


**BOUNTIFUL CITY**  
**PLANNING COMMISSION AGENDA**  
**Tuesday, October 16, 2018**  
**6:30 p.m.**

**NOTICE IS HEREBY GIVEN** that the Bountiful City Planning Commission will hold a meeting in the Conference Room at City Hall, 790 South 100 East, Bountiful, Utah, at the time and on the date given above. The public is invited. Persons who are disabled as defined by the American with Disabilities Act may request an accommodation by contacting the Bountiful Planning Office at 298-6190. Notification at least 24 hours prior to the meeting would be appreciated.

1. Welcome and Introductions.
2. Approval of the minutes for October 2, 2018.
3. Consider final plat approval for Bristol Village a 19 multi-family townhome development at 1940 S 200 West, Taylor Spendlove representing Brighton Homes Development Utah LLC, applicant.
4. **PUBLIC HEARING** – Consider approval of a Conditional Use Permit for Quick Quack car wash in the General Commercial (C-G) zone located at 2566 S 500 West, Joseph Earnest, applicant.
5. Consider preliminary and final site plan approval for Quick Quack located at 2566 S 500 West, Joseph Earnest, applicant.
6. Study Session – Driveway Standards
7. Planning Director’s report, review of pending applications and miscellaneous business.

  
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Chad Wilkinson, City Planner

**Bountiful City  
Planning Commission Minutes  
October 2, 2018  
6:30 P.M.**

Present: Chair – Sean Monson; Vice Chair – Von Hill; Planning Commission Members – Jesse Bell, Jim Clark, Tom Smith and Sharon Spratley; City Planner – Chad Wilkinson; City Engineer – Lloyd Cheney; and Recording Secretary – Darlene Baetz

Excused: City Council Representation – Richard Higginson; City Attorney – Clint Drake

**1. Welcome and Introductions.**

Chair Monson opened the meeting at 6:30 pm and welcomed all those present.

**2. Approval of the minutes for September 18, 2018.**

Sharon Spratley made a motion to approve the minutes for September 18, 2018 as written. Jim Clark seconded the motion. Voting passed 6-0 with Commission members Bell, Clark, Hill, Monson, Spratley and Smith voting aye.

**3. Consider final site plan approval for Alphagraphics located at 265 S Main and 295 S Main, Spencer Anderson, applicant.**

Spencer Anderson was present. Chad Wilkinson presented the staff report.

The applicant, Spencer Anderson, representing Alpha Graphics, requests final site plan approval for an addition to the existing Alpha Graphics use and accompanying property improvements. The property is located within the DN (Downtown) zone and will incorporate the existing Alpha Graphics site and the former Bountiful RV site. The application includes the construction/ remodel of approximately 24,000 square feet which includes a ±3,000 square foot future tenant space. The project received preliminary approval from the Council on August 28, 2018 and the applicant has now completed final design of the site. The changes to the site plan are predominantly related to completion of the final utility and grading and drainage plans. The final plans have been reviewed by the City Engineer and a couple of follow up items will need to be completed prior to building permit, including recording an easement for the fire line.

Two revisions are still required from the original conditions of approval. First, the disabled person unloading aisle must be revised to show a minimum 8 foot width. Second, the plans need to show a minimum 5 foot wide landscape area along the north east portion of the property where the paved area abuts the property line. These revisions will need to be completed prior to submittal of the plans for building permit. Other conditions include consolidation of the parcels and replacement of concrete at 200 South and Main as part of the proposed storm improvements. The conditions also require recording of appropriate easements and agreements for the extension of storm water drainage pipes across the City property to the north.

The development is occurring in an area with urban levels of infrastructure already in place. Impacts from the development of this property have been anticipated in the design of the existing storm water,

sewer, and water and transportation system. There will be some minor impacts to surrounding streets in order to connect to existing utilities.

Staff recommends that the Planning Commission forward to the City Council a recommendation of approval for final site plan review for the proposed addition to the existing Alpha Graphics building subject to the following conditions:

1. Prior to issuance of building permit, consolidate the two parcels.
2. Show a minimum 8-foot wide disabled person unloading aisle.
3. Prior to building permit submittal revise the landscape plan to show a minimum 5 foot wide landscape area along the north east portion of the site where parking and drive areas are adjacent to the property line.
4. Enter into an agreement with Bountiful City to provide an easement in favor of the subject property owners for the use of the west 10 feet of the soccer field property for the proposed storm water outfall line.
5. Replace concrete panels at 200 South and Main Street in conjunction with new storm water line.
6. Provide a 7-foot wide easement for the onsite water line and fire hydrant.

Mr. Wilkinson stated that the City has a moratorium in place starting October 15, 2018 thru April 15, 2019 for any work done in the street. Work on the sewer lines on 200 South was allowed to proceed before the final approval due to the moratorium.

Jesse Bell made a motion that the Planning Commission forward to the City Council a recommendation of approval for final site plan approval for Alphagraphics located at 265 S Main and 295 S Main with the six conditions outlined by staff.

Jim Clark seconded the motion. Voting passed 6-0 with Commission members Bell, Clark, Hill, Monson and Spratley voting aye and Smith voting nay.

**4. Consider the approval of the Findings of Fact for a variance to allow for encroachments on slopes greater than 30% and to allow for cuts and fills and retaining walls in excess of 10 feet in height located at 1581 Stone Hollow Dr, William Low, applicant.**

Sharon Spratley made a motion to approve the Findings of Fact for a variance to allow for encroachments on slopes greater than 30% and to allow for cuts and fills and retaining walls in excess of 10 feet in height located at 1581 Stone Hollow Dr with the following corrections to be made:

Sharon Spratley noted that the findings incorrectly noted the decision was to deny. The decision from the commission was to approve. She also wanted to add the condition from the recommendation from staff, "The disturbance of the property shall be limited to areas within the "Limit of Disturbance" noted on the annotated site plan in order to retain as much native vegetation as possible and to minimize impacts on slope areas."

Chair Monson noted the last sentence in 5.A should read "The approval of the variance should be contingent on the limit of disturbance indicated on the annotated site plan."

Jim Clark seconded the motion. Voting passed 6-0-1 with Commission members Bell, Clark, Monson, Smith and Spratley voting aye and Hill abstained.

6. **Planning Director's report, review of pending applications and miscellaneous business.**

1. Next Planning Commission meeting will be October 16, 2018.
2. Utah APA meeting will be held at Jordan Commons on October 4 and 5, 2018.

Chair Monson ascertained there were no other items to discuss. The meeting was adjourned at 6:45 p.m.

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Chad Wilkinson, Bountiful City Planner



# Commission Staff Report

Item # 3

**Subject:** Final Plat approval Bristol Village PUD  
**Author:** City Engineer, Lloyd Cheney  
**Address:** 1940 S 200 W  
**Date:** Oct. 8, 2018



## Background

Brighton Homes is requesting final plat approval for a 19 unit "townhome" style condominium development on two existing single family properties located at 1940 S 200 W. The area of the new combined parcel is 1.18 acres, making the allowable number of units 19 units, which complies with the 19 unit per acre maximum for the zone. While this is simply a townhome style condo development, the term PUD is used in the proposed name to avoid financing issues in the future.

## Analysis

The final plat approval has been requested now that the foundations for each of the buildings has been completed and a survey of the building pad locations has been performed for preparation of the final plat. All of the site plan issues including parking, landscaping, utilities, grading and drainage have been previously addressed in the prior preliminary approval process.

## Department Review

This has been reviewed by the Engineering, Planning and Legal Departments.

## Significant Impacts

This change will have no impacts.

## Recommended Action

Recommend final PUD plat approval for the Bristol Village PUD with the following conditions:

1. Submit a current Title Report.
2. Make any and all other redline corrections.
3. Pay the required fees.

## Attachments

1. Aerial photo showing location of development.
2. Plat of the proposed PUD.

**Aerial Photo of the Bristol Village PUD Site**





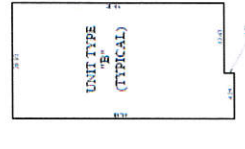
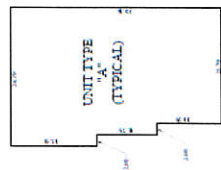
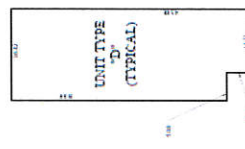
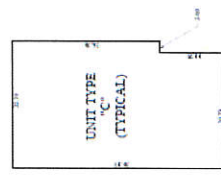
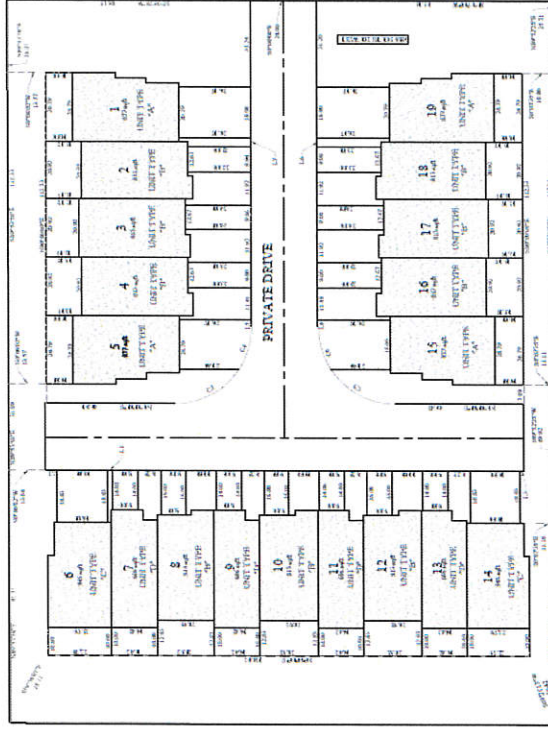


