



BOUNTIFUL CITY PLANNING COMMISSION

**Tuesday, December 6, 2022
6:30 p.m.**

NOTICE IS HEREBY GIVEN that the Bountiful City Planning Commission will hold a meeting in the Council Chambers, Bountiful City Hall, 795 South Main, Bountiful, Utah, 84010, at the time and on the date given above. The public is invited. Persons who are disabled as defined by the American with Disabilities Act may request an accommodation by contacting the Bountiful Planning Office at 298-6190. Notification at least 24 hours prior to the meeting would be appreciated.

1. Welcome
2. Approval of the minutes for November 1, 2022.
3. 1532 East Vineyard Drive- Lot Line Adjustment for lots 9 and 10 of Granada Hills No. 2 and Lot 6 of Moss Hill Drive Subdivision, Cody Page and Ralph Wolfe, Applicant – *Engineering Director Lloyd Cheney*
 - a. Review
 - b. Action: Consider forwarding a recommendation to the City Council
4. 32 West 400 South - Conditional Use Permit for eight residential units, Bob Murri, applicant – *Senior Planner Amber Corbridge*
 - a. Review
 - b. Public Hearing
 - c. Action: Consider Final Action
5. 32 West 400 South – Preliminary/Final Architectural and Site Plan Review, Bob Murri, applicant – *Senior Planner Amber Corbridge*
 - a. Review
 - b. Action: Consider forwarding a recommendation to the City Council
6. 406 South Main – Variance to reduce the landscape buffer, Brian Knowlton, applicant – *Planning Director Francisco Astorga*
 - a. Review
 - b. Public Hearing
 - c. Action: Consider Final Action
7. Election of Chairman and Vice Chairman of the Planning Commission for 2023

8. Approval of the 2023 Planning Commission Meeting Calendar
9. Planning Director's report, review of pending applications and miscellaneous business
10. Adjourn

Draft Minutes of the
BOUNTIFUL CITY PLANNING COMMISSION
November 1, 2022

1
2
3
4
5 Present: Commission Members Alan Bott (Vice-Chair), Krissy Gilmore, Sean Monson, and
6 Cecille Price-Huish.
7
8 City Attorney Clinton Drake
9 City Engineer Lloyd Cheney
10 Planning Director Francisco Astorga
11 Recording Secretary Darlene Baetz
12
13 Excused: Commission Members Lynn Jacobs (Chair), Jim Clark, and Sharon Spratley
14

15
16 **1. Welcome.**

17 Vice-Chair Bott opened the meeting at 6:35 pm and welcomed all those present.
18
19

20 **2. Approval of the minutes for September 20, 2022.**

21
22 MOTION: Commissioner Gilmore made a motion to approve the minutes for September 20, 2022
23 as written.
24

25 Councilmember Price-Huish seconded the motion.
26

27 VOTE: 4-0 in approval.
28

29 **3. Approval of the minutes for October 4, 2022.**

30
31 MOTION: Commissioner Gilmore made a motion to approve the minutes for October 04, 2022 as
32 written.
33

34 Councilmember Price-Huish seconded the motion.
35

36 VOTE: 4-0 in approval.
37

38 **4. Lot Line Adjustment for 4317 S Monarch Dr, Brett Murdock, Applicant – *Engineering Director***
39 ***Lloyd Cheney***

40
41 Brett Murdock was not present. Engineering Director Cheney presented the staff report.
42

43 The applicant requested approval to combine the two lots to accommodate his plans for a future
44 detached garage, pool and pool house on Lot 208. Lot 208 does not have a primary structure and
45 would not be possible to issue a permit for any of the planned accessory structures until the lots are
46 combined. There would be no new building lots created by this proposed action.
47

48 MOTION: Commissioner Gilmore made a motion to forward a positive recommendation to the City
49 Council for the approval of the Lot Line Adjustment for 4317 S Monarch Dr.
50

51 Commissioner Monson seconded the motion.

1
2 VOTE: 4-0 in approval.
3

4 **5. Lot Line Adjustment for 153 South 300 East, Larry Dupaix, Applicant - *Engineering Director***
5 ***Lloyd Cheney***

6
7 Larry Dupaix was present. Engineering Director Cheney presented the staff report.
8

9 The applicant requested approval of a lot line adjustment to combine both Lot 2 and the landlocked
10 parcel that adjoins the rear boundary. He intends to construct a new single-family home and detached
11 accessory structure on the proposed combined lot. Mr. Dupaix is working with the Power Department
12 on relocation and easement issues of the power lines with both properties.
13

14 MOTION: Councilmember Price-Huish made a motion to forward a positive recommendation to the
15 City Council for the approval of the Lot Line Adjustment for 153 South 300 East.
16

17 Commissioner Monson seconded the motion.
18

19 VOTE: 4-0 in approval.
20

21 **6. Lot Line Adjustment for 4396 S Hidden Hollow Dr, Davis Crockett, Applicant – *Engineering***
22 ***Director Lloyd Cheney***

23
24 Davis Crockett was present. Engineering Director Cheney presented the staff report.
25

26 The applicant requested approval of a lot line adjustment of the common boundary between lots 702
27 and 704. The proposed adjustment does not affect the frontage of either lot and will resize both lots
28 to similar sizes.
29

30 MOTION: Commissioner Monson made a motion to forward a positive recommendation to the City
31 Council for the approval of the Lot Line Adjustment of 4396 S Hidden Hollow Dr.
32

33 Commissioner Gilmore seconded the motion.
34

35 VOTE: 4-0 in approval.
36

37 **7. Training – *Postponed to a future meeting.***

38
39 **8. Planning Director’s report, review of pending applications and miscellaneous business.**
40

41 Vice-Chair Bott adjourned the meeting at 6:47 p.m.

Commission Staff Report

Subject: Lot Line Adjustment for Lots 9 and 10 of Granada Hills No. 2 and Lot 6 of the Moss Hill Drive Subdivision
Address: 1532 E Vineyard Dr
Author: City Engineer
Department: Engineering, Planning
Date: December 6, 2022



Background

Cody Page and Ralph Wolfe, applicants, are requesting approval of a lot line adjustment of the common boundary between Lot 10 of the Granada Hills No. 2 Subdivision (GH2, Page) and Lot 6 of the Moss Hill Drive Subdivision (MH, Wolfe). This lot line adjustment also includes property owned by Bountiful City (GH2, Lot 9) which is currently used as a storm water detention basin (and the former unofficial skate park) located on the southeast corner of the intersection of Vineyard Drive and Moss Hill Drive.

The City has previously processed lot line adjustments through the Administrative Committee, but a change in the State Code now necessitates that these requests be processed as amended subdivision plats where the properties involved are part of an existing platted subdivision and involve a parcel with an existing residential structure.

Analysis

The lots involved in this proposed adjustment are located in the R-3 zone (11,000 sq ft min. lot size, 80 ft frontage requirement). The applicants are requesting the lot line adjustment between Lot 10 (GH 2) and Lot 6 (MH) to follow the existing fence and landscaping along the common property line. After the adjustment, all properties will remain in compliance with the current zoning requirements.

Since the original GH2 plat was recorded, there have been several adjustments to the property lines on Lots 9 and 10. It appears that Lot 9 was split into 2 pieces (whether this was done intentionally or not has been difficult to determine) which resulted in the City owning the northern portion of the detention basin and later acquiring the southern section of Lot 9 through a tax sale. The common boundary of Lots 9 and 10 was also re-aligned from the configuration shown on the original GH2 subdivision plat. By including Lot 9 in this process, the City will benefit by having a clear boundary for the detention basin property.

Utilities: No additional utilities are required.

Proposed Right of Way Improvements and Access: No improvements are required.

Department Review

This memo has been reviewed by the City Attorney, and Planning Director.



Figure 1 Location of Proposed Lot Line Adjustment

Recommendation

Staff would support the Planning Commission forwarding a recommendation approval of the Lot Line Adjustment at 1532 E Vineyard Drive to the City Council with the following conditions:

1. Complete any outstanding corrections to the Plat.
2. Provide a current Title Report.

Significant Impacts

None

Attachments

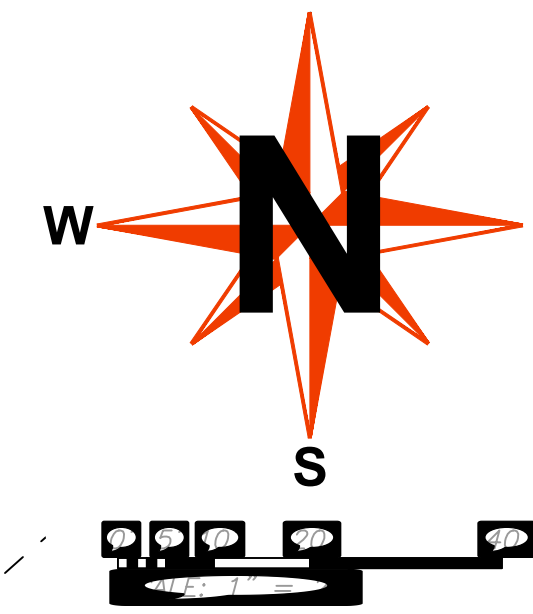
1. A copy of the preliminary amended plat.

LEGEND

- SECTION CORNER
- STREET MONUMENT
- PROPERTY CORNER
- PROPERTY LINE
- CENTERLINE
- SECTION LINES
- PUBLIC UTILITY AND DRAINAGE EASEMENT (P.U.D.E.)

GRANADA MOSS HILL SUBDIVISION

A SUBDIVISION AMENDMENT TO LOT 6, MOSS HILL DRIVE SUBDIVISION AND LOTS 9 & 10, GRANADA HILLS SUBDIVISION NO. 2 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN BOUNTIFUL CITY, DAVIS COUNTY, UTAH



SURVEYOR'S CERTIFICATE:

I, **MICHAEL L. WANGEMANN**, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. **6431156**, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS: **GRANADA MOSS HILL SUBDIVISION** AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT.

DATE: _____
MICHAEL L. WANGEMANN
LICENSE NO. 6431156

BOUNDARY DESCRIPTION

BEGINNING AT THE NORTHEAST CORNER OF LOT 7, MOSS HILL DRIVE SUBDIVISION, BEING RECORDED JUNE 27, 1985, AS ENTRY NO. 705780 IN BOOK 1040 AT PAGE 1272 OF OFFICIAL RECORDS, SAID POINT BEING SOUTH 89°31'28" EAST (ALONG THE BASIS OF BEARING FOR THIS SURVEY) 1324.66 FEET AND NORTH 00°45'48" EAST 578.64 FROM THE SOUTHWEST CORNER OF SECTION 21, TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE NORTH 84°59'38" WEST ALONG THE NORTH LINE OF SAID LOT 7, A DISTANCE OF 157.44 FEET TO THE EAST RIGHT-OF-WAY LINE OF MOSS HILL DRIVE TO A POINT ON A 467.00 FOOT RADIUS CURVE; THENCE NORTHEASTERLY 95.16 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 11°40'31" (WHICH LONG CHORD BEARS NORTH 12°28'36" EAST 95.00 FEET); THENCE NORTH 28°13'39" EAST 79.58 FEET TO A POINT ON A 20.00 FOOT RADIUS; THENCE NORTHEASTERLY 31.51 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°16'21" (WHICH LONG CHORD BEARS NORTH 73°21'50" EAST 28.35 FEET) AROUND TO THE SOUTH RIGHT-OF-WAY LINE OF VINEYARD DRIVE; THENCE SOUTH 61°30'00" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE 80.53 FEET TO A POINT ON A 168.93 FOOT RADIUS CURVE; THENCE SOUTHEASTERLY 133.45 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 45°15'38" (WHICH LONG CHORD BEARS SOUTH 38°52'12" EAST 130.01 FEET) TO THE NORTHEAST CORNER OF LOT 1, GRANADA HILLS SUBDIVISION NO. 4, RECORDED ON JULY 26, 1979 AS ENTRY NO. 539307 IN BOOK 782 AT PAGE 105 OF OFFICIAL RECORDS; THENCE SOUTH 73°45'34" WEST ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 116.22 FEET TO THE EAST LINE OF SAID MOSS HILL DRIVE SUBDIVISION; THENCE SOUTH 00°45'48" WEST 86.74 FEET TO THE POINT OF BEGINNING.

CONTAINS 40,552.41 SQ/FT OR 0.93 ACRES AND 3 LOTS

OWNERS DEDICATION:

WE, THE UNDERSIGNED OWNERS OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AS SHOWN ON THIS PLAT, AND NAME SAID TRACT:

GRANADA MOSS HILL SUBDIVISION

AND DO HEREBY DEDICATE, GRANT AND CONVEY TO BOUNTIFUL CITY, DAVIS COUNTY, UTAH, ALL THOSE PARTS AND PORTIONS OF SAID TRACTS OF LAND DESIGNATED AS PUBLIC UTILITY & DRAINAGE EASEMENTS, THE SAME TO BE USED AS PUBLIC UTILITY AND DRAINAGE EASEMENTS AND SLOPE EASEMENTS FOREVER AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY BOUNTIFUL CITY.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUT HANDS THIS _____ DAY OF _____ A.D. 2020.

JAMES C. PAGE _____ KERI L. PAGE _____

TRUSTEE FOR THE WOLFE FAMILY TRUST DATED DECEMBER 11, 2014

CORPORATE ACKNOWLEDGEMENT:

STATE OF UTAH) §
COUNTY OF DAVIS

ON THIS _____ DAY OF _____, IN THE YEAR 2020, PERSONALLY APPEARED BEFORE ME _____, WHOSE IDENTITY IS PERSONALLY KNOWN TO ME (OR PROVEN ON THE BASIS OF SATISFACTORY EVIDENCE) AND WHO BY ME DULY SWORN/AFFIRMED, DID SAY THAT HE/SHE IS THE _____ OF _____ AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID *CORPORATION BY AUTHORITY OF ITS BYLAWS, OR (RESOLUTION OF ITS BOARD OF DIRECTORS), AND SAID _____ ACKNOWLEDGED TO ME THAT SAID *CORPORATION EXECUTED THE SAME.

WITNESS MY HAND AND OFFICIAL SEAL.

(NOTARY SIGNATURE)

CORPORATE ACKNOWLEDGEMENT:

STATE OF UTAH) §
COUNTY OF DAVIS

ON THIS _____ DAY OF _____, IN THE YEAR 2020, PERSONALLY APPEARED BEFORE ME _____, WHOSE IDENTITY IS PERSONALLY KNOWN TO ME (OR PROVEN ON THE BASIS OF SATISFACTORY EVIDENCE) AND WHO BY ME DULY SWORN/AFFIRMED, DID SAY THAT HE/SHE IS THE _____ OF _____ AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID *CORPORATION BY AUTHORITY OF ITS BYLAWS, OR (RESOLUTION OF ITS BOARD OF DIRECTORS), AND SAID _____ ACKNOWLEDGED TO ME THAT SAID *CORPORATION EXECUTED THE SAME.

WITNESS MY HAND AND OFFICIAL SEAL.

(NOTARY SIGNATURE)

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
FILED FOR RECORD AND RECORDED THIS _____ DAY OF _____, 2020
AT _____ IN BOOK _____ PAGE _____

DAVIS COUNTY RECORDER _____

BY: _____ DEPUTY RECORDER _____

INDIVIDUAL ACKNOWLEDGEMENT:

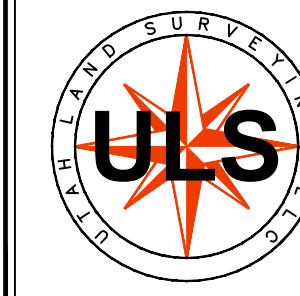
STATE OF UTAH) §
COUNTY OF DAVIS

ON THIS _____ DAY OF _____, IN THE YEAR 2020, PERSONALLY APPEARED BEFORE ME _____, THE SIGNERS OF THE WITHIN INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

WITNESS MY HAND AND OFFICIAL SEAL.

