTAH.
- 2017 NATIONAL ELECTRICAL CODE (NFPA 70), ISSUED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), AS AMENDED BY THE STATE OF UTAH.
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC), AS ADOPTED BY THE STATE OF UTAH.

THE DRAWINGS FOR THIS PROJECT ARE THE PROPERTY OF DWELL DESIGN STUDIO, LLC. COPIES OF THE DRAWINGS MAY BE USED ONLY BY THE OWNER TO CONSTRUCT AND OCCUPY THIS PROJECT. NEITHER THE DRAWINGS NOR THE DESIGN INDICATED ON THE DRAWINGS MAY BE REPRODUCED NOR USED FOR ANY OTHER PROJECT OR PURPOSE. DWELL DESIGN STUDIO, LLC ACCEPTS RESPONSIBILITY ONLY FOR THOSE DRAWINGS WHICH HAVE AN ORIGINAL SEAL, SIGNATURE, CONSTRUCTION ISSUE DATE, AND DATE OF FINAL REVISION FOR THE DRAWINGS

PROJECT RENDERING



VICINITY MAP



ISSUE	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

COVER SHEET

SITE PLAN APPROVAL
JOB NUMBER: 2034402
DRAWN BY: CL & VV
CHECKED BY: TT

CS-01

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ISSUE	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

SHEET INDEX

SITE PLAN APPROVAL

JOB NUMBER: 2034402

DRAWN BY: Author
 CHECKED BY: Checker

CS-02.SP

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NOT FOR CONSTRUCTION

SHEET INDEX - SITE PLAN APPROVAL						
Sheet Number	Sheet Name	2020.04.06 SCHEMATIC DESIGN PACKAGE	2020.05.18 PARKING DECK SCHEMATIC DESIGN PACKAGE	2021.04.07 PROGRESS PLAN	2021.04.27 SCHEMATIC DESIGN PACKAGE 2	2021.07.18 PARKING GARAGE PERMIT
GENERAL						
CS-01	COVER SHEET					X
CS-02.SP	SHEET INDEX					X
SP-01	ARCHITECTURAL SITE PLAN	X		X	X	X
SP-03	BUILDING INFORMATION			X		X
CIVIL						
C-100	CIVIL COVER & INDEX				X	X
C-101	NOTE & LEGEND				X	X
C-200	TOPOGRAPHIC PLAN				X	X
C-400	SITE PLAN				X	X
C-500	IRrigation PLAN				X	X
C-600	UTILITY PLAN				X	X
C-800	SITE DETAILS				X	X
C-900	UTILITY DETAILS				X	X
ARCHITECTURAL						
AA-01	OVERALL LEVEL 1 PLAN	X		X	X	X
AA-02	OVERALL LEVEL 2 PLAN	X		X	X	X
AA-03	OVERALL LEVEL 3 PLAN	X		X	X	X
AA-04	OVERALL LEVEL 4 PLAN	X		X	X	X
AA-05	OVERALL LEVEL 5 PLAN	X		X	X	X
AA-06	OVERALL LEVEL 6 PLAN	X		X	X	X
AA-09	OVERALL BUILDING ELEVATIONS				X	X
AA-11	COURTYARD BUILDING ELEVATIONS	X		X	X	X
AA-12	COURTYARD BUILDING ELEVATIONS	X		X	X	X
AA-30	OVERALL BUILDING SECTIONS	X		X	X	X
AA-31	OVERALL BUILDING SECTIONS	X		X	X	X
LANDSCAPE						
L-201	GENERAL NOTES				X	X
L-202	KEY PLAN				X	X
L-301	MATERIALS PLAN				X	X
L-302	MATERIALS PLAN				X	X
L-303	MATERIALS PLAN				X	X
L-304	MATERIALS PLAN				X	X
L-305	MATERIALS PLAN				X	X

NO.	DATE	DESCRIPTION	BY

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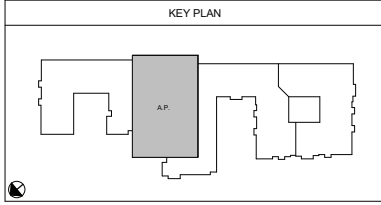
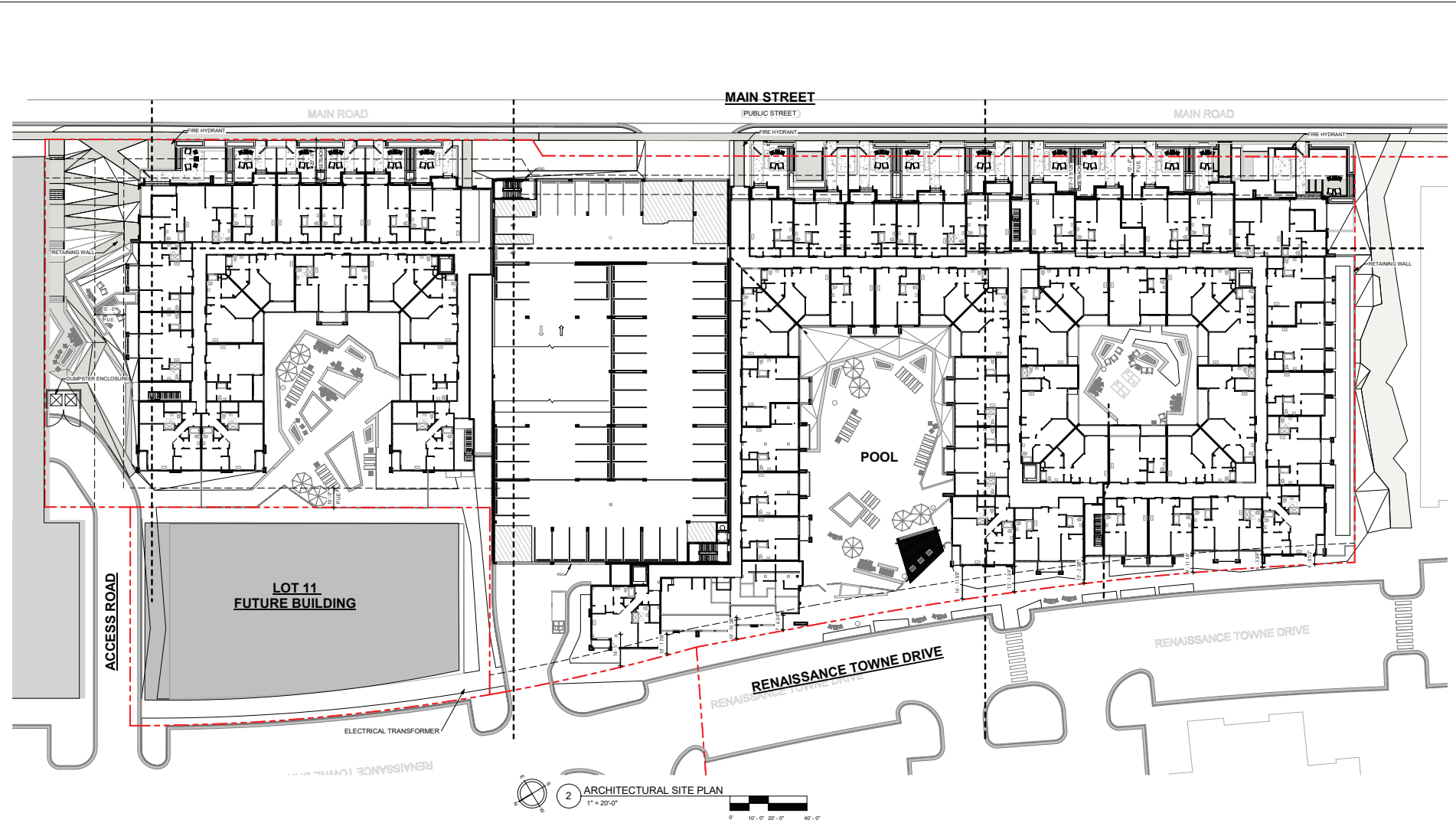
**ARCHITECTURAL
SITE PLAN**

PERMIT SET- PARKING DECK

JOB NUMBER: 2034402

DRAWN BY: OL & VV CHECKED BY: TT

SP-01



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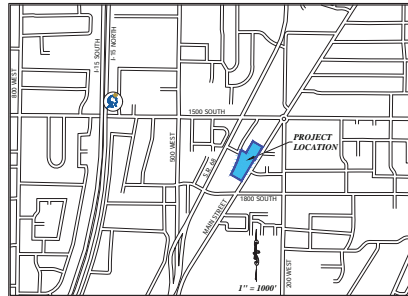
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NOT FOR CONSTRUCTION

RENAISSANCE TOWNE CENTER LOT 14

1650 S MAIN STREET
 LOT 13, RENAISSANCE TOWNE CENTER PHASE 3, PLAT 2
 LOCATED IN THE SW 1/4 OF SECTION 30, T.2N., R.1E., S.L.B.&M.
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

VICINITY MAP



CIVIL DRAWING INDEX

SHEET	TITLE
C100	CIVIL COVER & INDEX
C101	NOTES & LEGEND
C200	TOPOGRAPHIC PLAN
C400	SITE PLAN
C500	GRADING PLAN
C600	UTILITY PLAN
C900	SITE DETAILS
C910	UTILITY DETAILS

GENERAL NOTES

- ALL WORK WITHIN A PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.
- ALL UTILITY WORK SHALL CONFORM TO THE UTILITY OWNER'S STANDARDS & SPECIFICATIONS.
- THESE PLANS DO NOT INCLUDE DESIGN OF DRY UTILITIES. THESE PLANS MAY CALL FOR RELOCATION, AND/OR REMOVAL AND/OR CONSTRUCTION OF DRY UTILITIES, BUT ARE NOT OFFICIAL DRAWINGS FOR SUCH. DESIGN AND COORDINATION OF DRY UTILITIES IS BY OTHERS.
- THE CONTRACTOR SHALL COORDINATE AND OBTAIN ANY PERMITS REQUIRED FOR THE WORK SHOWN HEREON.
- THE LOCATION AND ELEVATIONS OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS IS A BEST ESTIMATE BASED ON UTILITY COMPANY RECORDS, BLUESTAKES, AND FIELD MEASUREMENTS OF READILY OBSERVABLE ABOVE-GROUND FEATURES. AS SUCH, THIS INFORMATION MAY NOT BE COMPLETE, UP-TO-DATE, OR ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STOP WORK AND NOTIFY THE ENGINEER IF CONFLICTING INFORMATION IS FOUND IN THE FIELD.
- THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION AND ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES PRIOR TO STAKING AND CONSTRUCTION.
- CALL BLUESTAKES AT LEAST 48 HOURS PRIOR TO DIGGING. DO NOT PROCEED UNTIL BLUESTAKES ARE MARKED.
- IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO MEET ALL APPLICABLE HEALTH AND SAFETY REGULATIONS, AND THEY SHALL ASSUME SOLE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING CONSTRUCTION OF THIS PROJECT, SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK, AND THE PUBLIC IS PROTECTED.

PRELIMINARY
 NOT FOR CONSTRUCTION

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 ELEVATION: 0000.00

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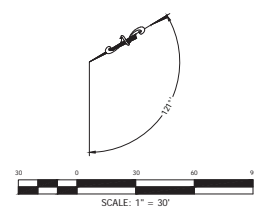
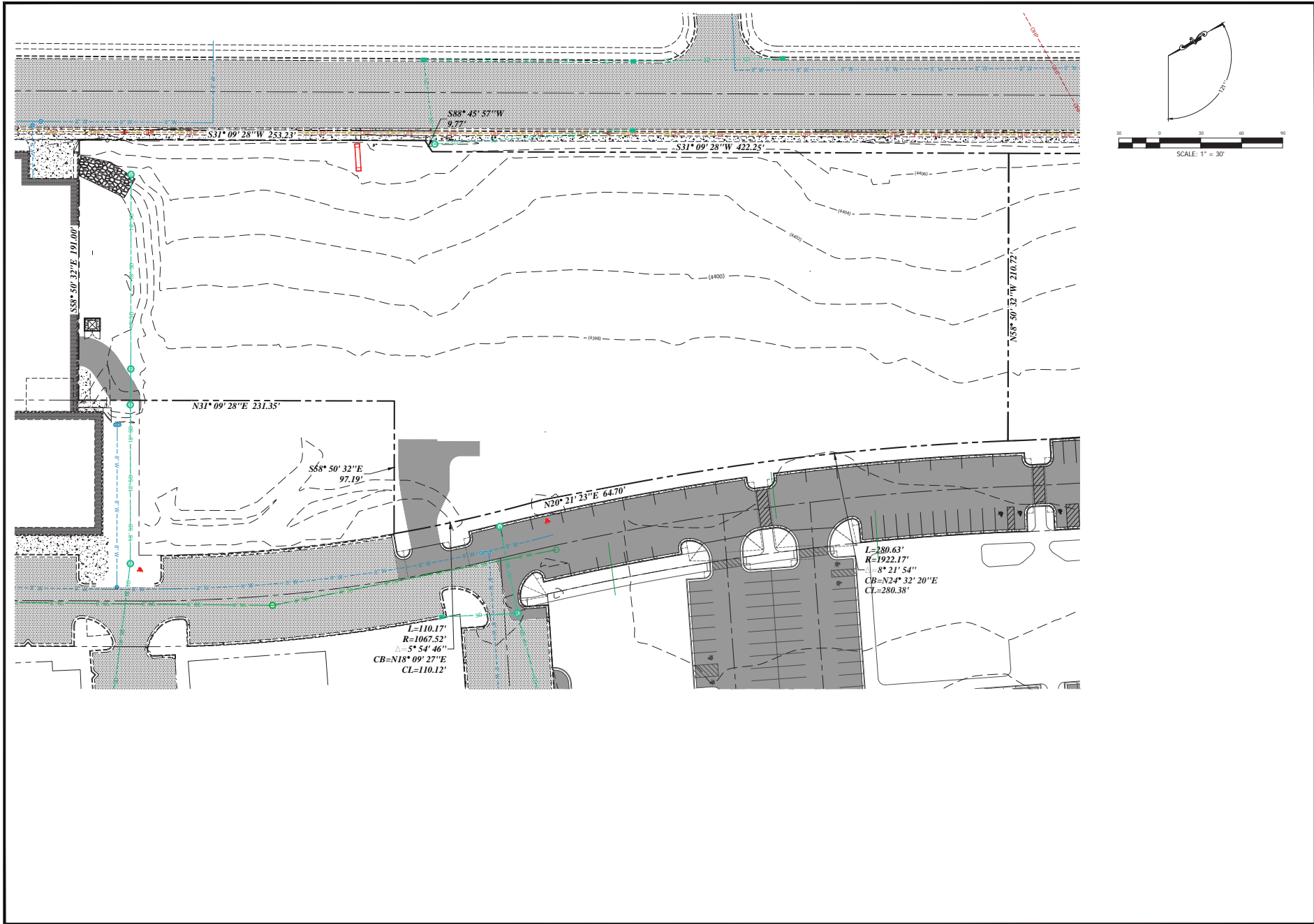


DEVELOPER
 RENAISSANCE TOWNE CENTER LOT 14
 1650 S MAIN STREET
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

RENAISSANCE TOWNE CENTER LOT 14
 1650 S MAIN STREET
 LOT 13, RENAISSANCE TOWNE CENTER PHASE 3, PLAT 1
 LOCATED IN THE SW 1/4 OF SECTION 30, T.2N., R.1E., S.L.B.&M.
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DRAWN: **SLX**
 APPROVED: **STA**
 PROJECT #: 1628083
 LOT 14 SITE.dwg

C100
 CIVIL COVER & INDEX



1470 South 600 West
 Woods Cross, UT 84010
 Phone: 801.298.2236
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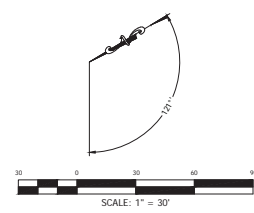
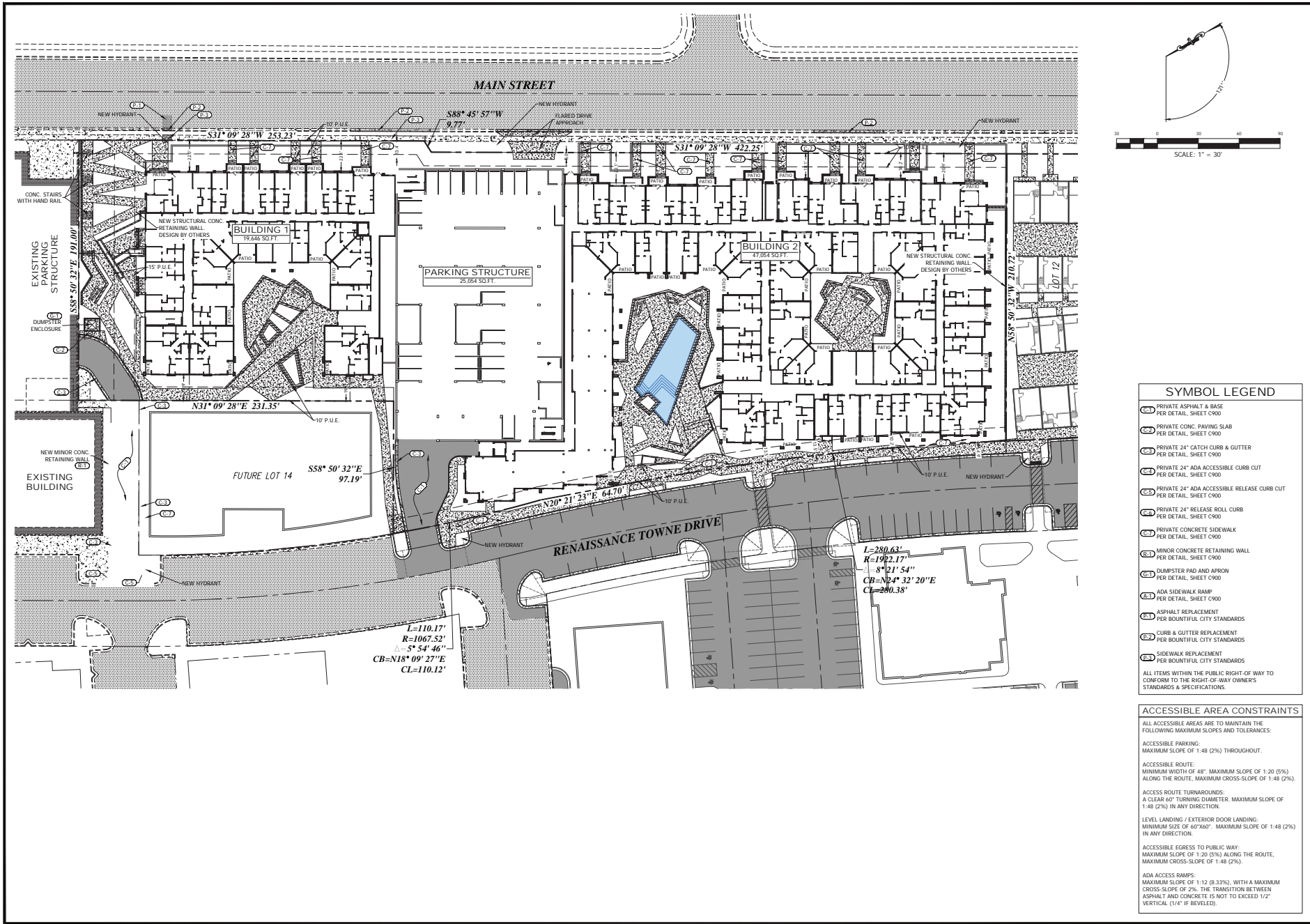


DEVELOPER
 TOWNE CENTER LLC
 CONTACT: BRUCE BRADHEAD
 1560 SOUTH RENAISSANCE TOWNE DRIVE
 SUITE 104
 WOODS CROSS, UT 84010
 801.558.4177
 brhead144@gmail.com

RENAISSANCE TOWNE CENTER LOT 14
 1650 S MAIN STREET
 LOT 14, RENAISSANCE TOWNE CENTER PHASE 3, PLAT 1
 LOCATED IN THE SW 1/4 OF SECTION 30, T2N, R1E, S1R & M.
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DRAWN: SKK
 APPROVED: STA
 PROJECT #: 1628003
 LOT 14 SITE.dwg

C200
 TOPOGRAPHIC PLAN



SYMBOL LEGEND

- PRIVATE ASPHALT & BASE PER DETAIL, SHEET C900
 - PRIVATE CONC. PAVING SLAB PER DETAIL, SHEET C900
 - PRIVATE 24" ADA ACCESSIBLE CURB & GUTTER PER DETAIL, SHEET C900
 - PRIVATE 24" ADA ACCESSIBLE CURB CUT PER DETAIL, SHEET C900
 - PRIVATE 24" ADA ACCESSIBLE RELEASE CURB CUT PER DETAIL, SHEET C900
 - PRIVATE 24" RELEASE ROLL CURB PER DETAIL, SHEET C900
 - PRIVATE CONCRETE SIDEWALK PER DETAIL, SHEET C900
 - MINOR CONCRETE RETAINING WALL PER DETAIL, SHEET C900
 - DUMPSTER PAD AND APRON PER DETAIL, SHEET C900
 - ADA SIDEWALK RAMP PER DETAIL, SHEET C900
 - ASPHALT REPLACEMENT PER BOUNTIFUL CITY STANDARDS
 - CURB & GUTTER REPLACEMENT PER BOUNTIFUL CITY STANDARDS
 - SIDEWALK REPLACEMENT PER BOUNTIFUL CITY STANDARDS
- ALL ITEMS WITHIN THE PUBLIC RIGHT-OF-WAY TO CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.

ACCESSIBLE AREA CONSTRAINTS

ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MAXIMUM SLOPES AND TOLERANCES:

ACCESSIBLE PARKING:
 MAXIMUM SLOPE OF 1:48 (2%) THROUGHOUT.

ACCESSIBLE ROUTE:
 MINIMUM WIDTH OF 48"; MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ACCESS ROUTE TURNAROUNDS:
 A CLEAR 60" TURNING DIAMETER, MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

LEVEL LANDING / EXTERIOR DOOR LANDING:
 MINIMUM SIZE OF 60"x60"; MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

ACCESSIBLE EGRESS TO PUBLIC WAY:
 MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ADA ACCESS RAMPS:
 MAXIMUM SLOPE OF 1:12 (8.33%), WITH A MAXIMUM CROSS-SLOPE OF 2%; THE TRANSITION BETWEEN ASPHALT AND CONCRETE IS NOT TO EXCEED 1/2" VERTICAL (1/4" IF BEVELED).

1470 South 600 West
 Woods Cross, UT 84010
 Phone: 801.298.2236
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Entellus

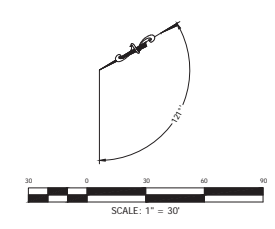
DEVELOPER
 TOWNE CENTER LLC
 1560 SOUTH RENAISSANCE TOWNE DRIVE
 SUITE 104
 BOUNTIFUL, UT 84010
 801.554.4177
 bhound1414@gmail.com

RENAISSANCE TOWNE CENTER LOT 14

 1650 S MAIN STREET
 LOT 14, RENAISSANCE TOWNE CENTER PHASE 3, PLAT 1
 LOCATED IN THE SW 1/4 OF SECTION 30, T2N, R1E, S14&M,
 BOUNTIFUL CITY, DAVIS COUNTY, UTAM

DRAWN: **SLX**
 APPROVED: **STA**
 PROJECT #: 1628083

C400
 SITE PLAN



ACCESSIBLE AREA CONSTRAINTS

ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MAXIMUM SLOPES AND TOLERANCES:

ACCESSIBLE PARKING:
MAXIMUM SLOPE OF 1:48 (2%) THROUGHOUT.