# BRISTOL VILLAGE PLANNED UNIT DEVELOPMENT

LOCATED IN THE NW 1/4 OF SECTION 21, T1N, R1E  
SALT LAKE BASE & MERIDIAN  
BOONIFUL CITY, DAVIS COUNTY, UTAH

Line Table		Curve Table	
1.00	100.00000000	1.00	100.00000000
1.10	100.00000000	1.10	100.00000000
1.20	100.00000000	1.20	100.00000000
1.30	100.00000000	1.30	100.00000000
1.40	100.00000000	1.40	100.00000000
1.50	100.00000000	1.50	100.00000000
1.60	100.00000000	1.60	100.00000000
1.70	100.00000000	1.70	100.00000000
1.80	100.00000000	1.80	100.00000000
1.90	100.00000000	1.90	100.00000000
2.00	100.00000000	2.00	100.00000000

LEGEND	
[Symbol]	SECTION BOUNDARY
[Symbol]	UNIT AREA
[Symbol]	UNIT COMMON AREA
[Symbol]	PRIVATE DRIVEWAY



RECORDED # \_\_\_\_\_  
BY \_\_\_\_\_  
DATE \_\_\_\_\_ TIME \_\_\_\_\_ PAGE \_\_\_\_\_  
COUNTY RECORDER \_\_\_\_\_



# Commission Staff Report

Item #s 4 & 5

**Subject:** **Public Hearing:** Conditional Use Permit and Preliminary and Final Site Plan for Construction of new Car Wash Business  
**Author:** Chad Wilkinson, City Planner  
**Address:** 2566 S. 500 West  
**Date:** October 16, 2018



## Description of Request:

The applicant, Quick QQ Utah LLC, requests Conditional Use Permit and preliminary and final site plan approval for the construction of a new Carwash facility at 2566 S 500 West. The property is located within the C-G (General Commercial) zone and the use is allowed subject to approval of a conditional use permit and site plan. The application includes the construction of an approximately 3,800 square foot building with an automated carwash and offices and around 20 vacuum stations along 2600 South.

## Background and Analysis:

The property is bordered by commercial development (the Square at 2600) on the south, multi-family residential on the north, existing nursing/ assisted living center to the east, and a restaurant use to the west.

The proposed development is located on a 1.17 acre property consisting of two parcels. Prior to construction of the proposed carwash, the parcels will need to be consolidated. Access to the project will be via two driveways; one on 500 West and one located on 2600 South. The applicant will be required to close and properly abandon the existing approaches on both streets. The proposed driveway on 2600 South has been aligned with driveway for the Square to the south. The driveway on 500 West has been moved to the north of the property to minimize conflicts with the intersection of 500 West and 2600 South. The driveway on 500 West will need to be reduced to the maximum width of 35 feet allowed by Code. Provision will also need to be made for restriction of this driveway to right-in/right-out only. This may include signage, striping or construction of concrete structures or a combination of these measures to direct vehicles to right turns. The parking standards for carwashes are based on providing adequate queue length for cars waiting to enter the automated carwash. The Code requires at least 6 spaces of stacking space for the facility and the proposed plan demonstrates compliance with this standard.

The applicant has requested that the review body consider reduced setbacks along the north property line as authorized in section 14-6-105 of the Land Use Ordinance. The applicant requests a reduction from the required 20 foot setback to a setback of 10 feet. The purpose of the 20 foot setback requirement is to provide a zoning buffer between commercial and residential development. In the case of the development to the north, the property borders on a series of carports serving the apartment development. In this case the 10 foot landscape buffer will provide adequate zone buffering since the residential structures on the lot are located almost 100 feet from the proposed carwash. In addition the carwash portion of the building is located more than 20 feet from the property line. The



property is long and narrow and some sort of relief needs to be considered in order to allow a reasonable development of the lot. Another reason to consider the reduced setback is the landscaping proposed. The plan far exceeds the minimum 15 percent of landscape area and provides trees and shrubs meeting the minimum standards of the Code. The structures will still be required to meet applicable building and fire construction standards. It is recommended that the requested reduction in side yard setback be granted. The applicant proposes building materials consisting of stucco and block with trim elements. The carwash structure includes a number of windows. The vacuum stations and supporting equipment building meet the required 20 foot setback. Color renderings of the building and vacuum stations are attached to this report.

A sign shown at the intersection of 2600 South and 500 West will need to be moved outside of the vision clearance area. Signs for the site will be reviewed and approved under separate permit.

Storm water will be collected on site and conveyed to a sump on the west side of the property in an underground facility. Water and sewer will be provided from existing lines in 500 West and 2600 South. Plans have been reviewed by the City Engineer with redline changes required in order to meet City standards and obtain final approval.

### **Department Review**

This proposal has been reviewed by the Engineering, Power, and Planning Departments and by the Fire Marshall.

### **Significant Impacts**

The development is occurring in an area with urban levels of infrastructure already in place. Impacts from the development of this property have been anticipated in the design of the existing storm water, sewer, and water and transportation system. The application will require cutting into the road and there is a moratorium on excavations in the right of way starting on October 15 and lasting until April 15. The applicant will have to delay work in the right of way until after the moratorium has been lifted. The conditions of approval are designed to mitigate other impacts anticipated by the development.

## Recommended Action

Staff recommends that the Planning Commission approve the conditional use permit and forward to the City Council a recommendation of approval for the preliminary and final site plan for the proposed carwash subject to the following conditions:

1. Complete any and all redline corrections including but not limited to the following:
  - a. Revise the width of the driveway on 500 West to the maximum 35 foot allowed width
  - b. Show how the driveway on 500 West shall be limited to right-in/right-out only to the satisfaction of the City Engineer.
  - c. Relocate the sign at the intersection of 2600 South and 500 West outside of the vision clearance area.
  - d. Revise site grading for overflow drainage to 2600 South.
  - e. Any modifications required by conditions of the Planning Commission and City Council.
2. Prior to issuance of building permit, consolidate the two parcels.
3. All damaged curb and gutter and sidewalk along 2600 S. and 500 W. shall be replaced.
4. The setback along the north property line shall be reduced to 10 feet as authorized by Section 14-6-105 of the Land Use Ordinance.
5. Replace the existing drive approaches which are to be abandoned on 2600 S. and 500 W. with standard curb and gutter and sidewalk.
6. **Note:** Approval of signage is **not** included as part of the conditional use permit and site plan. A separate sign permit is required. The following comments are provided on the proposed signage for information purposes only:
  - a. The proposed monument sign exceeds the maximum height of 6 feet. The sign height will need to be reduced.
  - b. The building dimensions shown on the wall sign submittal are incorrect and will need to be corrected prior to sign permit submittal in order to allow for calculation of maximum sign area.

## Attachments

1. Aerial photo
2. Site and utility plans
3. Building Renderings and Elevations

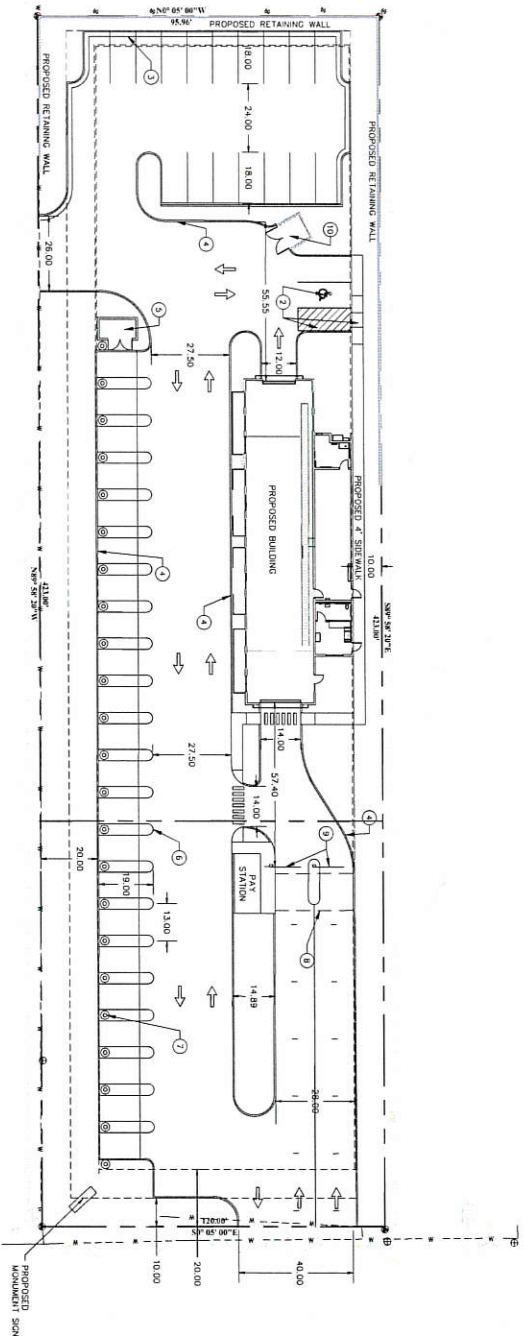
Aerial Photo



PROJECT ENGINEER:  
 JAMES HOLLAND  
 4516 S. 1200 WEST  
 SALT LAKE CITY, UT 84119  
 JAMES.HOLLAND@ELEVATEENGINEERING.COM

SUBJECT:  
 QUICK QUACK BOUNTIFUL  
 2566 SOUTH 500 WEST, BOUNTIFUL, UT 84010  
 JAMES.HOLLAND@ELEVATEENGINEERING.COM

DESIGNER:  
 JOSEPH FARBER  
 4516 S. 1200 WEST  
 SALT LAKE CITY, UT 84119  
 JOSEPH.FARBER@ELEVATEENGINEERING.COM



- GENERAL NOTES:
1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION.
  2. CONTRACTOR TO VERIFY ALL UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION.
  3. ALL PROPOSED UTILITY LINES TO HAVE A MINIMUM OF 3' OF COVER.
  4. ALL PROPOSED UTILITY LINES TO BE INSTALLED AS PER CITY STANDARDS.
  5. WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
  6. ALL UTILITY LINES AND STRUCTURES TO BE DETECTED IN KIND, LOCATION AND DEPTH PRIOR TO CONSTRUCTION OF SEWER AND WATER LINES.
  7. SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
  8. ALL WORK TO BE ACCORDING TO CITY STANDARDS.