(NOTARY SIGNATURE)

UTAH LAND SURVEYING, LLC
A PROFESSIONAL LICENSED LAND SURVEYING COMPANY



1359 FAIRWAY CIR
FARMINGTON, UT 84025
PHONE 801.725.8395
mikev@utahlandsurveying.com

www.utahlandsurveying.com

BASIS OF BEARINGS:

THE BASIS OF BEARING FOR THIS SURVEY WAS ESTABLISHED USING BRASS CAP MONUMENT TO THE SOUTHWEST CORNER AND THE EAST WITNESS CORNER TO THE SOUTH QUARTER CORNER, SECTION 21, TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AS SHOWN ON THIS SURVEY PLAT.

CITY ATTORNEY APPROVAL

APPROVED ON THIS _____ DAY OF _____ A.D., 2020.

CITY ATTORNEY _____

CITY ENGINEER'S APPROVAL

APPROVED BY THE BOUNTIFUL CITY ENGINEER, THIS _____ DAY OF _____ A.D., 2020.

CITY ENGINEER _____

PLANNING COMMISSION APPROVAL

APPROVED BY THE PLANNING COMMISSION OF BOUNTIFUL CITY, THIS _____ DAY OF _____ A.D., 2020.

CHAIRMAN _____

CITY COUNCIL APPROVAL

PRESENTED TO THE CITY COUNCIL OF BOUNTIFUL CITY, UTAH, ON THIS _____ DAY OF _____ A.D., 2020

CITY RECORDER ATTEST: _____

MAYOR _____

LOT 7
GRANADA HILLS SUBDIVISION NO. 2
ADAM K. & JAMEE N. TIBBITTS
TAX ID NO. 04-051-0007

GRANADA HILLS SUBDIVISION NO. 2
DAVID & MARJORIE DROMMOND
TAX ID NO. 04-051-0023

LOT 13
GRANADA HILLS SUBDIVISION NO. 2
OLGA K. PINNEY
TAX ID NO. 04-051-0013

LOT 12
GRANADA HILLS SUBDIVISION NO. 2
RICHARD G. & MARY LEE ALLRED
TAX ID NO. 04-051-0012

LOT 11
GRANADA HILLS SUBDIVISION NO. 2
MARK B. & LAURAL W. TAYLOR
TAX ID NO. 04-051-0011

LOT 102
13,138.72 SQ/FT
0.30 ACRES

LOT 100
12,630.93 SQ/FT
0.29 ACRES

LOT 101
14,782.66 SQ/FT
0.34 ACRES

LOT 1
GRANADA HILLS SUBDIVISION NO. 4
REBEKAH D. & DAVID JOHNSON
TAX ID NO. 04-053-0001

LOT 7
MOSS HILL DRIVE SUBDIVISION
REID L. & SHELLY A. NEILSON
TAX ID NO. 04-108-0007

Line Table			Curve Table				
Line #	Direction	Length	Curve #	Length	Radius	Delta	CHORD
L1	N89°37'49"E	11.71	C1	175.98	467.00	21°35'28"	N17°25'55"E 174.94
L2	N47°49'01"W	26.76	C2	31.51	20.00	90°16'21"	N73°21'50"E 28.35
L3	S0°45'48"W	2.57	C3	133.45	168.93	45°15'38"	S38°52'12"E 130.01
L5	S84°59'38"E	30.01	C4	95.16	467.00	11°40'31"	S12°28'27"W 95.00
L8	N61°46'21"W	30.00	C5	80.82	467.00	9°54'57"	S23°16'11"W 80.72
L9	S54°20'55"W	31.52	C6	146.67	198.93	42°14'36"	N40°22'44"W 143.37
L10	N28°30'00"E	30.00	C7	244.85	497.00	28°13'39"	N14°06'50"E 242.38
			C8	188.14	497.00	21°41'22"	S17°22'58"W 187.02
			C9	56.71	497.00	6°32'17"	S3°16'08"W 56.68

FOUND BRASS CAP DAVIS COUNTY SURVEYOR MONUMENT EAST WITNESS CORNER TO THE SOUTH QUARTER CORNER, SECTION 21, TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

FOUND BRASS CAP DAVIS COUNTY SURVEYOR MONUMENT SOUTHWEST CORNER, SECTION 21, TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

S89°31'28"E 1324.66

S89°31'28"E 2174.94
BASIS OF BEARING

850.28

Commission Staff Report

Item # 4 and 5

**Subject: Conditional Use Permit and Site Plan Review
For Eight Townhouses**

Property Address: 32 W 400 S

Author: Amber Corbridge, Senior Planner

Department: Planning

Date: December 6, 2022



Background

Bob Murri, with City Creek Construction, is requesting both 1) Conditional Use Permit (CUP) and 2) Site Plan Approval to develop eight (8) multi-family townhouse units in the Downtown Zone. This project would be a separate parcel adjacent to the newly remodeled commercial building, known as the old Deseret First Credit Union. The project consists of two separate buildings. One building will include two (2) townhome units and the other six (6) townhomes units. The two-unit building is proposed to face 400 S and will accommodate a future commercial use. The materials and colors used for the new project will complement the style of the new adjacent office building (see rendering below), using brick, metal panel siding, synthetic wood paneling, and stucco.

The proposed townhomes consist of three (3) stories. The main level for each unit will accommodate two (2) tandem parked cars in an attached garage. The second and third level will include a living room, dining room, kitchen, two and a half (2 ½) bathrooms, two (2) bedrooms, and more. The total building height will be thirty-four feet six inches (34'-6"), where the maximum building height allowed is fifty-five feet (55').

The total lot area is 12,945.422 square feet, at 77.90 ft. wide and 166.18 ft. long. The total proposed landscaped area is 3,911 sf. or thirty (30) percent of the property, where a minimum of ten (10) percent is allowed. Three (3) parking spaces are provided for each unit. The attached letter states the owners of the property have entered into a parking agreement between the three (3) parcels at the corner of Main Street and 400 S.



Analysis

Conditional Use Standards

A multi-family residential use not facing Main Street is a conditional use in the downtown zone. The Planning Commission must consider how the proposed use 1) relates to the surrounding uses, 2) impacts the existing surrounding developments, and 3) appropriate buffering of uses and buildings, proper parking and traffic circulation, and the use of building materials and landscaping, which are in harmony with the area (see Code 14-2-506.C).

This multi-family townhouse project will support the surrounding uses and act as a buffer between the single-family properties to the west and the commercial businesses to the east. The proposed two car garages for each unit will minimize parking impacts to the neighborhood, when utilized. Staff recommends a condition to restrict the garage use to only vehicles, as there are concerns with using the garages for living/storage space. Exterior lighting plans are being reviewed for mitigation compliance, which includes fully shielded light fixture design, and placement. Staff recommends this item be a condition of approval, as the exterior lighting plans are still in review. The proposed exterior building materials are similar to and complement the adjacent building, as shown below. Staff finds with the conditions of approval the proposed use meets the Conditional Use Permit requirements.

Adjacent Existing Building:





Proposed Building Materials:

SCREEN FINISH - (DIY ANTISED) - BREEZEWOOD SELECT CEDAR TEXTURE

CANOPY FASCIA BALCONY RAILING WELDED WIRE MESH (DW 6236) THICKEN BLACK

INTERSTATE BRICK BLACK OPAL (OR SIMILAR)

LONGBOARD SIMULATED WOOD METAL PANEL: DARK ACACIA (OR SIMILAR)

STUCCO: SW0623 SANDALWOOD - FINISH SAND FINISH (OR SIMILAR)

CLEAR ACRYLICS A: (WHITE) (WINDOWS)

MAIN STREET TOWNHOMES - FINISHES
 375 S. MAIN ST. | BOUNTIFUL, UTAH
 Site: JKL018 | Bldg: JKL018-01 | 3133-1111 | 1500 Woodhouse Circle | Suite 200 | 801-263-0011 | www.jkl.com

27 OCT 22

Code Compliance

The Site Plan is currently in review by development review staff, where setbacks, height, landscaping, parking, and other development standards are reviewed for compliance. The plans largely meet the site development standards. The following items include notable planning review comments and/or conditions:

Parking and Access

Regarding access and parking, the applicant submitted a shared parking agreement between the three (3) separate parcels (see attached). To ensure the parcels legally share parking and access the Applicant will need to record the shared parking agreement, including cross access, at the County and provide a copy of the recorded agreement to the City.

Landscaping and Fencing

The outdoor lighting plans will need to meet the code (14-16-111.H) for properly shielded light fixtures.

Engineering, Building, Power, and Fire Comments

All staff redlines and review comments are noted in the attached plans and will need to be satisfied as a condition of approval. The applicant shall enter into a development agreement.

Design Standards

Design standards and regulations apply to multi-family development where architecture, site design, and parking are further reviewed. The proposal meets the design standards regarding landscaping, architectural elements, building materials, pedestrian circulation, and screening. The lighting plans are still in review and will need to comply with the design standards, as mentioned previously.

Department Review

This staff report was written by the Senior Planner and reviewed by the Planning Director, City Engineer, and the City Attorney.

Significant Impacts

The development would be in an area with existing urban infrastructure levels. Impacts from the development of this property have been anticipated in the design of the existing storm water, sewer, and water transportation systems. The conditions of approval are designed to mitigate other impacts anticipated by the development.

Recommendations

1. Staff recommends approval of the Conditional Use Permit (CUP) for the Townhouses at approximately 32 W 400 S, subject to the following conditions:
 - a. Submit a city-approved recorded copy of the shared cross access, parking, and dumpster agreement between the three (3) adjacent parcels (030320057, 030320055, and 030320056).
 - b. The garages shall be used for parking, and not living/storage space.
 - c. Satisfy and meet all department review comments.
 - d. Sign a Development Agreement.

2. Staff recommends that the Planning Commission forward a recommendation of approval to the City Council for the site plan subject to meeting the above conditions of approval for a CUP.

Note: Final approval and building permits will be granted when all conditions are met and satisfied.

Attachments

1. Aerial photo
2. Parking Agreement
3. Latest Plan Set (Site, Civil, Elevations, Electrical, and Landscape)

Parking Agreement

P.O. BOX 1785 BOUNTIFUL, UT 84011



CITY CREEK
CONSTRUCTION & DEVELOPMENT

August 24, 2022

Francisco Astorga
Director, Planning + Economic Development
Bountiful City
795 South Main Street
Bountiful City, Utah 84010

RE: Shared Parking Agreement at 390 S. Main Street
Francisco:

As owners of the property located at 390 S. Main Street, Bountiful, Utah 84010 representing 390 Main, LLC and B & P Properties, LLC, we send this letter to Bountiful City regarding a shared parking agreement. There are three parcels on this site. We agree and this letter certifies of our commitment to a shared parking agreement on this property. If you have any questions, please contact Steve Beyer at 801-205-7464.

Sincerely,

Robert L. Murri, Managing Member
B & P Properties, LLC

Stephen R. Beyer, Managing Member
390 Main, LLC

RECEIVED

AUG 24 2022
BOUNTIFUL CITY
PLANNING DEPT.

DESIGN CRITERIA:

PROJECT ADDRESS
30 WEST 400 SOUTH
BOUNTIFUL UTAH

LOT:
SIZE: 0.2971 ACRES = 12,945 SQ.FT (10,000 SF MIN REQUIRED)
FRONTAGE: 77.90' (50' REQUIRED)

CODE ANALYSIS
2018 INTERNATIONAL RESIDENTIAL CODE

TOWNHOUSE PROJECT:
EACH UNIT SEPARATED BY 2-HOUR WALL ASSEMBLY PER R302.2
GARAGE SHEETED WITH ½" GYPSUM
GARAGE ACCESS DOOR 20 MIN RATED

STRUCTURAL DESIGN CRITERIA:
SNOW: USE USU SNOW STUDY
WIND: 155 MPH VULT 120 MPH VASD
EXPOSURE: B
SEISMIC: ZONE D2

CHAPTER THREE (3): BUILDING PLANNING
TOWNHOUSE: R302.2
FIRE SEPARATION BETWEEN TOWNHOUSES: PER R302.2 (DOUBLE WALL)
(2-HR RATED IN ACCORDANCE W/ASTM E 119 OR UL 263)
ROOF: NO PENETRATIONS WITH IN 4" OF RATED WALL (UNLESS 30" PARAPET INSTALLED)

BUILDING HEIGHT AND AREA
AREA: 5,600 SF (110' X 110' = 12,100SQ.FT. ALLOWABLE)
HEIGHT: 36'-6" (55' ALLOWABLE)

SQUARE FOOTAGE PER UNIT:

LEVEL 1:
CAR GARAGE 575 SQ. FT.
ENTRY 125 SQ.FT.
TOTAL LEVEL 1 700 SQ. FT.

LEVEL 2:
LIVING 700 SQ. FT.
TOTAL LEVEL 2 700 SQ. FT.

LEVEL 3:
LIVING / BED 700 SQ. FT.
TOTAL LEVEL 3 700 SQ. FT.

GRAND TOTAL
USABLE 1,525 SQ. FT.
CAR GARAGE 575 SQ. FT.
GRAND TOTAL 2,100 SQ. FT.

BUILDING COVERAGE:

ZONING
DOWNTOWN (DN) ZONING

MAXIMUM BUILDING HEIGHT:
DN - DOWNTOWN ZONE: 14-7-107 STRUCTURE HEIGHT: 55'-0"

MINIMUM YARD REQUIREMENTS:
SEE SHEET AS-101

FRONT YARD SET BACK:
10'-0"

INTERIOR SIDE YARD:
10'-0"

REAR YARD
10'-0"

DRAWING INDEX:

GENERAL:	
G100	SITE PLAN / DRAWING INDEX
SURVEY	SHEET 1 OF 1
CIVIL:	
C001	COVER AND LEGEND
C101	DEMOLITION PLAN
C102	SITE & DIMENSION PLAN
C201	GRADING PLAN
C301	STORM DRAIN & UTILITY PLAN
C501	DETAILS
C502	DETAILS
C503	DETAILS
LANDSCAPE:	
L101	LANDSCAPE PLAN
L201	DETAILS
ARCHITECTURAL:	
AS100	ARCHITECTURAL SITE PLAN
AS101	ARCHITECTURAL DUMPSTER DETAILS
A101	LEVEL 1 & 2 FLOOR PLANS
A102	LEVEL 3 & ROOF PLANS
A103	UNIT "A" ENLARGED PLAN
A104	UNIT "B-H" ENLARGED PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A203	BUILDING SECTIONS
A204	SECTIONS & DETAILS (FUTURE PKG)
STRUCTURAL (FUTURE PACKAGE):	
S101	FOOTING AND FOUNDATION PLAN
S102	MAIN LEVEL FRAMING PLAN
S103	UPPER LEVEL FRAMING PLAN
S104	ROOF FRAMING PLAN
S105	STRUCTURAL DETAILS
ELECTRICAL (FUTURE PACKAGE):	
E101	LOWER LEVEL POWER / LIGHTING PLAN
E102	MAIN LEVEL POWER / LIGHTING PLAN
E103	UPPER LEVEL POWER / LIGHTING PLAN

SQUARE FOOTAGE:

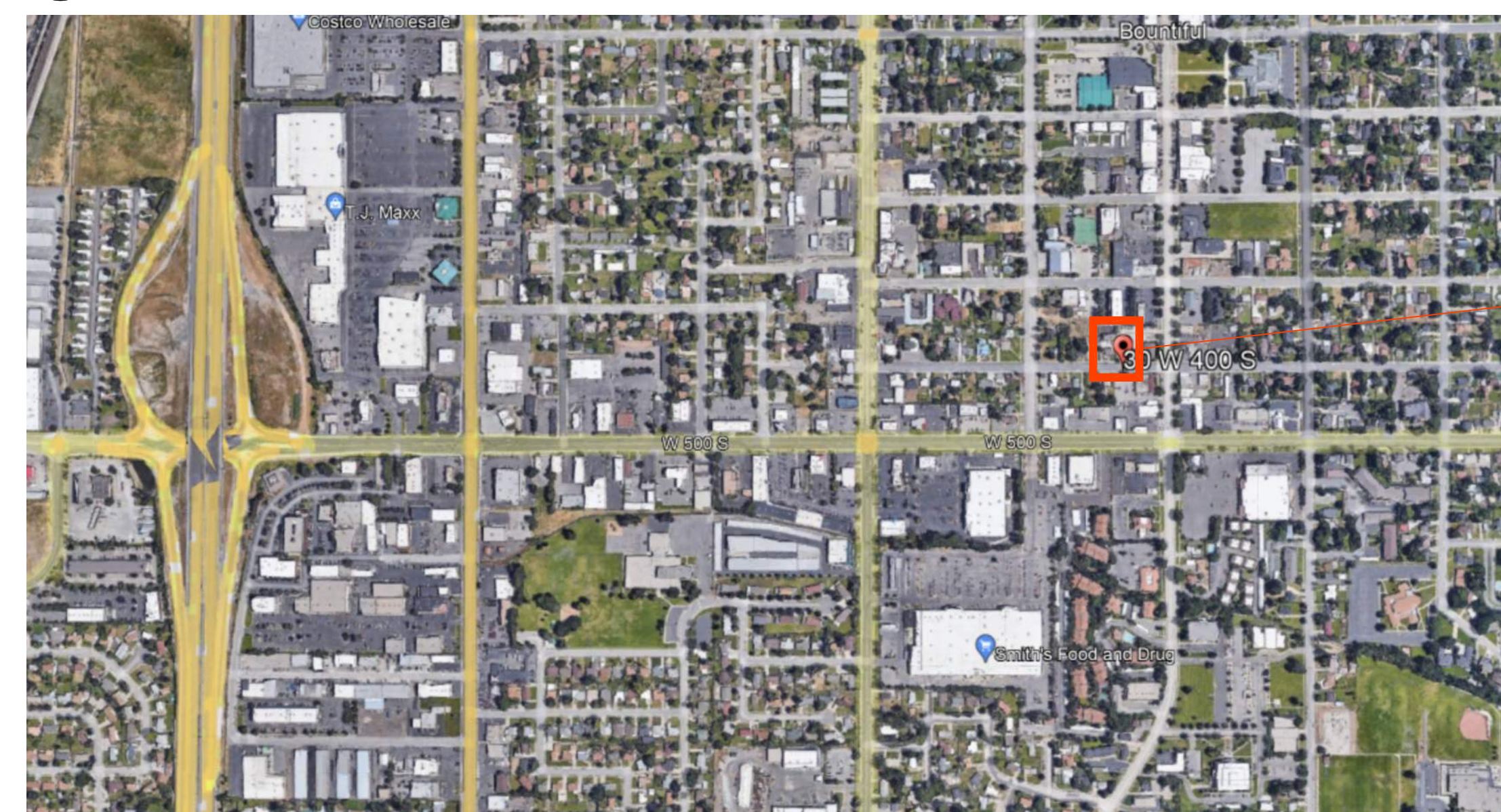
UNIT "A-H":	
125 SF	LEVEL 1 ENTRY (FINISHED)
700 SF	LEVEL 2 LIVING (FINISHED)
700 SF	LEVEL 3 BEDROOM (FINISHED)
1,525 SF	(TOTAL LIVING)
575 SF	LEVEL 1 GARAGE (FINISHED)
2,100 SF	(GRAND TOTAL)

BUILDINGS UNDER CONSTRUCTION

- Buildings undergoing construction must comply with Chapter 33 of the IFC.
- Fire Department Access Roads: An all-weather fire department access road is required to be maintained at all times during construction. If the all-weather access is not maintained, SDMF reserves the right to stop work until the required roads are placed back in service.
- Water Supplies for Fire Protection: Water supplies required for fire protection are required to be maintained at all times during construction. If the fire protection water supply is not maintained, SDMF reserves the right to stop work until the required water supply for fire protection is placed back in service.
- Water supplies for fire protection must be clearly identified in a manner to prevent obstruction by parking and/or other obstructions.



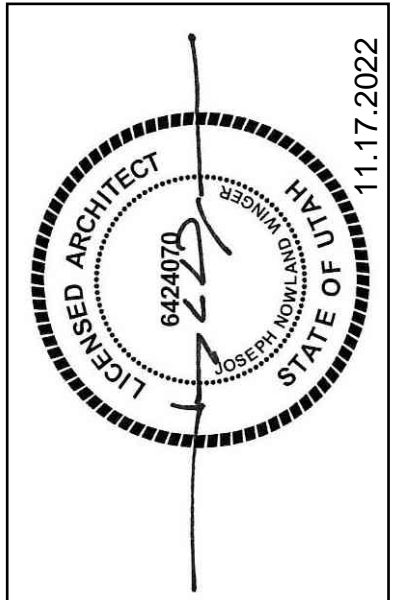
3 ENLARGED VICINITY MAP



2 VICINITY MAP



1 PERSPECTIVE

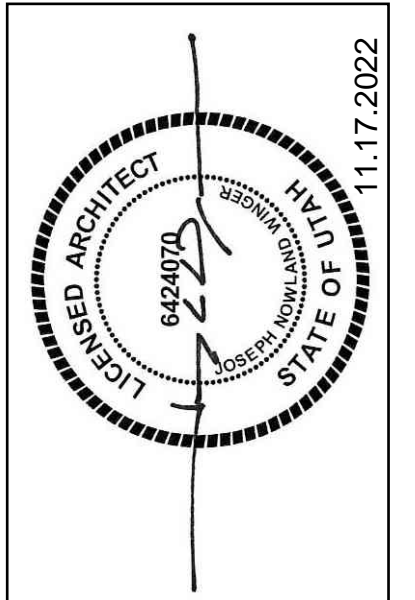


stamp:

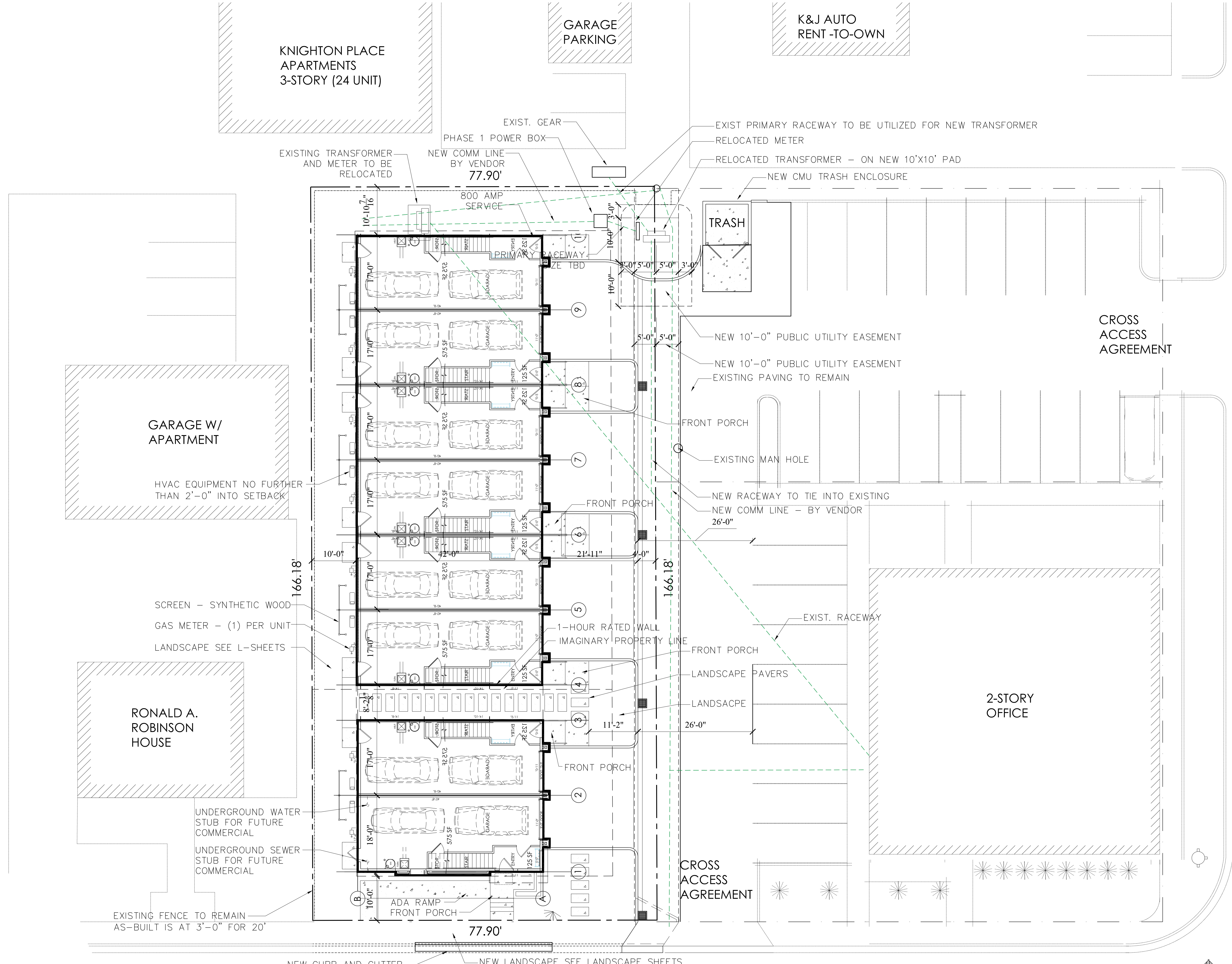
TOWNS at 400
30 West 400 South
Bountiful Utah 84010

REVISION BLOCK	
NO.	DATE: DESCRIPTION:

G100
COVER
date:
11.17.2022



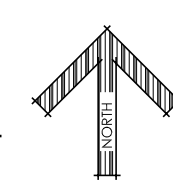
stamp:



MAIN

400 South

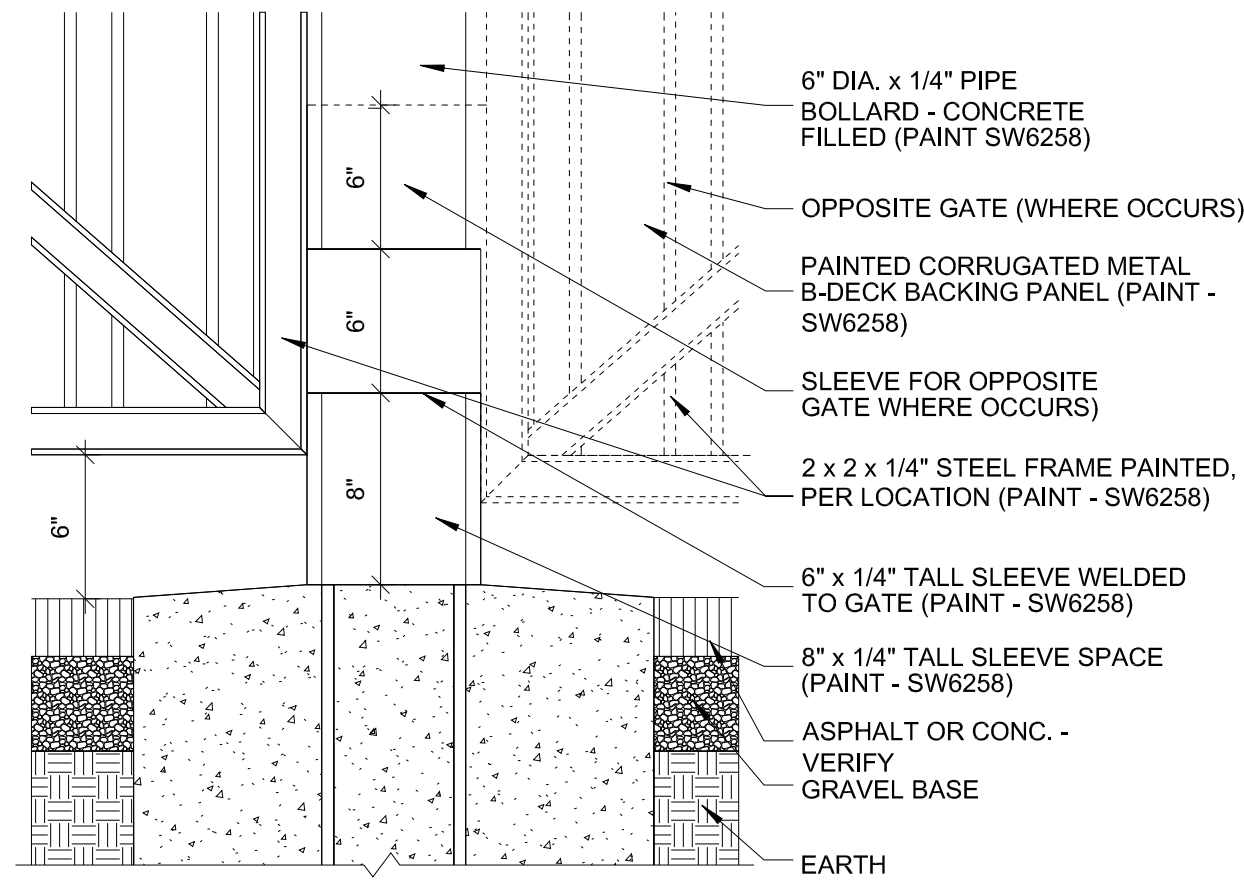
1 SITE PLAN
SCALE: 1" = 10'-0"



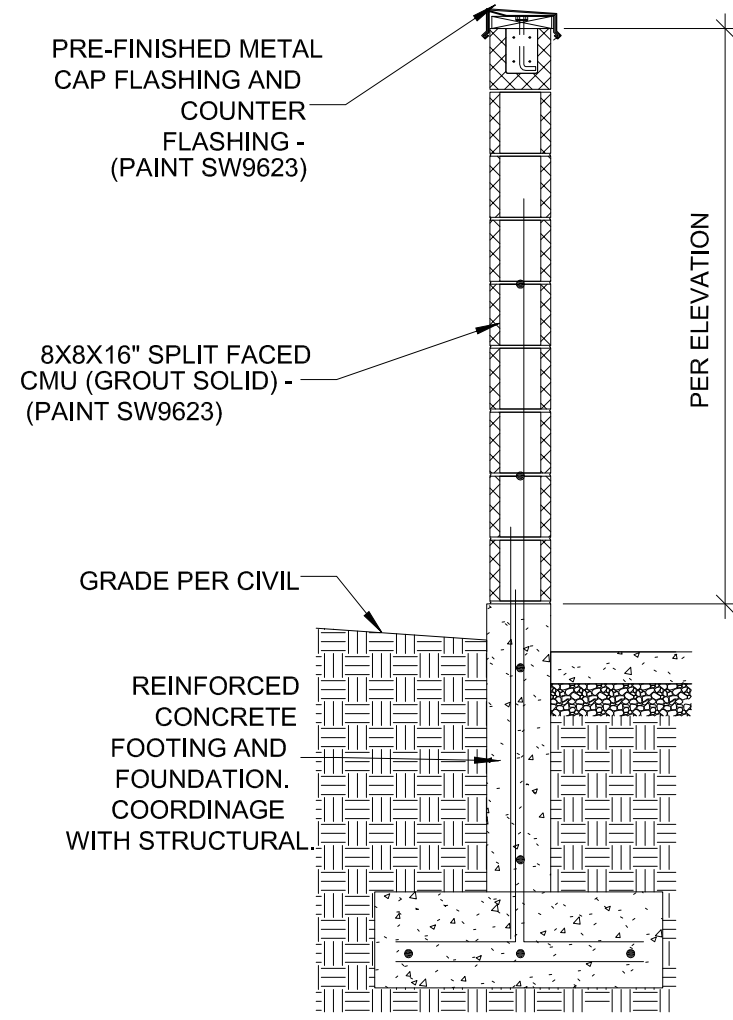
TOWNS at 400
30 West 400 South
Bountiful Utah 84010

REVISION BLOCK	
NO.	DATE: DESCRIPTION:

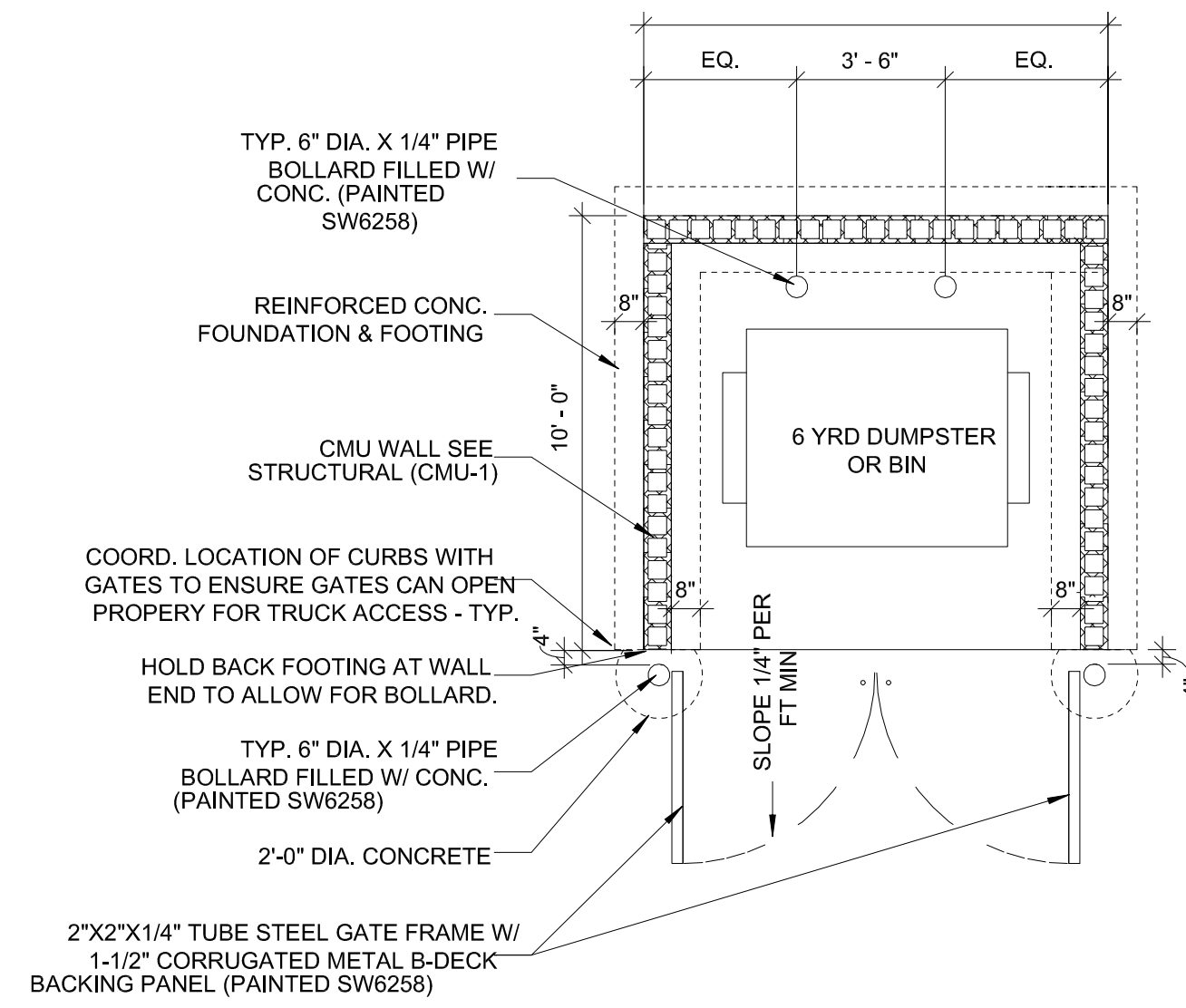
AS100
SITE PLAN
date:
11.17.2022



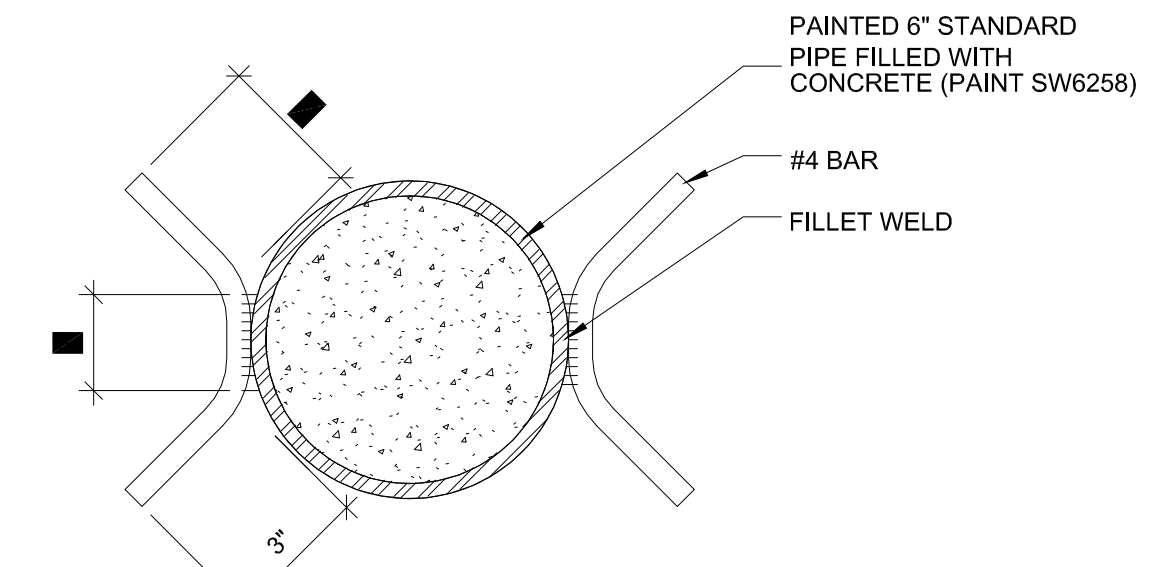
12 DUMPSTER GATE SLEEVE DETAIL
1 1/2" = 1'-0"



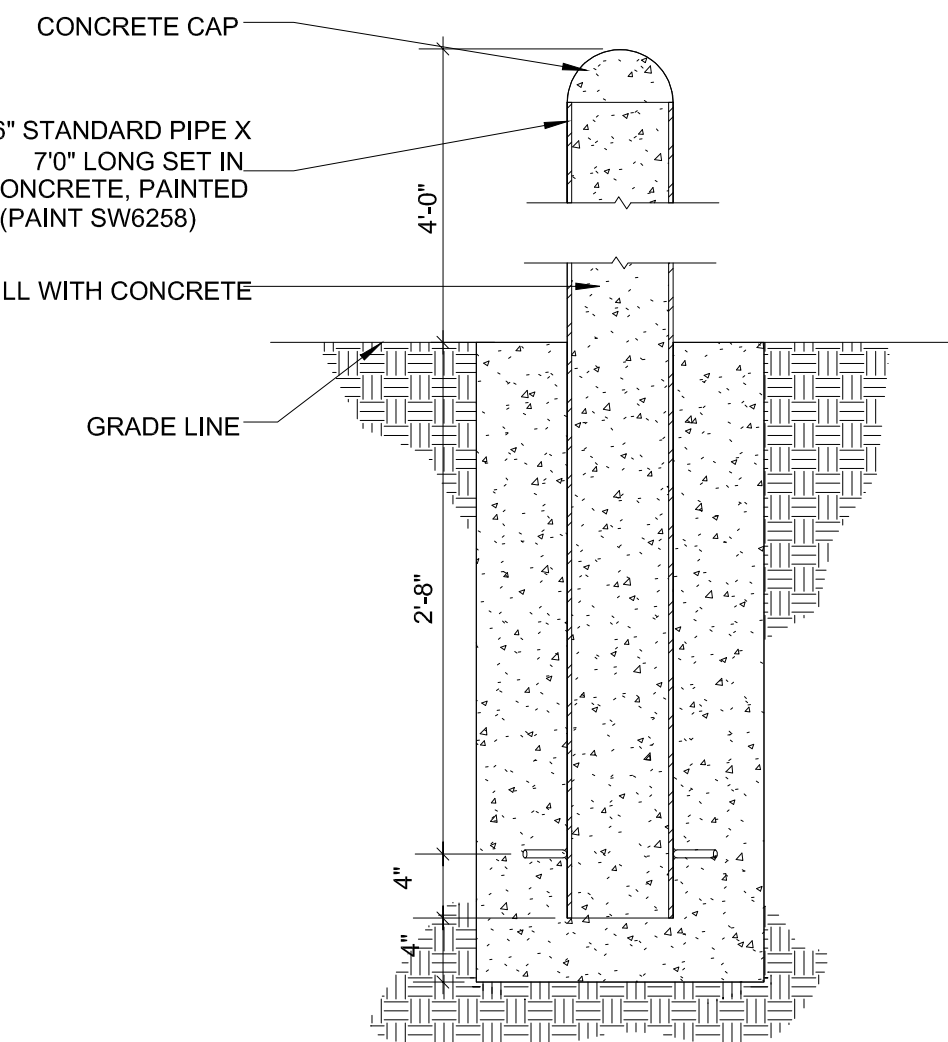
9 TRASH ENCLOSURE WALL SECTION
1/2" = 1'-0"



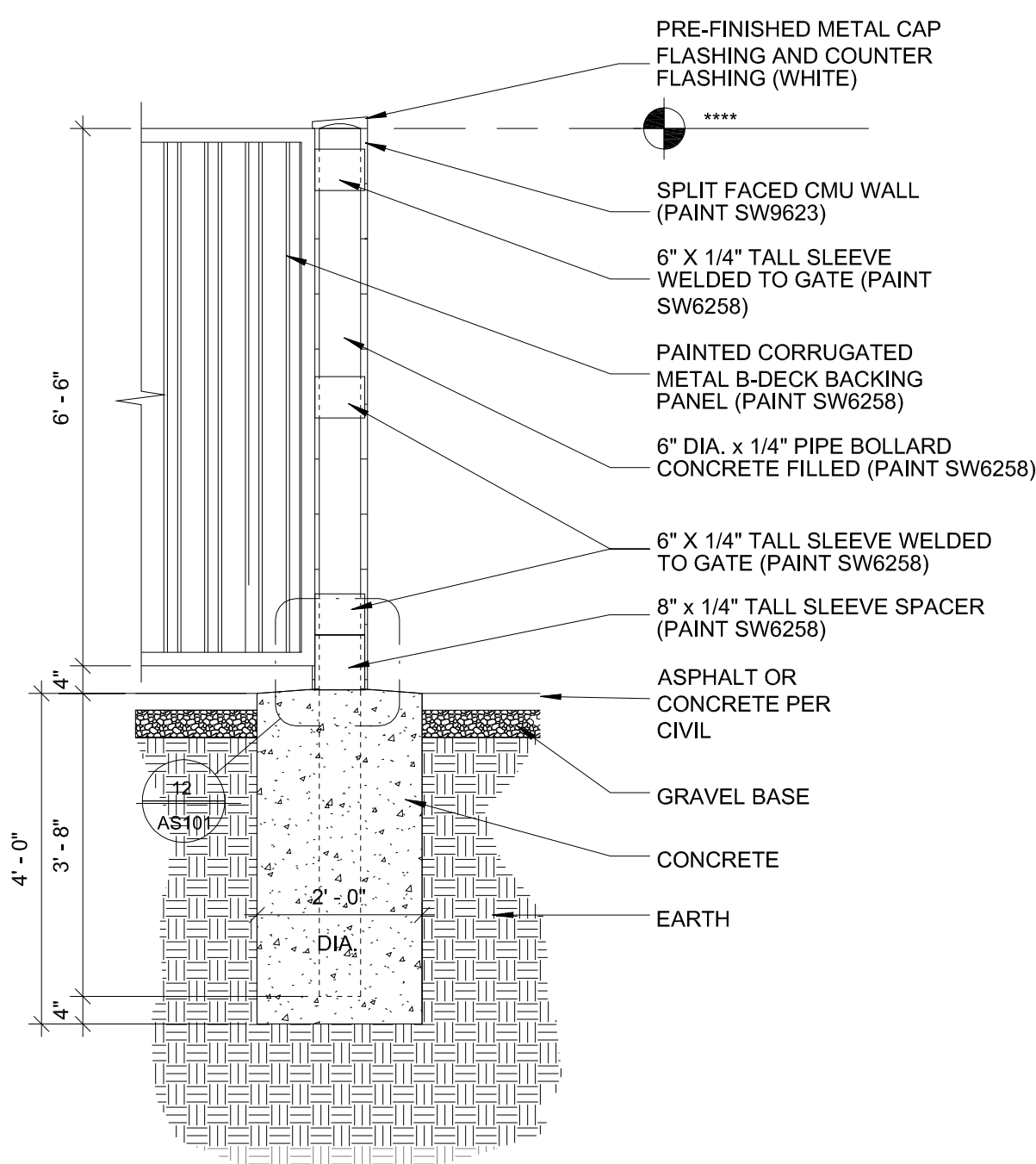
5 TRASH ENCLOSURE
1/4" = 1'-0"



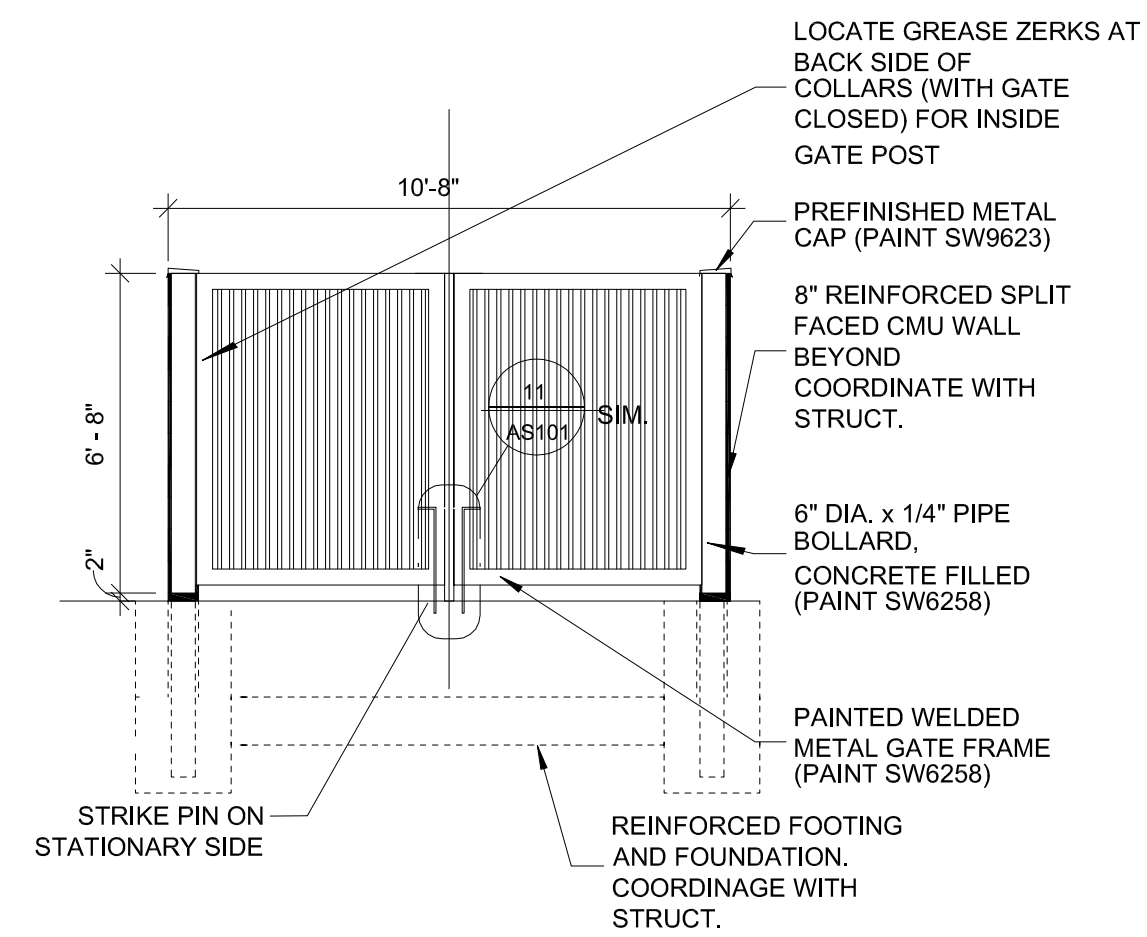
1 BOLLARD CROSS SECTION
3" = 1'-0"