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MINIMUM SIZE OF 60'x60". MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

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ADA ACCESS RAMPS:
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Woods Cross, UT 84010
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www.Entellus.com

DEVELOPER

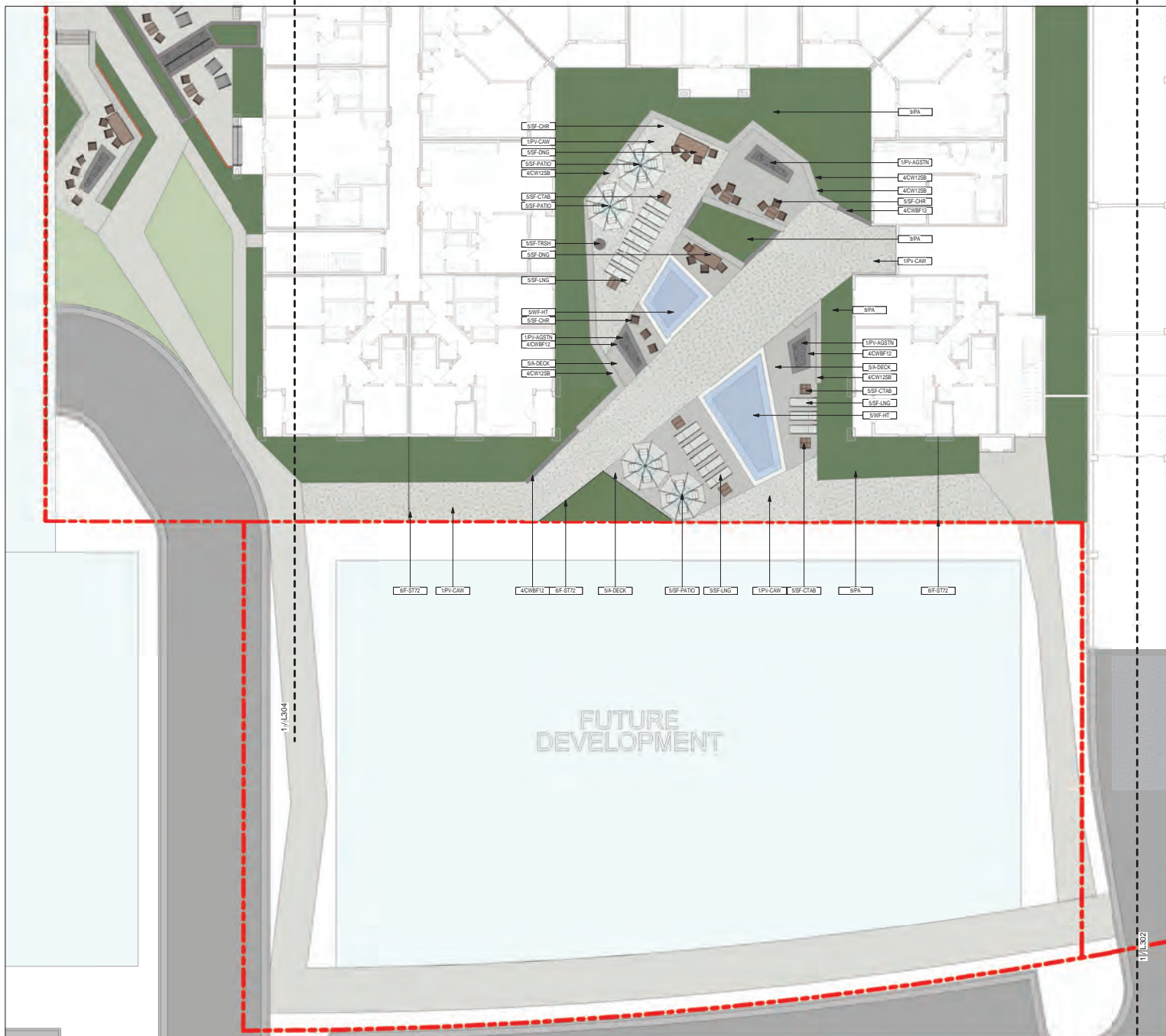
TOWNE CENTER LLC
CONTACT: BRUCE BRADSHAW
1560 SOUTH RENAISSANCE TOWNE DRIVE
SUITE 104
BOULDER, UT 84010
801.584.4177
bbrad142@gmail.com

RENAISSANCE TOWNE CENTER LOT 14

1650 S MAIN STREET
LOT 14, RENAISSANCE TOWNE CENTER PHASE 3, PLAT 1
LOCATED IN THE SW 1/4 OF SECTION 30, T.2N., R.1E., S.L.R.# 16
BOULDER CITY, DAVIS COUNTY, UTAH

DRAWN:	XXX
APPROVED:	STA
PROJECT #:	1628083

C500
GRADING PLAN



KEYNOTES LEGEND

01 - PAVEMENT, RAMPS, AND CURBS

Keynote	Detail	Quantity
1PV-A-CV	Asphalt (See Civil)	294,179 SF
1PV-A-G	Mosaic Pebble	865 SF
1PV-A-GS	Crushed Stone	134 SF
1PV-A-GT	Fire Feature Stone	565 SF
1PV-C-CV	Concrete (See Civil)	870 SF
1PV-C-EX	Concrete - Existing	9,539 SF
1PV-C-FU	Concrete - Future Phase	3,283 SF
1PV-C-W	Concrete - Acid Wash	6,679 SF
1PV-CB	Concrete - Brown Finish Medium with Sawcut Control Joint	12,341 SF
1PV-RANT	White Staining	123 SF
1PV-V-STN	Stone in White Concrete on Concrete Base	348 SF

02 - JOINTS

Keynote	Detail	Quantity

03 - SITE STAIRS

Keynote	Detail	Quantity
3STRG-C-BF	Concrete Stair - 6' x 12' - Modern Nosing	26

04 - SITE WALLS

Keynote	H	L	Detail	VSFFF
4BROCK	Block Wall - Match Building Exterior Brick	3' 0"	267'	939 SF
4BROCK	Block Wall - Match Building Exterior Brick	5'	941'	4,705 SF
4BROCK	Block Wall - Match Building Exterior Brick	10'	15'	149 SF
4BROCK	Block Wall - Match Building Exterior Brick	12'	127'	864 SF
4CWB12B	12" Concrete Wall Boardform with Seal Bench	3.5'	612'	2,102 SF
4CWB8E	8" Concrete Wall Boardform	5'	22'	108 SF
4CWB8E	8" Concrete Wall Boardform	3.5'	86'	235 SF
4CWB8E	8" Concrete Wall Boardform	5'	292'	1,481 SF
4CWB8E	8" Concrete Wall Boardform	6'	29'	179 SF
4CWB8E	8" Concrete Wall Boardform	8'	27'	222 SF
4CWB8E	8" Concrete Wall Boardform	10'	22'	156 SF
4CWB12	12" Concrete Wall Boardform	3'	206'	644 SF
4CWB12	12" Concrete Wall Boardform	3.5'	45'	164 SF
4CWB12	12" Concrete Wall Boardform	4'	24'	98 SF
4CWB12	12" Concrete Wall Boardform	10.5'	28'	289 SF

05 - SITE AMENITIES

Keynote	Detail	Count
5A-PERG1	Pergola - Cooking Area by Pool	1
5FF-IBQ	IBQ set into Counter with Cabinets underneath	3
5SF-CB	Garden Bistro Kiosk	86
5SF-C7AB	Garden Coffee Table	38
5SF-DNG	Garden Dinner Table 220	7
5SF-C4R	Garden Easy Chair	45
5SF-LNG	Pool Lounger	37
5SF-PAT10	Patio Table, 4 Chairs, and Umbrella	9
5SF-STL	Garden Bar Chair	12
5SF-TRSH	Trash Receptacle - Landscapes Poo	8

06 - SITE RAILINGS AND FENCES

Keynote	Detail	Quantity
6F-ST36	Fire Back Guard - Privacy Screen	131'
6F-ST22	Pool Barrier - Hinged Steel Fence - 72"	232'
6F-WD06	Fence - Steel - Horizontal 30'	481'
6HR-STL	Balcony Rail - Generic 3" Offset (See Arch)	150'

07 - LIGHTING

Keynote	Detail	Quantity

08 - SITE DRAINAGE

Keynote	Detail	Quantity

09 - PLANTING AREAS

Keynote	Detail	Quantity
SPA	Planting Area	20,745 SF
SPA-EX	Planting Area - Existing	6,120 SF
SPA-FUT	Planting Area - Future Phase	4,028 SF
9500-LAWN	Lawn	6,288 SF
95NTH	Lawn - AstroTurf	340 SF

10 - MISCELLANEOUS ELEMENTS

Keynote	Detail	Quantity



Principal: Grant Hardy
 Project Manager: Grant Hardy
 Designer: Grant Hardy
 Checked By: Grant Hardy

THE DESIGN, DRAWING AND SPECIFICATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE AND WITHOUT LIABILITY TO THE DESIGNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE SITE AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CONTRACTOR DUE TO OMISSIONS, INACCURACIES OR OMISSIONS OF INFORMATION FROM THE CONTRACTOR'S RECORD DRAWINGS OR FIELD SURVEY.

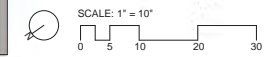
THE CLIENT ACCEPTS THE LIABILITY FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CONTRACTOR DUE TO OMISSIONS, INACCURACIES OR OMISSIONS OF INFORMATION FROM THE CONTRACTOR'S RECORD DRAWINGS OR FIELD SURVEY.

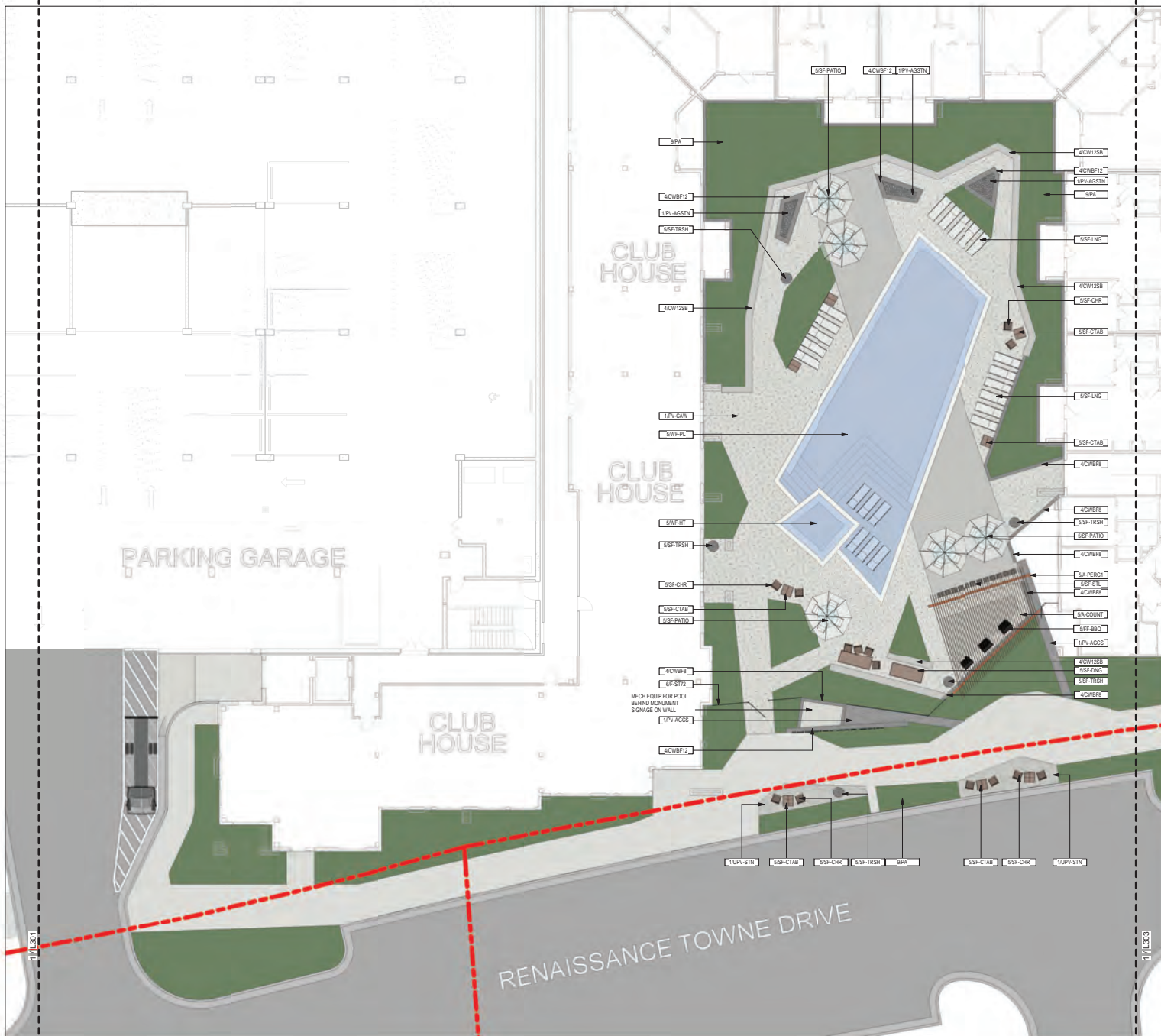
Issue Date: 09/22/2021

RENAISSANCE TOWNE CENTER
 1560 S. MAIN STREET
 PARCEL 11
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

Materials Plan

L301





KEYNOTES LEGEND

01 - PAVEMENT, RAMPS, AND CURBS

Keynote	Detail	Quantity
1PV-A-CIV	Asphalt (See CIV)	294,179 SF
1PV-AG	Manicured Pebble	865 SF
1PV-AGCS	Crushed Stone	134 SF
1PV-AGSTN	Fire Resistant Stone	566 SF
1PV-C-CIV	Concrete (See CIV)	870 SF
1PV-C-EX	Concrete - Existing	9,539 SF
1PV-C-F	Concrete - Finish Phase	3,281 SF
1PV-C-AM	Concrete - Acid Wash	6,678 SF
1PV-CBP	Concrete - Brown Finish Medium with Sawcut Control Joints	13,341 SF
1PV-DRNT	White Drivng	120 SF
1PVV-STN	Stone in White Concrete on Concrete Base	348 SF

02 - JOINTS

Keynote	Detail	Quantity
4CW12SB		
4CWBF12		
1PV-AGSTN		
5PA		

03 - SITE STAIRS

Keynote	Detail	Quantity
3STRG-C-8F	Concrete Stair - 6" x 12" - Modern nosing	26

04 - SITE WALLS

Keynote	H	L	Detail	VSFFF
4BRCK	Brick Wall - Match Building Exterior Brick	3.5'	267'	939 SF
4BRCK	Brick Wall - Match Building Exterior Brick	5'	941'	4,705 SF
4BRCK	Brick Wall - Match Building Exterior Brick	10'	15'	149 SF
4BRCK	Brick Wall - Match Building Exterior Brick	12'	127'	864 SF
4CW12SB	12" Concrete Wall Boardform with Seal Bech	3.5'	619'	2,192 SF
4CWBR6	6" Concrete Wall Boardform	5'	22'	108 SF
4CWBR6	6" Concrete Wall Boardform	3.5'	86'	235 SF
4CWBR6	6" Concrete Wall Boardform	5'	292'	1,481 SF
4CWBR8	8" Concrete Wall Boardform	6'	29'	179 SF
4CWBR8	8" Concrete Wall Boardform	8'	27'	222 SF
4CWBR8	8" Concrete Wall Boardform	10'	22'	195 SF
4CWBF12	12" Concrete Wall Boardform	3'	206'	644 SF
4CWBF12	12" Concrete Wall Boardform	3.5'	45'	162 SF
4CWBF12	12" Concrete Wall Boardform	4'	24'	98 SF
4CWBF12	12" Concrete Wall Boardform	10.5'	28'	289 SF

05 - SITE AMENITIES

Keynote	Detail	Count
5VA-PERG1	Pergola - Cooking Area by Pool	1
5SF-BBQ	BBQ set into Counter with Cabinets underneath	3
5SF-CHK	Garden Bistro Kiosk	86
5SF-CTAB	Garden Coffee Table	38
5SF-DNG	Garden Driver Table 220	7
5SF-C-CH	Garden Clay Chair	45
5SF-LNG	Pool Lounger	37
5SF-PATIO	Patio Table, 4 Chairs, and Umbrella	9
5SF-STL	Garden Bar Chair	12
5SF-TRSH	Trash Receptacle - Landscapetoms Poo	8

06 - SITE RAILINGS AND FENCES

Keynote	Detail	Quantity
6F-CT36	Fire Back Guard - Privacy Screen	131'
6F-STZ2	Pool Barrier - Hinged Steel Fence - 72"	232'
6F-WD06	Fence - Steel - Horizontal 30'	481'
6HRS-STL	Balcony Rail - Generic 3" Offset (See Arch)	150'

07 - LIGHTING

Keynote	Detail	Quantity
5VA-COUNT		
5VF-BBQ		
1PV-AGCS		

08 - SITE DRAINAGE

Keynote	Detail	Quantity
4CW12SB		
5SF-DNG		
5SF-TRSH		
4CWBR6		

09 - PLANTING AREAS

Keynote	Detail	Quantity
5PA	Planting Area - Existing	20,745 SF
5PA-EX	Planting Area - Existing	6,120 SF
5PA-UT	Planting Area - Future Phase	4,028 SF
9S00-LAWN	Lawn	6,288 SF
9S1NTH	Lawn - AstroTurf	340 SF

10 - MISCELLANEOUS ELEMENTS

Keynote	Detail	Quantity
1L1PV-STN		
5SF-CTAB		
5SF-CHK		
5SF-TRSH		
5PA		
5SF-CTAB		
5SF-CHK		
1L1PV-STN		



Principal: Grant Hardy
 Project Manager: Grant Hardy
 Designer: Grant Hardy
 Checked By: Grant Hardy

THE DESIGN, DRAWING AND SPECIFICATIONS ARE PREPARED BY EPg DESIGN AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

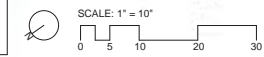
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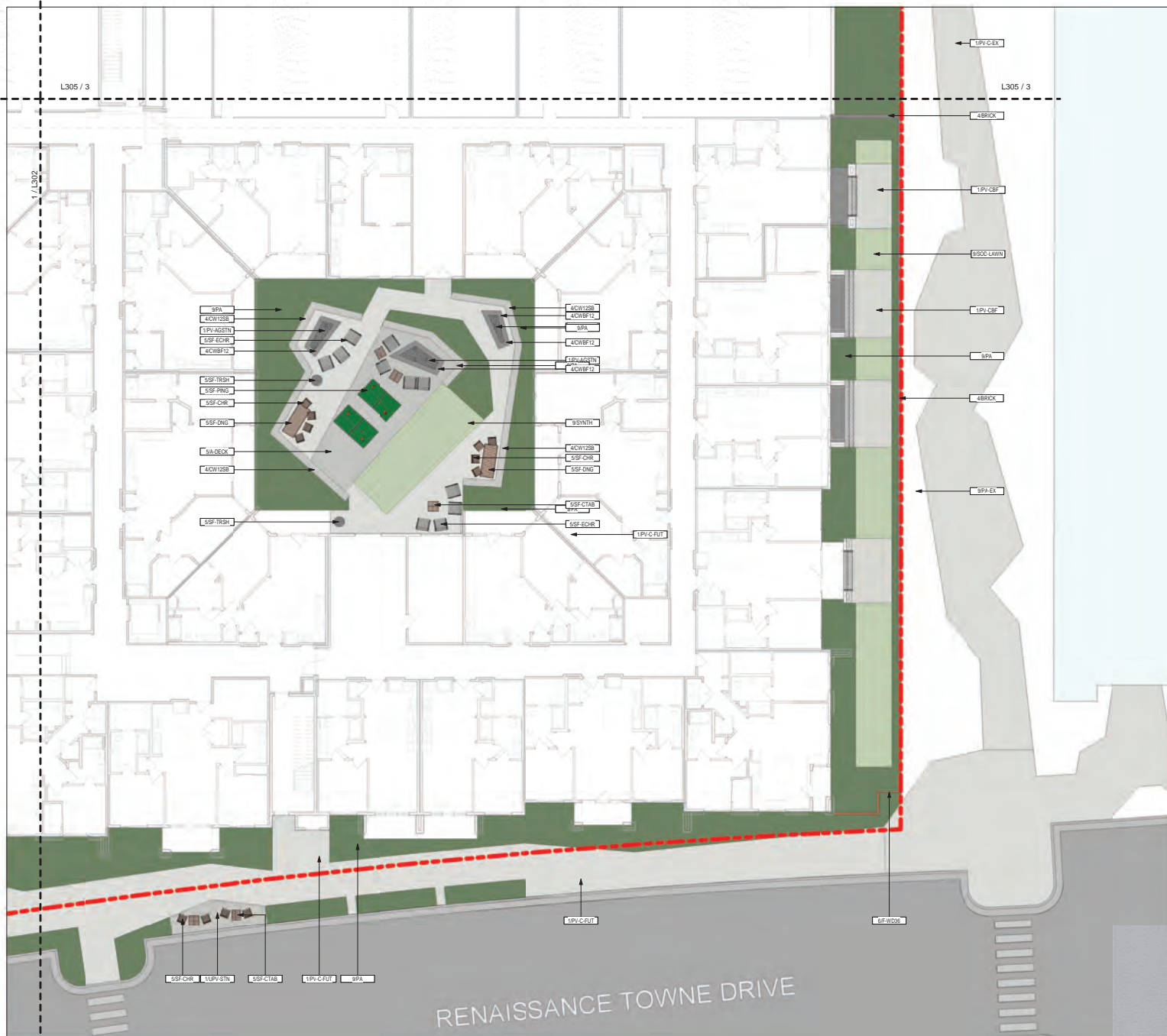
Issue Date: 09/20/2021

RENAISSANCE TOWNE CENTER
 1560 S MAIN STREET
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

Materials Plan

L302





KEYNOTES LEGEND

01 - PAVEMENT, RAMPS, AND CURBS

Keynote	Detail	Quantity
1PVA-CV	Asphalt (See Civil)	294,179 SF
1PVA-G	Medium Pebble	865 SF
1PVA-GSS	Crushed Stone	134 SF
1PVA-GSTN	Fire Feature Stone	565 SF
1PVA-CV	Concrete (See Civil)	870 SF
1PVA-C-EX	Concrete - Existing	9,539 SF
1PVA-C-FS	Concrete - Future Phase	3,281 SF
1PVA-C-AM	Concrete - Acid Wash	6,679 SF
1PVA-CBP	Concrete - Brown Finish Medium with Sawcut Control Joints	12,341 SF
1PVA-INT	White Striping	129 SF
1PVA-STN	Stone in White Concrete on Concrete Base	348 SF

02 - JOINTS

Keynote	Detail	Quantity

03 - SITE STAIRS

Keynote	Detail	Quantity
3STIRG-C-BF	Concrete Stair - 6' x 12' - Modern nosing	26

04 - SITE WALLS

Keynote	H	L	Detail	VSFFF
4BRICK	3.0'	267'	Block Wall - Match Building Exterior Brick	939 SF
4BRICK	5.0'	941'	Block Wall - Match Building Exterior Brick	4,705 SF
4BRICK	10.0'	15'	Block Wall - Match Building Exterior Brick	149 SF
4BRICK	12.0'	127'	Block Wall - Match Building Exterior Brick	864 SF
4CWI12SB	3.0'	612'	12" Concrete Wall Boardform with Seal Bench	2,102 SF
4CWBRE	6.0'	22'	8" Concrete Wall Boardform	108 SF
4CWBRE	3.0'	86'	8" Concrete Wall Boardform	235 SF
4CWBRE	5.0'	292'	8" Concrete Wall Boardform	1,481 SF
4CWBRE	6.0'	29'	8" Concrete Wall Boardform	179 SF
4CWBRE	8.0'	27'	8" Concrete Wall Boardform	222 SF
4CWBRE	10.0'	22'	8" Concrete Wall Boardform	158 SF
4CWB12	3.0'	206'	12" Concrete Wall Boardform	644 SF
4CWB12	3.0'	45'	12" Concrete Wall Boardform	162 SF
4CWB12	4.0'	24'	12" Concrete Wall Boardform	98 SF
4CWB12	10.0'	28'	12" Concrete Wall Boardform	289 SF

05 - SITE AMENITIES

Keynote	Detail	Count
5A-PERG1	Pergola - Cooking Area by Pool	1
5FF-IBQ	IBQ set into Counter with Cabinets underneath	3
5SF-CHK	Garden Bench Armchair	86
5SF-CTAB	Garden Coffee Table	38
5SF-DNG	Garden Drivert Table 220	7
5SF-CHW	Garden Day Chair	45
5SF-LNG	Pool Lounger	37
5SF-PATIO	Patio Table, 4 Chairs, and Umbrella	9
5SF-STL	Garden Bar Chair	12
5SF-TRSH	Trash Receptacle - Landscapetoms Poo	8

06 - SITE RAILINGS AND FENCES

Keynote	Detail	Quantity
6F-ST36	Fire Back Guard - Privacy Screen	131'
6F-ST22	Pool Barrier - Hidden Steel Fence - 72"	232'
6F-WD06	Fence - Steel - Horizontal 30'	481'
6HR-STL	Balcony Rail - Generic 3" Offset (See Arch)	150'

07 - LIGHTING

Keynote	Detail	Quantity

08 - SITE DRAINAGE

Keynote	Detail	Quantity

09 - PLANTING AREAS

Keynote	Detail	Quantity
SPA	Planting Area	20,745 SF
SPA-EX	Planting Area - Existing	6,120 SF
SPA-INT	Planting Area - Future Phase	4,020 SF
9500-LAWN	Lawn	6,288 SF
95NINTH	Lawn - AstroTurf	340 SF