# LEGEND

- LOT LINES (PROPERTY)
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING FENCE
- MARKET ELEVATION
- TOP OF ASPHALT
- TOP BACK OF CURB
- PROPOSED
- EXISTING
- FINISHED GRADE
- FINISHED FLOOR ELEVATION
- LANDSCAPE AREA
- CONCRETE AREA

**SITE DATA**

LOT AREA: 50,739 SQ FT (1.17 ACRES)

PERMITS: 30,774 SQ FT (0.70 ACRES)

LANDSCAPE AREA: 16,228 SQ FT (0.37 ACRES)

ZONING: C-C (GENERAL COMMERCIAL)

CONSTRUCTION TYPE: V-B

CONTRACTOR CLASSIFICATION: B

SETBACKS:

- FRONT: 30'-0" FEET
- REAR: 30'-0" FEET
- LEFT: 10'-0" FEET
- RIGHT: 10'-0" FEET

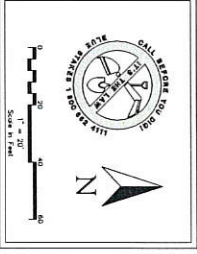
PROPOSED: 1 ADA STALL

VACUUM STALLS: 22 STALLS

STAIRS: 11 STAIRS

STAIR LENGTH: 11 FEET

- NOTES:**
1. PROPOSED 3' SIDEWALK PER APWA PLAN 231. SEE SHEET C-1 FOR DETAILS AND QUOTE TO BE INSTALLED PER ADA AND APWA STANDARDS. SEE SHEET C-4 FOR DETAILS.
  2. PROPOSED CURB & GUTTER TYPE E PER APWA PLAN 205. SEE SHEET C-4 FOR DETAILS.
  3. PROPOSED CURB TYPE P PER APWA PLAN 205. SEE SHEET C-4 FOR DETAILS.
  4. CONSTRUCT VACUUM ENCLOSURE WITH CONCRETE PAD AND UNDERGROUND TRUNK LINES. PROVIDE ETC. COMPONENT WITH ARCHITECTURAL PLANS.
  5. PAINT 4" SOLID YELLOW PAINT STRIKE AS SHOWN (TYPICAL).
  6. INSTALL OWNER PROVIDED TOMMY BALL.
  7. INSTALL OWNER PROVIDED PAY STATIONS WITH CHANGES WITH ARCHITECTURAL PLANS FOR DETAILS.
  8. INSTALL OWNER PROVIDED GATES AND LOOP DETECTION SYSTEM COMPONENTS OF INSTALLATION PRIOR TO CONSTRUCTION OF VACUUM SEE CONSTRUCTION PLANS FOR DETAILS.
  9. PROPOSED DUMPSTER LOCATION. SEE SHEET C-4 FOR DETAILS.



**QUICK QUACK BOUNTIFUL**  
**SITE PLAN**  
 2566 SOUTH 500 WEST, BOUNTIFUL, 84010



ELEVATE ENGINEERING  
 492 WEST 1200 NORTH  
 SALT LAKE CITY, UT 84119  
 PHONE: (801) 718-5993  
 www.elevate.com

NO.	REVISIONS	BY	DATE

PROJECT ENGINEER: LP      DESIGNER: DL

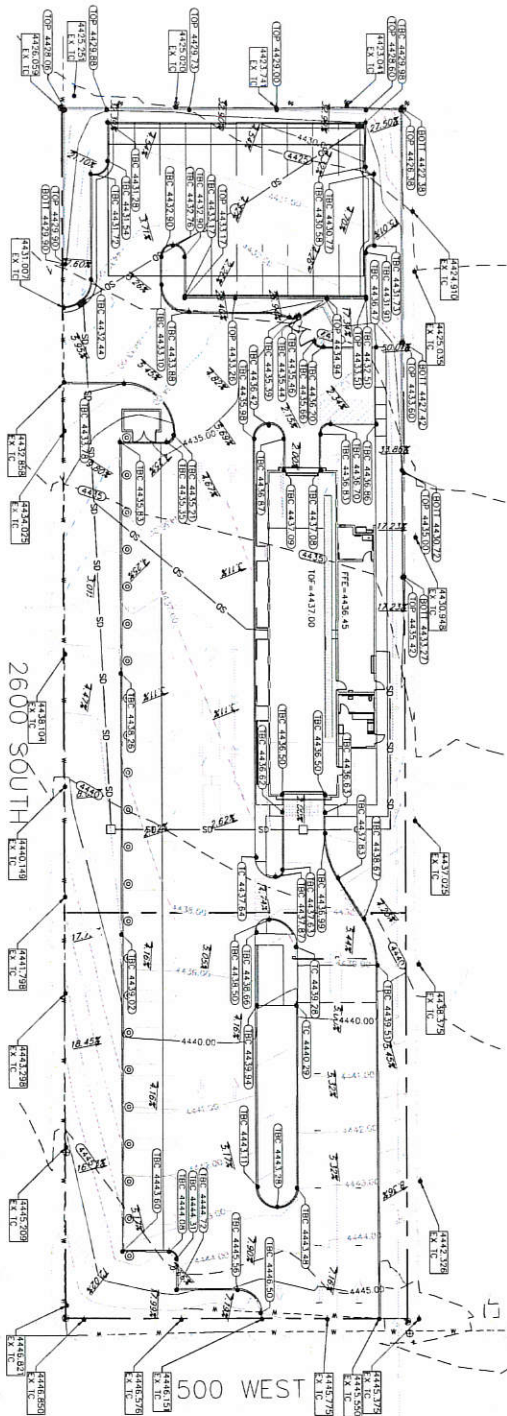
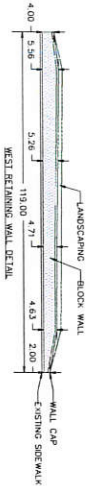
SHEET: **C-1**









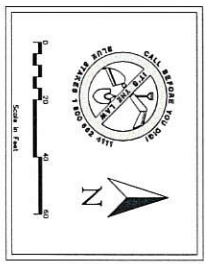


# LEGEND

- LOT LINES (PROPERTY)
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED STORM DRAIN LINE
- EXISTING STORM DRAIN LINE
- EXISTING FENCE
- GRADE BREAK
- FINISH GRADE CONTOUR LINES
- EXISTING GRADE CONTOUR LINES
- FINISH GRADE SLOPE
- GRADE BREAK
- INVERT ELEVATION
- TOP OF GRAFT
- TOP OF ASPHALT
- TOP BACK OF CURB
- PROPOSED
- EXISTING
- FINISHED FLOOR ELEVATION
- BACK OF SIDEWALK
- SNOW

### DESIGN NOTES:

OWNER IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA)



NO.	REVISIONS	BY	DATE

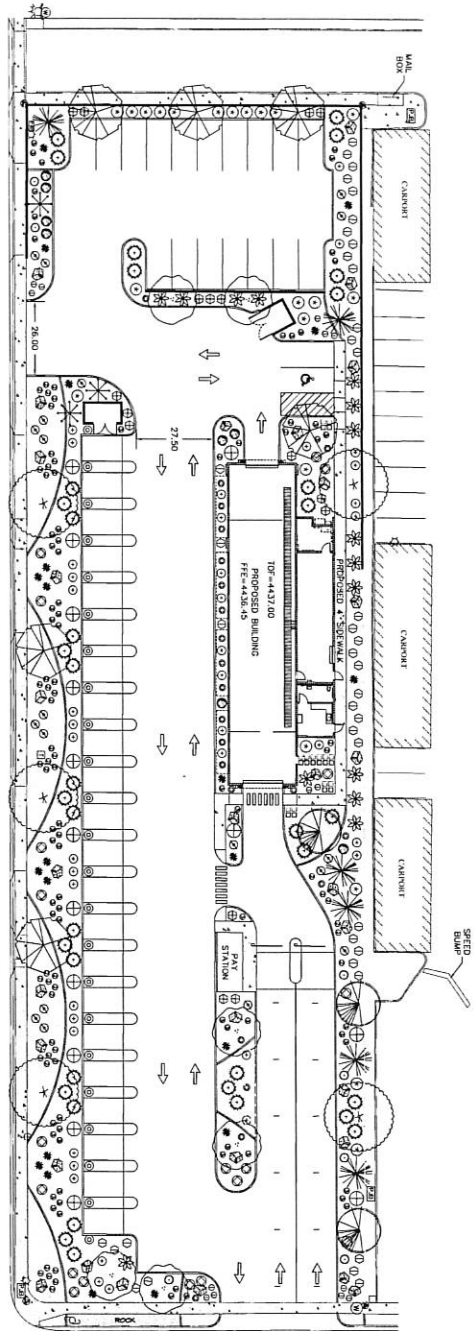
**ELEVATE ENGINEERING**  
 490 WEST 1200 NORTH  
 SPOKANE, IDAHO 83402  
 PHONE: (801) 718-5003  
 www.ElevateEng.com