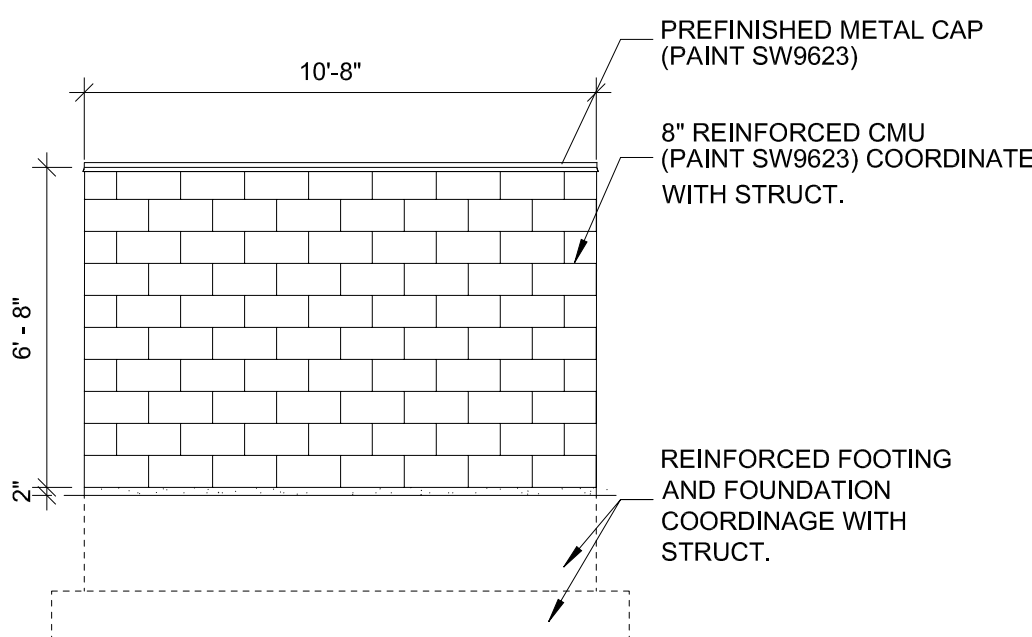
2 BOLLARD SECTION
1/2" = 1'-0"



10 DUMPSTER GATE - END POST DETAIL
1/2" = 1'-0"



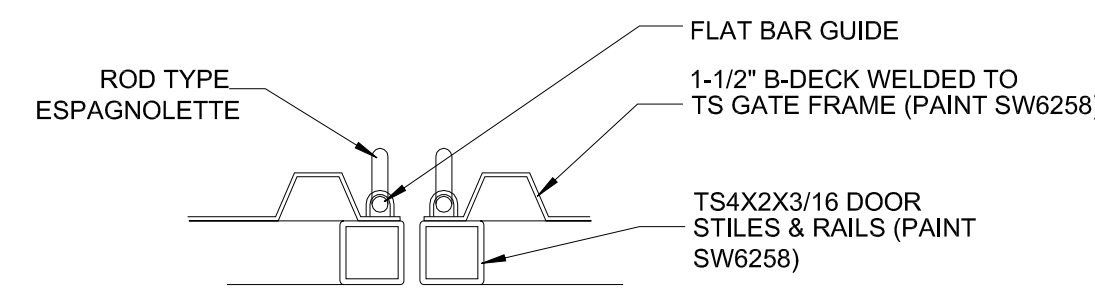
6 TRASH ENCLOSURE - FRONT ELEVATION
1/4" = 1'-0"



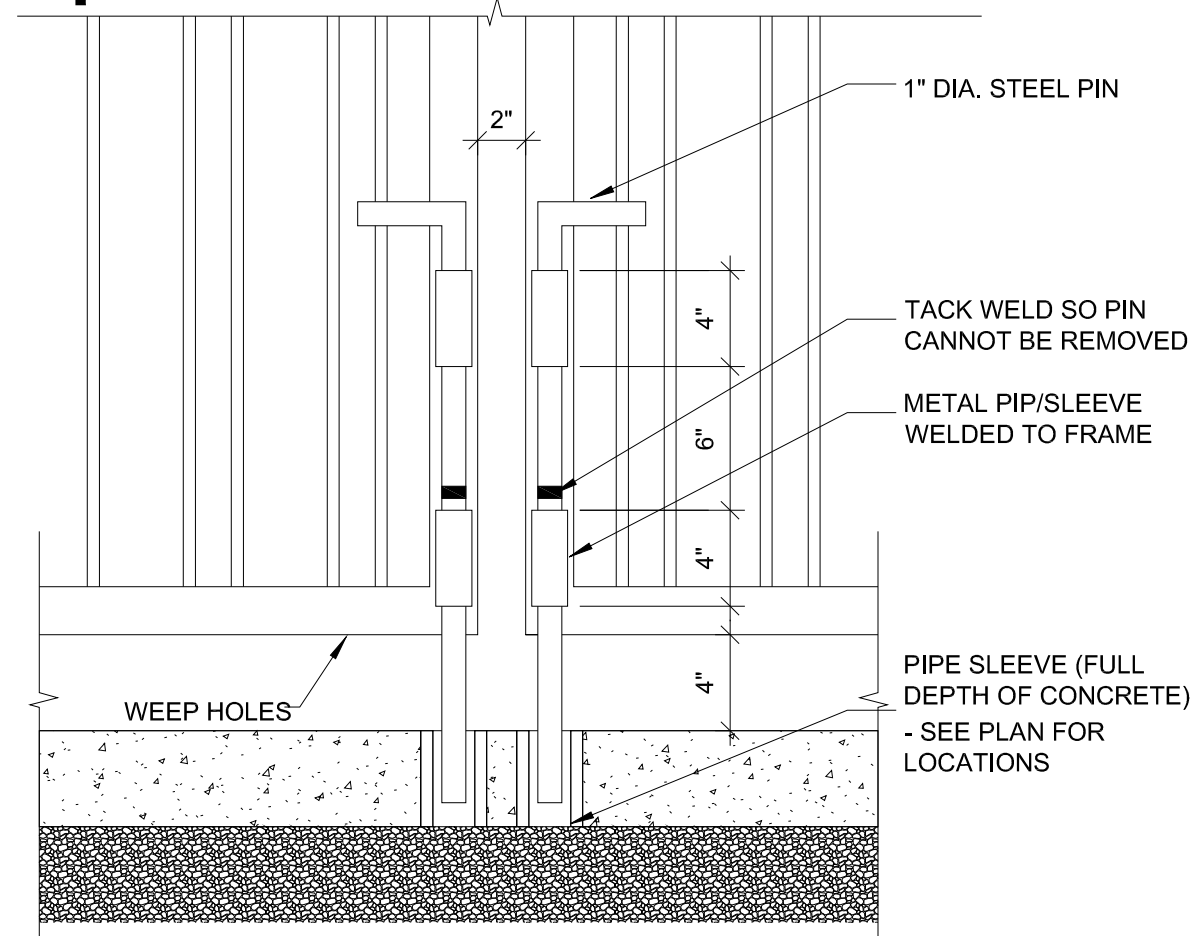
7 TRASH ENCLOSURE - BACK ELEVATION
1/4" = 1'-0"

3 NOT USED
1 1/2" = 1'-0"

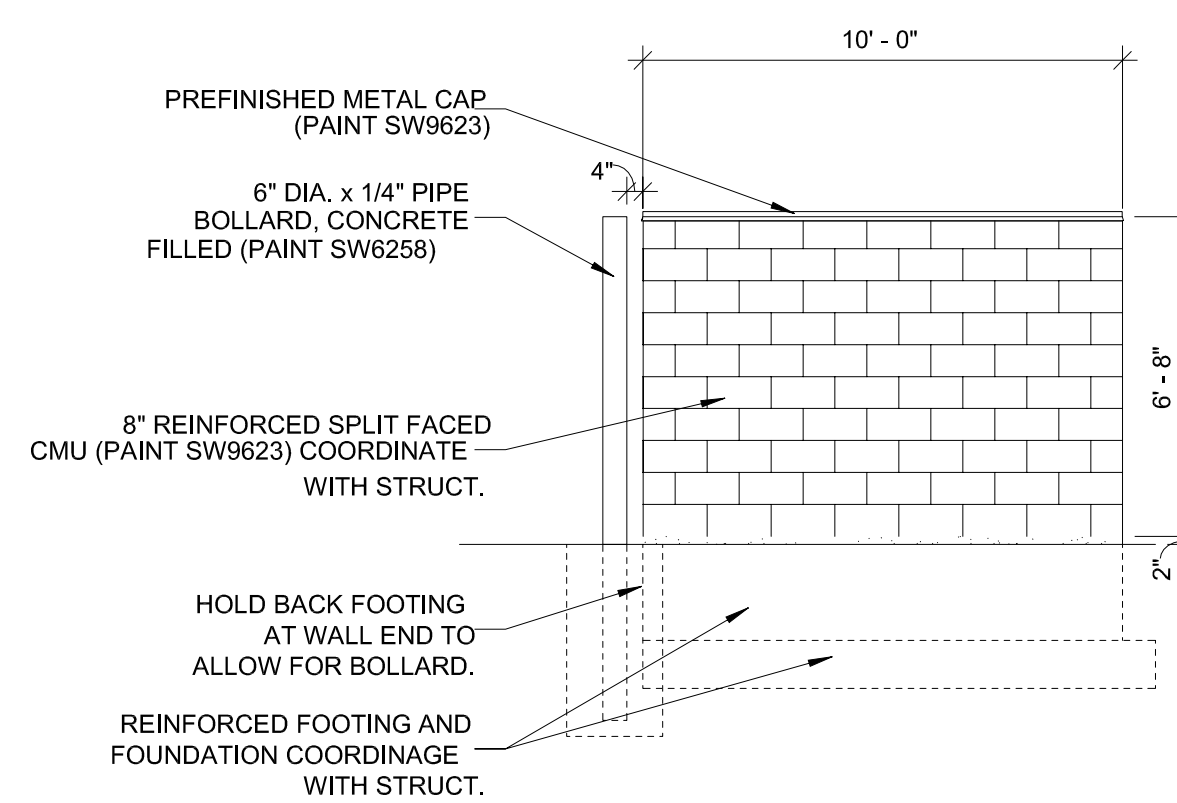
13 NOT USED
1/2" = 1'-0"



14 GATE ESPAGOLETTE
1" = 1'-0"

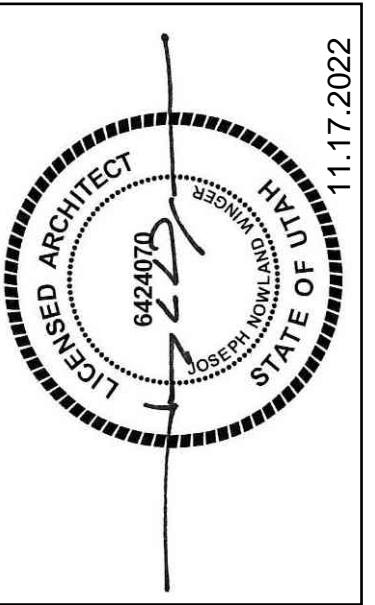


11 DUMPSTER GATE PIN
1 1/2" = 1'-0"



8 TRASH ENCLOSURE - SIDE ELEVATION
1/4" = 1'-0"

4 NOT USED
1/2" = 1'-0"

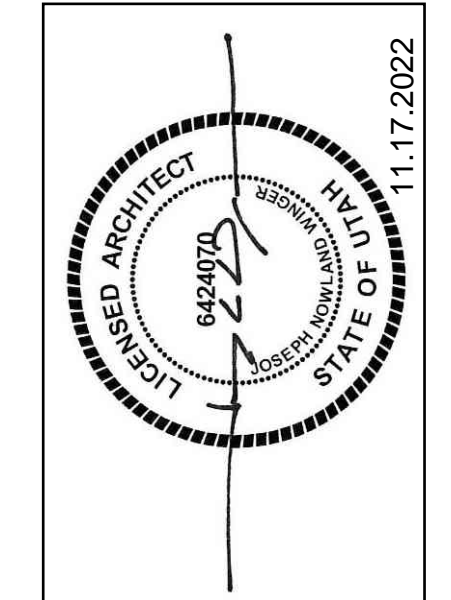
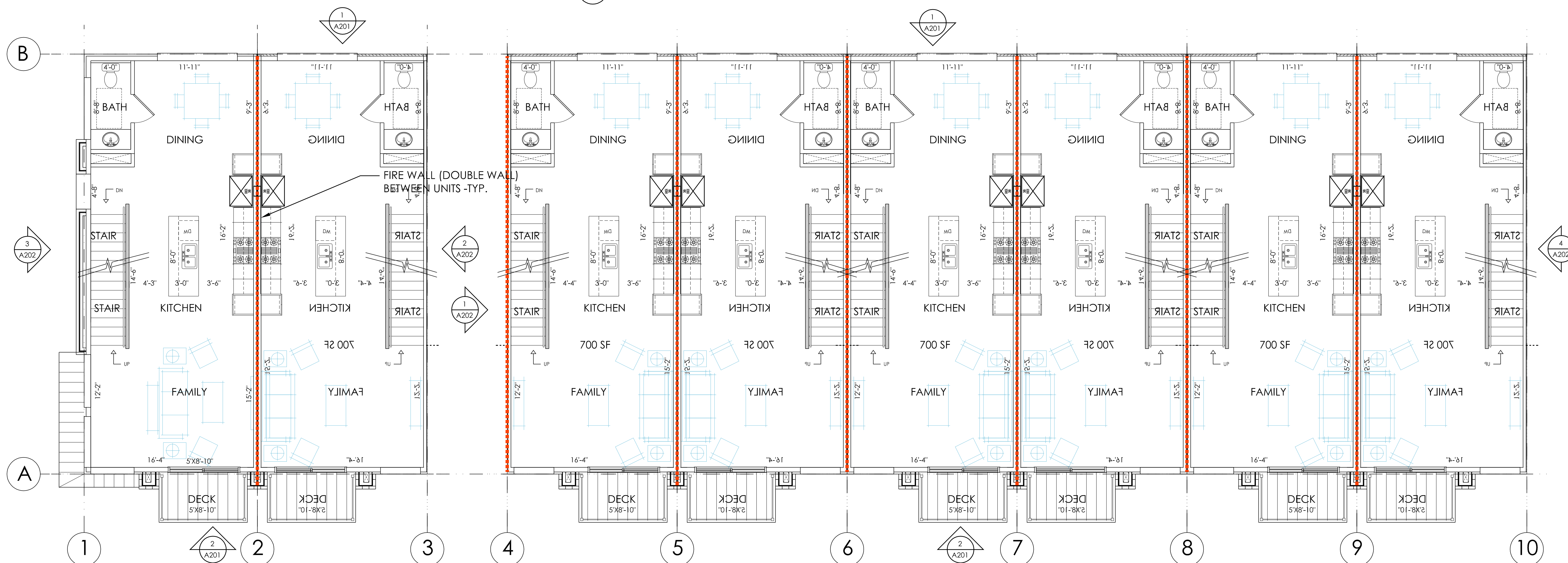
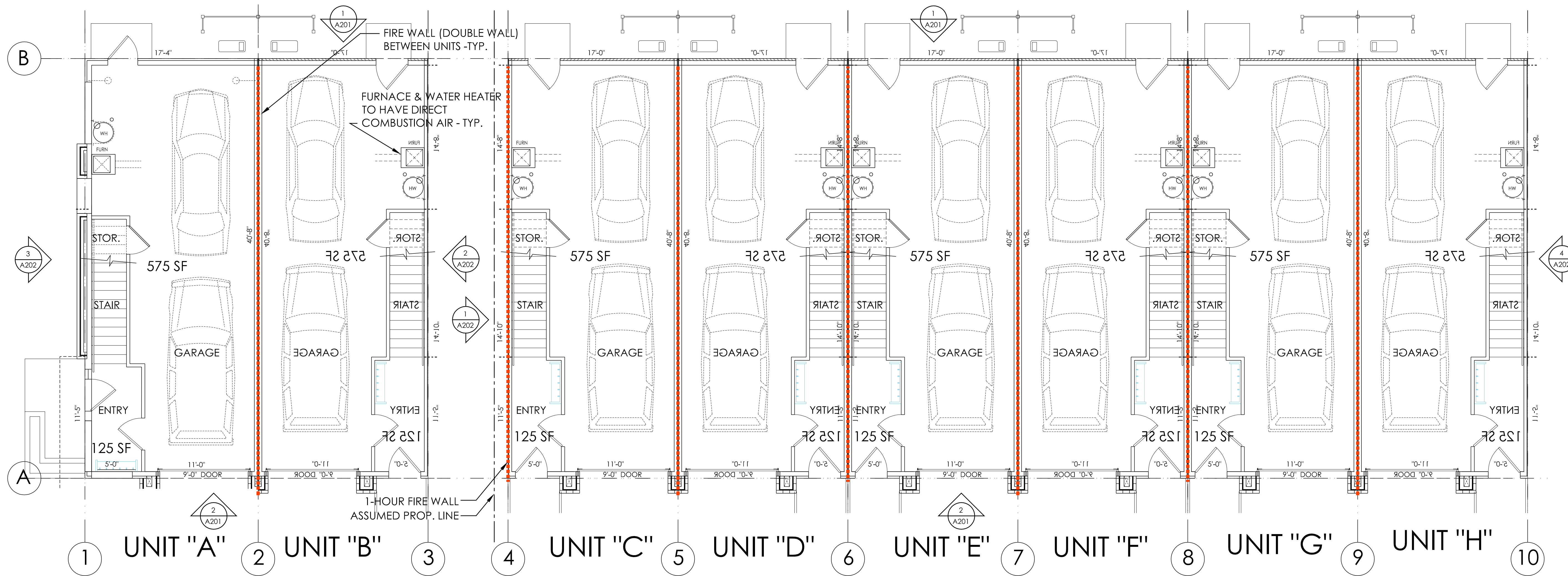


stamp:

TOWNS at 400
30 West 400 South
Bountiful Utah 84010

REVISION BLOCK	
NO.	DESCRIPTION:

AS101
DUMPSTER
DETAILS
date:
11.17.2022

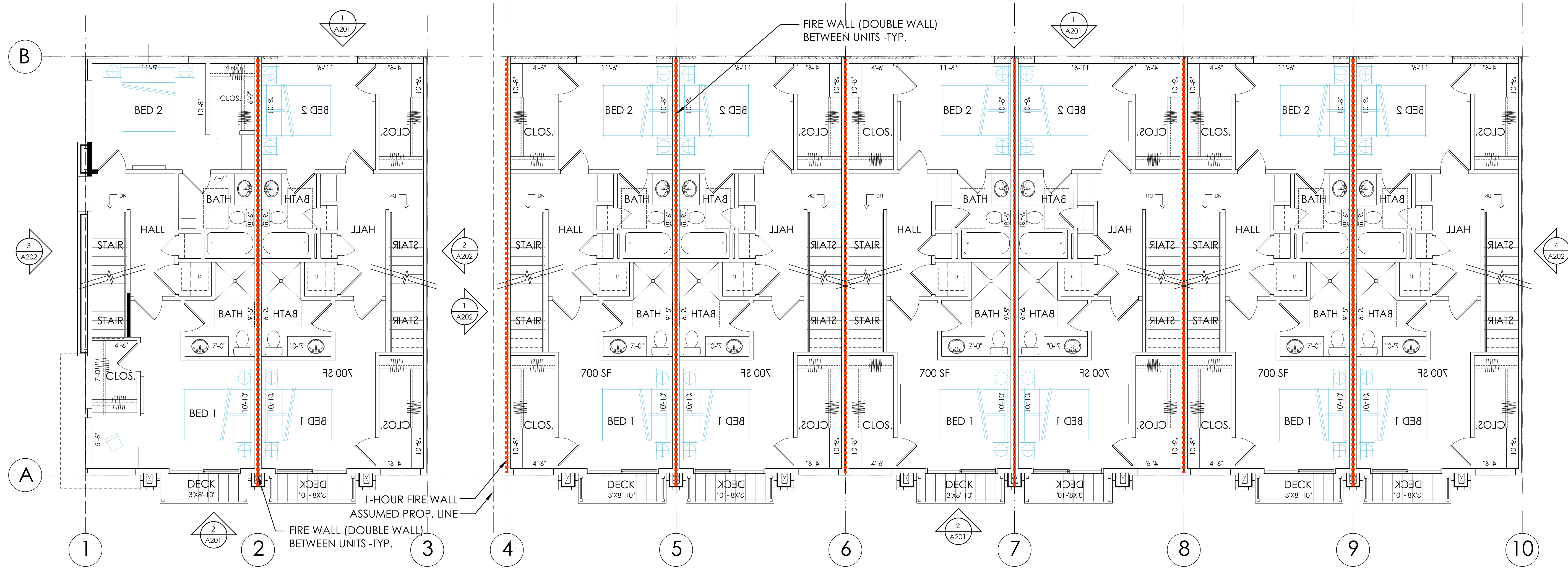


stamp:

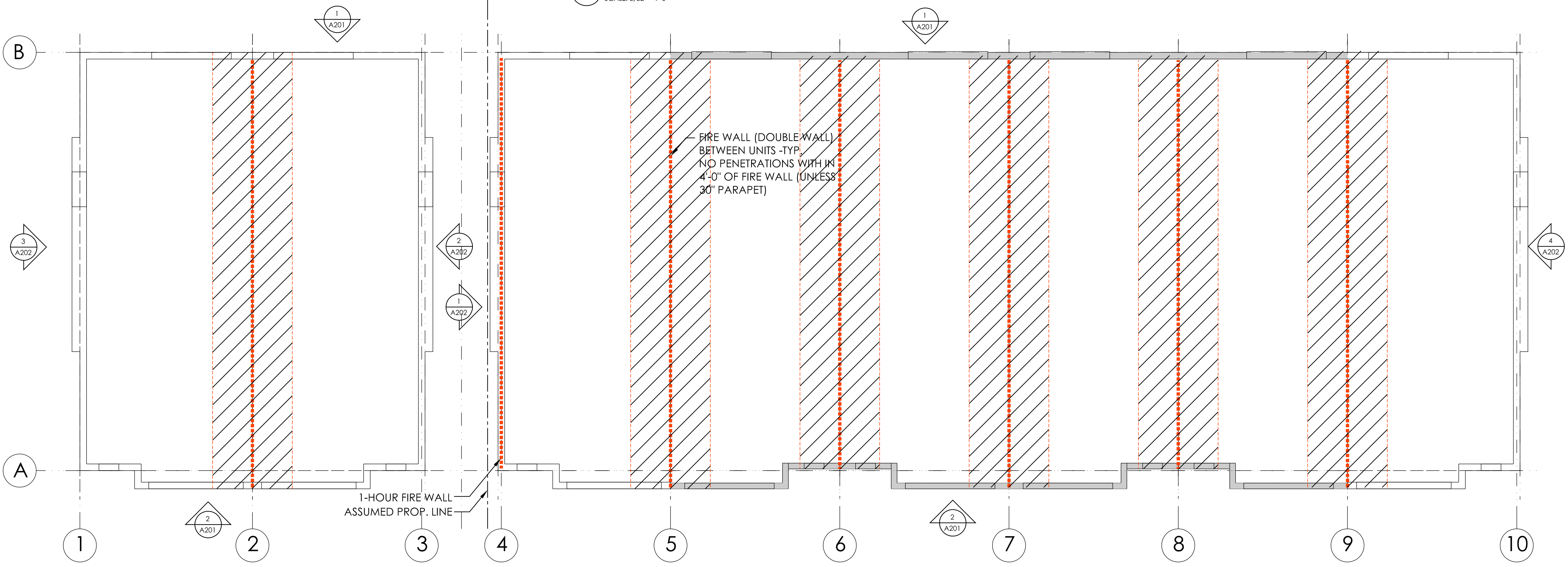
TOWNS at 400
30 West 400 South
Bountiful Utah 84010

REVISION BLOCK	
NO.	DATE: DESCRIPTION:

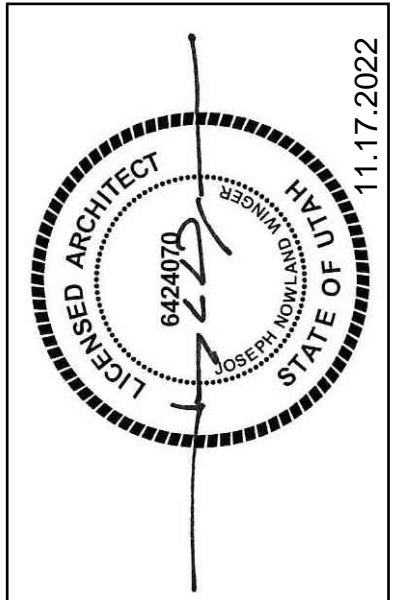
A101
LEVEL 1&2
date:
11.17.2022



1 LEVEL 3 - OVERALL FLOOR PLAN
SCALE: 3/32" = 1'-0"



2 ROOF - OVERALL ROOF PLAN
SCALE: 3/32" = 1'-0"

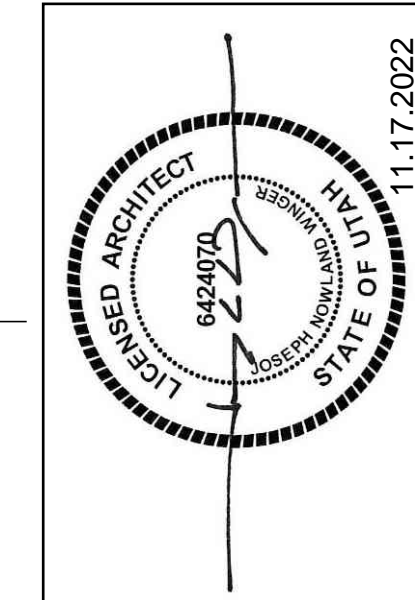


stamp:

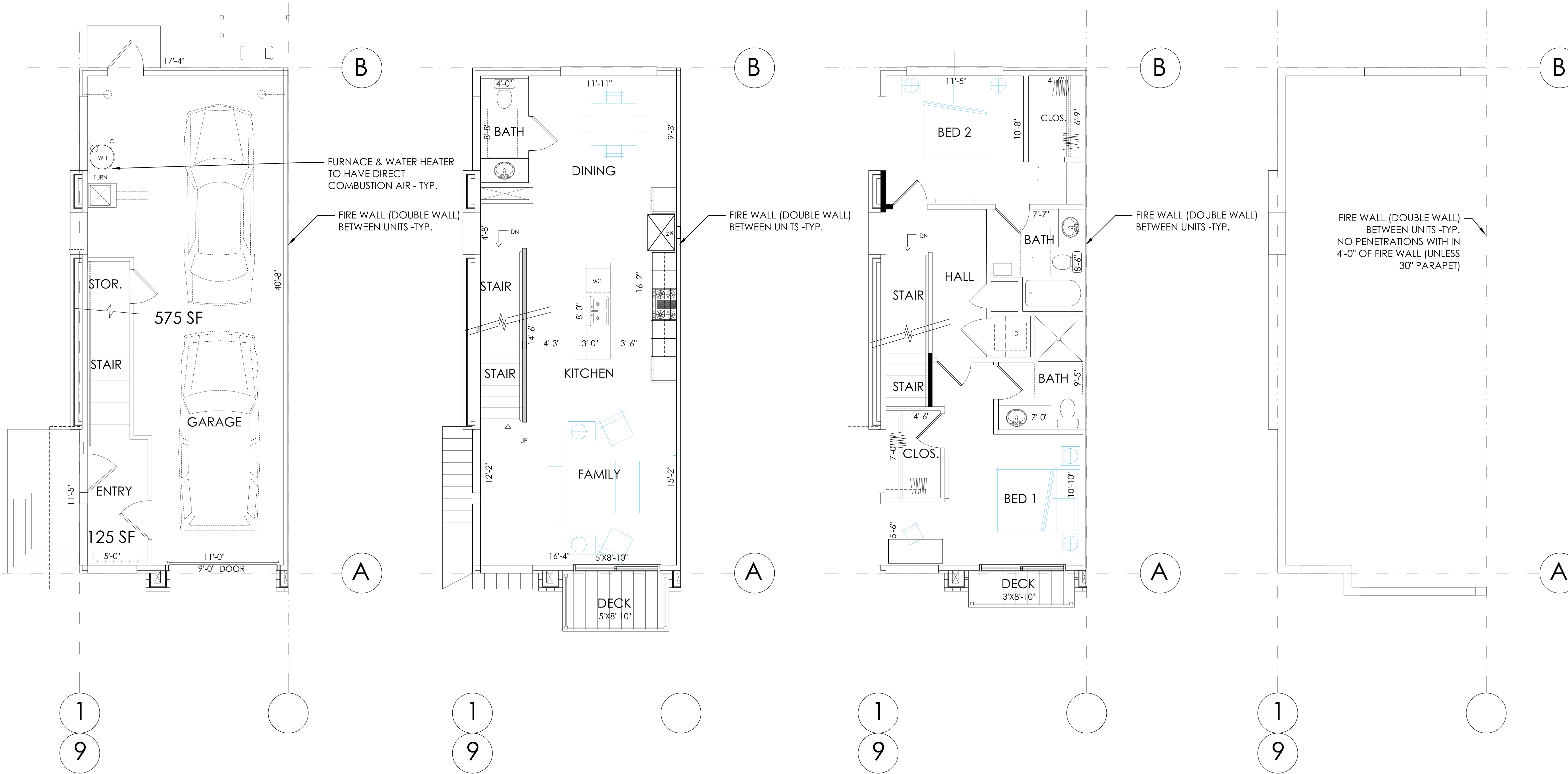
TOWNS at 400
30 West 400 South
Bountiful Utah 84010

REVISION BLOCK	
NO.	DESCRIPTION:

A102
LEVEL 3&ROOF
date:
11.17.2022



stamp:



1 LEVEL 1 - FLOOR PLAN (UNIT A)
SCALE: 1/4" = 1'-0"

2 LEVEL 2 - FLOOR PLAN (UNIT A)
SCALE: 1/4" = 1'-0"

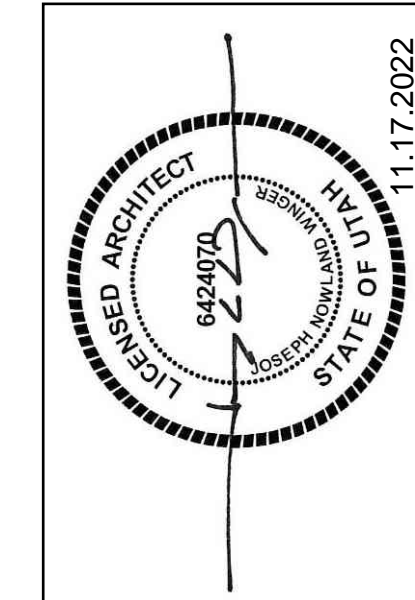
3 LEVEL 3 - FLOOR PLAN (UNIT A)
SCALE: 1/4" = 1'-0"