10 - MISCELLANEOUS ELEMENTS

Keynote	Detail	Quantity



Principal: Grant Hardy
 Project Manager: Grant Hardy
 Designer: Grant Hardy

Checked By: Grant Hardy

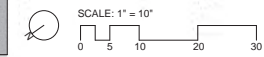
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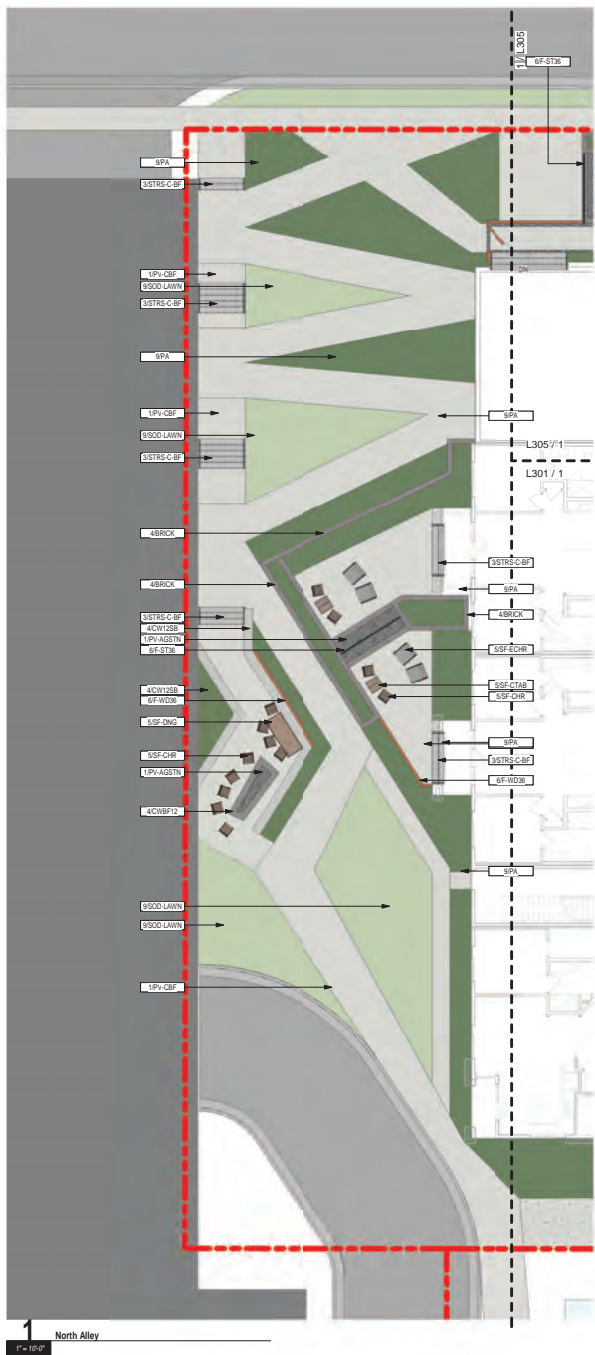
Issue Date: 09/20/2021

RENAISSANCE TOWNE CENTER
 1560 S MAIN STREET
 BOUNTIFUL CITY, DAVIS COUNTY, UT 84002

Materials Plan

L303





KEYNOTES LEGEND

01 - PAVEMENT, RAMPS, AND CURBS

Keynote	Detail	Quantity
1PV-A-CV	Asphalt (See Civil)	294,179 SF
1PV-AG	Mosaic Pebble	865 SF
1PV-AGCS	Crushed Stone	134 SF
1PV-AGSTN	Fire Feature Stone	565 SF
1PV-C-CV	Concrete (See Civil)	870 SF
1PV-C-EX	Concrete - Existing	9,539 SF
1PV-C-FUS	Concrete - Finish Phase	3,283 SF
1PV-C-AM	Concrete - Acid Wash	6,679 SF
1PV-CBF	Concrete - Brown Finish Medium with Sawcut Control Joints	12,341 SF
1PV-SWNT	White Striping	129 SF
1PVV-STN	Stone in White Concrete on Concrete Base	348 SF

02 - JOINTS

Keynote	Detail	Quantity
3STRS-C-BF	Concrete Sill - 6" x 12" - Modern Nosing	26

03 - SITE STAIRS

Keynote	Detail	Quantity
3STRS-C-BF	Concrete Sill - 6" x 12" - Modern Nosing	26

04 - SITE WALLS

Keynote	H	L	Detail	VSFFF
4BRCK	3' 0"	26' 0"	Brick Wall - Match Building Exterior Brick	939 SF
4BRCK	5	94'	Brick Wall - Match Building Exterior Brick	4,705 SF
4BRCK	10	15'	Brick Wall - Match Building Exterior Brick	149 SF
4BRCK	12	12'	Brick Wall - Match Building Exterior Brick	864 SF
4CWI-2SB	3.5	61'	12" Concrete Wall Boardform with Sea Bench	2,102 SF
4CWB-6	6	22'	8" Concrete Wall Boardform	108 SF
4CWB-8	8	66'	8" Concrete Wall Boardform	235 SF
4CWB-8	5	292'	8" Concrete Wall Boardform	1,480 SF
4CWB-8	6	29'	8" Concrete Wall Boardform	179 SF
4CWB-8	8	27'	8" Concrete Wall Boardform	222 SF
4CWB-8	10	22'	8" Concrete Wall Boardform	156 SF
4CWB-12	3	206'	12" Concrete Wall Boardform	644 SF
4CWB-12	3.5	45'	12" Concrete Wall Boardform	162 SF
4CWB-12	4	24'	12" Concrete Wall Boardform	98 SF
4CWB-12	10.5	28'	12" Concrete Wall Boardform	289 SF

05 - SITE AMENITIES

Keynote	Detail	Count
5A-PERG1	Pergola - Cooking Area by Pool	1
5FF-8BQ	BBQ set into Counter with Cabinets underneath	3
5SF-CW	Garden Bistro Kiosk	86
5SF-C7AB	Garden Coffee Table	38
5SF-C7B	Garden Driver Table 220	7
5SF-C7C	Garden Day Chair	45
5SF-LNG	Pool Lounger	37
5SF-PAT1D	Patio Table, 4 Chairs, and Umbrella	9
5SF-STL	Garden Bar Chair	12
5SF-TRSH	Trash Receptacle - Landscapes Poo	8

06 - SITE RAILINGS AND FENCES

Keynote	Detail	Quantity
6F-ST36	Fire Back Guard - Privacy Screen	131'
6F-ST2	Pool Barrier - Hidden Steel Fence - 72"	232'
6F-WD06	Fence - Steel - Horizontal 30"	481'
6HR-STL	Balcony Rail - Generic 3" Offset (See Arch)	150'

07 - LIGHTING

Keynote	Detail	Quantity

08 - SITE DRAINAGE

Keynote	Detail	Quantity

09 - PLANTING AREAS

Keynote	Detail	Quantity
9PA	Planting Area	20,745 SF
9PA-EX	Planting Area - Existing	6,120 SF
9PA-FUT	Planting Area - Future Phase	4,020 SF
9SOD-LAWN	Lawn	6,288 SF
9SINTH	Lawn - AstroTurf	340 SF

10 - MISCELLANEOUS ELEMENTS

Keynote	Detail	Quantity

epg design
 A Terracon COMPANY
 1649 Soarum High Tech Dr
 Bountiful, UT 84002
 801.213.6534
 info@epgdesign.com
 chris@epgdesign.com



Principal: Grant Hardy
 Project Manager: Grant Hardy
 Drawn By: Grant Hardy
 Checked By: Grant Hardy

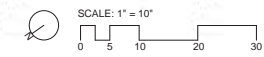
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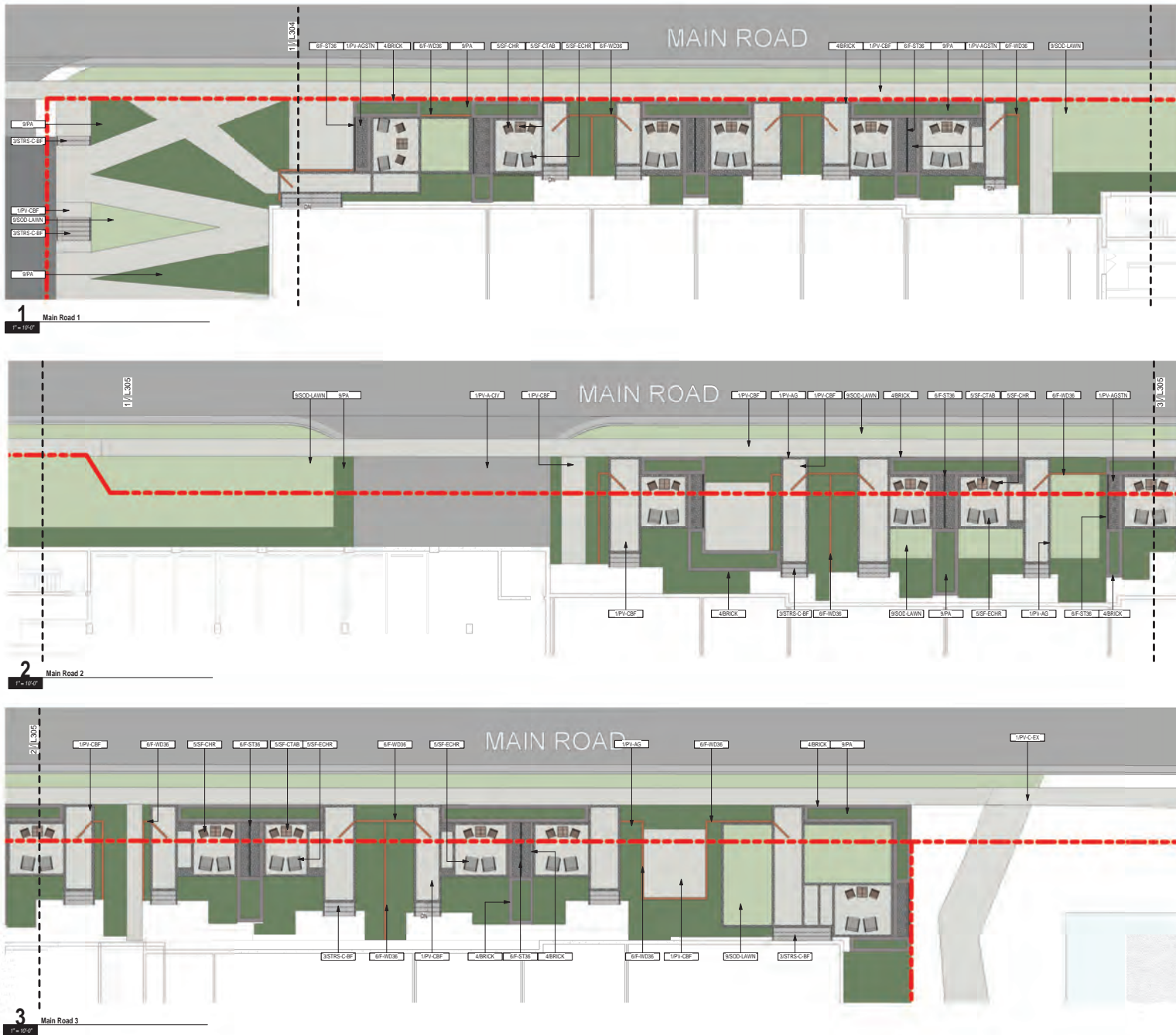
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RENAISSANCE TOWNE CENTER
 1560 S MAIN STREET
 PARCEL 11
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

Materials Plan

L304





KEYNOTES LEGEND

01 - PAVEMENT, RAMPS, AND CURBS

Keynote	Detail	Quantity
1PV-A-CV	Asphalt (See Civ)	294,179 SF
1PV-AG	Mosaic Pebble	865 SF
1PV-AGCS	Crushed Stone	134 SF
1PV-AGSTN	Fire Feature Stone	565 SF
1PV-C-CV	Concrete (See Civ)	870 SF
1PV-C-EX	Concrete - Existing	9,539 SF
1PV-C-F	Concrete - Future Phase	3,281 SF
1PV-C-AM	Concrete - Acid Wash	6,679 SF
1PV-CBF	Concrete - Brown Finish Medium with Sawcut Control Joints	12,341 SF
1PV-INT	White Striping	123 SF
1PV-STN	Stone in White Concrete on Concrete Base	348 SF

02 - JOINTS

Keynote	Detail	Quantity

03 - SITE STAIRS

Keynote	Detail	Quantity
3STRS-C-BF	Concrete Stair - 6' x 12' - Modern Rosing	26

04 - SITE WALLS

Keynote	H	L	Detail	VSFFF
4BRCK	3.0'	267'		939 SF
4BRCK	5.0'	941'		4,705 SF
4BRCK	10.0'	15'		149 SF
4BRCK	12.0'	127'		864 SF
4CWB12B	3.0'	612'		2,102 SF
4CWB8E	6.0'	22'		108 SF
4CWB8E	8.0'	86'		235 SF
4CWB8E	8.0'	1,481'		1,481 SF
4CWB8E	6.0'	29'		179 SF
4CWB8E	8.0'	27'		222 SF
4CWB8E	10.0'	22'		192 SF
4CWB12	3.0'	206'		644 SF
4CWB12	3.0'	45'		162 SF
4CWB12	12.0'	4'		98 SF
4CWB12	10.0'	28'		289 SF

05 - SITE AMENITIES

Keynote	Detail	Count
5A-PERG1	Pergola - Cooking Area by Pool	1
5FF-8BQ	BBQ set into Counter with Cabinets underneath	3
5SF-CHR	Garden Bistro Knecker	86
5SF-CTAB	Garden Coffee Table	38
5SF-DNG	Garden Dinner Table 220	7
5SF-CHR	Garden Slay Chair	45
5SF-LNG	Pool Lounger	37
5SF-PATD	Patio Table, 4 Chairs, and Umbrella	9
5SF-STL	Garden Bar Chair	12
5SF-TRSH	Trash Receptacle - Landscapetoms Poo	8

06 - SITE RAILINGS AND FENCES

Keynote	Detail	Quantity
6F-ST36	Fire Back Guard - Privacy Screen	131'
6F-ST22	Pool Barrier - Hidden Steel Fence - 72"	232'
6F-WD06	Fence - Steel - Horizontal 30'	481'
6HR-STL	Balcony Rail - Generic 3" Offset (See Arch)	150'

07 - LIGHTING

Keynote	Detail	Quantity

08 - SITE DRAINAGE

Keynote	Detail	Quantity

09 - PLANTING AREAS

Keynote	Detail	Quantity
9PA	Planting Area	20,745 SF
9PA-EX	Planting Area - Existing	6,120 SF
9PA-FUT	Planting Area - Future Phase	4,020 SF
9SOD-LAWN	Lawn	6,288 SF
9SINTH	Lawn - AstroTurf	340 SF

10 - MISCELLANEOUS ELEMENTS

Keynote	Detail	Quantity



Principal: Grant Hardy
 Project Manager: Grant Hardy
 Drawn By: Grant Hardy
 Checked By: Grant Hardy

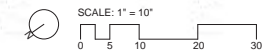
THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES OF THE STATE OF WISCONSIN. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES OF THE STATE OF WISCONSIN. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES OF THE STATE OF WISCONSIN.

Issue Date: 09/22/2021

RENAISSANCE TOWNE
 CENTER
 1560 S. MAIN STREET
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

Materials Plan

L305



ISSUE	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

DATE	DESCRIPTION

OVERALL LEVEL 1 PLAN

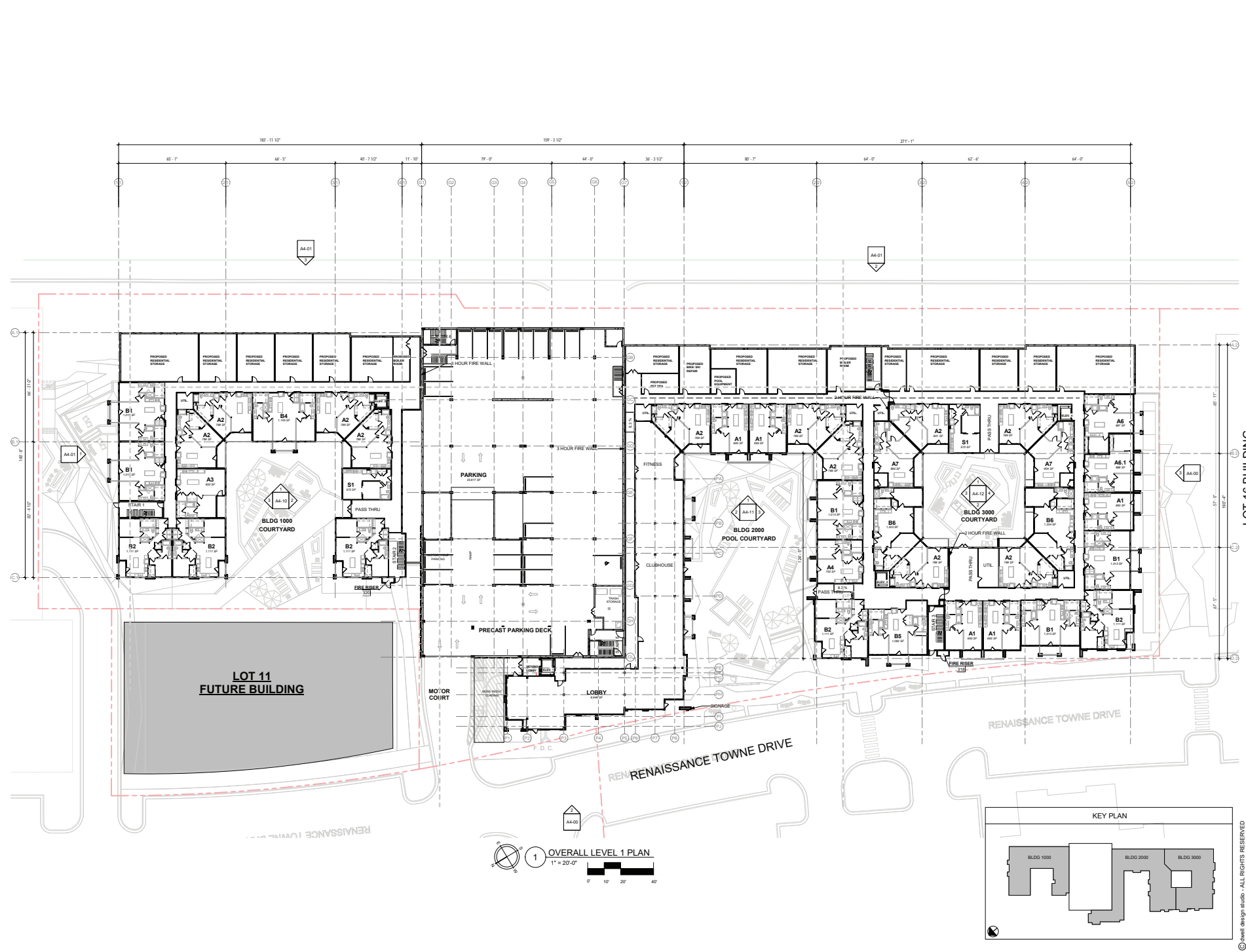
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JOB NUMBER: 2034402

DRAWN BY: CL & VV CHECKED BY: TT

A0-01

NOT FOR CONSTRUCTION



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ISSUE	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

OVERALL LEVEL 2 PLAN

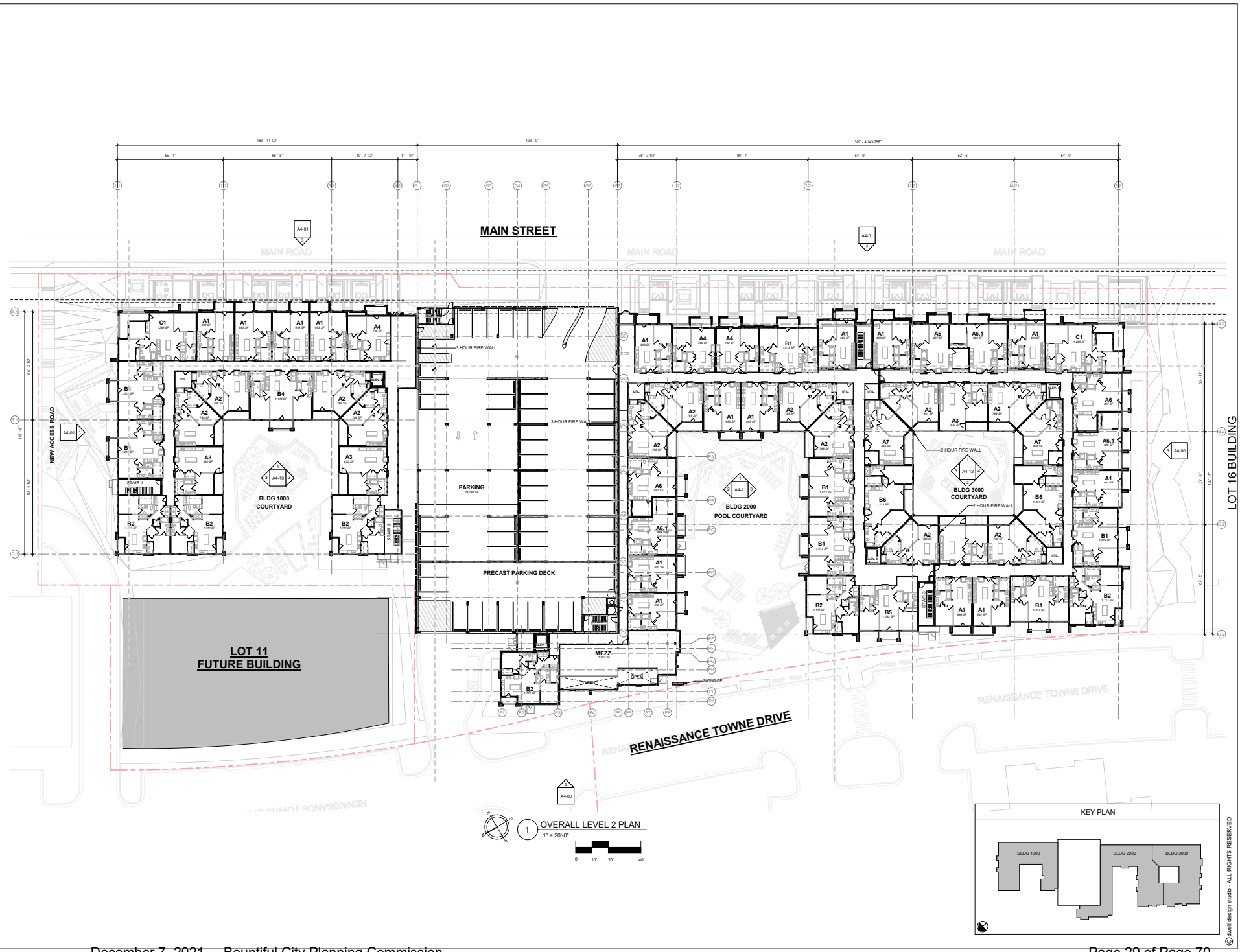
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JOB NUMBER: 2034402