**QUICK QUACK BOUNTIFUL GRADING PLAN**  
 2566 SOUTH 500 WEST, BOUNTIFUL, 84010



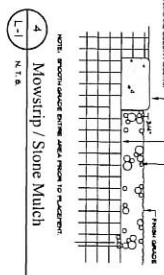
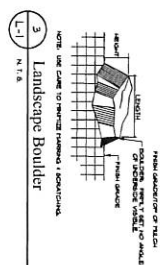
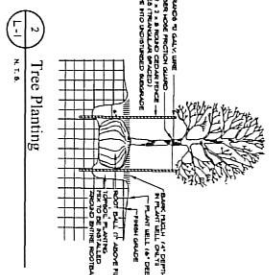
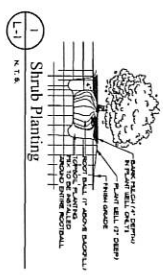
SHEET: **C-2**





2600 SOUTH

500 WEST



Legend

Symbol	Description	Remarks
①	4" x 4" Concrete	4" x 4" Concrete
②	2' x 2' x 2' Concrete	2' x 2' x 2' Concrete
③	4' x 4' Expanded Concrete	4' x 4' Expanded Concrete
④	2' x 2' x 2' Concrete	2' x 2' x 2' Concrete
⑤	4' x 4' Concrete	4' x 4' Concrete
⑥	2' x 2' x 2' Concrete	2' x 2' x 2' Concrete
⑦	4' x 4' Concrete	4' x 4' Concrete
⑧	2' x 2' x 2' Concrete	2' x 2' x 2' Concrete
⑨	4' x 4' Concrete	4' x 4' Concrete
⑩	2' x 2' x 2' Concrete	2' x 2' x 2' Concrete

Planting Notes

- All tree areas (if used) shall require a 6" top margin of topsoil above grade. If topsoil is not available at the site, it shall be imported from an approved local source. All topsoil shall be of a quality similar to that of the existing site. All topsoil shall be tested for quality by certifying the soil to a depth of 6" prior to placement. All topsoil shall be tested for quality by certifying the soil to a depth of 6" prior to placement. All topsoil shall be tested for quality by certifying the soil to a depth of 6" prior to placement.
- All trees shall be planted in the center of the planting area. All trees shall be planted in the center of the planting area. All trees shall be planted in the center of the planting area.
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General Notes

- All bidding landscape contractors shall have a minimum of 5 years experience in the installation of commercial landscape construction projects, and be able to apply the necessary staff to perform all tasks associated with the project. All bidding landscape contractors shall have a minimum of 5 years experience in the installation of commercial landscape construction projects, and be able to apply the necessary staff to perform all tasks associated with the project.
- The contractor shall verify the exact location of existing and proposed utilities and all site conditions prior to construction. All utilities shall be marked and protected. All site conditions shall be verified and approved by the owner prior to construction.
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Sub-Grade Requirements

- Sub-grade shall be prepared in accordance with the following: 1. All areas to be planted shall be prepared to a depth of 6" above grade. 2. All areas to be planted shall be prepared to a depth of 6" above grade. 3. All areas to be planted shall be prepared to a depth of 6" above grade.
- Sub-grade shall be prepared in accordance with the following: 1. All areas to be planted shall be prepared to a depth of 6" above grade. 2. All areas to be planted shall be prepared to a depth of 6" above grade. 3. All areas to be planted shall be prepared to a depth of 6" above grade.
- Sub-grade shall be prepared in accordance with the following: 1. All areas to be planted shall be prepared to a depth of 6" above grade. 2. All areas to be planted shall be prepared to a depth of 6" above grade. 3. All areas to be planted shall be prepared to a depth of 6" above grade.

Submittal Requirements

- Submittal requirements shall be in accordance with the following: 1. All submittals shall be submitted to the owner for review and approval. 2. All submittals shall be submitted to the owner for review and approval. 3. All submittals shall be submitted to the owner for review and approval.
- Submittal requirements shall be in accordance with the following: 1. All submittals shall be submitted to the owner for review and approval. 2. All submittals shall be submitted to the owner for review and approval. 3. All submittals shall be submitted to the owner for review and approval.
- Submittal requirements shall be in accordance with the following: 1. All submittals shall be submitted to the owner for review and approval. 2. All submittals shall be submitted to the owner for review and approval. 3. All submittals shall be submitted to the owner for review and approval.

Plant List (TREES)

Quant.	Symbol	Botanical Name	Common Name	Size	Remarks
3	①	Amelanchier alnifolia	Shadbush	3" Caliper	Full Height Crown
5	②	Prunella vitifolia	Blackberry	3" Caliper	Full Height Crown
6	③	Prunella nigra	Blackberry	3" Caliper	Full Height Crown
6	④	Prunella nigra	Blackberry	3" Caliper	Full Height Crown
6	⑤	Prunella nigra	Blackberry	3" Caliper	Full Height Crown
6	⑥	Prunella nigra	Blackberry	3" Caliper	Full Height Crown
6	⑦	Prunella nigra	Blackberry	3" Caliper	Full Height Crown
6	⑧	Prunella nigra	Blackberry	3" Caliper	Full Height Crown
6	⑨	Prunella nigra	Blackberry	3" Caliper	Full Height Crown
6	⑩	Prunella nigra	Blackberry	3" Caliper	Full Height Crown

Plant List (SHRUBS)

Quant.	Symbol	Botanical Name	Common Name	Size	Remarks
22	①	Berberis thunbergii	Japanese Barberry	3" Caliper	Full Height Crown
22	②	Berberis thunbergii	Japanese Barberry	3" Caliper	Full Height Crown
22	③	Berberis thunbergii	Japanese Barberry	3" Caliper	Full Height Crown
22	④	Berberis thunbergii	Japanese Barberry	3" Caliper	Full Height Crown
22	⑤	Berberis thunbergii	Japanese Barberry	3" Caliper	Full Height Crown
22	⑥	Berberis thunbergii	Japanese Barberry	3" Caliper	Full Height Crown
22	⑦	Berberis thunbergii	Japanese Barberry	3" Caliper	Full Height Crown
22	⑧	Berberis thunbergii	Japanese Barberry	3" Caliper	Full Height Crown
22	⑨	Berberis thunbergii	Japanese Barberry	3" Caliper	Full Height Crown
22	⑩	Berberis thunbergii	Japanese Barberry	3" Caliper	Full Height Crown

Plant List (ORNAMENTAL GRASSES)

Quant.	Symbol	Botanical Name	Common Name	Size	Remarks
6	①	Chamaecrista nuttallii	Parrot Feather Grass	3" Caliper	Full Height Crown
6	②	Chamaecrista nuttallii	Parrot Feather Grass	3" Caliper	Full Height Crown
6	③	Chamaecrista nuttallii	Parrot Feather Grass	3" Caliper	Full Height Crown
6	④	Chamaecrista nuttallii	Parrot Feather Grass	3" Caliper	Full Height Crown
6	⑤	Chamaecrista nuttallii	Parrot Feather Grass	3" Caliper	Full Height Crown
6	⑥	Chamaecrista nuttallii	Parrot Feather Grass	3" Caliper	Full Height Crown
6	⑦	Chamaecrista nuttallii	Parrot Feather Grass	3" Caliper	Full Height Crown
6	⑧	Chamaecrista nuttallii	Parrot Feather Grass	3" Caliper	Full Height Crown
6	⑨	Chamaecrista nuttallii	Parrot Feather Grass	3" Caliper	Full Height Crown
6	⑩	Chamaecrista nuttallii	Parrot Feather Grass	3" Caliper	Full Height Crown

Plant List (PERENNIALS)

Quant.	Symbol	Botanical Name	Common Name	Size	Remarks
14	①	Agrostis sp.	Bluegrass	1 gallon	Full Can
4	②	Agrostis sp.	Bluegrass	1 gallon	Full Can
4	③	Agrostis sp.	Bluegrass	1 gallon	Full Can
4	④	Agrostis sp.	Bluegrass	1 gallon	Full Can
4	⑤	Agrostis sp.	Bluegrass	1 gallon	Full Can
4	⑥	Agrostis sp.	Bluegrass	1 gallon	Full Can
4	⑦	Agrostis sp.	Bluegrass	1 gallon	Full Can
4	⑧	Agrostis sp.	Bluegrass	1 gallon	Full Can
4	⑨	Agrostis sp.	Bluegrass	1 gallon	Full Can
4	⑩	Agrostis sp.	Bluegrass	1 gallon	Full Can

Landscape Architect

8020 East 2000 North  
Salt Lake City, Utah 84149  
Phone: 801-641-1314  
Email: rldesign@comcast.net



QUICK QUACK BOUNTIFUL LANDSCAPE PLAN  
2566 SOUTH 500 WEST, BOUNTIFUL, UTAH 84010

**ELEVATE**  
ELEVATE ENGINEERING  
492 WEST 1200 NORTH  
SPRINGVILLE, UT 84603  
PHONE: 801-765-2000  
WWW.ELEVATEENGINEERING.COM