4 ROOF PLAN (UNIT A)
SCALE: 1/4" = 1'-0"

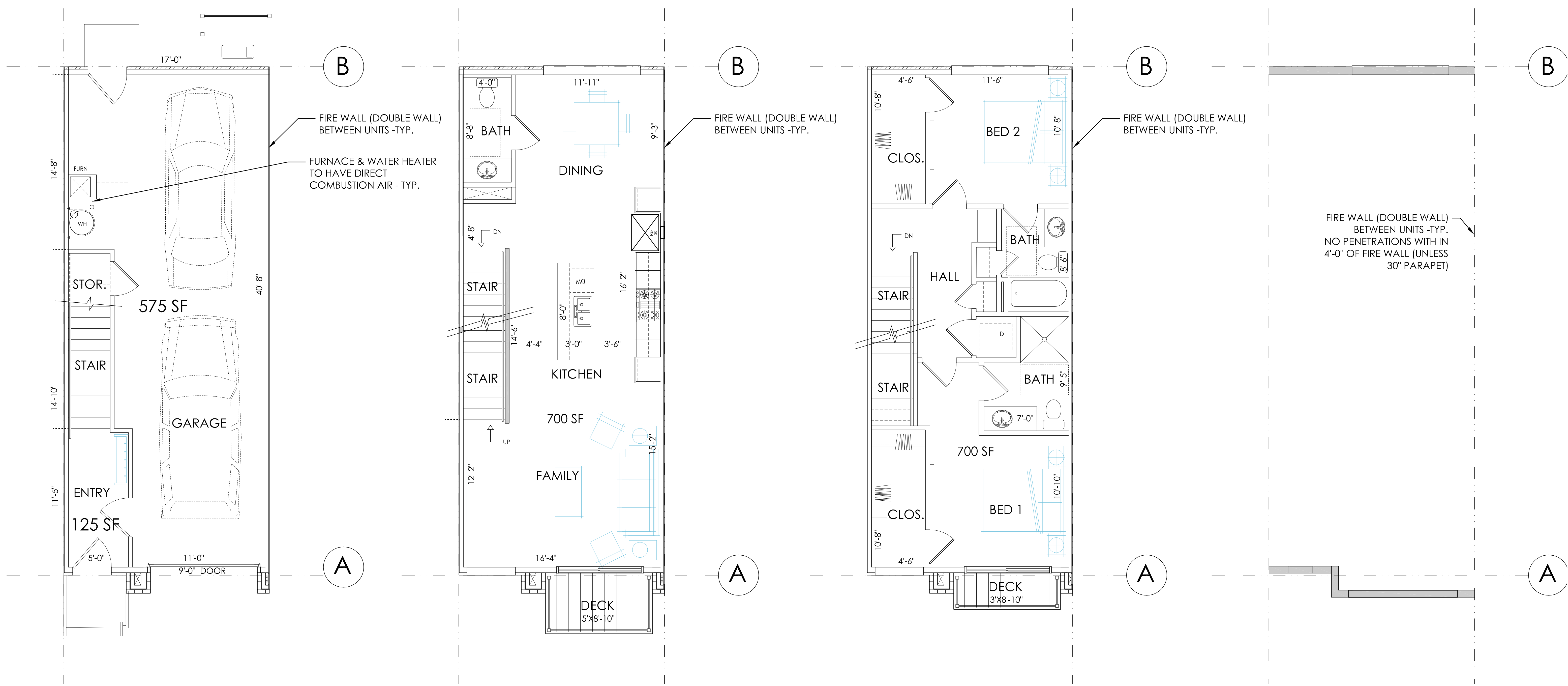
TOWNS at 400
30 West 400 South
Bountiful Utah 84010

REVISION BLOCK	
NO.	DESCRIPTION:

A103
UNIT A PLANS
date:
11.17.2022



stamp:



1 LEVEL 1 - FLOOR PLAN (UNIT B-H)
SCALE: 1/4" = 1'-0"

2 LEVEL 2 - FLOOR PLAN (UNIT B-H)
SCALE: 1/4" = 1'-0"

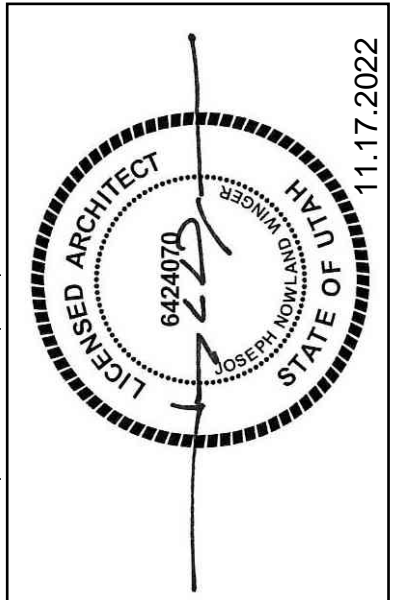
3 LEVEL 3 - FLOOR PLAN (UNIT B-H)
SCALE: 1/4" = 1'-0"

4 ROOF PLAN (UNIT B-H)
SCALE: 1/4" = 1'-0"

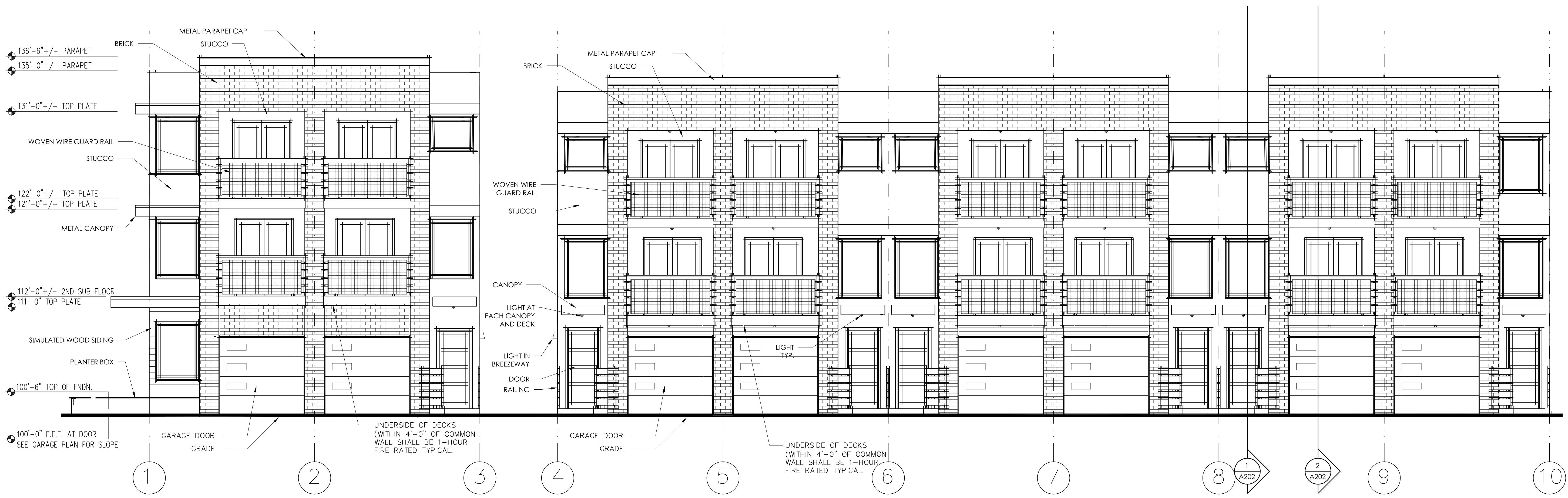
TOWNS at 400
30 West 400 South
Bountiful Utah 84010

REVISION BLOCK	NO.	DATE	DESCRIPTION

A104
UNIT G-H
PLANS
date:
11.17.2022



stamp:



SOUTH BUILDING FINISHES (%):
 STUCCO: 44%
 OTHER FINISHES: 56%

2 WEST ELEVATION
 SCALE: 3/32" = 1'-0"

NORTH BUILDING FINISHES (%):
 STUCCO: 48%
 OTHER FINISHES: 52%

- 134'-6"+/- TOP PLATE
- 133'-0"+/- TOP PLATE
- 129'-0"+/- TOP PLATE
- 120'-0"+/- TOP PLATE
- 119'-0"+/- TOP PLATE
- 110'-0"+/- 2ND SUB FLOOR
- 109'-0" TOP PLATE
- 100'-6" TOP OF FNDN.



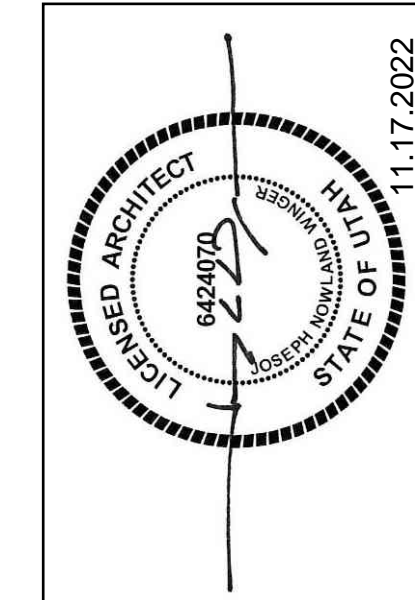
1 EAST ELEVATION
 SCALE: 3/32" = 1'-0"

- 136'-6"+/- PARAPET
- 135'-0"+/- PARAPET
- 131'-0"+/- TOP PLATE
- 122'-0"+/- TOP PLATE
- 121'-0"+/- TOP PLATE
- 112'-0"+/- 2ND SUB FLOOR
- 111'-0" TOP PLATE
- 100'-6" TOP OF FNDN.

NO.	DATE:	DESCRIPTION:

A201
ELEVATIONS
 date: 11.17.2022

TOWNS at 400
 30 West 400 South
 Bountiful Utah 84010

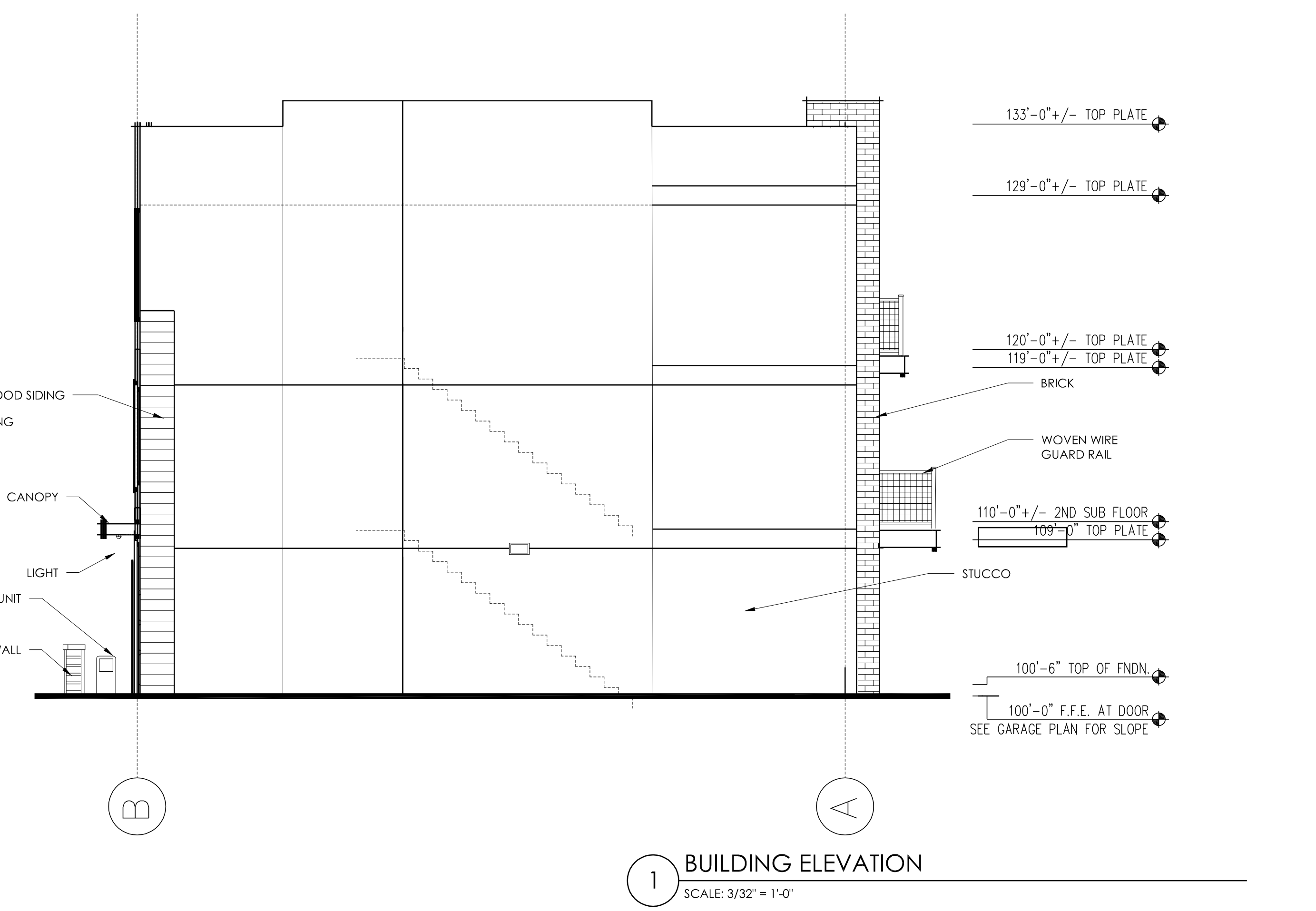
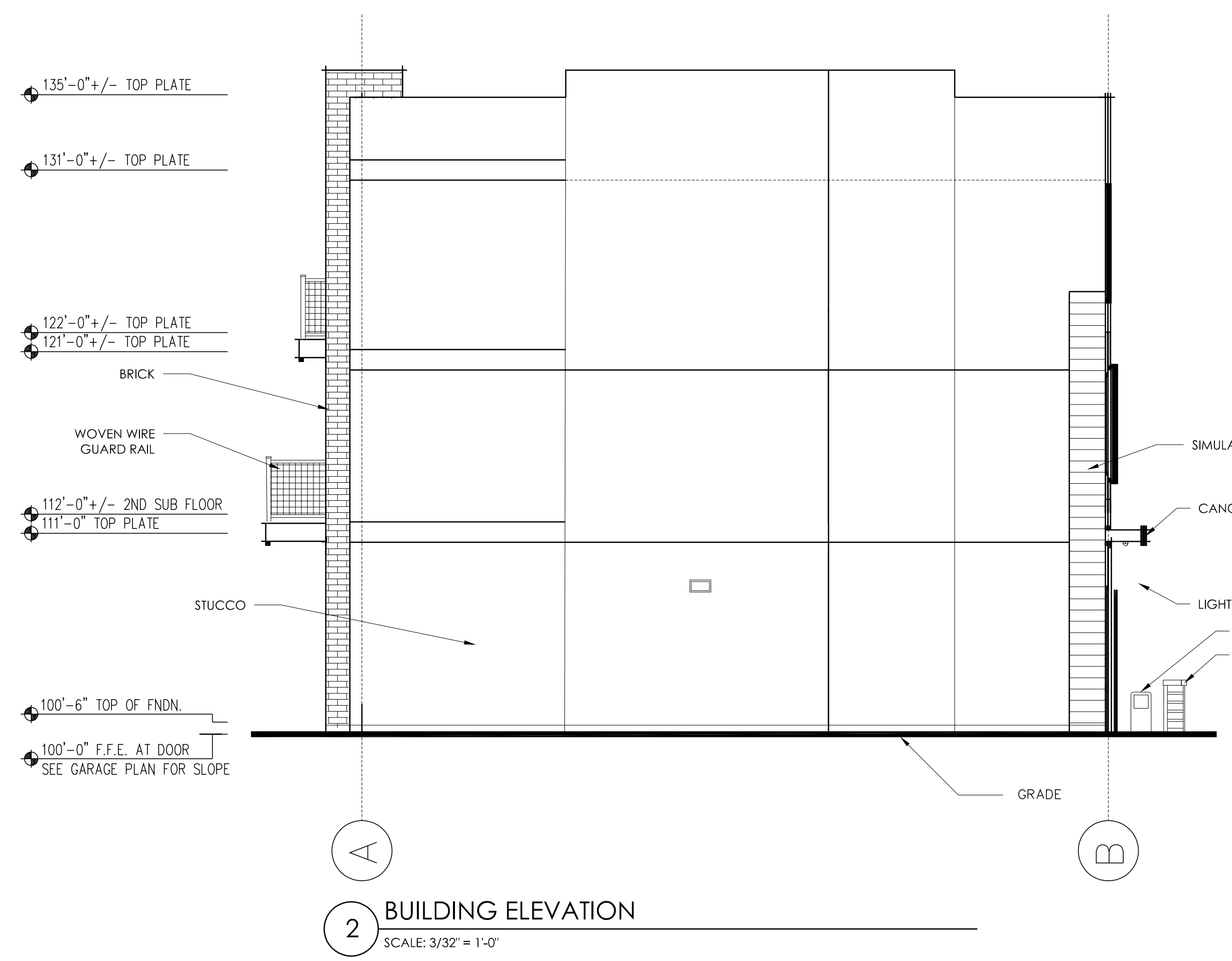
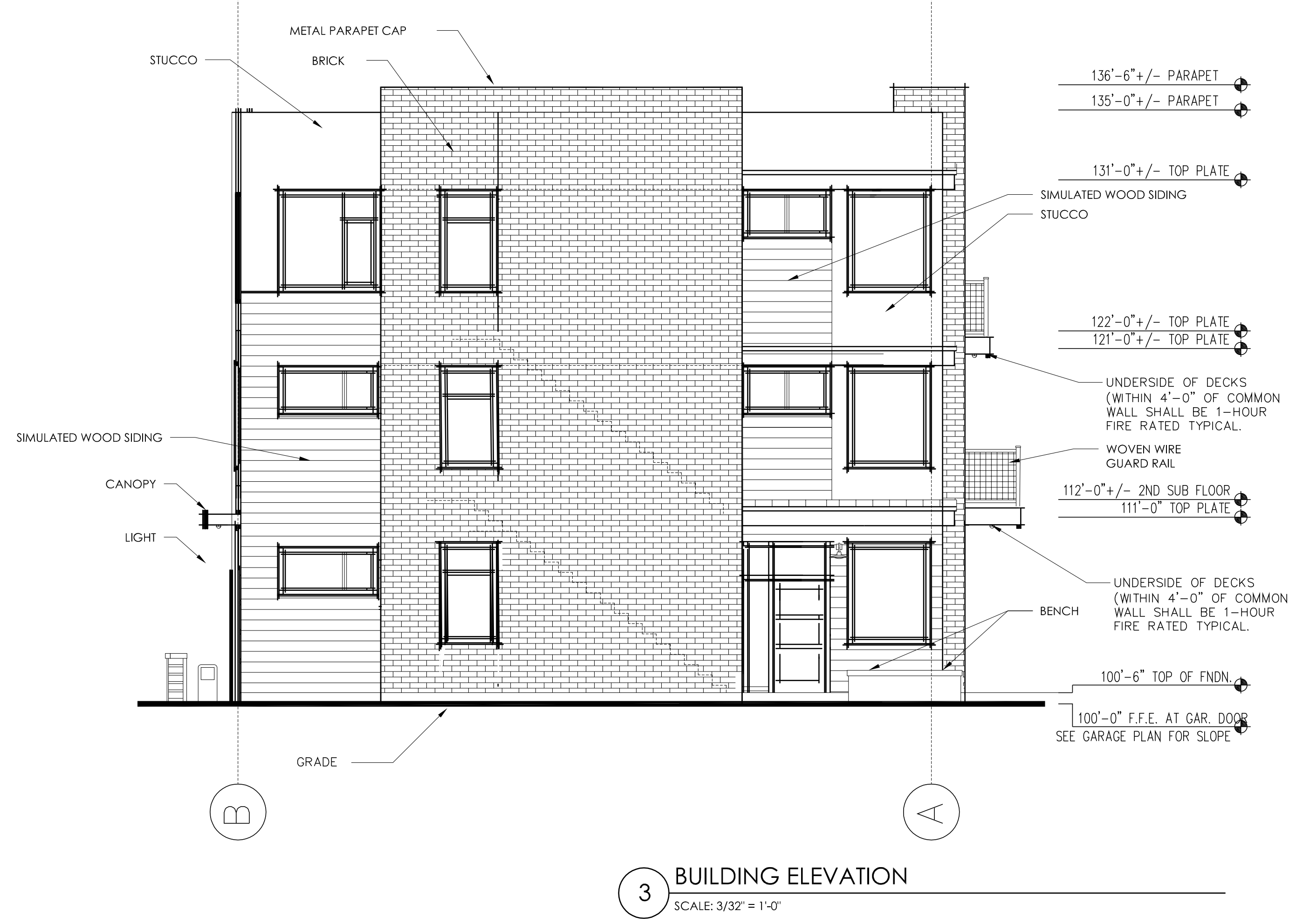
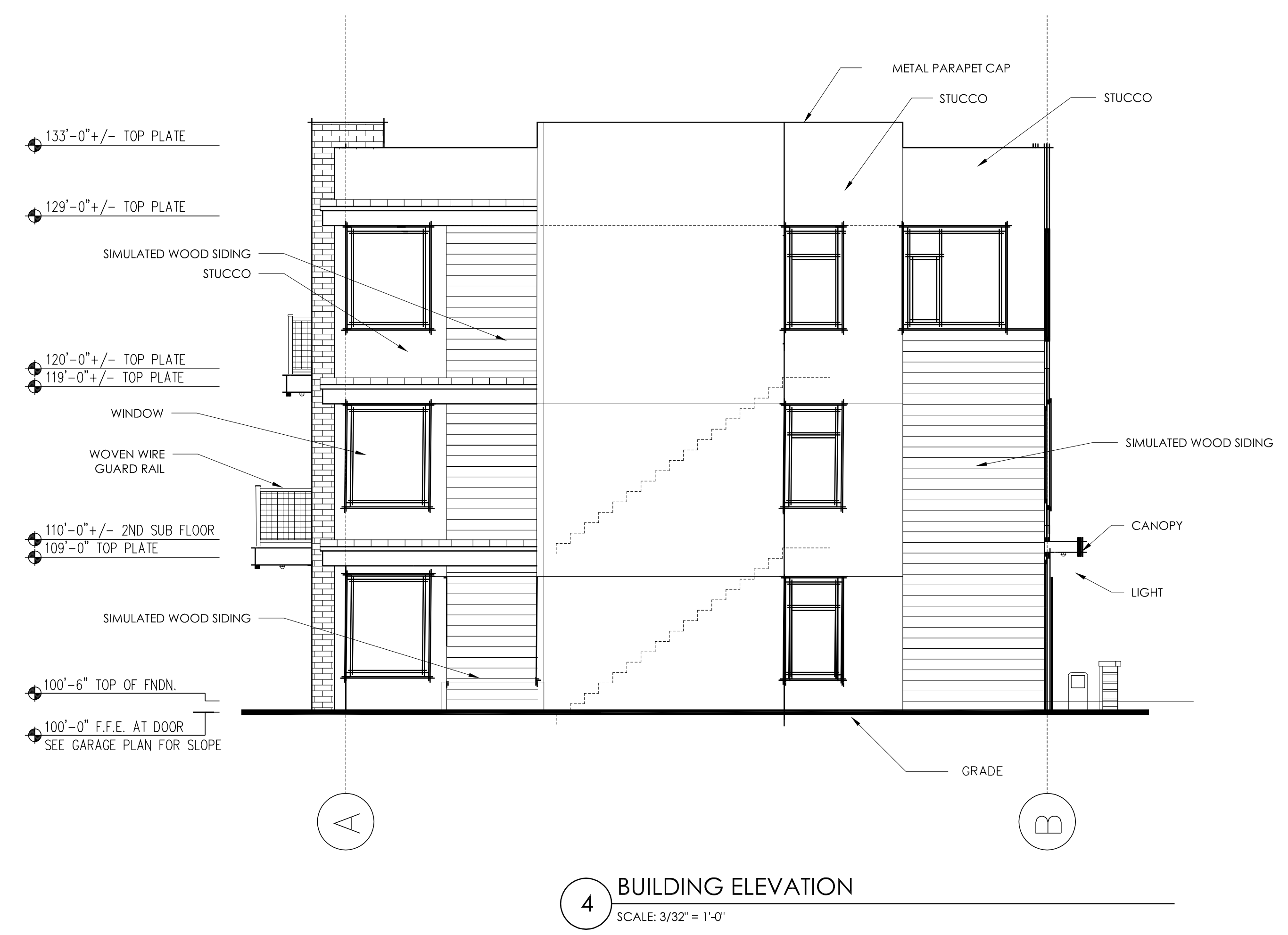