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LOT 16 BUILDING

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**OVERALL
LEVEL 3 PLAN**

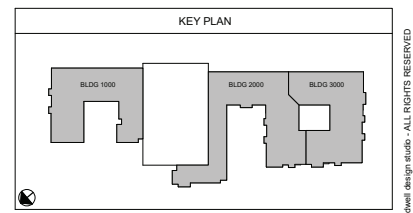
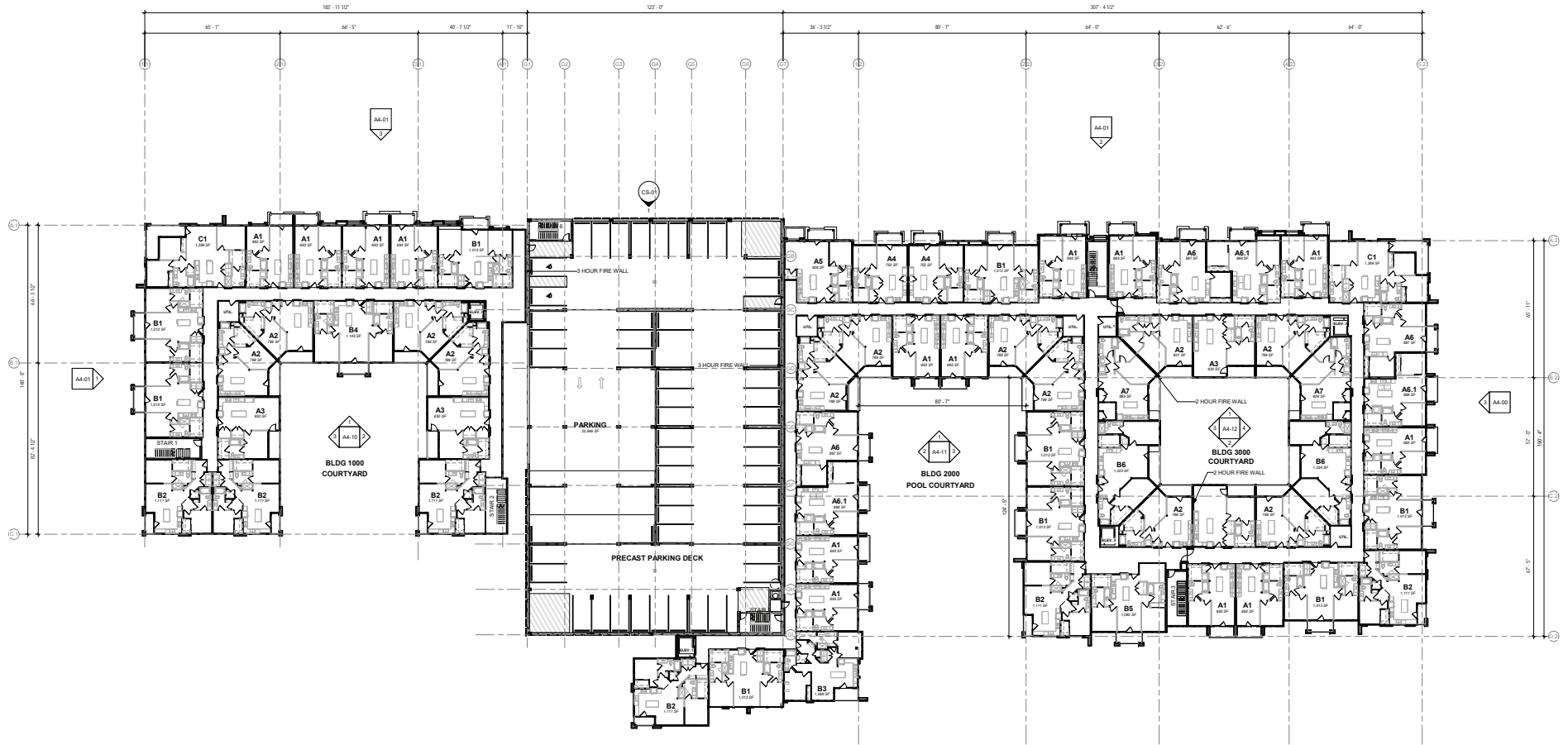
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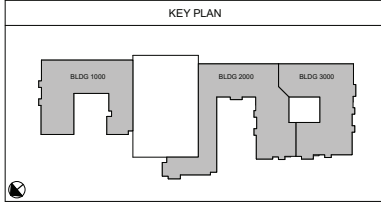
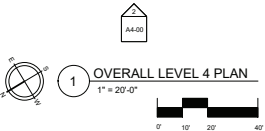
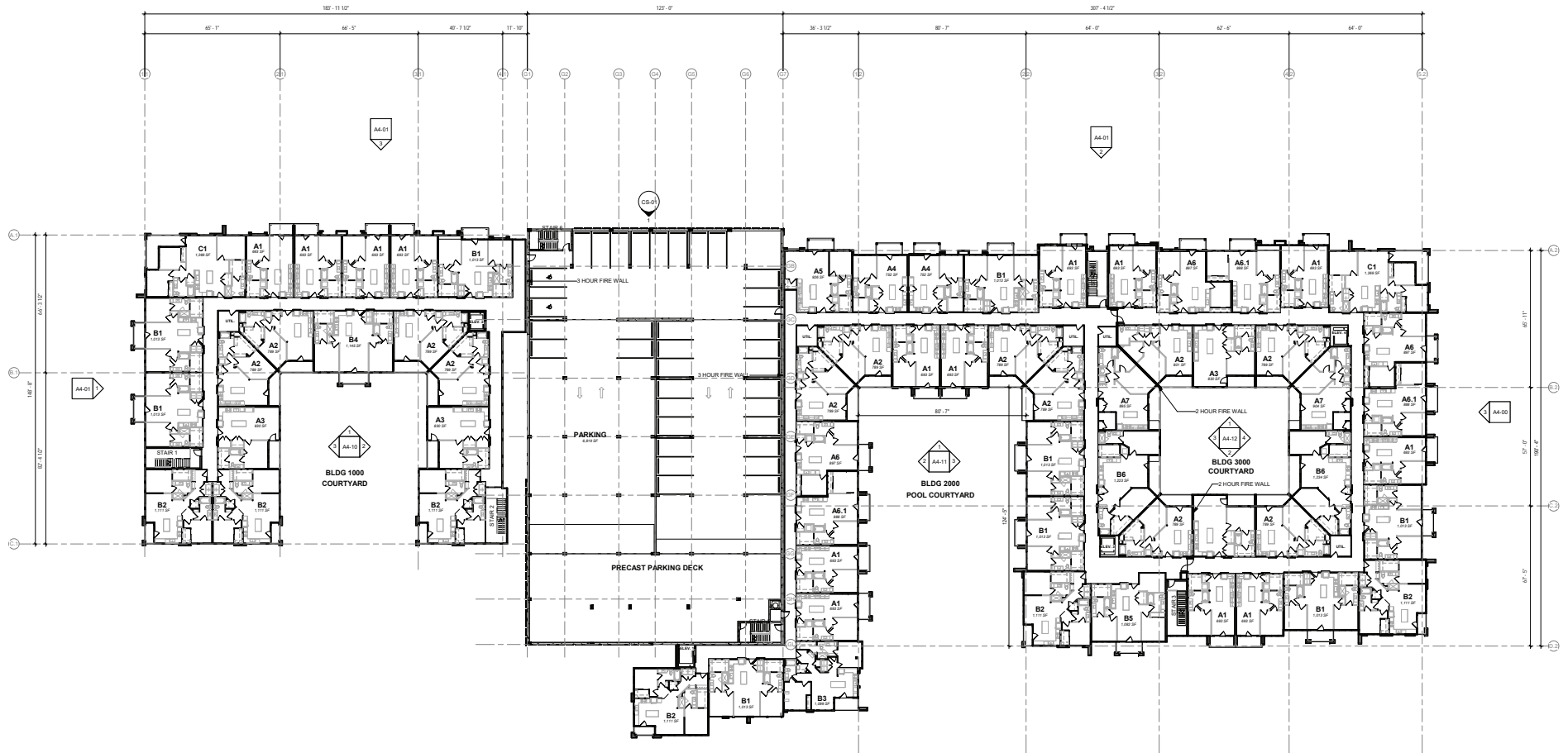


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ISSUE	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION



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ISSUE	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

OVERALL LEVEL 5 PLAN

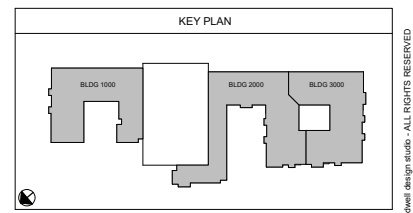
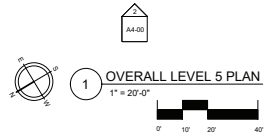
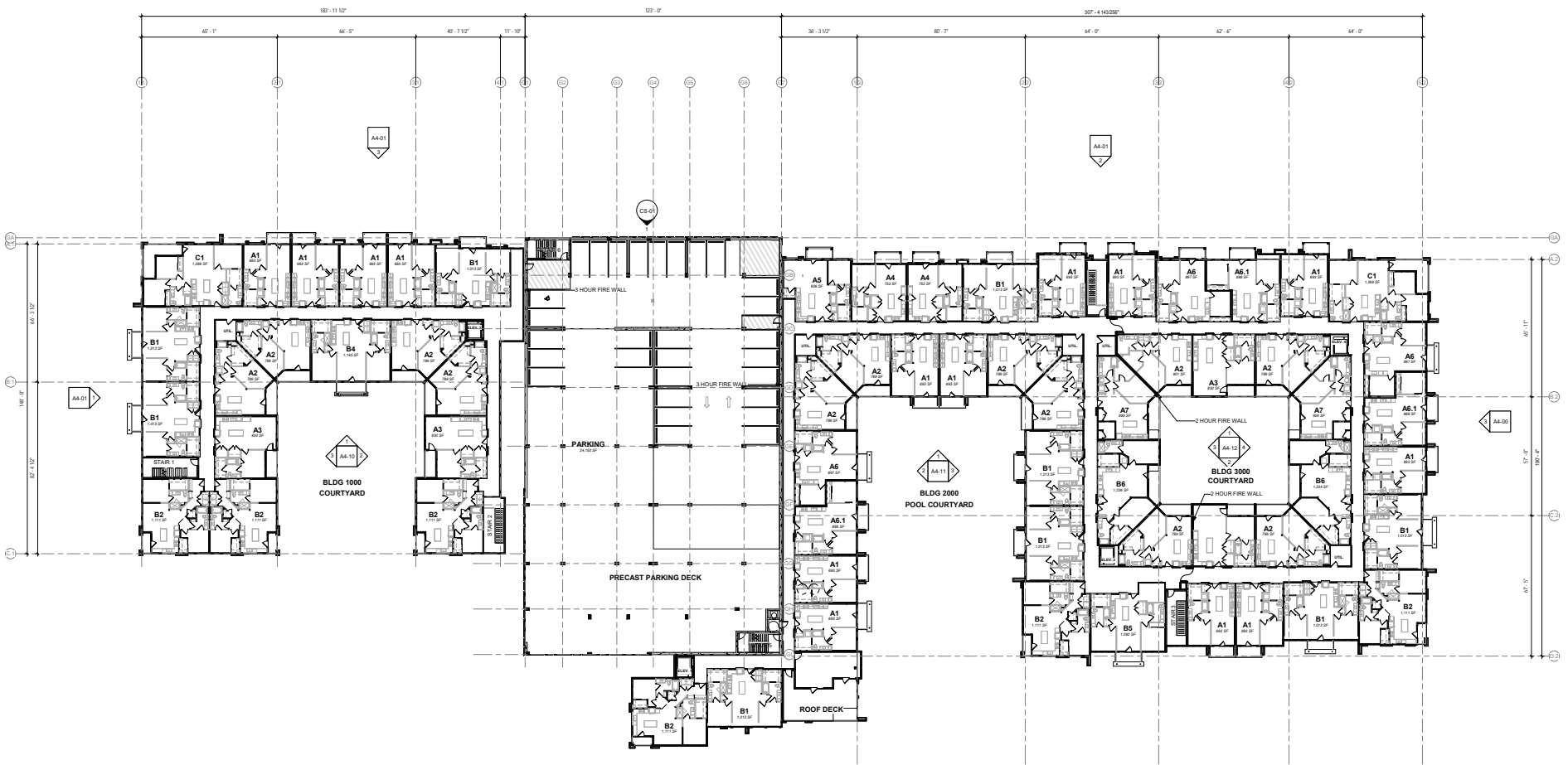
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ISSUE	DATE	DESCRIPTION

REVISION

NO.	DATE	DESCRIPTION

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OVERALL LEVEL 6 PLAN





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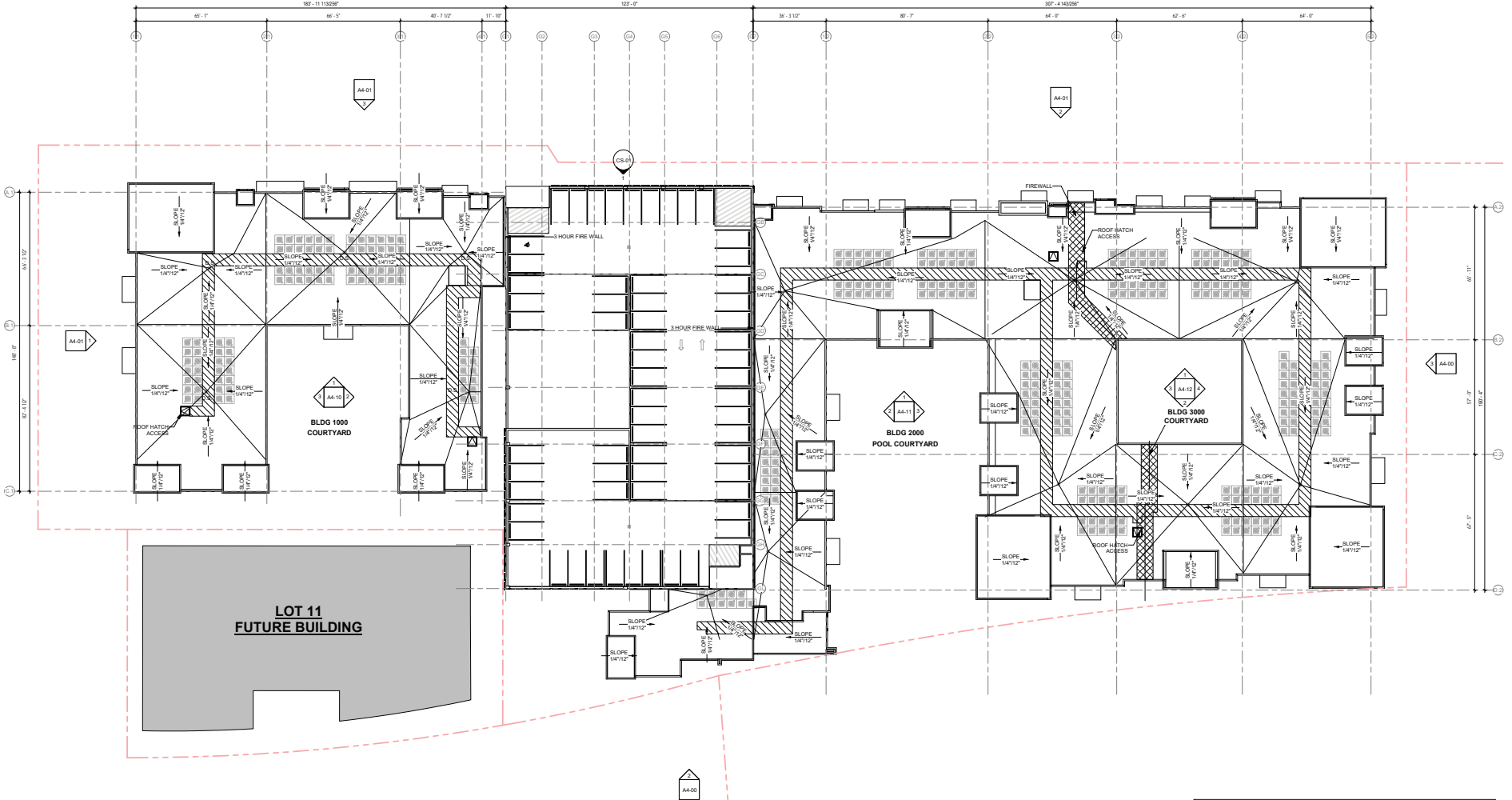
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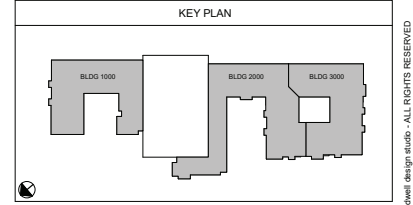
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ROOF NOTES	ROOF DRAINAGE	ROOF LEGEND
1. GUF EVERGLARD 60 MIL FULLY ADHERED SYSTEM IS BASIS OF DESIGN FOR ROOF MEMBRANE DESIGN. 2. REFER TO MANUFACTURERS DETAILS. DETAILS SHOWN REPRESENT DESIGN INTENT ONLY. INSTALLATION SHALL BE PER MANUFACTURERS RECOMMENDATIONS. 3. PROVIDE TAPERED INSULATION AS REQUIRED AT DRAINS TO PROVIDE POSITIVE DRAINAGE TO DRAINS AT 1/4" PER 1'-0" MIN. 4. ALL MECHANICAL EQUIPMENT TO BE ON ROOF PADS WITH SOUND ISOLATORS. 5. PROVIDE WALKWAYS TO ALL ROOF TOP EQUIPMENT. 6. MAINTAIN 18" UP CLEARANCE FROM ALL ROOF TOP EQUIPMENT AND ROOF EDGE WHERE CLEARANCE CAN NOT BE MAINTAINED FALL PROTECTION WILL NEED TO BE PROVIDED. 7. SCULPER BOXES TO CONTAIN INTEGRAL EMERGENCY OVER-FLOW SCUPPERS. 8. T.O.W. HEIGHT IS BASED ON HEIGHT FROM TRUSS BEARING LEVEL. REFER TO BUILDING ELEVATIONS.	9. PROVIDE STAINLESS STEEL INSET HOOD ABOVE ALL RESIDENTIAL LINE SETS AND ABOVE RETAIL CONDUIT GROUPINGS WITH REMOVABLE TOP. 10. VERIFY LOCATIONS OF ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL AND PLUMBING DRAWING PRIOR TO INSTALLATION. 11. CONTRACTOR TO VERIFY, COORDINATE, AND INSTALL ALL ADJACENT, AND OR RELATED FLASHING, BLOCKING, WALKERS, INSULATION STOP, AND CROCKETS NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE. WALKWAYS REQUIRED FOR A COMPLETE, WARRANTED, WATER-TIGHT, AND WATERPROOF INSTALLATION. 12. MINIMUM CLASS "B" ROOF COVERING SHALL BE PROVIDED.	 CONDENSING UNIT  ROOF SLOPE ARROW  FIRE RATED SHEATHING OVER FIRE SEPARATION WALL  3'-0" WALKWAY D.S. INTERNAL DOWNSPOUT



1 OVERALL ROOF PLAN
 1" = 20'-0"



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NO.	DATE	REVISION

NO.	DATE	REVISION

NO.	DATE	REVISION

OVERALL BUILDING ELEVATIONS
PERMIT SET - PARKING DECK

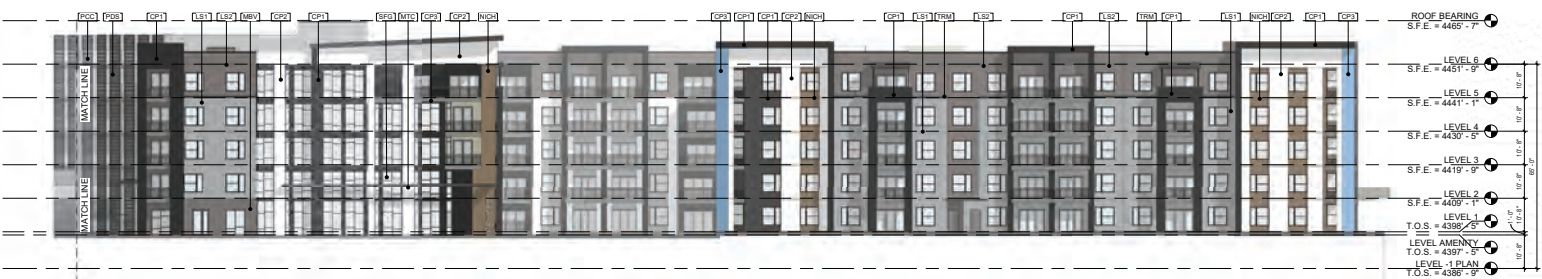
JOB NUMBER: 2034402
DRAWN BY: CL & VV
CHECKED BY: TT

A4-00

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1 OVERALL BLDG ELEVATION - WEST (BUILDING 1000)
1/16" = 1'-0"



2 OVERALL BLDG ELEVATION - WEST (BUILDING 2000, 3000)
1/16" = 1'-0"



3 OVERALL BLDG. ELEVATION - SOUTH
1/16" = 1'-0"

EXTERIOR FINISH LEGEND						
NO.	MATERIAL DESCRIPTION	MANUFACTURER AND COLOR INFORMATION	NO.	MATERIAL DESCRIPTION	MANUFACTURER AND COLOR INFORMATION	GENERAL NOTES
LES1	LAP SIDING - COLOR 1		GNCH	NICHWA		
LES2	LAP SIDING - COLOR 2		TRM	TRIM		
LES3	LAP SIDING - COLOR 3		SPG	STOREFRONT GLASS		
MBV	MASONRY BRICK VENEER		PCS	PRECAST CONCRETE		
CP1	CEMENTITIOUS PANEL - COLOR 1		PCS	PREFABRICATED DECORATIVE SCREEN		
CP2	CEMENTITIOUS PANEL - COLOR 2		MCY	METAL CANOPY		
CP3	CEMENTITIOUS PANEL - COLOR 3		TR	TRELLIS		
CP4	CEMENTITIOUS PANEL - COLOR 4					

ISSUE

NO.	DATE	DESCRIPTION

REVISION

NO.	DATE	DESCRIPTION

OVERALL BUILDING ELEVATIONS

PERMIT SET - PARKING DECK

JOB NUMBER: 2034402

DRAWN BY: CL & VV
 CHECKED BY: TT

A4-01



1 OVERALL BLDG. ELEVATION - NORTH
 1/16" = 1'-0"



2 OVERALL BLDG. ELEVATION - EAST (BUILDING 2000, 3000)
 1/16" = 1'-0"



3 OVERALL BLDG. ELEVATION - EAST (BUILDING 1000)
 1/16" = 1'-0"

EXTERIOR FINISH LEGEND						
NO.	MATERIAL DESCRIPTION	MANUFACTURER AND COLOR INFORMATION	NO.	MATERIAL DESCRIPTION	MANUFACTURER AND COLOR INFORMATION	GENERAL NOTES
LE1	LAP SIDING - COLOR 1		GLSH	NICHIA		
LE2	LAP SIDING - COLOR 2		TRM	TRIM		
LE3	LAP SIDING - COLOR 3		SPG	STOREFRONT GLASS		
MBV	MASONRY BRICK VENEER		PCSC	PRECAST CONCRETE		
CP1	CEMENTITIOUS PANEL - COLOR 1		PFSC	PREFABRICATED DECORATIVE SCREEN		
CP2	CEMENTITIOUS PANEL - COLOR 2		MPG	METAL CANOPY		
CP3	CEMENTITIOUS PANEL - COLOR 3		TR	TRELLIS		
CP4	CEMENTITIOUS PANEL - COLOR 4					

ISSUE	DATE	DESCRIPTION
ISSUE 01 - CHANGES TO PERMITS	11/18/20	1
ISSUE 02 - CHANGES TO PERMITS	11/18/20	2
ISSUE 03 - CHANGES TO PERMITS	11/18/20	3
ISSUE 04 - CHANGES TO PERMITS	11/18/20	4
ISSUE 05 - CHANGES TO PERMITS	11/18/20	5
ISSUE 06 - CHANGES TO PERMITS	11/18/20	6
ISSUE 07 - CHANGES TO PERMITS	11/18/20	7
ISSUE 08 - CHANGES TO PERMITS	11/18/20	8
ISSUE 09 - CHANGES TO PERMITS	11/18/20	9
ISSUE 10 - CHANGES TO PERMITS	11/18/20	10

REVISION	DATE	DESCRIPTION

**COURTYARD
 BUILDING
 ELEVATIONS**

PERMIT SET - PARKING DECK

JOB NUMBER: 2034402

DRAWN BY: OL & VV CHECKED BY: TT

A4-10

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2 BUILDING 1000 COURTYARD ELEVATION - NORTH
 1/8" = 1'-0"



3 BUILDING 1000 COURTYARD ELEVATION - SOUTH
 1/8" = 1'-0"



1 BUILDING 1000 COURTYARD ELEVATION - WEST
 1/8" = 1'-0"

ISSUE	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

**COURTYARD
BUILDING
ELEVATIONS**
PERMIT SET - PARKING DECK

JOB NUMBER: 2034402
DRAWN BY: OL & VV
CHECKED BY: TT

A4-11

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3 BUILDING 2000 COURTYARD ELEVATION - NORTH
1/8" = 1'-0"



2 BUILDING 2000 COURTYARD ELEVATION - SOUTH
1/8" = 1'-0"



1 BUILDING 2000 COURTYARD ELEVATION - WEST
1/8" = 1'-0"

ISSUE	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

**OVERALL
BUILDING
SECTIONS**

PERMIT SET - PARKING DECK

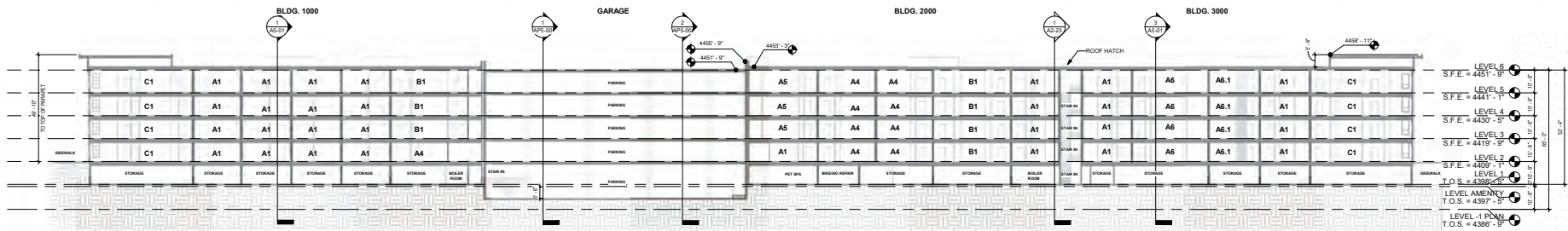
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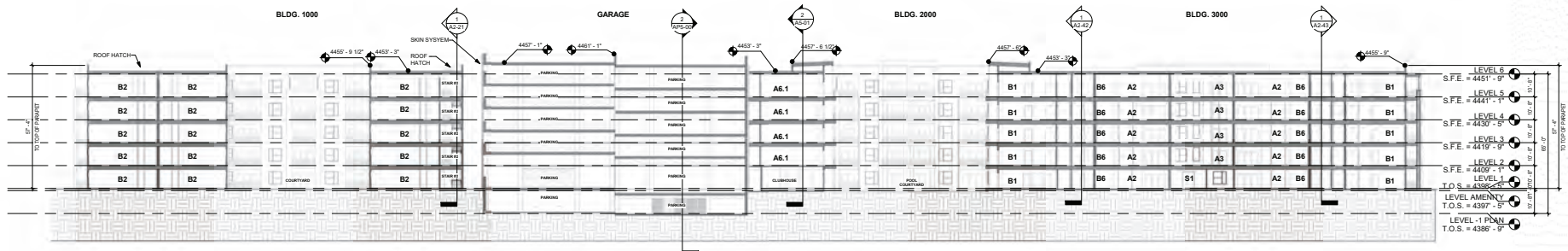
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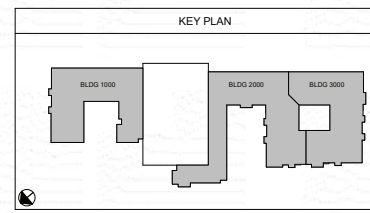
NOT FOR CONSTRUCTION



2 OVERALL BUILDING LONG SECTION B
1" = 20'-0"



1 OVERALL BUILDING LONG SECTION A
1" = 20'-0"

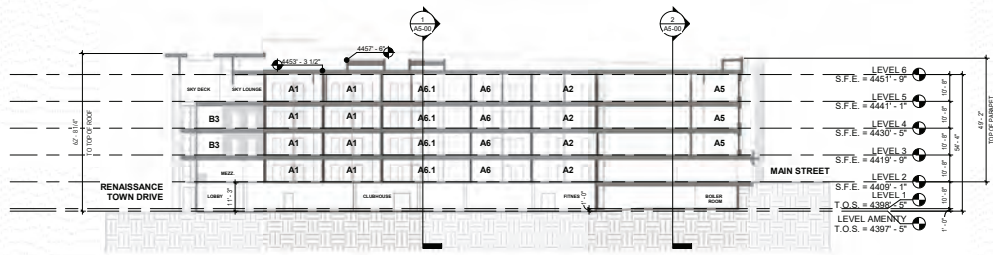


ISSUE

NO.	DATE	DESCRIPTION

REVISION

NO.	DATE	DESCRIPTION



2 OVERALL BUILDING CROSS SECTION BLDG 2000
1" = 20'-0"



3 OVERALL BUILDING CROSS SECTION BLDG 3000
1" = 20'-0"



1 OVERALL BUILDING CROSS SECTION BLDG 1000
1" = 20'-0"

MEMORANDUM

Date: November 8, 2021
To: Town Center LLC
From: Hales Engineering



Subject: Bountiful Renaissance Towne Centre Parking Study Update

UT20-1856

Introduction

This memorandum discusses the parking study completed for the proposed Bountiful Renaissance Towne Centre development located in Bountiful, Utah. This site is owned / managed by Town Center LLC, who is requesting this study to evaluate the entire site by time-of-day use. The study identifies the City parking supply rates and time of day parking distributions identified by the Institute of Transportation Engineers (ITE). The proposed development is located in Bountiful, Utah. A vicinity map of the project site is shown in Figure 1.