NO.	REVISIONS	BY	DATE

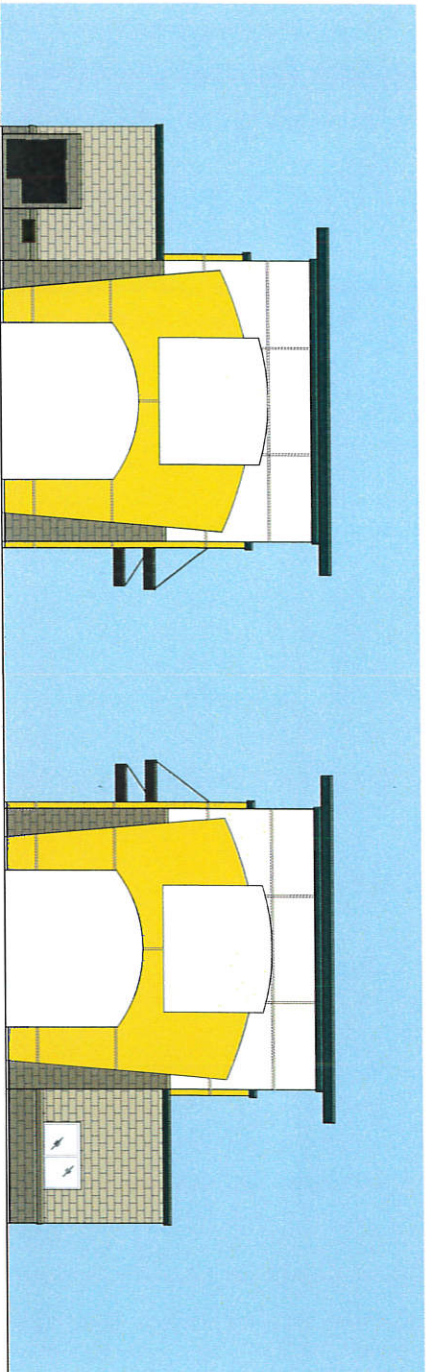
PROJECT ENGINEER: LP DESIGNER: LP



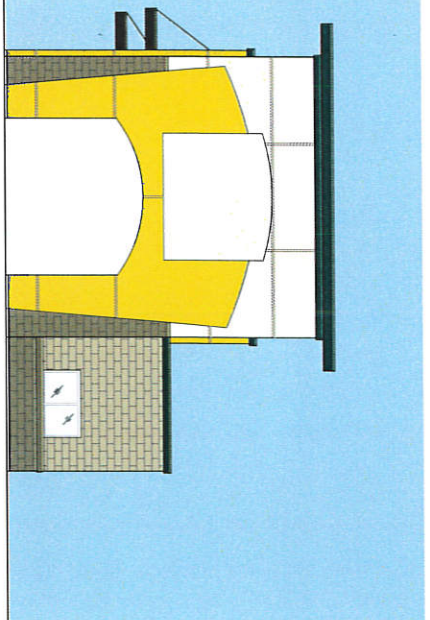






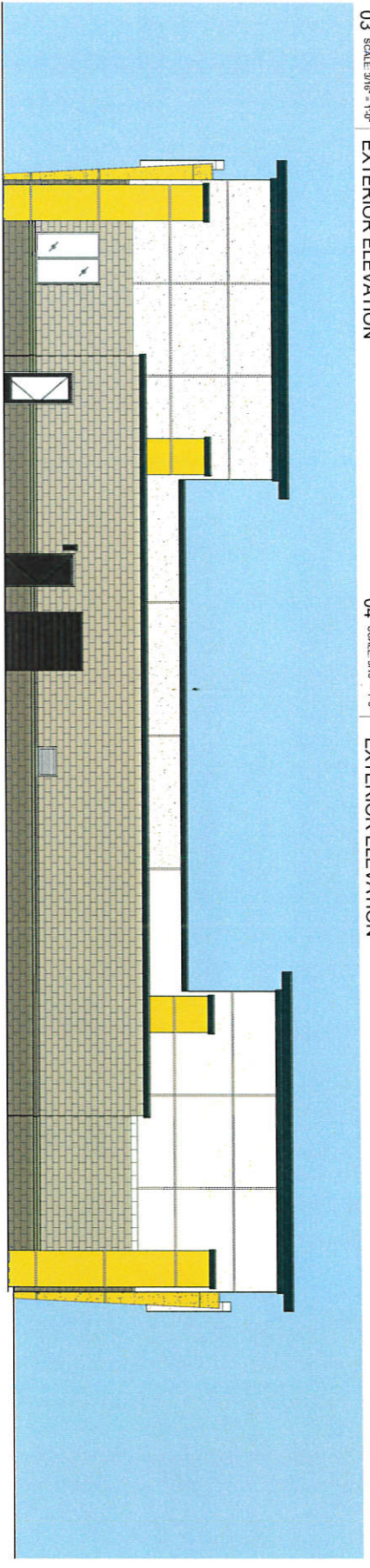


03 SCALE 3/16" = 1'-0" EXTERIOR ELEVATION

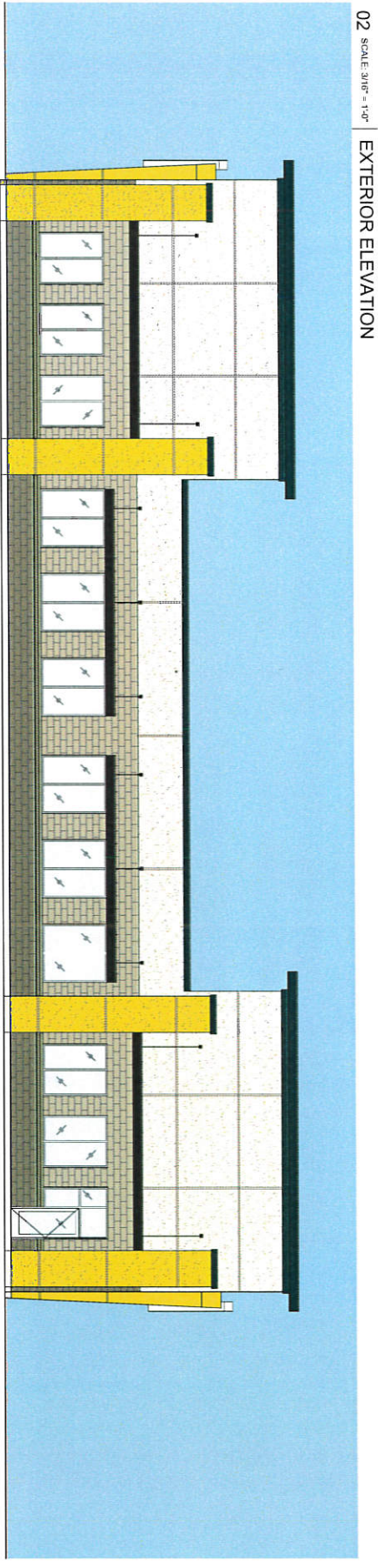


04 SCALE 3/16" = 1'-0" EXTERIOR ELEVATION

NO.	DESCRIPTION	MANUFACTURER
01	CONCRETE	CONCRETE
02	BRICK	BRICK
03	GLASS	GLASS
04	PAINT	PAINT
05	ROOFING	ROOFING
06	MECHANICAL	MECHANICAL
07	ELECTRICAL	ELECTRICAL
08	PLUMBING	PLUMBING
09	INSULATION	INSULATION
10	FOUNDATION	FOUNDATION
11	LANDSCAPE	LANDSCAPE
12	INTERIOR FINISH	INTERIOR FINISH
13	MECHANICAL	MECHANICAL
14	ELECTRICAL	ELECTRICAL
15	PLUMBING	PLUMBING
16	INSULATION	INSULATION
17	FOUNDATION	FOUNDATION
18	LANDSCAPE	LANDSCAPE
19	INTERIOR FINISH	INTERIOR FINISH
20	MECHANICAL	MECHANICAL
21	ELECTRICAL	ELECTRICAL
22	PLUMBING	PLUMBING
23	INSULATION	INSULATION
24	FOUNDATION	FOUNDATION
25	LANDSCAPE	LANDSCAPE