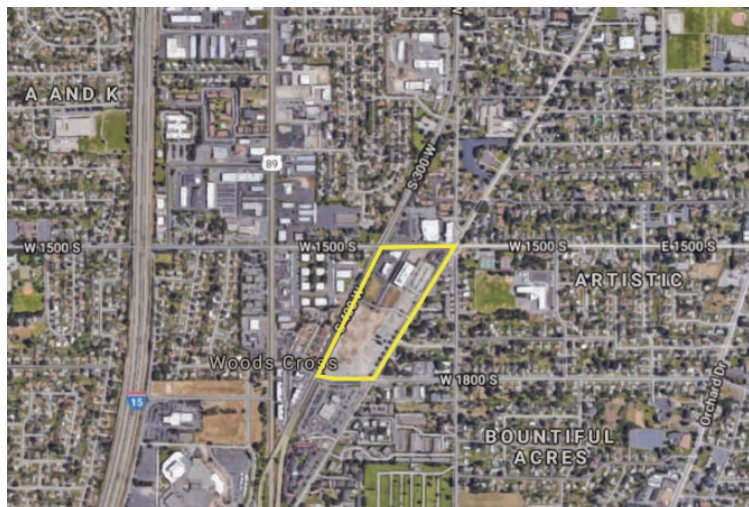


Figure 1: Site vicinity map of the project in Bountiful, Utah

Project Description

The development consists of various land uses, including residential apartments, medical office, professional office, commercial space, and restaurants. A supply of 1,585 stalls is currently planned for the project. A site plan is provided in Appendix A.

City Parking Code

The Bountiful City code specifies parking rates for various land use types. The required parking rates found in the City code for the study land uses are shown in Table 1.

Table 1: City Parking Rates

Land Use	Unit Type	Rate (stalls per unit)
Commercial	1,000 sq. ft.	5.00
Apartments	dwelling unit	2.00
Medical Office	1,000 sq. ft.	4.00
Professional Office	1,000 sq. ft.	3.33
Restaurant	1,000 sq. ft.	10.00

Source: Bountiful City code, 2021

It should be noted Bountiful city has rates of 1.75, 2.25, and 2.75 stalls per dwelling unit for 1-bedroom, 2-bedroom, and 3-bedroom units, respectively. Based on discussions with the development team and consistent with previous assumptions in earlier iterations of this parking study, it was determined that approximately half of the apartment units will be 1-bedroom units and the other half will be 2-bedroom units with very few 3-bedroom units planned. Therefore, a rate of 2.0 stalls per dwelling unit was used to simplify calculations. The calculations for the parking required by the City are shown in Table 2. As shown, it is anticipated that the City would require 2,273 stalls for the proposed development.

ITE Parking Demand

Hales Engineering referred to the Institute of Transportation Engineers (ITE) *Parking Generation* (5th Edition, 2019) to identify parking demand rates for the study land uses. ITE has gathered actual parking demand counts at various land uses and identified average, 85th percentile, and maximum rates. The 85th percentile rate represents a demand that is higher than 85 percent of study sites. The industry standard is to apply this rate. Hales Engineering calculated the anticipated parking demand based on the 85th percentile rates. The number of stalls needed based on these rates is shown in Table 3. As shown, ITE would suggest that the parking demand for the proposed project will be 1,783 stalls.

Since the ITE rates represent actual parking demand, it is common to provide a parking supply beyond what the anticipated demand is to accommodate occasional surges in demand and to reduce the need for drivers to circle the parking lot to find an open stall. Hales Engineering recommends providing 10% additional stalls beyond the anticipated demand. Based on this, a supply of 1,962 stalls should be provided for the project based on ITE data.

Table 2: City Parking Calculations

Lot #	Land Use	Intensity	Rate	Total Stalls
1	Medical Office	88.2 1,000 sq ft	4.00	353
1	Commercial	24.0 1,000 sq ft	5.00	121
6	Professional Office	6.8 1,000 sq ft	3.33	23
6	Commercial	6.8 1,000 sq ft	5.00	35
7	Professional Office	7.8 1,000 sq ft	3.33	27
7	Commercial	7.8 1,000 sq ft	5.00	40
8	Professional Office	6.9 1,000 sq ft	3.33	23
8	Commercial	6.9 1,000 sq ft	5.00	35
9	Commercial	4.7 1,000 sq ft	5.00	24
9	Apartments	40 dwelling units	2.00	80
10	Professional Office	33.0 1,000 sq ft	3.33	110
10	Commercial	11.0 1,000 sq ft	5.00	55
11	Professional Office	31.3 1,000 sq ft	3.33	105
11	Commercial	15.6 1,000 sq ft	5.00	79
11	Apartments	96 dwelling units	2.00	192
13	Restaurant	8.1 1,000 sq ft	10.00	81
14	Apartments	287 dwelling units	2.00	574
15	Commercial	20.0 1,000 sq ft	5.00	100
16	Apartments	30 dwelling units	2.00	60
17	Restaurant	6.1 1,000 sq ft	10.00	61
18	Restaurant	4.3 1,000 sq ft	10.00	43
19	Apartments	26 dwelling units	2.00	52
TOTAL				2,273

Table 3: ITE Parking Generation

ITE Parking Demand Bountiful - Renaissance Town Centre Lot 14					
Land Use	# of Units	Unit Type	85th %-tile Rate	Demand	Supply (+10%)
Multifamily Housing (Mid-Rise) (221)	479	DU	0.87	417	459
Shopping Center (820)	96.9	1,000 sq. ft.	3.68	357	393
Medical-Dental Office Building (720)	88.2	1,000 sq. ft.	4.59	405	446
General Office Building (710)	85.8	1,000 sq. ft.	3.30	283	311
High-Turnover (Sit Down) Restaurant (932)	18.5	1,000 sq. ft.	17.40	321	353
TOTAL				1783	1962

Source: ITE Parking Generation, 5th Edition, 2019

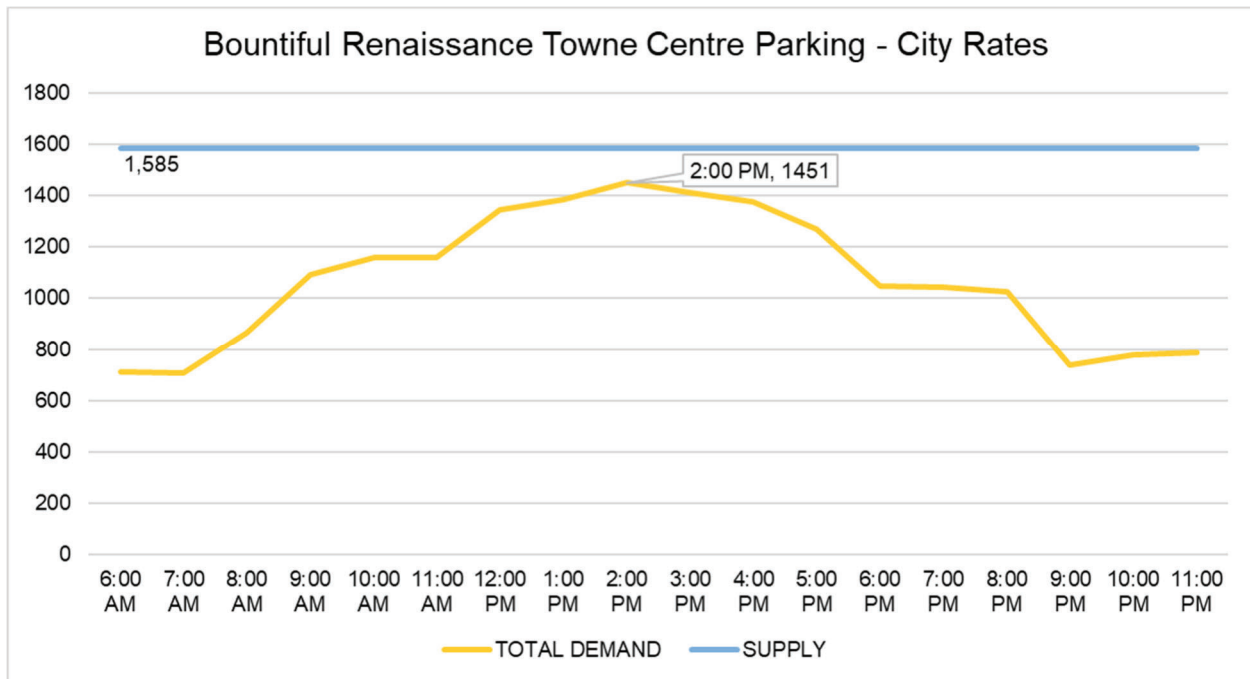
Time-of-Day Distribution

Mixed-use projects tend to have shared parking use depending on the type and intensity of its land uses. The Renaissance Towne Centre project, in particular, is an appropriate site for shared parking use because of the high amount of both office and residential uses. Office space requires parking during the day while residential space primarily requires parking overnight. This study evaluated the comprehensive parking needs of the project and not the individual location of the land uses at the owner’s request.

Hales Engineering applied time-of-day distributions to the required Bountiful City parking rates to determine the maximum anticipated demand when considering shared parking use. Varying parking demands for each land use were obtained from the Institute of Transportation Engineers (ITE), *Parking Generation*, 5th Edition, 2019.

A chart showing the overall time-of-day distribution of the parking on-site is shown in Figure 2. As shown, when considering time-of-day parking distribution, it is anticipated that a maximum demand of 1,451 stalls will be required based on City rates. **With a planned supply of 1,585 stalls, it is anticipated that there will be sufficient stalls.**

Figure 2: Time-of-day parking distribution



Conclusions and Recommendations

The following are the key findings and conclusions of this study:

- The proposed mixed-use development will consist of medical office, professional office, apartments, retail space, and restaurants. **1,585** total parking stalls will be constructed (supplied) on the site.
- Without reductions, Bountiful City code requires 2,273 parking stalls for the proposed development.
- Based on 85th percentile ITE parking rates plus a 10% factor, it is anticipated that 1,962 parking stalls are needed, with the conclusion that supply will be sufficient for the demand.
- When considering shared parking using Bountiful City parking rates and ITE time-of-day distributions, it is anticipated that a maximum parking demand of **1,451** parking stalls will exist on site on an average weekday.

*Based on potential shared parking, it is anticipated that **1,585 stalls will be sufficient** for the anticipated demand of the land uses in the Renaissance Towne Centre project.*

APPENDIX A

Site Plan

Parking Plan

*Plan is conceptual only and subject to change. This plan is meant to show the development possibilities of the project.

Parking and Access

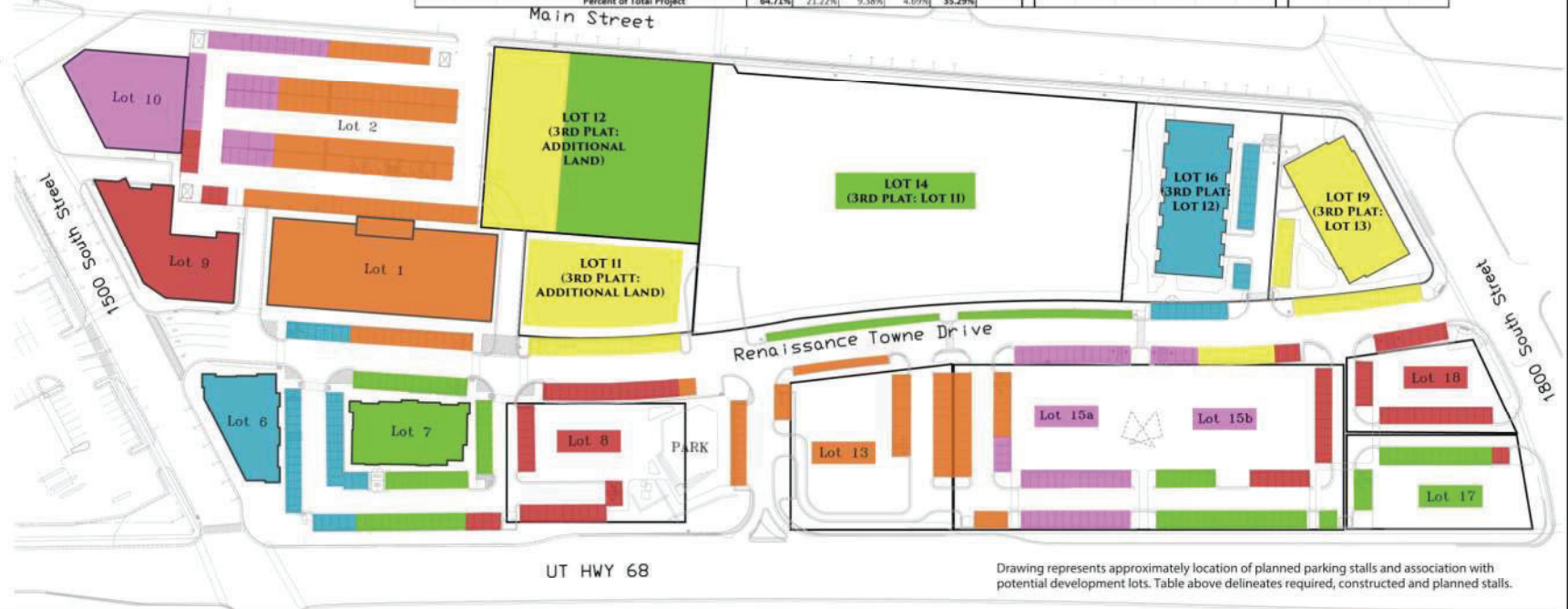
1. Parking stalls may be shared among all Lots throughout the development due to the mixed-use characteristic of the project, with the exception of the dedicated covered stalls associated with residential use. Reciprocal/shared parking is encouraged. The Land Use Authority may allow additional parking reductions during the site plan approval process.
2. Carports are not allowed without Land Use Authority approval.
3. Setbacks: All surface parking areas shall be setback at least 10 (ten) feet from a public street.
4. Residential Units: 1 (one) dedicated, covered parking stall per unit located within the footprint of or adjacent to the structure, with additional required stalls allowed along interior public and private streets, public parking garages and driveways.
5. Development of the individual pad sites needs to be consistent with the number of parking stalls required by the Bountiful City Land Use Code or may be modified by an approved parking study prepared by an accepted professional using the latest industry trends, to be analyzed individually during each Site Plan Review.
6. Parking along Main Street, 1500 South and 1800 South streets will not count towards the minimum parking requirements for this Development.
7. Each Lot submitted for site plan approval shall submit an updated Parking Study prepared by an accepted professional and shall update the Parking Plan table showing the number of planned stalls is equal to or greater than the number of required stalls as determined in the most recent Parking Study.

Dev. Plan Lot #	Platted Lot #	Status	Potential Footprint Sq.Ft.	Potential # of Floors	Potential Property Type					Total Sq.Ft.	Required Parking Stalls						Actual Stalls (Constructed and Planned)				
					Residential	Office	Commercial	Hotel / Entertainment	Total Mixed Use		ITE Ratio Other Mixed Use	Subject to the latest Parking Study					Surface Stalls	Parking Structure	Podium Parking Garage	TOTAL STALLS	
Lot #1	Lot #1	Existing	24,038	5		88,150	24,038			112,188	112,188	3.23		21	342			21	342	363	
Lot #6	Lot #6	Existing	6,831	2		6,831	6,831			13,662	13,662	2.39		33				40		40	
Lot #7	Lot #7	Existing	7,839	2		7,839	7,839			15,678	15,678	2.39		38				44		44	
Lot #8		Future Development	6,861	2		6,861	6,861			13,722	13,722	2.39		33				33		33	
Lot #9	Lot #9	Under Construction	11,743	5	40 Units	46,972		4,687		4,687	51,659	1.95	1.31		22	40	62		22	40	92
Lot #10	Lot #10	Future Development	11,000	4			33,000	11,000		44,000	44,000	2.39		6	100			14	100	114	
Lot #11		Future Development	15,625	9	96 Units	93,750	31,250	15,625		46,875	140,625	2.39	1.31	142	96		238	142	96	238	
Lot #13		Future Development	8,100	1					8,100	8,100	8,100	9.44		77				86		86	
Lot #14		Future Development	71,429	5	299 Units	334,382			8,100	334,382	334,382	1.31	0.93	299		292	93	299		392	
Lot #15a		Future Development	9,150	2					9,150	9,150	9,150	1.95		18				18		18	
Lot #15b		Future Development	10,850	2					10,850	10,850	10,850	1.95		22				22		22	
Lot #16	Lot #12	Site Plan Approved	11,908	4	30 Units	32,420				32,420	32,420	1.95	1.31	10		30	40	13		30	43
Lot #17		Future Development	6,100	1					6,100	6,100	6,100	1.95		12				19		19	
Lot #18		Future Development	4,250	1					4,250	4,250	4,250	1.95		9				23		23	
Lot #19	Lot #13	Site Plan Submitted	6,150	4	26 Units	23,000				23,000	23,000	1.31		9		26	35	9		26	35
Totals					491	530,524	173,931	76,881	38,450	289,262	819,786										
Percent of Total Project						64.71%	21.22%	9.38%	4.69%	35.29%											

Institute of Transportation Engineers (ITE) Parking Generation Ratios

(Parking Ratios from Hales Engineering Study dated March 18, 2019)

- Residential** (Apartments)
1.31 Stalls per Unit
- Medical Office**
3.23 Stalls per 1,000 sq.ft.
- Professional Office**
2.39 Stalls per 1,000 sq.ft.
- Restaurant**
9.44 Stalls per 1,000 sq.ft.
- Other Mixed Use**
1.95 Stalls per 1,000 sq.ft.



Renaissance Town Centre
Mixed-Use Planned Unit Development
Bountiful City, Davis County, Utah



Town Center, LLC
1560 S. Renaissance Town Dr.
Bountiful, Ut 84010

Broadhead & Company
1560 S. Renaissance Towne Dr.
Bountiful, Ut 84010

Renaissance Towne Center																									
Potential Parking Plan																									
Dev. Plan Lot #	Platted Lot #	Status	Potential Footprint Sq.Ft.	Potential # of Floors	Potential Property Type						Required Parking Stalls						Actual Stalls (Constructed and Planned)								
					Mixed Use						Required Parking Stalls						Actual Stalls (Constructed and Planned)								
					Residential	Office	Commercial	Hotel / Entertainment	Total Mixed Use	Total Sq.Ft.	ITE Ratio Other Mixed Use	ITE Ratio Residential	Surface Stalls	Parking Structures 1 & 2	Other Podium Parking Garages	TOTAL REQUIRED STALLS	Surface Stalls	Parking Structures 1 & 2	Other Podium Parking Garages	TOTAL STALLS					
Lot #1	Lot #1	Existing	24,038	5		88,150	24,038				112,188	112,188	3.23		21	342			363	21	342		363		
Lot #6	Lot #6	Existing	6,831	2		6,831	6,831				13,662	13,662	2.39		33				33	40			40		
Lot #7	Lot #7	Existing	7,839	2		7,839	7,839				15,678	15,678	2.39		38				38	44			44		
Lot #8		Future Development	6,861	2		6,861	6,861				13,722	13,722	2.39		33				33	33			33		
Lot #9	Lot #9	Under Construction	11,743	5	40 Units	46,972		4,687			4,687	51,659	1.95	1.31		22	40		62		22	40	62		
Lot #10	Lot #10	Future Development	11,000	4			33,000	11,000			44,000	44,000	2.39		6	100			106	14	100		114		
Lot #11		Future Development	15,625	9	96 Units	93,750	31,250	15,625			46,875	140,625	2.39	1.31	90	148			238	142	148		290		
Lot #13		Future Development	8,100	1					8,100	8,100	8,100	8,100	9.44		77				77	86			86		
Lot #14		Future Development	71,429	5	287 Units	320,962					320,962	320,962		1.31	93	300			376	93	300		393		
Lot #15a		Future Development	9,150	2					9,150	9,150	9,150	9,150	1.95		18				18	18			18		
Lot #15b		Future Development	10,850	2					10,850	10,850	10,850	10,850	1.95		22				22	22			22		
Lot #16	Lot #12	Site Plan Approved	11,908	4	30 Units	32,420					32,420	32,420	1.95	1.31	10		30	40	43	13		30	43		
Lot #17		Future Development	6,100	1					6,100	6,100	6,100	6,100	1.95		12				12	19			19		
Lot #18		Future Development	4,250	1					4,250	4,250	4,250	4,250	1.95		9				9	23			23		
Lot #19	Lot #11	Site Plan Submitted	6,150	4	26 Units	23,000					23,000	23,000		1.31	9		26	35	35	9		26	35		
Totals						479	517,104	173,931	76,881	38,450	289,262	806,366							577	912	96	1,462	1,585		
Percent of Total Project							64.13%	21.57%	9.53%	4.77%	35.87%														

Stalls Highlighted in Gray are stalls constructed and in use

Stalls Highlighted in Green are siteplan approved stalls to be constructed

Stalls not Highlighted are planned stalls

Note:
"Other Podium Parking Garages" are Parking Garages built or planned under the Buildings (for example 40 stalls)

Commission Staff Report

Subject: Preliminary and Final Approval of the Deseret First
Planned Unit Development (P.U.D.)
Address: 260 North 500 W
Author: City Engineer, City Planner
Department: Engineering, Planning
Date: December 7, 2021



Background

Brian Knowlton, representing Deseret First Credit Union, has submitted a Planned Unit Development (P.U.D.) plat for the property where the new credit union building was recently completed. The proposed P.U.D. is comprised of the existing credit union facilities and the remaining vacant eastern portion of the site. The site is located in the Commercial-Heavy (C-H) Zone. The Credit Union building and associated site improvements were approved by the City Council on April 14, 2020 and construction was completed in March, 2021.

Analysis

Zoning Requirements:

The requirements for developments in the Commercial-Heavy (C-H) Zone are listed in Table 14-6-104 as follows:

- | | |
|--------------------------------|------------|
| 1. Minimum Lot Size: | 0.50 Acres |
| 2. Minimum Frontage and Width: | 50 Feet |

Chapter 20 Part 5 of the Land Use Ordinance defines the following requirements for approval of a P.U.D. plat:

1. Contain a minimum of 4 legal units or lots. (14-20-601)
2. Meet the minimum requirements of this Chapter. (14-20-604 (B))

The 1.026 acre parcel exceeds the minimum lot size requirement of 0.5 acres. The site also exceeds the 50 ft minimum frontage requirement with the existing width of 129.74 feet. By combining the existing credit union building and the 5 proposed indoor vehicle storage units (for total of 6 units), the P.U.D. exceeds the minimum requirement of having 4 units in a P.U.D. development is also satisfied. Other zoning requirements such as setbacks, landscaping or other requirements will be evaluated as part of the site plan review process.

Utilities:

Development of the Credit Union site included the installation of sewer and culinary water service to the eastern end of the development. The developer anticipates that each unit will be served with culinary water and sanitary sewer. An underground storm water detention system was also installed during the construction of the credit union building and is sufficiently sized to accommodate the proposed use for the site. Electrical and gas utility services are also available in the immediate vicinity.

Proposed Improvements and Access: The applicants have submitted a conceptual site plan to help staff review the location of the existing and proposed parking improvements in relation to the common and private areas identified on the plat. As currently configured, the common area provides access to the respective parking areas which are reserved for the appropriate units as defined the Condominium Declaration document.

Department Review

This memo has been reviewed by the City Attorney and the Planning Director.

Recommendation

Staff would support the Planning Commission forwarding a recommendation to the City Council for Preliminary and Final Approval of the Deseret First Planned Unit Development with the following conditions:

1. Provide a current title report.
2. Make any required minor corrections to the plat.
3. Pay all required fees.

Significant Impacts

None

Attachments

1. Aerial photo showing the proposed location
2. A copy of the preliminary plat.

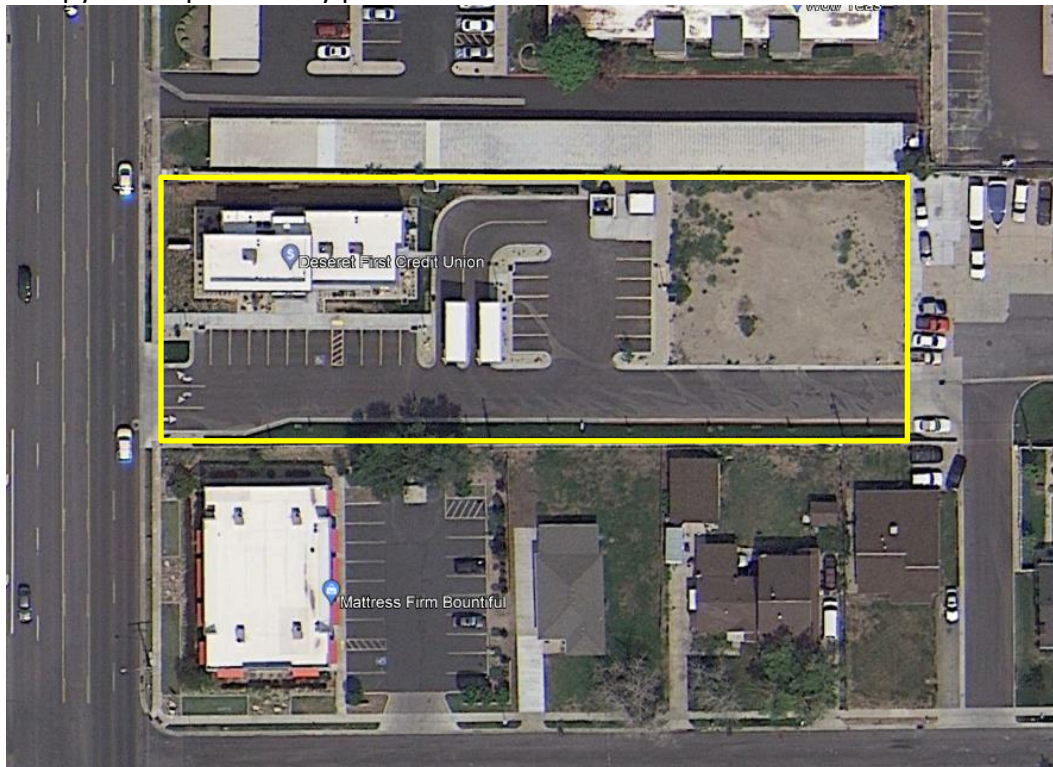


Figure 1 Location of Proposed Deseret First Planned Unit Development

DESERET FIRST PLANNED UNIT DEVELOPMENT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 2 NORTH,
 RANGE 1 EAST, AND THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 2 NORTH,
 RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH
 NOVEMBER 2021

SURVEYOR'S CERTIFICATE

I, JEREMIAH R. CUNNINGHAM, A PROFESSIONAL LAND SURVEYOR HOLDING CERTIFICATE NO. 9182497 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH, DO HEREBY CERTIFY THAT BY THE AUTHORITY OF THE OWNERS I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HERewith AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO UNITS HEREAFTER TO BE KNOWN AS DESERET FIRST PLANNED UNIT DEVELOPMENT AND THAT SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN.

COPY FOR REVIEW

JEREMIAH R. CUNNINGHAM, P.L.S. UT #9182497

BOUNDARY DESCRIPTION

BEGINNING AT POINT ON AN EXISTING FENCE LINE THAT IS SOUTH 00°08'40" EAST 416.33 FEET ALONG THE SECTION LINE (402.60 FEET, BY RECORD) FROM THE WEST QUARTER CORNER OF SECTION 19, TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, DAVIS COUNTY, UTAH, AND RUNNING THENCE NORTH 89°33'00" EAST 256.16 FEET ALONG SAID FENCE LINE; THENCE NORTH 00°14'00" WEST 125.38 FEET TO THE SOUTH LINE OF BOUNTIFUL MANOR CONDOMINIUMS, SAID POINT BEING ON AN EXISTING FENCE LINE; THENCE NORTH 89°44'10" WEST 350.25 FEET ALONG SAID FENCE LINE AND ALONG THE SOUTH LINES OF SAID BOUNTIFUL MANOR CONDOMINIUMS TO THE EAST LINE OF 500 WEST STREET; THENCE SOUTH 00°11'26" EAST 129.74 FEET ALONG SAID EAST LINE TO THE EXTENSION OF AN EXISTING FENCE LINE; THENCE NORTH 89°33'00" EAST 94.18 FEET ALONG SAID FENCE LINE AND ITS EXTENSION TO THE SECTION LINE AND TO THE POINT OF BEGINNING.

CONTAINING 1.026 ACRES.

OWNER'S DEDICATION

KNOWN ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO PRIVATE UNITS, HEREAFTER TO BE KNOWN AS DESERET FIRST PLANNED UNIT DEVELOPMENT, DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, INCLUDING EASEMENTS, AND DO WARRANT AND DEFEND AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENT OR OTHER ENCUMBRANCE WHICH WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREETS AND SAID EASEMENTS.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, 20____.

DESERET FIRST CREDIT UNION

ACKNOWLEDGEMENT

STATE OF UTAH)
) SS
 COUNTY OF SALT LAKE)
 ON THIS _____ DAY OF _____, IN THE YEAR 20____, BEFORE ME _____, A NOTARY PUBLIC, PERSONALLY APPEARED _____, PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO IN THE FOREGOING OWNER'S DEDICATION AND CONSENT REGARDING THE DESERET FIRST PLANNED UNIT DEVELOPMENT AND ACKNOWLEDGE HE EXECUTED THE SAME.

COMMISSION NUMBER: _____

MY COMMISSION EXPIRES: _____

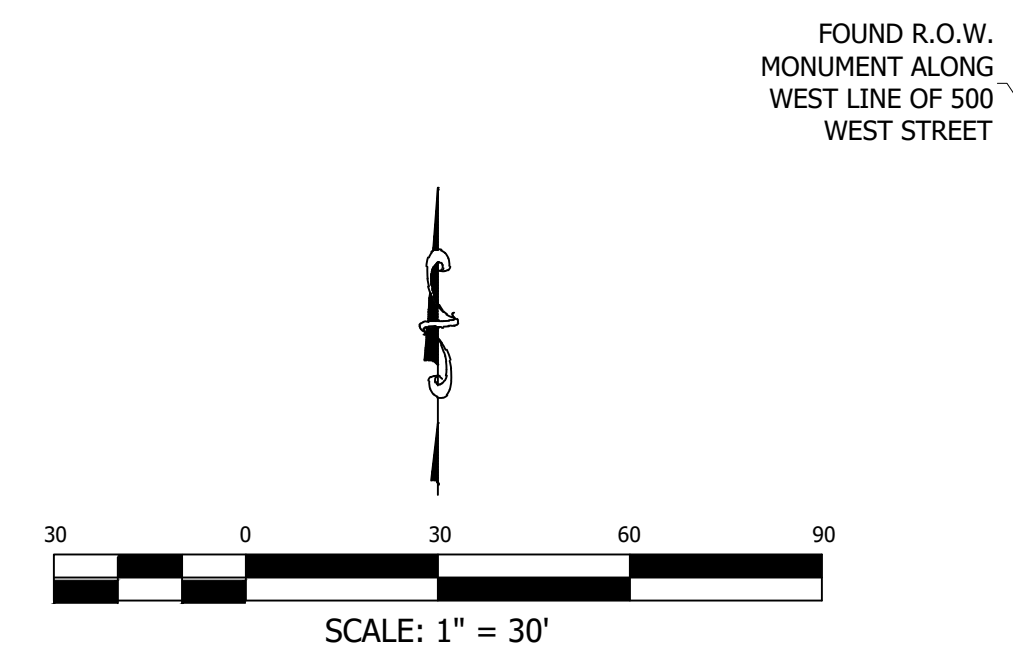
SIGNATURE: _____

PRINT NAME: _____

A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTES

1. THE STATE PLANE BEARING ALONG THE BASIS OF BEARING IS SOUTH 00°08'05" WEST, CALCULATED USING NAD 1983 STATE PLANE COORDINATES FROM THE UTAH NORTH ZONE.
2. ALL PUBLIC UTILITY EASEMENTS (P.U.E.) ARE 10.0 FEET WIDE UNLESS OTHERWISE NOTED.
3. PUBLIC UTILITY EASEMENTS AREA ALSO DRAINAGE EASEMENTS.
4. ALL UNITS ARE PRIVATE SPACE.
5. ADDRESSES FOR EACH UNIT ARE AS FOLLOWS:
 UNIT 260 - 260 NORTH 500 WEST
 UNIT 262A - 262 NORTH 500 WEST
 UNIT 262B - 262 NORTH 500 WEST
 UNIT 262C - 262 NORTH 500 WEST
 UNIT 262D - 262 NORTH 500 WEST
 UNIT 262E - 262 NORTH 500 WEST



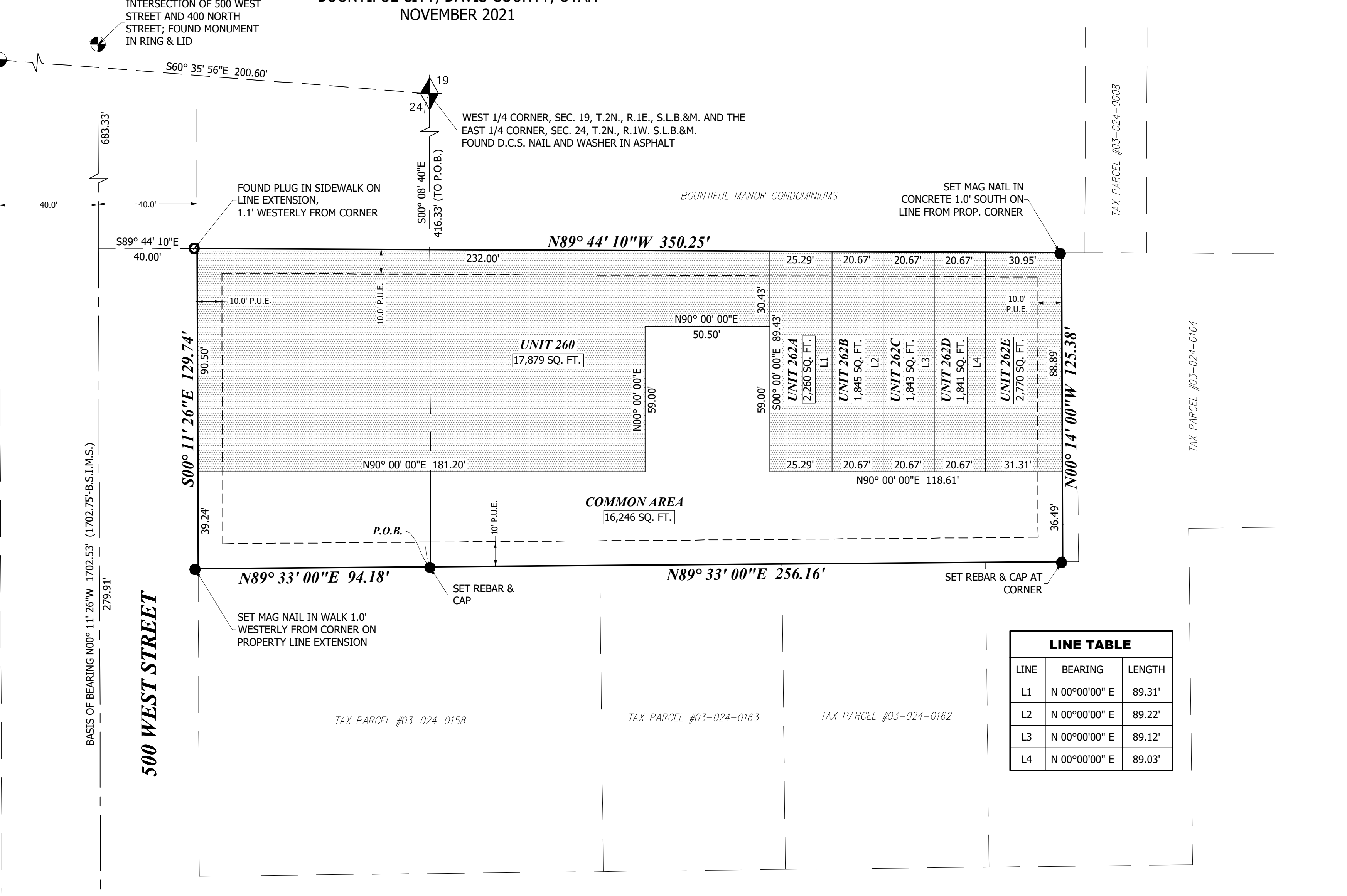
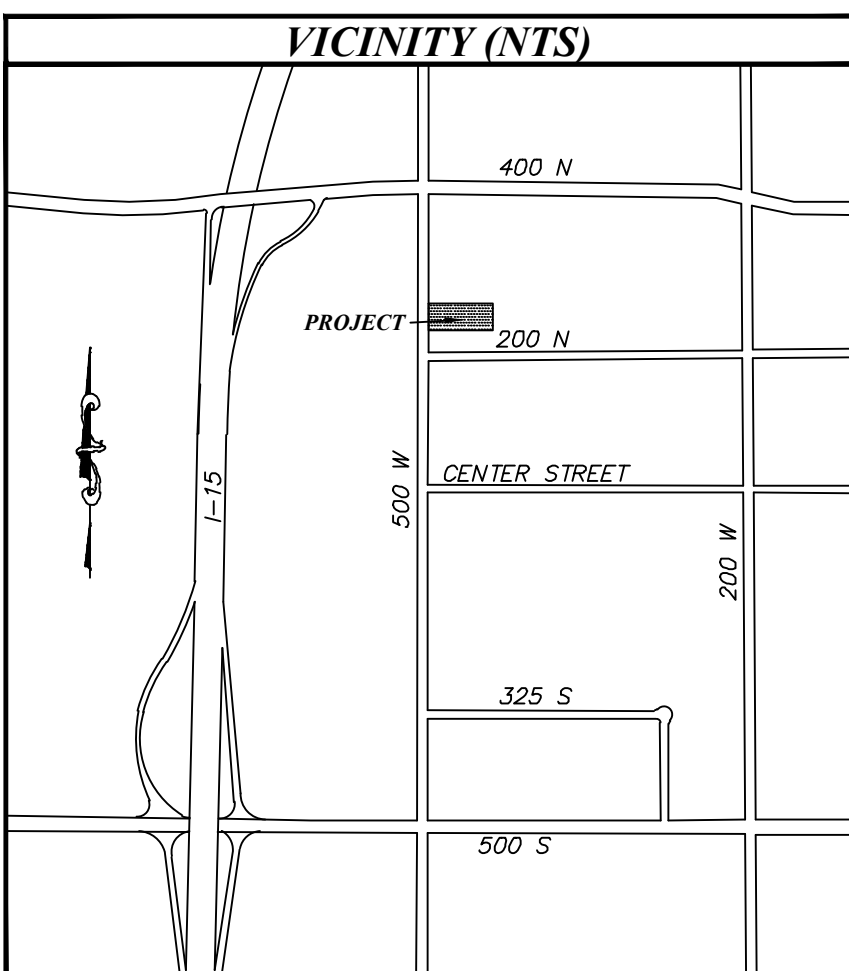
LEGEND

PROPERTY LINE _____
 UNIT LINE _____
 ADJACENT PROPERTY _____
 ROAD CENTERLINE _____
 SECTION LINE _____
 TIE TO MONUMENT _____
 PUBLIC UTILITY EASEMENT _____
 PRIVATE AREA [Hatched Box]
 COMMON AREA [White Box]

RECORD CALLS ()

SET 5/8" REBAR WITH "ENTELLUS" CAP, AT CORNER (UNLESS OTHERWISE NOTED) ●

FOUND PROPERTY MARKER (AS NOTED) ○



LINE TABLE

LINE	BEARING	LENGTH
L1	N 00°00'00" E	89.31'
L2	N 00°00'00" E	89.22'
L3	N 00°00'00" E	89.12'
L4	N 00°00'00" E	89.03'

UTILITY APPROVAL

SO. DAVIS SEWER IMP. DISTRICT: _____ DATE: _____
 BOUNTIFUL LIGHT AND POWER: _____ DATE: _____
 BOUNTIFUL CITY WATER: _____ DATE: _____
 CENTURY LINK: _____ DATE: _____
 COMCAST: _____ DATE: _____
 BOUNTIFUL IRRIGATION DISTRICT: _____ DATE: _____

DOMINION ENERGY UTAH

QUESTAR GAS COMPANY, dba DOMINION ENERGY UTAH, HEREBY APPROVES THIS PLAT SOLELY FOR THE PURPOSES OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING PRESCRIPTIVE RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNER DEDICATION OR IN THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY UTAH'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

QUESTAR GAS COMPANY
 dba DOMINION ENERGY UTAH

APPROVED THIS _____ DAY OF _____, 20____

BY: _____

TITLE: _____

CITY COUNCIL'S APPROVAL

PRESENTED TO THE CITY COUNCIL OF BOUNTIFUL CITY, UTAH, ON THIS _____ DAY OF _____, 20____.

CITY RECORDER ATTEST: _____
 MAYOR: _____

CITY ENGINEER'S APPROVAL

APPROVED BY THE BOUNTIFUL CITY ENGINEER, THIS _____ DAY OF _____, 20____.

BOUNTIFUL CITY ENGINEER

PLANNING COMMISSION APPROVAL

APPROVED BY THE PLANNING COMMISSION OF BOUNTIFUL CITY, THIS _____ DAY OF _____, 20____.

PLANNING DIRECTOR

CITY ATTORNEY'S APPROVAL

APPROVED ON THIS _____ DAY OF _____, 20____.

BOUNTIFUL CITY ATTORNEY

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
 FILED FOR RECORD AND RECORDED THIS _____ DAY OF _____, 20____
 AT _____ IN BOOK _____ OF _____
 COUNTY RECORDER: _____
 BY: _____ DEPUTY

COPY FOR REVIEW

1470 South 600 West
 Woods Cross, UT 84010
 Phone 801.298.2236
 www.Entellus.com
 PROJECT #1185017 10/30/2020, ALI
 11/8/2021, ALI

Planning Commission Staff Report



Subject: Deseret First Rear Building - Preliminary and Final Architectural and Site Plan Review for Indoor Vehicle Storage
Author: Francisco Astorga, AICP, Planning Director
Date: December 7, 2021

Background

The Applicant, Brian Knowlton with Knowlton General, representing the property owner, Deseret First Credit Union (DFCU), requests preliminary and final Architectural and Site Plan Review for the construction of a new building consisting of five (5) indoor vehicle storage units at 262 North 500 West, towards the rear of the lot, east of the new DFCU office branch on 500 West.

The site is located in the Heavy Commercial (C-H) subzone which follows 500 West (Hwy 89) and the City’s western boundary. The properties bordering the site are also located in the Heavy Commercial Zone (C-H) with the exception the Bountiful Manor Condominium complex, on the north side of the site, which is in the Multiple Family Zone (RM-25) subzone.

Analysis

Use. The C-H subzone lists Vehicle Storage – Indoor as a permitted use. Other vehicle related uses are listed in the C-H as permitted or conditional uses. Vehicle Salvage/Wrecking and Self Storage Units or Warehouse w/o Office are both expressly prohibited uses in the C-H subzone and the City. Indoor vehicle storage is not further defined in the Land Use Code. It is important to note that while indoor vehicle storage is a permitted use within the zone, storage facilities are expressly prohibited Staff will not make a different interpretation for this use other than for the indoor storage of vehicles. Furthermore, these units are not allowed to have kitchens and living spaces (sleeping and cooking facilities).

Yard Requirements.

Minimum Setback	Regulation	Proposal
Front/Street Yard	20 feet	West side: 232 feet from 500 West, complies.
Side Yard	10 feet	North side: 10 feet, complies. South side: 35.5 feet, complies.
Rear Yard	10 feet	East side: 10 feet, complies.
Yard Abutting Residential Lots	20 feet	North side, 10 feet, *see below.

**Land Use Code section 14-6-105 indicates that “An interior side or rear yard setback may be reduced during the site plan approval process if the land use authority determines that there is no need for a landscape buffer along that portion of the site, and that the public interest is better served by reducing the setback. However, no setback may be less than required by the International Building Code.”*

The proposed structure would be located on the north line of the DFCU property which is next to a large carport on the Manor Condominiums property to the north. The existing DFCU building is approximately 28 feet high and is setback 20 feet from the side property line. The existing carport straddles the property line. The residential building is located approximately 60 feet to the North of the same property line.

The proposed structure is also located approximately 200 feet from 500 west. Due to the location of the Manor Condominiums' carport and the 200-foot distance from 500 west, Staff does not find a need for a 20-foot landscape buffer directly north of the proposed building. Staff finds the proposed 10-foot setback is sufficient to meet the goals of the Code as there is a large carport directly north so there is no need for additional landscaping buffer. Additionally reducing the landscape buffer setback better serves the public interest by making the site more accessible to its users and provides for better and safer traffic and pedestrian circulation.



Building Height. No building or structure in the Commercial Zone shall exceed three (3) stories or forty-five (45) feet in height as measured at the average grade. The maximum height of the building is 28 feet from average grade.

Parking. The existing credit union building requires sixteen (16) parking spaces. There are sixteen (16) parking spaces adjacent to the existing building and the drive-through. The Land Use Code does not specify a parking ratio for indoor vehicle storage; however, it does indicate that the approving Authority is to determine the standard based on the recommendation of the City Planner and the City Engineer. Staff recommends allocating one (1) parking space per indoor vehicle storage unit, consisting of a total of five (5) parking spaces. There are six (6) parking spaces east of the drive-through that would comply with this recommendation. The site plan shows five (5) additional parallel parking spaces directly south of each vehicle entrance. Staff does not recognize these as legal parking spaces as they do not meet the Land Use Code.

Access. The existing driveway on the south of the entire site provides compliant access to the proposed building towards 500 West. As 500 West is a UDOT facility, the Applicant has already received necessary approvals, etc. for the existing driveway.

Landscaping. The entire site, including the credit union, requires 15% of the lot area to be landscaped. The proposal includes 30% of the entire site to be landscaped, consisting of existing landscaping (27%) and additional landscaping (3%). A minimum of ten (10) feet wide landscape buffer is required adjacent to all residential properties which matches the interior side yard setback reduction from 20 to 10 feet along the north side. The proposal includes a total of seven (7) additional trees and 20 additional shrubs directly adjacent to the proposed building. While the submitted landscape plan was not signed and stamped by a licensed landscape architect, Staff recommends based on the already compliant landscaping percentage that it be provided to the City during the building permit review, to be consistent with the landscaping provided on the Overall Site Plan and applicable landscaping requirements.

Building Materials. The proposed building is one level with a mezzanine and shows a mix of painted concrete masonry unit (CMU), metal paneling (siding), and a smaller scale accent metal paneling (siding) on the south, west, and east elevations. The proposal includes higher building corners along the south elevation creating vertical articulation in conjunction with the proposed different materials which break up the building mass.

Utilities. Development of this site included the installation of sewer and culinary water service to the eastern end of the development. The developer anticipates that each unit will be served with culinary water and sanitary sewer. An underground storm water detention system was also installed during the construction of the credit union building and is sufficiently sized to accommodate the proposed use for the site. Electrical and gas utility services are also available in the immediate vicinity.

Department Review

This staff report was written by the Planning Director and reviewed by the City Engineer and the City Attorney.

Significant Impacts

The development is occurring in an area with urban levels of infrastructure already in place. Impacts from the development of this property have been anticipated in the design of the existing storm water, sewer, and water and transportation systems. The conditions of approval are designed to mitigate other impacts anticipated by the development.