02 SCALE 3/16" = 1'-0" EXTERIOR ELEVATION

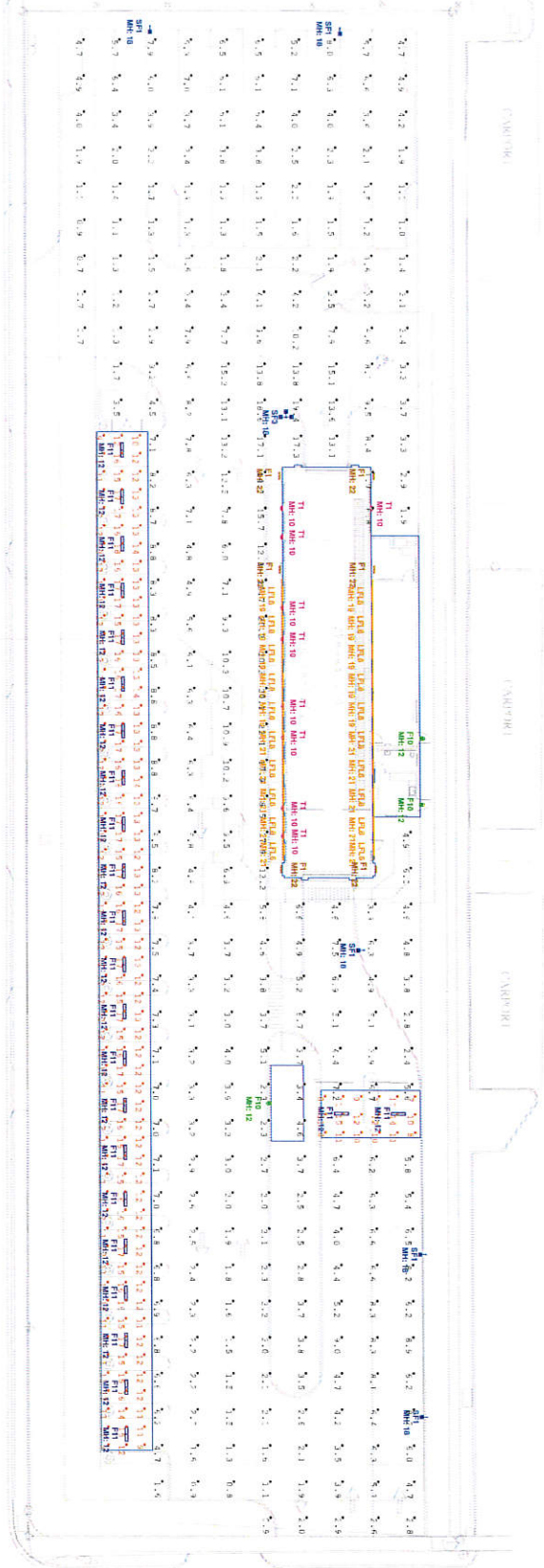


01 SCALE 3/16" = 1'-0" EXTERIOR ELEVATION

Line	Code	Description	Quantity	Unit	Material	Notes
1	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
2	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
3	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
4	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
5	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
6	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
7	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
8	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
9	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
10	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
11	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)

Line	Code	Description	Quantity	Unit	Material	Notes
1	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
2	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
3	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
4	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
5	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
6	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
7	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
8	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
9	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
10	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)
11	10	WALL MOUNT	2722	EA	18X4 430 POLE (22 PER MOUNT)	18X4 430 POLE (22 PER MOUNT)

POLES MOUNTED ON 2" WAVE  
 ADDITIONAL EQUIPMENT REQUIRED  
 (8) QCS-211-45024 (18X4 430 POLE (22 PER MOUNT))  
 (8) QCS-211-45024 (18X4 430 POLE (22 PER MOUNT))  
 PHOENIX POLES MEET 15MIN SUSTAINED WIND LOADS  
 PRIOR TO PARKING ORDER



**CREE**  
 Cree Lighting Inc.  
 4600 Kilduff Avenue, Boise, ID 83720  
 Phone: 208.373.1000  
 Fax: 208.373.1001  
 Email: sales@cree.com

Project Name: QUICK-CLACK WASH - BOONVILLE, UT  
 Date: 8/20/18  
 Scale: 1" = 16'  
 Drawn By: JACOB EGLEN  
 Checked By: JACOB EGLEN  
 License No: 31253

This drawing is intended to provide a general overview of the project and is not to be used for construction purposes. It is the responsibility of the client to verify all dimensions and specifications. The client shall be responsible for obtaining all necessary permits and approvals. The client shall be responsible for providing all necessary information and data for the design. The client shall be responsible for providing all necessary information and data for the design.



# QUICK QUACK CAR WASH | PROPOSED SIGNAGE | WALL SIGN

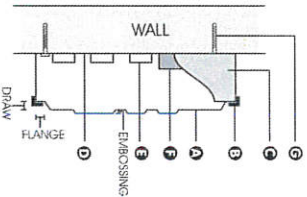
## MANUFACTURE AND INSTALL

(2) SETS OF FRONT LIT WALL SIGNS WITH VACUUM-FORMED FACES

- 1 FACES: 3/16" CLEAR PLEX, VACUUM-FORMED WITH VINYL
- 2 AND PAINTED GRAPHICS ON 2ND SURFACE
- 3 RETAINERS: ALL ALUMINUM, 2" PAINTED WHITE
- 4 RETURNS: ALL ALUMINUM 8" DEEP PAINTED WHITE
- 5 BACKS: ALL ALUMINUM STOCK COLOR
- 6 ILLUMINATION: WHITE LEDS
- 7 \*\*CANNOT EXCEED 2 FT CANDLES AS MEASURED 1 FT. FROM THE SURFACE OF THE SIGN\*\*
- 8 POWER SUPPLY: HOUSED IN SIGN CABINET
- 9 FLUSH MOUNTED TO FASCIA (SEE ATTACHMENT DETAIL)

- DISCONNECT SWITCH AT SIGN
- 120V SERVICE SUPPLIED BY OTHERS

On-premise signs may remain illuminated during regular business hours, but may not be illuminated later than one-half (1/2) hour after the business is no longer open to the public, not prior to the daily opening of the business to the public.



<b>POWER REQUIREMENTS</b> PROVIDED BY OTHERS
(1) 20 AMP CIRCUIT
120 VOLTS

TYPICAL SECTION VIEW  
N/S

- PMS 3425, 3M EMERALD GREEN 230-126
- PMS 7404, 3M YELLOW 230015
- PMS ORANGE 021, 3M ORANGE 230-44
- PMS BLACK, 3M BLACK 230-22

## A1 PRIMARY SIGNAGE



PROPOSED LAYOUT  
SCALE: 1/2" = 1'-0"

PROPOSED SIGNAGE = 113.33 SF

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DRAWING STEPS  
 CONCEPT  
 ESTIMATING  
 PRODUCTION/DRAFT

DRAWING REVIEW  
SIGNER: \_\_\_\_\_  
PRODUCTION REVIEW: \_\_\_\_\_  
FINAL REVIEW: \_\_\_\_\_

Client: Quick Quack Car Wash  
Address: Scatologa Springs, UT  
File Name: Quick Quack Scatologa Springs, UT - Sign Package - 09-07-2016

SALES APPROVAL:  
Designer: Richard  
Sales: Regina

CUSTOMER APPROVAL  
REVISIONS

Utah Contractors: 375809-5501 • Nevada: 60486 • Colorado: 237787 • Idaho: RCE-29969

SALT LAKE CITY: 1920 S. 900 W., SALT LAKE CITY, UT • (801) 972-5503

OGDEN: 2924 Pennsylvanica Avenue • (801) 621-4612



# QUICK QUACK CAR WASH | PROPOSED SIGNAGE | WALL SIGN

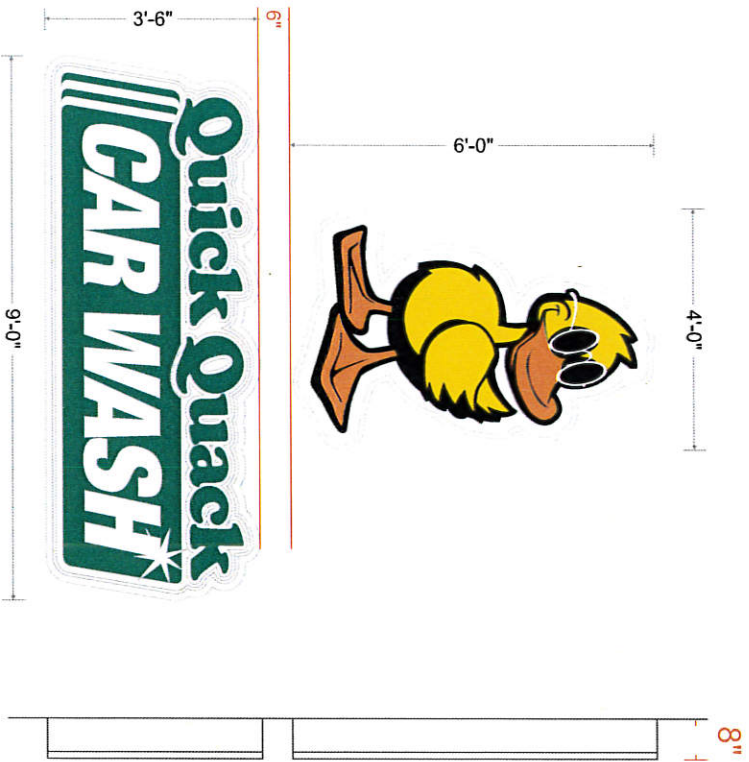
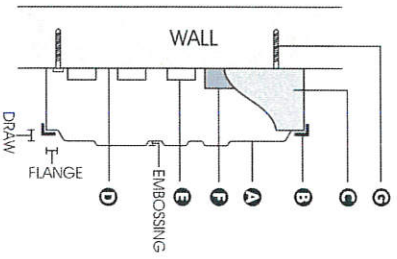
## MANUFACTURE AND INSTALL

(1) SET OF NON-ILLUMINATED WALL SIGNS WITH VACUUM-FORMED FACES

(1) SET OF ILLUMINATED WALL SIGNS WITH VACUUM-FORMED FACES

- Ⓐ FACES: 3/16" CLEAR PLEX, VACUUM-FORMED WITH VINYL AND PAINTED GRAPHICS ON 2ND SURFACE
- Ⓑ RETAINERS: ALL ALUMINUM, 2" PAINTED WHITE
- Ⓒ RETURNS: ALL ALUMINUM 8" DEEP PAINTED WHITE
- Ⓓ BACKS: ALL ALUMINUM STOCK COLOR
- Ⓔ ILLUMINATION: WHITE LEDS
- Ⓕ POWER SUPPLY: HOUSED IN SIGN CABINET
- Ⓖ FLUSH MOUNTED TO FASCIA (SEE ATTACHMENT DETAIL)
- DISCONNECT SWITCH AT SIGN
- 120V SERVICE SUPPLIED BY OTHERS

POWER REQUIREMENTS <i>PROVIDED BY OTHERS</i>	
(1) 20 AMP CIRCUIT	120 VOLTS



**PROPOSED LAYOUT**  
SCALE: 1/2" = 1'-0"

**PROPOSED SIGNAGE = 55.50 SF**

**ACCURATE FIELD SURVEY  
REQUIRED PRIOR TO FABRICATION**

- B1** SECONDARY SIGNAGE  
\*\*NOT ILLUMINATED\*\*
- B2** SECONDARY SIGNAGE

- PMS 3425, 3M EMERALD GREEN 230-126
- PMS 7404, 3M YELLOW 230015
- PMS ORANGE 021, 3M ORANGE 230-44
- PMS BLACK, 3M BLACK 230-22

On-premise signs may remain illuminated during regular business hours, but may not be illuminated later than one-half (1/2) hour after the business is no longer open to the public, nor prior to the daily opening of the business to the public.