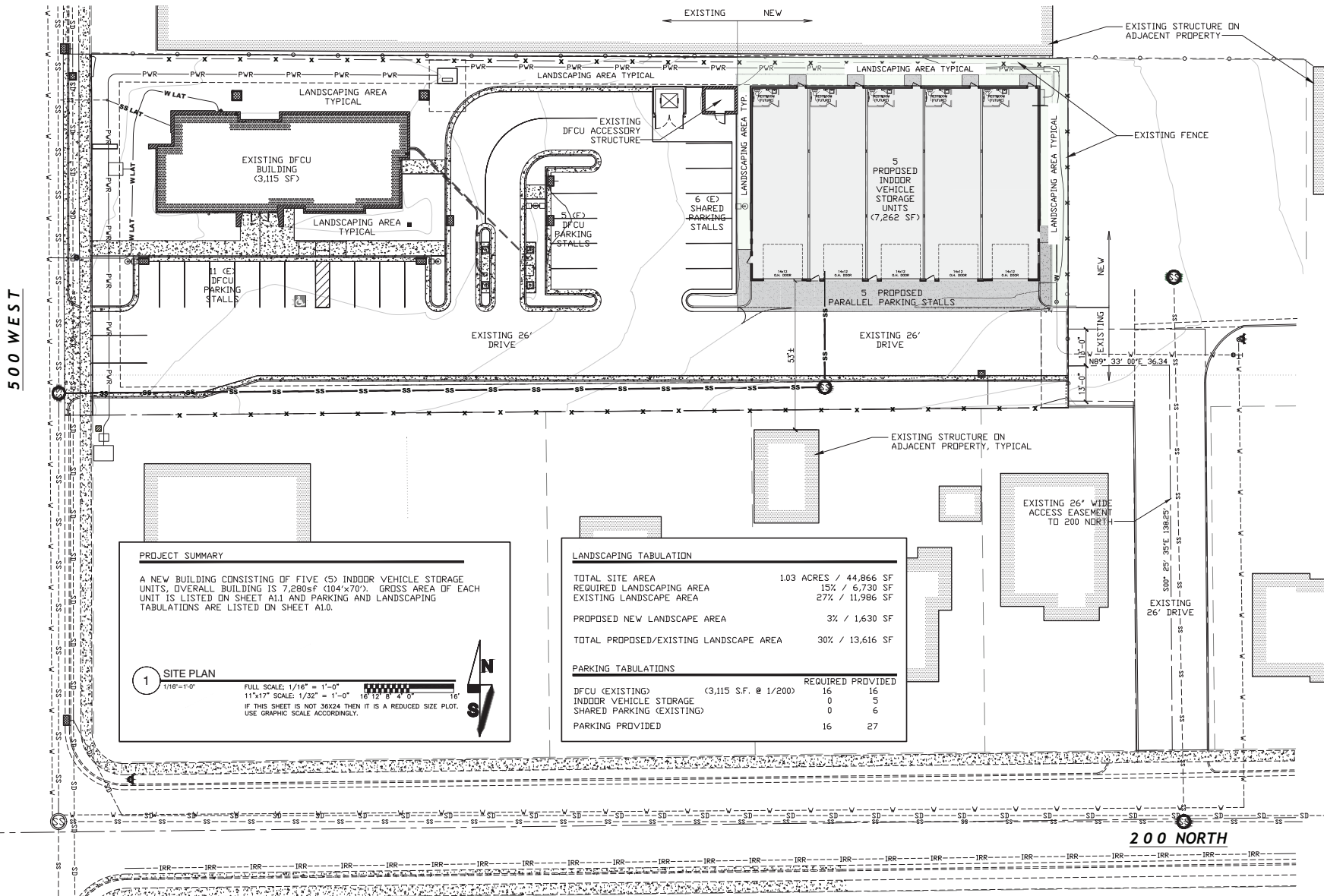
Recommendation

Staff recommends that the Planning Commission forward a positive recommendation to the City Council for the Preliminary and Final Architectural and Site Plan Review for the proposed indoor vehicle storage building subject to the following conditions of approval:

1. A signed/stamped landscape plan is provided during building permit review consistent with the landscaping provided on the Overall Site Plan, and applicable landscaping requirements.
2. During the building permit review process the five (5) parallel parking spaces shown along the south side of the proposed building shall be removed from the site plan.
3. All units will only be used for indoor vehicle storage. Traditional storage units are prohibited.

Attachments

1. Overall Site Plan including Landscaping
2. Site Plan/Floor Plan
3. South & West Elevations
4. North & East Elevations
5. Civil Package including Cover, Notes and Legend, Site Plan, Grading Plan, Utility Plan, and Site Detail Sheet.



PROJECT SUMMARY

A NEW BUILDING CONSISTING OF FIVE (5) INDOOR VEHICLE STORAGE UNITS, OVERALL BUILDING IS 7,260sf (104x70'). GROSS AREA OF EACH UNIT IS LISTED ON SHEET A11 AND PARKING AND LANDSCAPING TABULATIONS ARE LISTED ON SHEET A10.

1 SITE PLAN
1/16"=1'-0"

FULL SCALE: 1/16" = 1'-0"
11"x17" SCALE: 1/32" = 1'-0"
IF THIS SHEET IS NOT 36X24 THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

LANDSCAPING TABULATION

TOTAL SITE AREA	1.03 ACRES / 44,866 SF
REQUIRED LANDSCAPING AREA	15% / 6,730 SF
EXISTING LANDSCAPE AREA	27% / 11,986 SF
PROPOSED NEW LANDSCAPE AREA	3% / 1,630 SF
TOTAL PROPOSED/EXISTING LANDSCAPE AREA	30% / 13,616 SF

PARKING TABULATIONS

	REQUIRED	PROVIDED
DFCU (EXISTING)	3,115 S.F. @ 1/200	16
INDOOR VEHICLE STORAGE		5
SHARED PARKING (EXISTING)		6
PARKING PROVIDED		27

SMITH HYATT ARCHITECTS
845 SOUTH MAIN STREET BOUNTIFUL, UTAH (801) 298-3777

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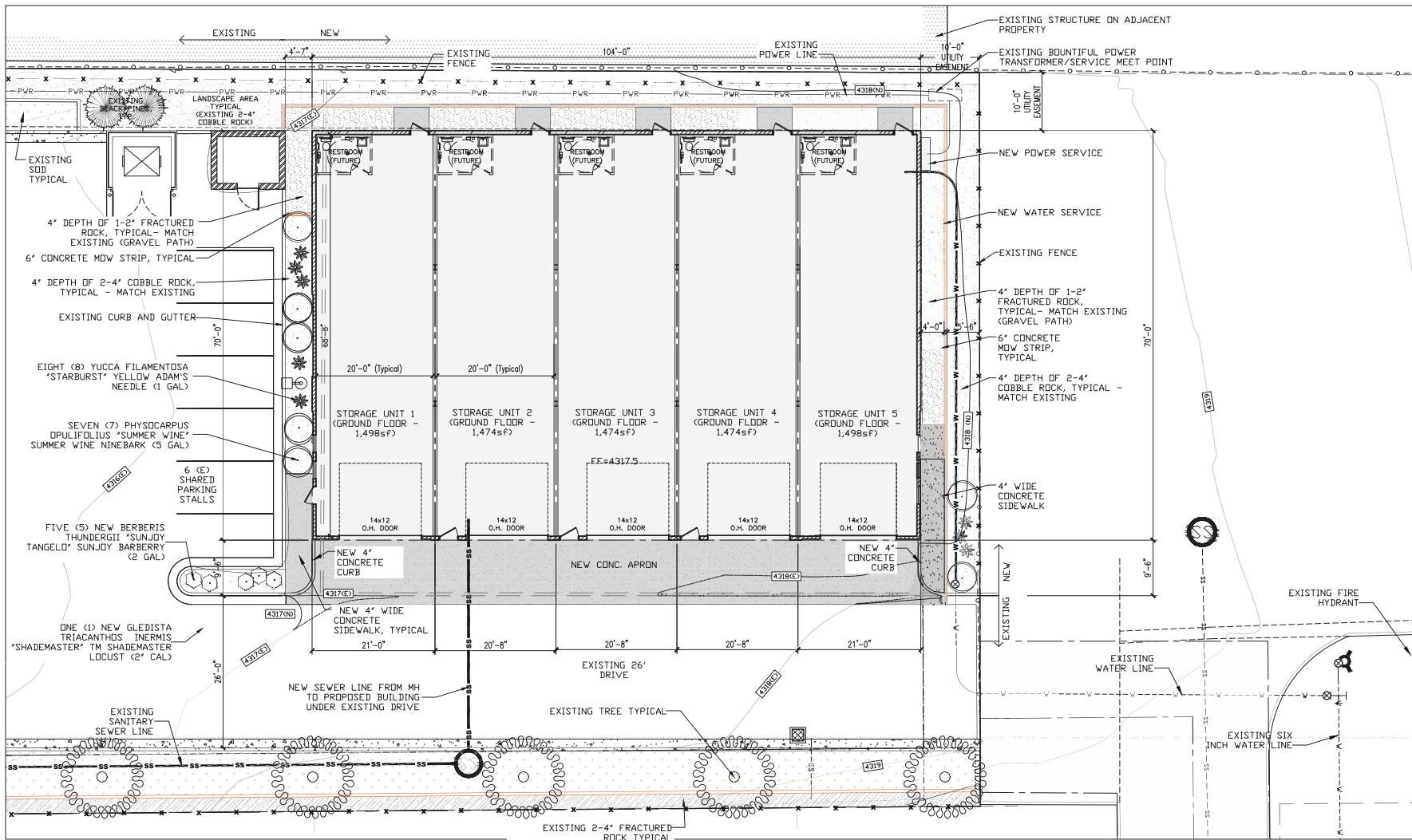
SEPT 15th / 2021

KNOWLTON 500 W DEVELOPMENT
260 N. 500 W
BOUNTIFUL, UT

No	DATE	DESCRIPTION
1	9/15/21	SCHEMATIC DESIGN
2	9/23/21	EXHIBIT REVIEW
3	9/29/21(R1)	REGULATORY REVIEW
4	10/14/2021	(N. ELEVATION MODIFIED)

OVERALL SITE PLAN

A1.0
20116



1 SITE / FLOOR PLAN
 1/4"=1'-0"
 24"x36" SCALE: 1/8" = 1'-0"
 11"x17" SCALE: 1/16" = 1'-0"
 IF THIS SHEET IS NOT 36x24 THEN IT IS A REDUCED SIZE PLOT.
 USE GRAPHIC SCALE ACCORDINGLY.

SEPT 15th / 2021

**KNOWLTON 500 W
 DEVELOPMENT
 260 N. 500 W
 BOUNTIFUL, UT**

No.	DATE	DESCRIPTION
	9/15/21	SCHEMATIC DESIGN
	9/23/21	EXHIBIT UNIT
	9/29/21(R)	PRELIMINARY REVIEW
	10/14/2021	(N. ELEVATION MODIFIED)

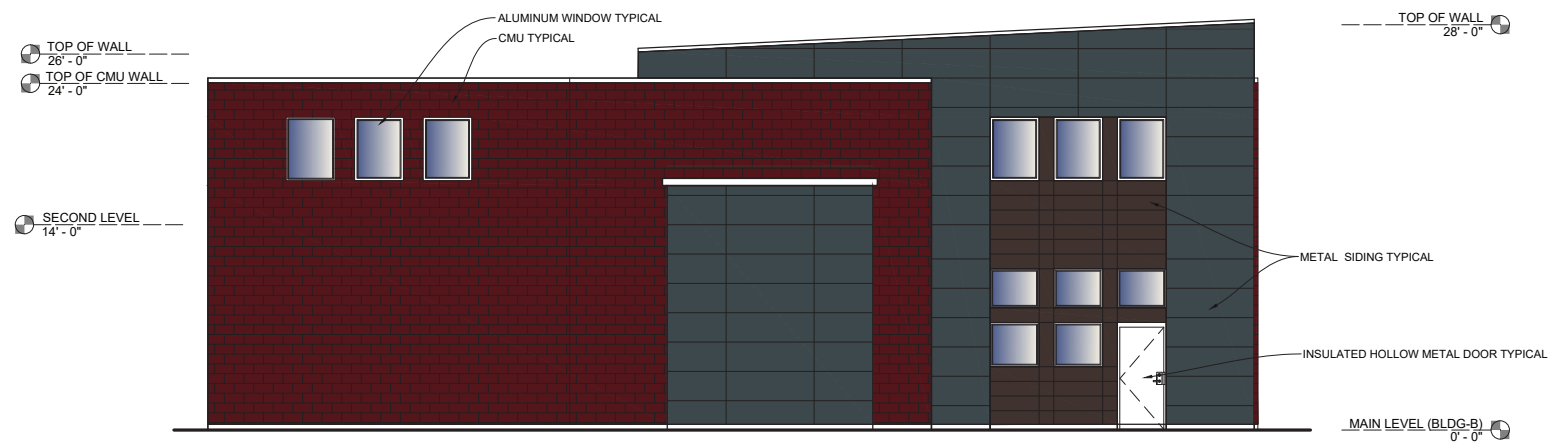
SITE / FLOOR PLAN

A1.1

20116



1 SOUTH ELEVATION
 1/4" = 1'-0" FULL SCALE: 1/4" = 1'-0"
 11"x17" SCALE: 1/8" = 1'-0"
 4' 3' 2' 1' 0' 4'



1 WEST ELEVATION
 1/2" = 1'-0" FULL SCALE: 1/4" = 1'-0"
 11"x17" SCALE: 1/8" = 1'-0"
 4' 3' 2' 1' 0' 4'

IF THIS SHEET IS NOT 36X24 THEN IT IS A REDUCED SIZE PLOT.
 USE GRAPHIC SCALE ACCORDINGLY.

SMITH HYATT ARCHITECTS
 845 SOUTH MAIN STREET BOUNTIFUL, UTAH (801) 298-5777

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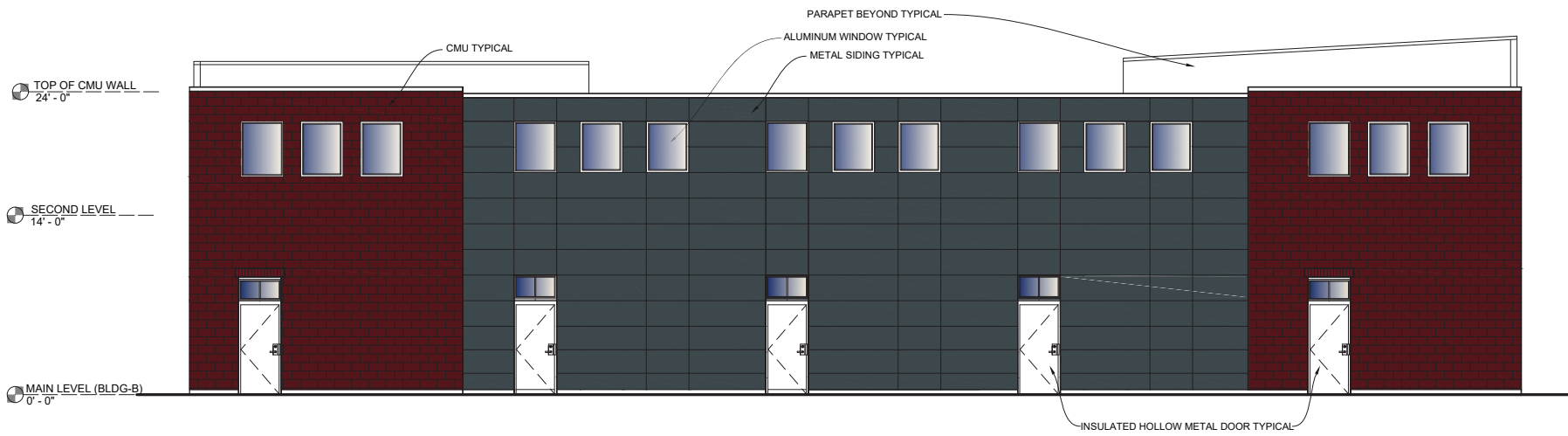
SEPT 15th / 2021

KNOWLTON 500 W DEVELOPMENT
 260 N. 500 W
 BOUNTIFUL, UT

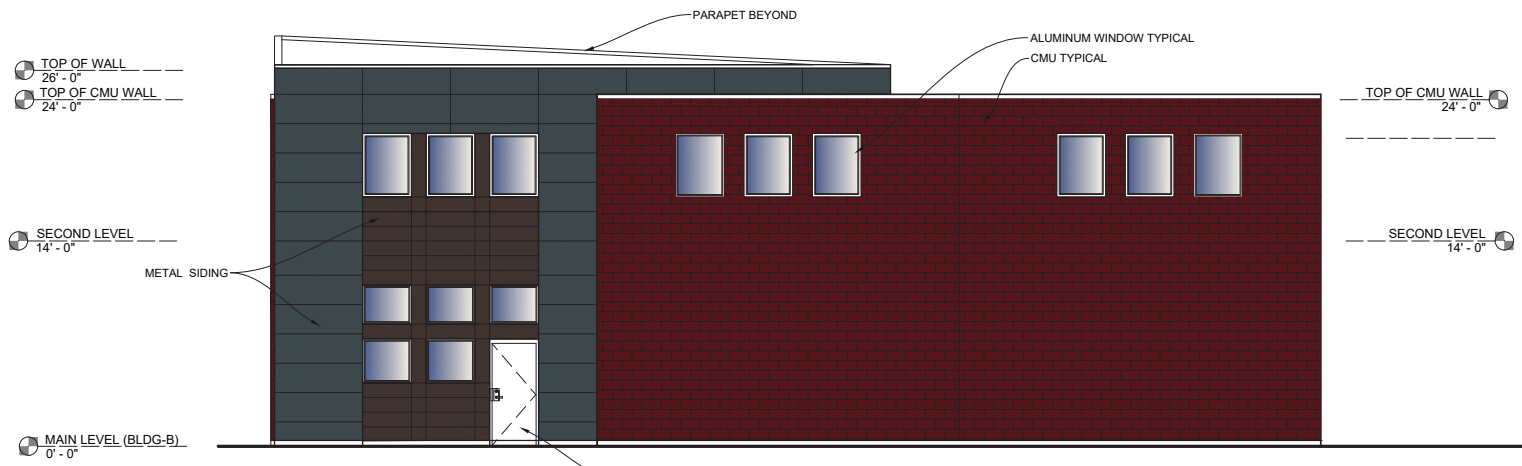
No.	DATE	DESCRIPTION
	9/15/21	SCHEMATIC DESIGN (STRUCKE UNIT)
	9/29/21	PERMITS REVIEW
	10/14/2021	(N. ELEVATION MODIFIED)

ELEVATIONS

A2.1
 20116



1 NORTH ELEVATION
 1/4"=1'-0" FULL SCALE: 1/4" = 1'-0"
 11"x17" SCALE: 1/8" = 1'-0"
 4' 3' 2' 1' 0' 4'



1 EAST ELEVATION
 1/4"=1'-0" FULL SCALE: 1/4" = 1'-0"
 11"x17" SCALE: 1/8" = 1'-0"
 4' 3' 2' 1' 0' 4'

SMITH HYATT ARCHITECTS
 845 SOUTH MAIN STREET BOUNTIFUL, UTAH (801) 298-5777
 THIS DRAWING AND ALL RIGHTS RESERVED. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT EXPRESS WRITTEN PERMISSION FROM AN AUTHORIZED REPRESENTATIVE OF FIRM.

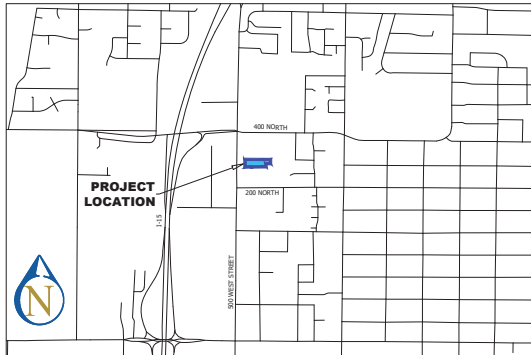
SEPT 15th / 2021

KNOWLTON 500 W DEVELOPMENT
 260 N. 500 W
 BOUNTIFUL, UT

No	DATE	DESCRIPTION
	9/15/21	SCHEMATIC REVISION
	9/23/21	STRONG OPINION
	9/29/21(R1)	PERMITS REVIEW
	10/14/2021	(N. ELEVATION MODIFIED)

ELEVATIONS

A2.2
 20116



SCALE: 1"=1000'

DFCU ADDITION

260 NORTH 500 WEST
 LOCATED IN THE SW 1/4 OF SECTION 19, T.2N., R.1E., S.L.B.&M.
 BOUNTIFUL CITY CITY, DAVIS COUNTY, UTAH

SHEET INDEX

NUMBER	TITLE
C100	COVER
C101	NOTES & LEGEND
C400	SITE PLAN
C500	GRADING PLAN
C600	UTILITY PLAN
C900	SITE DETAIL SHEET

Client **DESERET FIRST CREDIT UNION**
 Contact **Spencer Park**
 Phone **(801) 456-7161**
 Address **3999 W Parkway Blvd**
West Valley City, UT 84120

CITY ENGINEER'S APPROVAL
 APPROVED BY THE FARMINGTON CITY ENGINEER, THIS ____ DAY OF
 _____, 20____.

 FARMINGTON CITY ENGINEER

GENERAL NOTES

- ALL WORK WITHIN A PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.
- ALL UTILITY WORK SHALL CONFORM TO THE UTILITY OWNER'S STANDARDS & SPECIFICATIONS.
- THESE PLANS DO NOT INCLUDE DESIGN OF DRY UTILITIES. THESE PLANS MAY CALL FOR RELOCATION, AND/OR REMOVAL AND/OR CONSTRUCTION OF DRY UTILITIES, BUT ARE NOT OFFICIAL DRAWINGS FOR SUCH. DESIGN AND COORDINATION OF DRY UTILITIES IS BY OTHERS.
- THE CONTRACTOR SHALL COORDINATE AND OBTAIN ANY PERMITS REQUIRED FOR THE WORK SHOWN HEREON.
- THE LOCATION AND ELEVATIONS OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS IS A BEST ESTIMATE BASED ON UTILITY COMPANY RECORDS, BLUESTAKES, AND FIELD MEASUREMENTS OF READILY OBSERVABLE ABOVE-GROUND FEATURES. AS SUCH, THIS INFORMATION MAY NOT BE COMPLETE, UP-TO-DATE, OR ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STOP WORK AND NOTIFY THE ENGINEER IF CONFLICTING INFORMATION IS FOUND IN THE FIELD.
- THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION AND ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES PRIOR TO STAKING AND CONSTRUCTION.
- CALL BLUESTAKES AT LEAST 48 HOURS PRIOR TO DIGGING. DO NOT PROCEED UNTIL BLUESTAKES ARE MARKED.
- IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO MEET ALL APPLICABLE HEALTH AND SAFETY REGULATIONS, AND THEY SHALL ASSUME SOLE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING CONSTRUCTION OF THIS PROJECT, SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK, AND THE PUBLIC IS PROTECTED.

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DFCU ADDITION

1185017

RNH

CIVIL
SURVEY
ENGINEER

STA

REV #	BY	DATE

1470 South 600 West
 Woods Cross, UT 84010
 Phone 801.298.2236
 www.Entellus.com

C100
COVER

Table with 4 columns: REF #, BY, DATE, and a large empty box for signature and date.



1470 South 600 West Woods Cross, UT 84010 Phone 801.298.2236 www.entellus.com



1-800-862-4111 801-208-2100 IT'S THE LAW TO CALL

GENERAL NOTES: 1. ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY... 2. CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND AVAILABILITY OF EXISTING UTILITIES... 3. ALL DIMENSIONS ARE IN FOOT UNITS AND ARE TO THE TOP BACK OF CURB UNLESS SHOWN OR NOTED OTHERWISE...

UTILITY NOTES: 1. ALL SEWER LATERALS SHALL BE EXTENDED 2 FEET PAST THE 10 FOOT P.U.E. CONNECTION TO THE PUBLIC WORKS OFFICE BEFORE BEGINNING... 2. ALL CONSTRUCTION SHALL COMPLY WITH LOCAL GOVERNING MUNICIPALITY DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS... 3. LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE...

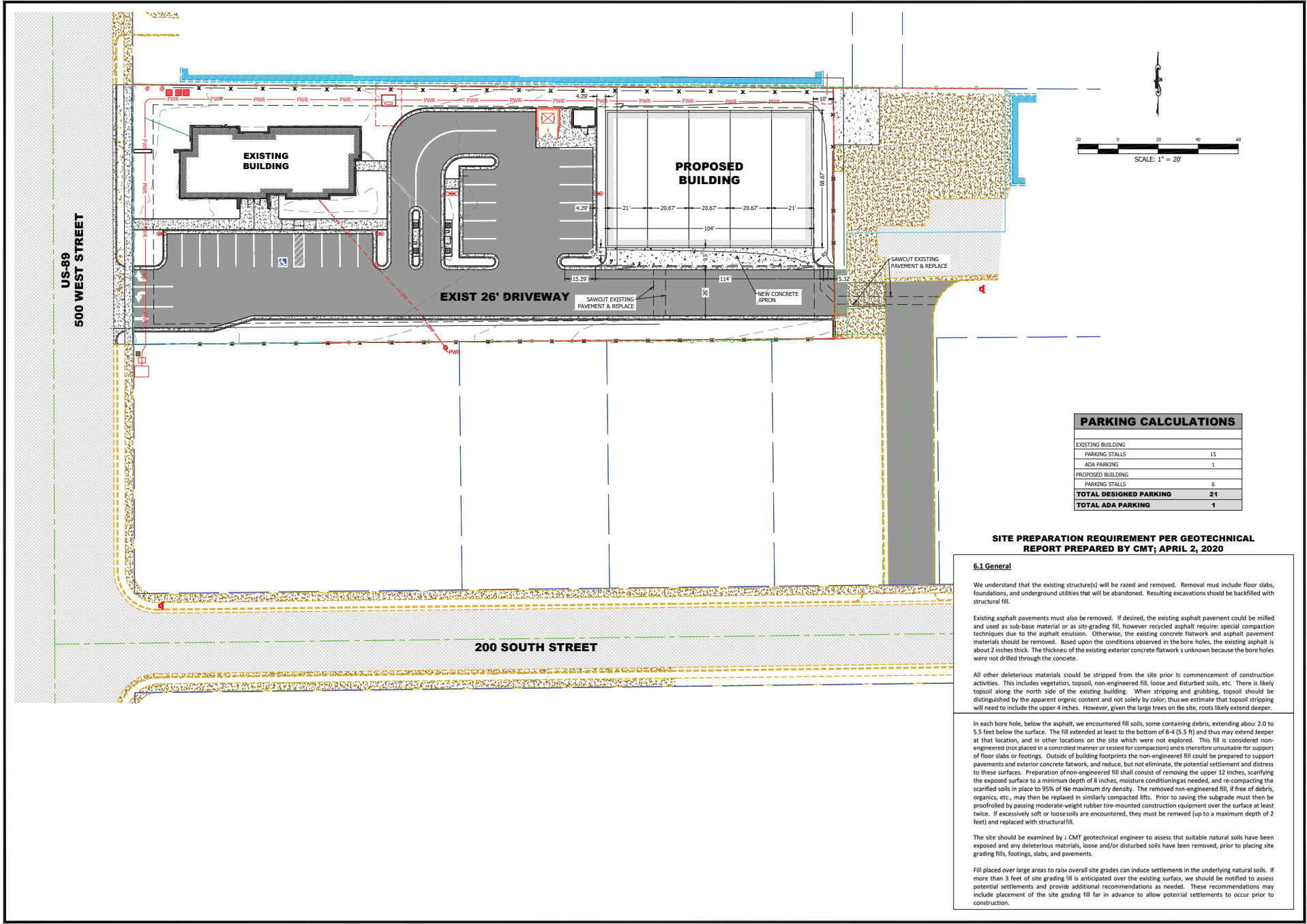
GRADING NOTES: 1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSATURABLE MATERIALS AND REPLACING IT WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT... 3. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS...

LEGEND: SECTION CORNER, MONUMENT, EXISTING SPOT ELEVATION, PROPOSED SPOT ELEVATION, DOWNWARD GRADE, EXISTING INDEX CONTOUR, EXISTING MINOR CONTOUR, PROPOSED MINOR CONTOUR, LOT OR BOUNDARY LINE, PUBLIC UTILITY EASEMENT, BUILDABLE AREA SETBACK, CENTER LINE OF ROAD, EXISTING FENCE, PROPOSED FENCE, EXISTING BUILDING, PROPOSED BUILDING, EXISTING ASPHALT, EXISTING ASPHALT, EXISTING CONCRETE, PROPOSED CONCRETE, EXISTING CURB & GUTTER, PROPOSED CURB & GUTTER, ADA PARKING, STREET LIGHT, LIGHT POLE, POWER POLE, TELEPHONE POLE, UTILITY POLE, STREET SIGN, EXISTING RETAINING WALL, PROPOSED RETAINING WALL, EXISTING ROCK WALL, PROPOSED ROCK WALL, EXISTING FIBER OPTIC, PROPOSED FIBER OPTIC, EXISTING NATURAL GAS, PROPOSED NATURAL GAS, EXISTING POWER, PROPOSED POWER, EXISTING OVERHEAD POWER, PROPOSED OVERHEAD POWER, EXISTING UNDERGROUND POWER, PROPOSED UNDERGROUND POWER, EXISTING TELEPHONE, PROPOSED TELEPHONE, EXISTING IRRIGATION LINE, PROPOSED IRRIGATION LINE, PROPOSED IRRIGATION LINE, PROPOSED IRRIGATION LINE, IRRIGATION MANHOLE, IRRIGATION METER, BLOWOFF, VALVE, TEE, ELBOW, REDUCER, THRUST BLOCK

LEGEND: EXISTING WATER LINE, PROPOSED WATER LINE, EXISTING FIRE PROTECTION, PROPOSED FIRE PROTECTION, WATER MANHOLE, WATER METER, FIRE HYDRANT, BLOWOFF, VALVE, TEE, ELBOW, REDUCER, THRUST BLOCK, EXISTING SEWER LINE, PROPOSED SEWER LINE, SEWER MANHOLE, EXISTING LAND DRAIN, PROPOSED LAND DRAIN, LAND DRAIN MANHOLE, EXISTING STORM DRAIN, PROPOSED STORM DRAIN, STORM DRAIN MANHOLE, CATCH BASIN / CLEANOUT, CURB INLET, ABABBREVIATIONS: DIAMETER, DEGREES, MINUTES, FEET, SECONDS, INCHES, AMERICAN DISABILITIES ACT, CORRUGATED BLACK PLASTIC PIPE, AMERICAN PUBLIC WORKS ASSOCIATION, ARCHITECT, ARCHITECTURAL, AMERICAN SOCIETY FOR TESTING AND MATERIALS, AMERICAN WATER WORKS ASSOCIATION, BAR & CAP, BOUNDARY LINE AGREEMENT, BUILDING, BENCHMARK, BOUNDARY, BACK OF WALK, BEARING, BUTTERFLY VALVE, CURB AND GUTTER, CATCH BASIN, CHORD, CHORD BEARING, CAST IRON, CAST IN PLACE, CLEANOUT, COMMUNICATIONS, CONCRETE, CONSTRUCTION, CULINARY, CULINARY WATER, CULINARY WATERLINE, DEMOLITION, DUCTILE IRON, DIAMETER, DISTANCE, DRAWING, EAST, ELECTRICITY, ELECTRICAL EASEMENT, EXISTING GRADE, ELBOW, END VERTICAL CURVE, ELEVATION, EDGE OF ASPHALT, END VERTICAL CURVE, END VERTICAL CURVE ELEVATION, END VERTICAL CURVE STATION, EXISTING, FINISH FLOOR ELEVATION, FINISH GRADE, FIRE HYDRANT, FLOWLINE FND FOUNDATION, FIRE PROTECTION, FOOTING, GAS, NATURAL GAS, GRADE BREAK, GATE VALVE, HIGH-DENSITY POLYETHYLENE PIPE, HIGH POINT, HIGH POINT ELEVATION

ABBREVIATIONS: HPS HIGH POINT STATION, ID INSIDE DIAMETER, INV INVERT, INR IRRIGATION, IRBH IRRIGATION MANHOLE, L CURVE RADIUS OF CURVATURE, LENTH LENGTH, LAT LATERAL SERVICE, LDR LAND DRAIN, LDH LAND DRAIN MANHOLE, LFE LINEAL FEET, LPI LIP OF GUTTER, LPP LOW POINT, LPE LOW POINT ELEVATION, MECH MECHANICAL, MH MANHOLE, MNH MANHOLE, NE NORTHEAST, NW NORTHWEST, ODH OUTSIDE DIAMETER, OHP OVERHEAD POWER, OSHA OCCUPATIONAL SAFETY AND HEALTH, ADMINISTRATION, POINT OF CURVATURE, PORTLAND CONCRETE CEMENT, POINT OF INFLECTION, PROPERTY, PARTS PER MILLION, PPM PROPERITY, POINT OF TANGENCY, PUBLIC UTILITY EASEMENT, PUBLIC UTILITY EASEMENT & DRAINAGE EASEMENT, POLYVINYL CHLORIDE, POINT OF VERTICAL INFLECTION, RADIUS, REBAR & CAP, ROADWAY CENTERLINE, REINFORCED CONCRETE PIPE, RIGHT OF WAY, STORM DRAIN, STORM DRAIN CATCH BASIN, STORM DRAIN CLEANOUT, STORM DRAIN MANHOLE, STANDARD DIMENSION RATIO, SE, SOUTHEAST, SEC SECONDARY, SECTION, SALT LAKE BASE & MERIDIAN SPECIFICATION, STEEL PIPE, SANITARY SEWER, SANITARY SEWER CLEANOUT, SANITARY SEWER MANHOLE, STD STANDARD, SECONDARY WATER, SOUTHWEST, SECONDARY WATERLINE, STORMWATER POLLUTION PREVENTION PLAN, TANGENT, THRUST BLOCK, TOP BACK OF CURB, TOP BACK OF WALK, TELEPHONE, TOP OF CURB/WALL, TOP OF ASPHALT, TOP OF CONCRETE, TOE OF SLOPE OR WALL, TOP OF CURB, TOP OF WALL, UTILITY, UNDERDRAIN, UNDERGROUND POWER, VERTICAL CURVE, WEST, WATER, WEST, WATER, SECONDARY WATER, WATERLINE, WATER METER, WORK POINT

Legend for utility lines: POWER (red), TELEPHONE (black), GAS (yellow), SEWER (green), WATER (blue), IRRIGATION (purple). Includes phone number 1-800-862-4111 and website www.entellus.com.



PARKING CALCULATIONS	
EXISTING BUILDING	
PARKING STALLS	15
ADA PARKING	1
PROPOSED BUILDING	
PARKING STALLS	6
TOTAL DESIGNED PARKING	21
TOTAL ADA PARKING	1

SITE PREPARATION REQUIREMENT PER GEOTECHNICAL REPORT PREPARED BY CMT; APRIL 2, 2020

6.1 General

We understand that the existing structure(s) will be razed and removed. Removal must include floor slabs, foundations, and underground utilities that will be abandoned. Resulting excavations should be backfilled with structural fill.

Existing asphalt pavements must also be removed. If desired, the existing asphalt pavement could be milled and used as sub-base material or as site-grading fill, however recycled asphalt requires special compaction techniques due to the asphalt emulsion. Otherwise, the existing concrete flatwork and asphalt pavement materials should be removed. Based upon the conditions observed in the bore holes, the existing asphalt is about 2 inches thick. The thickness of the existing exterior concrete flatwork is unknown because the bore holes were not drilled through the concrete.

All other deleterious materials should be stripped from the site prior to commencement of construction activities. This includes vegetation, topsoil, non-engineered fill, loose and disturbed soils, etc. There is likely topsoil along the north side of the existing building. When stripping and grubbing, topsoil should be distinguished by the apparent organic content and not solely by color; thus we estimate that topsoil stripping will need to include the upper 4 inches. However, given the large trees on the site, roots likely extend deeper.

In each bore hole, below the asphalt, we encountered fill soils, some containing debris, extending about 2.0 to 5.5 feet below the surface. The fill extended at least to the bottom of B-4 (5.5 ft) and thus may extend deeper at that location, and in other locations on the site which were not explored. This fill is considered non-engineered (not placed in a controlled manner or tested for compaction) and is therefore unsuitable for support of floor slabs or footings. Outside of building footprints the non-engineered fill could be prepared to support pavements and exterior concrete flatwork, and reduce, but not eliminate, the potential settlement and distress to these surfaces. Preparation of non-engineered fill shall consist of removing the upper 12 inches, scarifying the exposed surface to a minimum depth of 8 inches, moisture conditioning as needed, and re-compacting the scarified soils in place to 95% of the maximum dry density. The removed non-engineered fill, if free of debris, organics, etc., may then be replaced in similarly compacted lifts. Prior to saving the subgrade must then be proofrolled by passing moderate-weight rubber tire-mounted construction equipment over the surface at least twice. If excessively soft or loose soils are encountered, they must be removed (up to a maximum depth of 2 feet) and replaced with structural fill.

The site should be examined by a CMT geotechnical engineer to assess that suitable natural soils have been exposed and any deleterious materials, loose and/or disturbed soils have been removed, prior to placing site grading fill, footings, slabs, and pavements.

Fill placed over large areas to raise overall site grades can induce settlements in the underlying natural soils. If more than 3 feet of site grading fill is anticipated over the existing surface, we should be notified to assess potential settlements and provide additional recommendations as needed. These recommendations may include placement of the site grading fill far in advance to allow potential settlements to occur prior to construction.

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DFCU ADDITION

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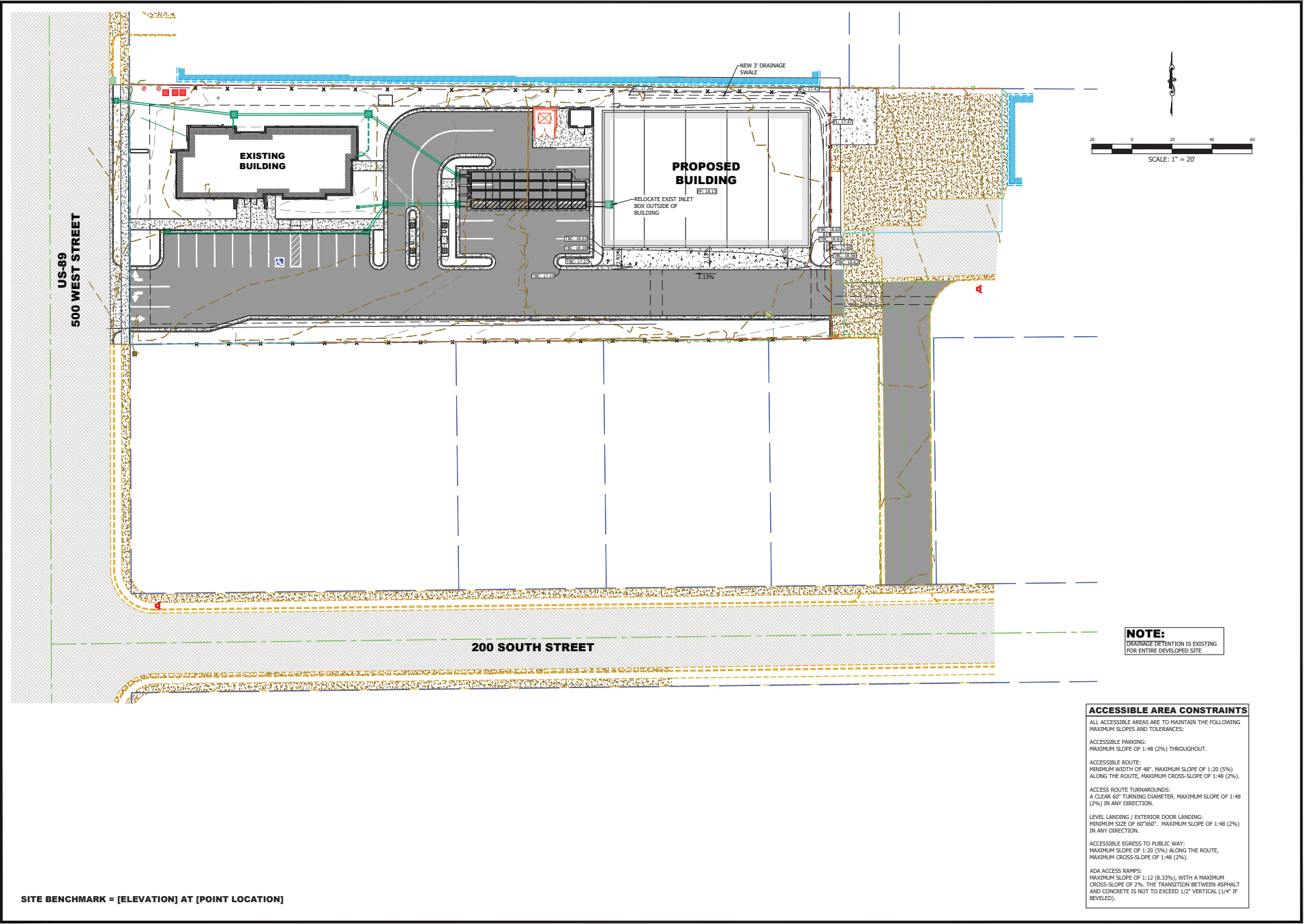
CIVIL SURVEY ENGINEER

REV #	BY	DATE

1470 South 600 West
Woods Cross, UT 84010
Phone 801.298.2236
www.Entellus.com

Entellus

C400
SITE PLAN

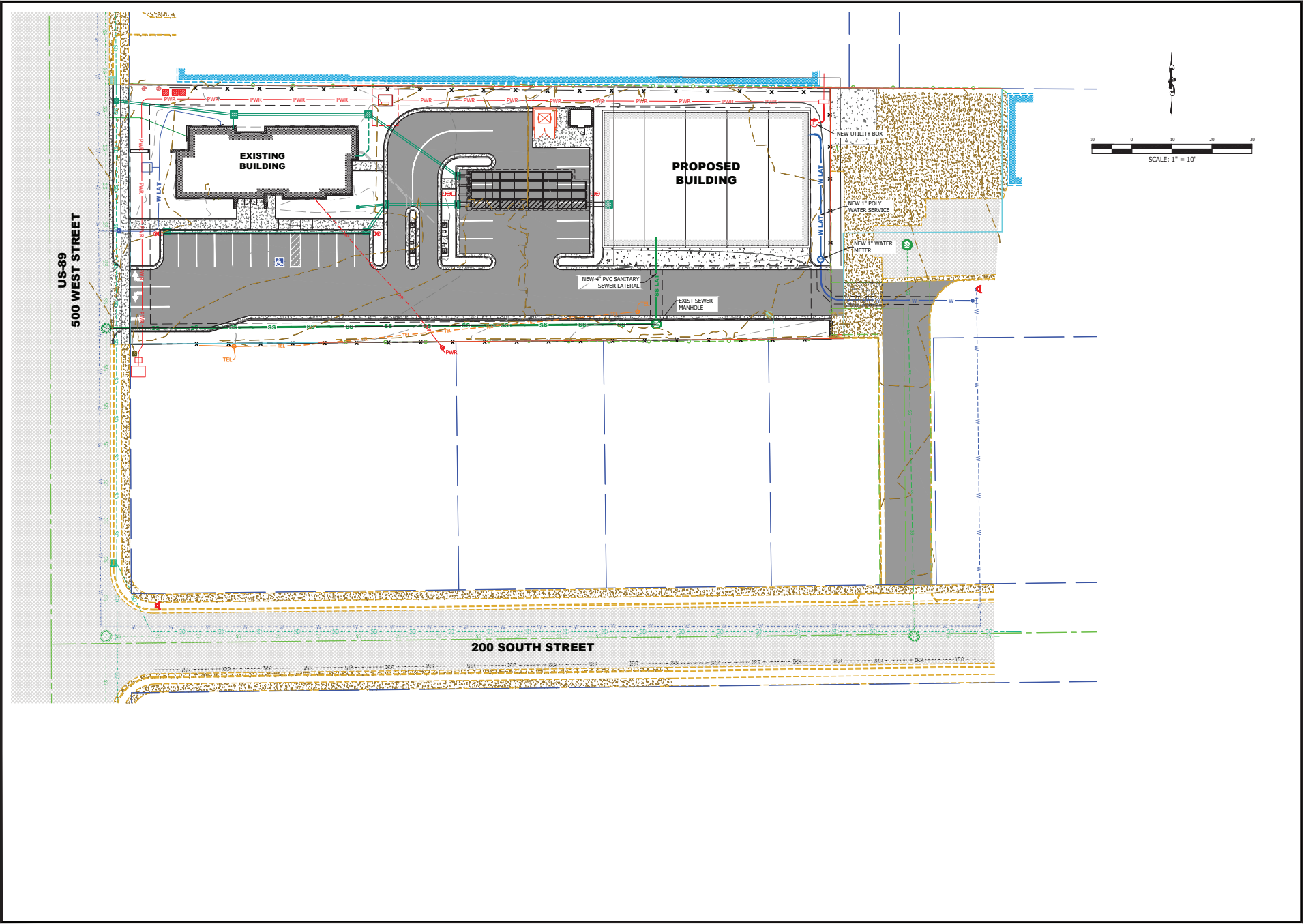


CIVIL	RNH	ENGINEER	STA
SURVEY			
DATE			
BY			
REV #			



1470 South 600 West
Woods Cross, UT 84010
Phone 801.298.2216
www.Entellus.com





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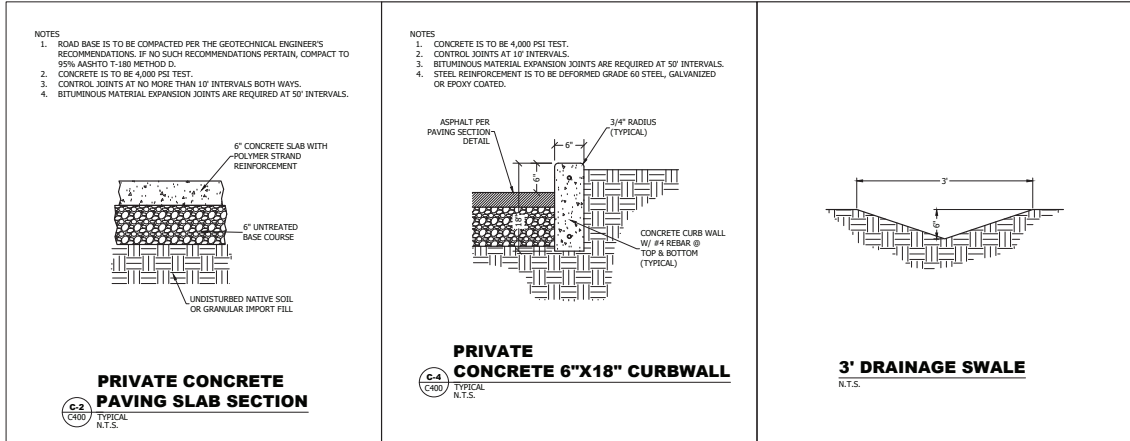
CIVIL	RNH
SURVEY	STA
ENGINEER	

REV #	BY	DATE

SCOTT T. ENTELLUS
PROFESSIONAL ENGINEER
STATE OF UTAH
NO. 47498

1470 South 600 West
Woods Cross, UT 84010
Phone 801.298.2216
www.Entellus.com

C600
UTILITY PLAN



REV #	BY	DATE



1470 South 600 West
 Woods Cross, UT 84010
 Phone 801.298.2236
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Entellus

Planning Commission Staff Report



Subject: 2022 Election of Planning Commission Chairperson
and Vice-Chair
Author: Francisco Astorga, AICP, Planning Director
Date: December 7, 2021

Background

Under Bountiful City Land Use Code [§14-2-103\(C\)\(1\)](#) below, the Planning Commission elects a chairperson and vice-chair that serves for one (1) year.

C. Organization and Procedure. The Planning Commission shall be organized and exercise its powers and duties as follows:

- 1. Members of the Planning Commission shall select one (1) of its members as chair to oversee the proceedings and activities of the Planning Commission.*
 - a. The chairperson shall serve for a term of one (1) year.*
 - b. Members of the Planning Commission shall select one (1) of its members as vice-chair to act in the absence of the chair. The chair and vice-chair may be reelected for successive terms.*

Analysis

In 2021 the Planning Commission elected Sean Monson to serve as chairperson and Lynn Jacobs to serve as vice-chair for the year. The Planning Department is unsure if a meeting will take place on December 21, 2021, which would be the last meeting of the year, where these appointments are made.

Department Review

This staff report was written by the Planning Director and reviewed by the City Attorney.

Significant Impacts

There are no significant impacts from this procedural action.

Recommendation

Staff recommends that the Planning Commission select a 2022 chairperson and vice-chair via motion, second, and vote.

Attachments

None

Planning Commission Staff Report



Subject: Public Notice of Planning Commission's 2022 Meeting Schedule
Author: Francisco Astorga, AICP, Planning Director
Date: December 7, 2021

Background

Under Utah Code [Section 52-4-202](#) (Chapter 4 Open and Public Meetings Act) "*a public body which holds regular meetings that are scheduled in advance over the course of a year shall give public notice at least once each year of its annual meeting schedule as provided in this section.*" This section applies to Planning Commission meetings.

Analysis

The Planning Commission is to meet on a regular basis, as determined by a vote of the members, and at such other times as Commission members may determine. Staff recommends maintaining the current schedule of meeting on the first (1st) and third (3rd) Tuesday of every month reflected on the drafted notice.

The Planning Department is unsure if a meeting will take place on December 21, 2021, which would be the last meeting of the year, where this public notice is reviewed by the Commission as required by Utah Code.

Department Review

This staff report and the Public Notice were written by the Planning Director and reviewed by the City Attorney.

Significant Impacts

There are no significant impacts from this procedural action.

Recommendation

Staff recommends that the Planning Commission approve the Public Notice of Bountiful City Planning Commission's 2022 meetings schedule to meet on the first (1st) and third (3rd) Tuesdays of each month.

Attachments

1. Public Notice of Bountiful City Planning Commission 2022 Meetings

PUBLIC NOTICE

Pursuant to UCA 52-4-202(2), the City of Bountiful Planning Commission hereby gives public notice of its annual meeting schedule for 2022. Regular meetings of the Planning Commission shall take place the first (1st) and third (3rd) Tuesdays of each month, unless otherwise advertised by legal notice. All Planning Commission meetings shall be held at the Bountiful City Hall located at 795 South Main Street, Bountiful, Utah 84010 until further notice or unless otherwise advertised. The meetings will begin promptly at 6:30 p.m.

All meetings of the Planning Commission shall be open to the public.

In addition to the above scheduled regular meetings, the Planning Commission may, from time to time, meet in special sessions as needed, and such meetings will be advertised by legal notice to the public in accordance with UCA 52-4-202. Dated this 7th day of December 2021.

Francisco Astorga
Bountiful City Planning Director