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OGDEN: 2924 Pennsylvanica Avenue • (801) 621-4612

DRAWING STEPS		DRAWING REVIEW	
<input type="checkbox"/> CONCEPT	<input type="checkbox"/> SCHEMATIC	<input type="checkbox"/> SIGNAGE	<input type="checkbox"/> FINISHING
<input type="checkbox"/> PRODUCTION	<input type="checkbox"/> INSTALL	<input type="checkbox"/> PRODUCTION	<input type="checkbox"/> INSTALL

CLIENT INFORMATION		SALES APPROVAL:	
Client:	Quick Quack Car Wash	Designer:	Richard
Address:	Saratoga Springs, UT	Sales:	Richard
File Name:	Quick Quack (Saratoga Springs, UT) - Sign Package - 09-07-2016		

CUSTOMER APPROVAL		REVISIONS	





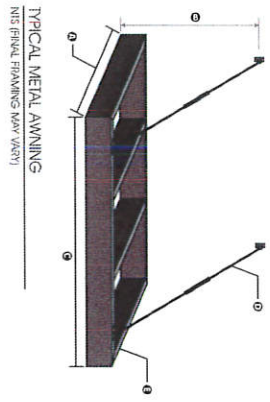
**QUICK QUACK CAR WASH | PROPOSED SIGNAGE | METAL CANOPIES**

**MANUFACTURE AND INSTALL**

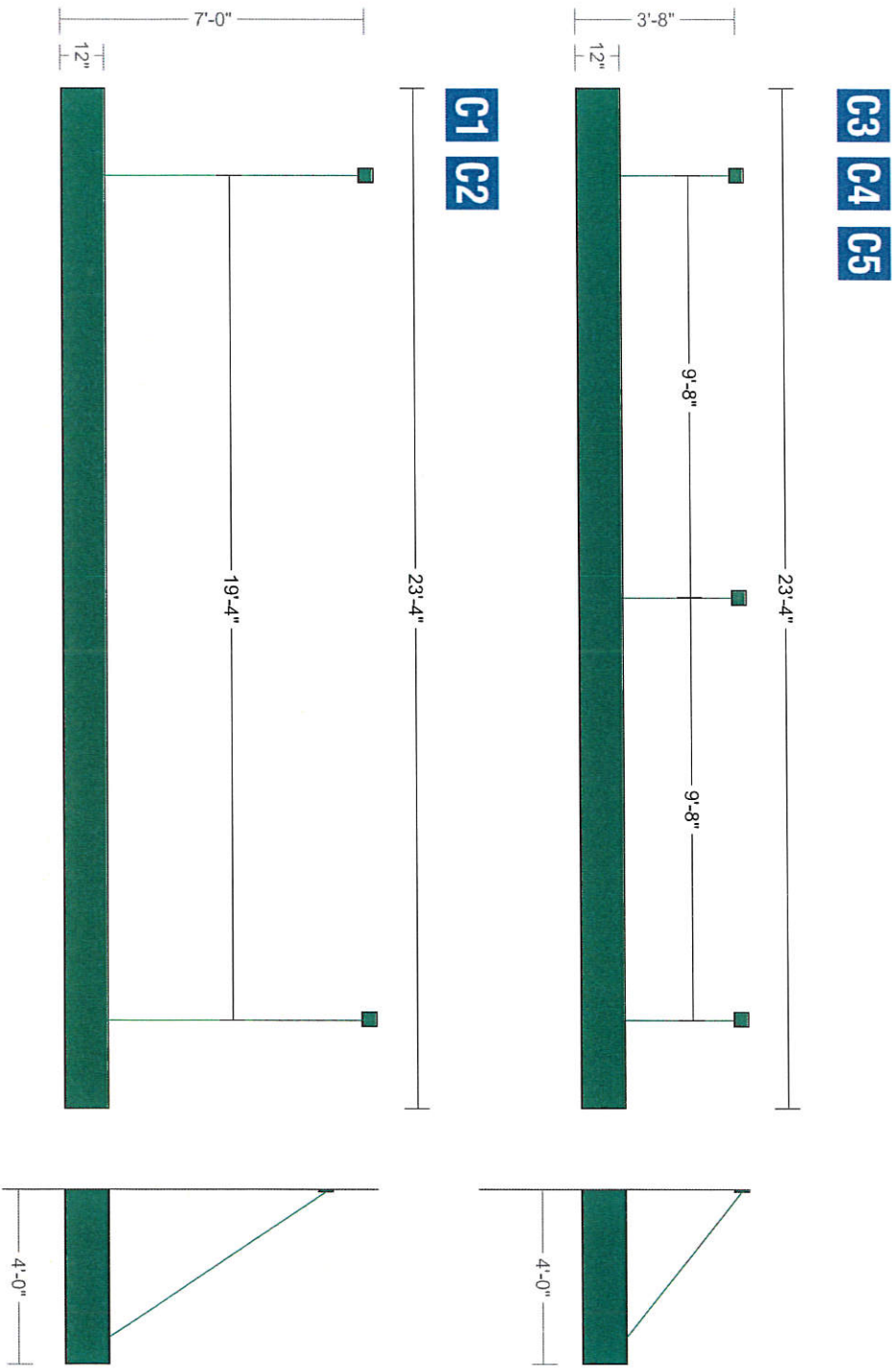
**(4) SUSPENDED METAL CANOPIES**

- 1 PROJECTION: (4) @ 4'-0"
- 2 DROP: (2) @ 3'-8", (2) @ 7'-0"
- 3 WIDTH: (4) @ 23'-4"
- 4 TURNBUCKLE AND RODS, PAINTED P1
- 5 CANOPY FRAME: 2"x12" ALL ALUMINUM CONSTRUCTION, PAINTED P1

PAINT TO MATCH SW 6755  
"STARBOARD" GREEN



**PROPOSED LAYOUT**  
SCALE: 3/8" = 1'-0"



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DRAWING STEPS	
<input type="checkbox"/>	CONCEPT
<input type="checkbox"/>	ESTIMATING
<input type="checkbox"/>	PERMITTING/ORD
<input type="checkbox"/>	PRODUCTION/INSTALL

DRAWING SYSTEM	
<input type="checkbox"/>	DESIGN
<input type="checkbox"/>	PRODUCTION REVIEW
<input type="checkbox"/>	INSTALL REVIEW

SALES APPROVAL:	
Client: Quick Quack Car Wash	Designer: Richard
Address: Scardigo Springs, UT	Sales: Regina
File Name: Quick Quack (Scardigo Springs, UT) - Sign Package - 09-07-2016	

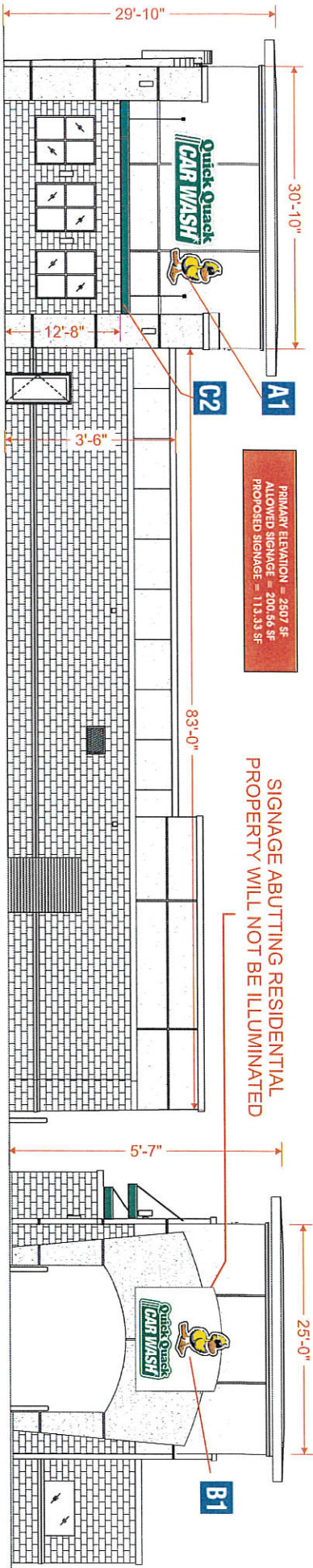
CUSTOMER APPROVAL	

SALT LAKE CITY: 1920 S. 900 W., SALT LAKE CITY, UT • (801) 972-5503 OGDEN: 2924 Pennsylvania Avenue • (801) 621-4612





**QUICK QUACK CAR WASH | PROPOSED SIGNAGE | ELEVATIONS**

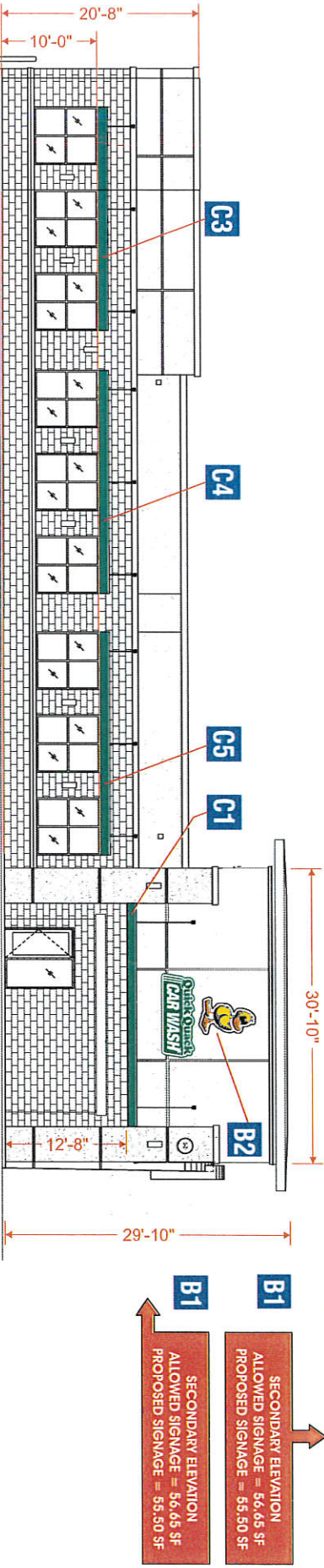


**PRIMARY ELEVATION**

SCALE: 3/32"=1'-0"

**SECONDARY ELEVATION**

SCALE: 3/32"=1'-0"



**SECONDARY ELEVATION**

SCALE: 3/32"=1'-0"

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- DRAWING STEPS
- CONCEPT
  - SKETCHING
  - PRELIMINARY
  - PRODUCTION/DRAWING

- DRAWING SYSTEM
- SURVEY
  - PRODUCTION DRAWING
  - FINAL REVIEW

Client: Quick Quack Car Wash  
Address: Scarboga Springs, UT  
File Name: Quick Quack (Scarboga Springs, UT) - sign Package - 09-07-2016

SALES APPROVAL:  
Designer: Richard  
Sales: Regina

CUSTOMER APPROVAL

REVISIONS

SALT LAKE CITY: 1920 S. 900 W., SALT LAKE CITY, UT • (801) 972-5503 OGDEN: 2924 Pennsylvania Avenue • (801) 621-4612





**QUICK QUACK CAR WASH | PROPOSED SIGNAGE | MONUMENT SIGN**

**MANUFACTURE AND INSTALL**

**(1) D/F MONUMENT SIGN**

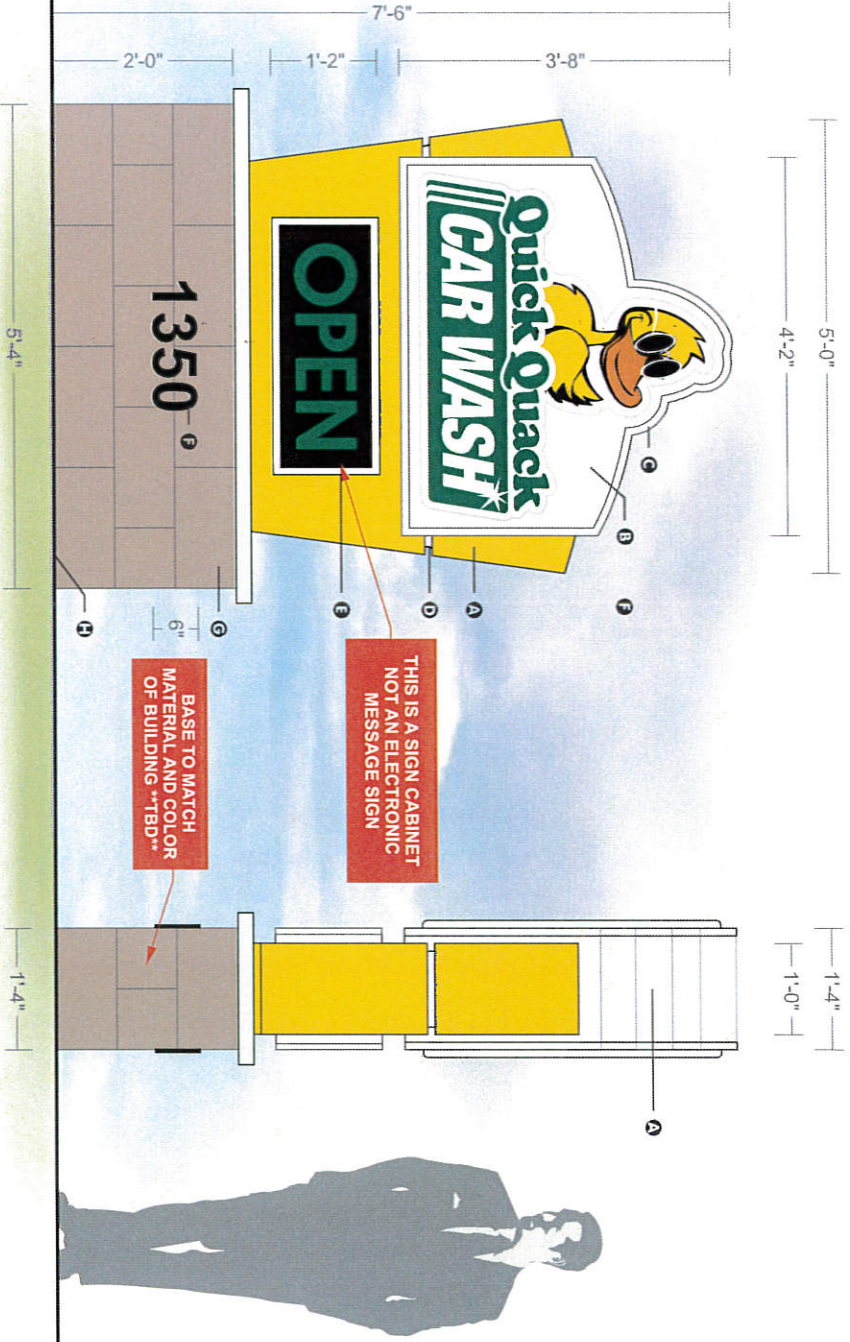
- 1 MAIN SIGN BODY: ALL ALUMINUM CONSTRUCTION, PAINTED P1-P2
- 2 FACES: 3/16" CLEAR PLEX, VACUUM-FORMED WITH VINYL AND PAINTED GRAPHICS ON 2ND SURFACE
- 3 RETAINERS: 1" .090 ALUMINUM\* PAINTED P2
- 4 REVEAL: 1" PAINTED WHITE
- 5 \*OPEN SIGN: ALL ALUMINUM CONSTRUCTION, 3/16" TRANS WHITE SG PLEX WITH VINYL GRAPHICS APPLIED
- 6 ADDRESS: 1/4" FCO ALUMINUM PAINTED BLACK
- 7 STONE BASE: **\*\*TO MATCH BUILDING\*\*** INSTALLED BY 3RD PARTY
- 8 MOW PAD: CONC. 3" ABOVE GRADE

\* INTERNALLY ILLUMINATED WITH WHITE LEDS  
**\*\*CANNOT EXCEED 2 FT CANDLES AS MEASURED 1 FT. FROM THE SURFACE OF THE SIGN\*\***

- POWER SUPPLY HOUSED IN SIGN BODY SUPPORT AND FOOTING (TBD)
- DISCONNECT SWITCH AT SIGN
- 120V SERVICE SUPPLIED BY OTHERS
- ELECTRICAL SWEEP BY OTHERS
- ELECTRICAL GROUNDED TO PIPE SUPPORT

- PMS 3425, 3M EMERALD GREEN 230-126
- PMS 7404, 3M YELLOW 230015
- PMS ORANGE 021, 3M ORANGE 230-44
- PMS BLACK, 3M BLACK 230-22

**PROPOSED SIGNAGE = 25 SQ.FT.**



**PROPOSED LAYOUT**  
 SCALE: 3/4" = 1'-0"

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DRAWING STEPS		DRAWING REVIEW	
<input type="checkbox"/>	CONCEPT	<input type="checkbox"/>	CLIENT
<input type="checkbox"/>	SCHEMATIC	<input type="checkbox"/>	PRODUCTION REVIEW
<input type="checkbox"/>	PERMIT/ANNOY	<input type="checkbox"/>	FINAL REVIEW
<input type="checkbox"/>	PRODUCTION/FINAL	<input type="checkbox"/>	INSTALL REVIEW

Client: Quick Quack Car Wash  
 Address: Scatlogga Springs, UT  
 File Name: Quick Quack (Scatlogga Springs, UT) - Sign Package - 09-07-2016

SALES APPROVAL:  
 Designer: Richard Sales: Regina

CUSTOMER APPROVAL	REVISIONS

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