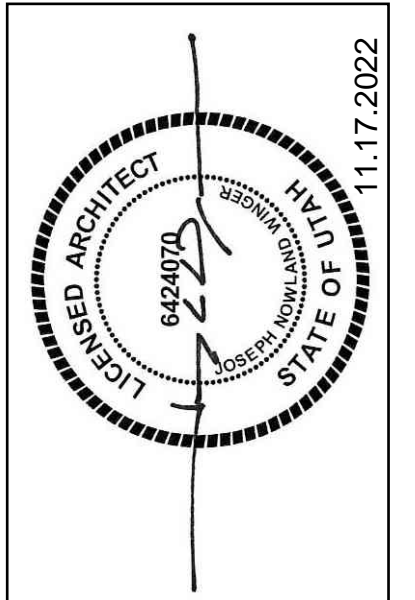
stamp:

TOWNS at 400
 30 West 400 South
 Bountiful Utah 84010

REVISION BLOCK	
NO.	DATE: DESCRIPTION:

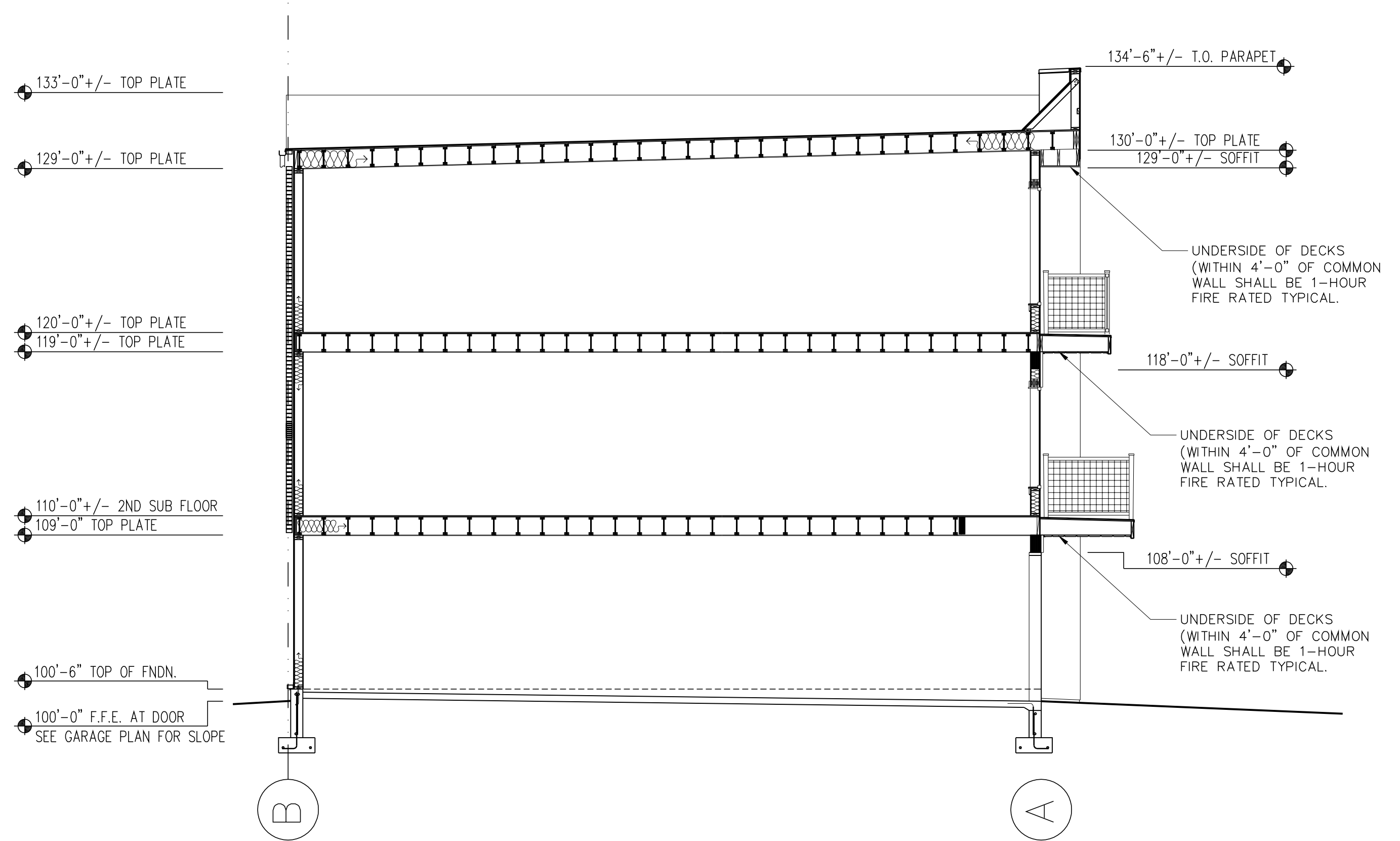
A202
 ELEV & SECT
 date:
 11.17.2022



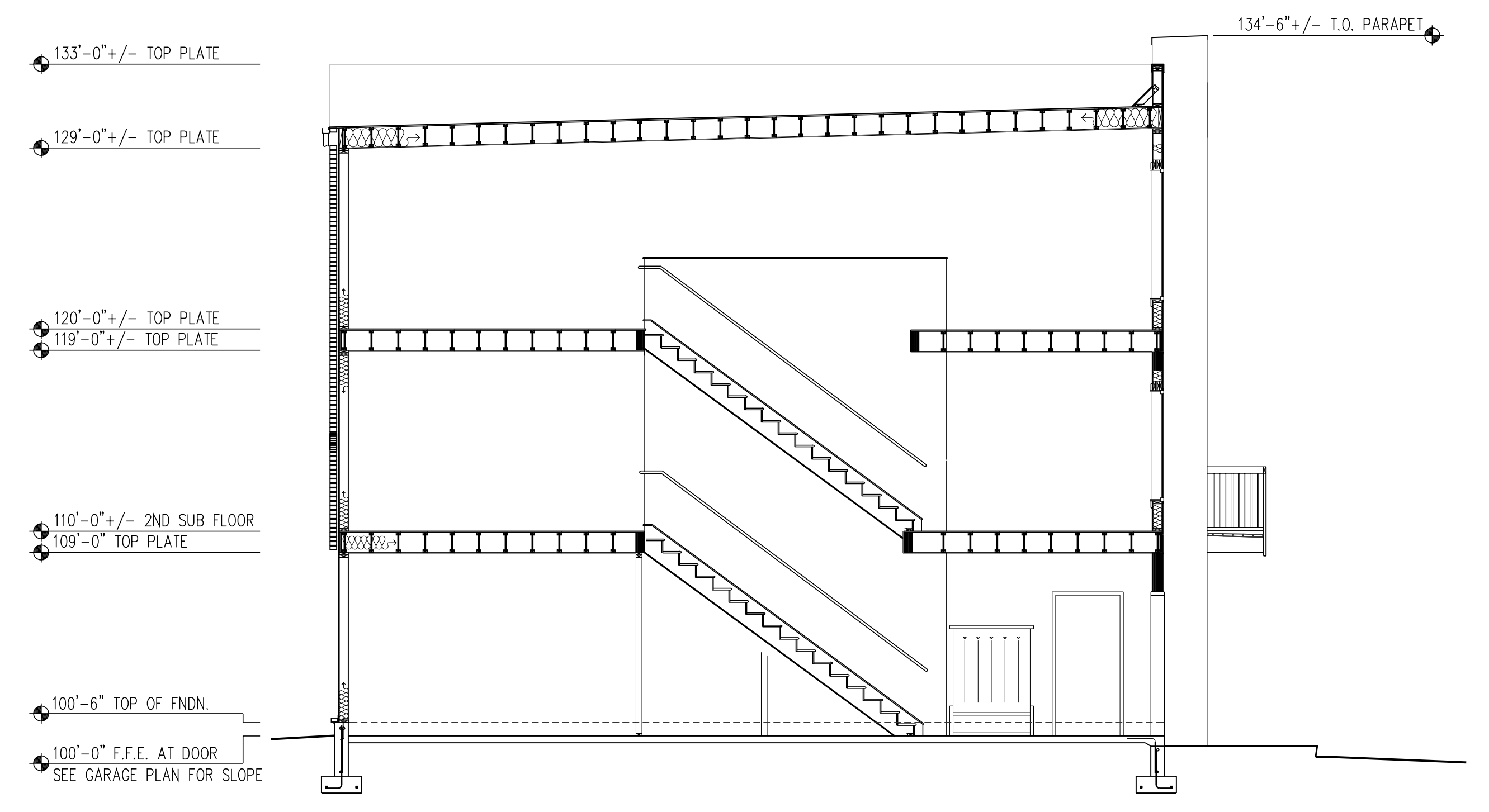


stamp:

TOWNS at 400
 30 West 400 South
 Bountiful Utah 84010



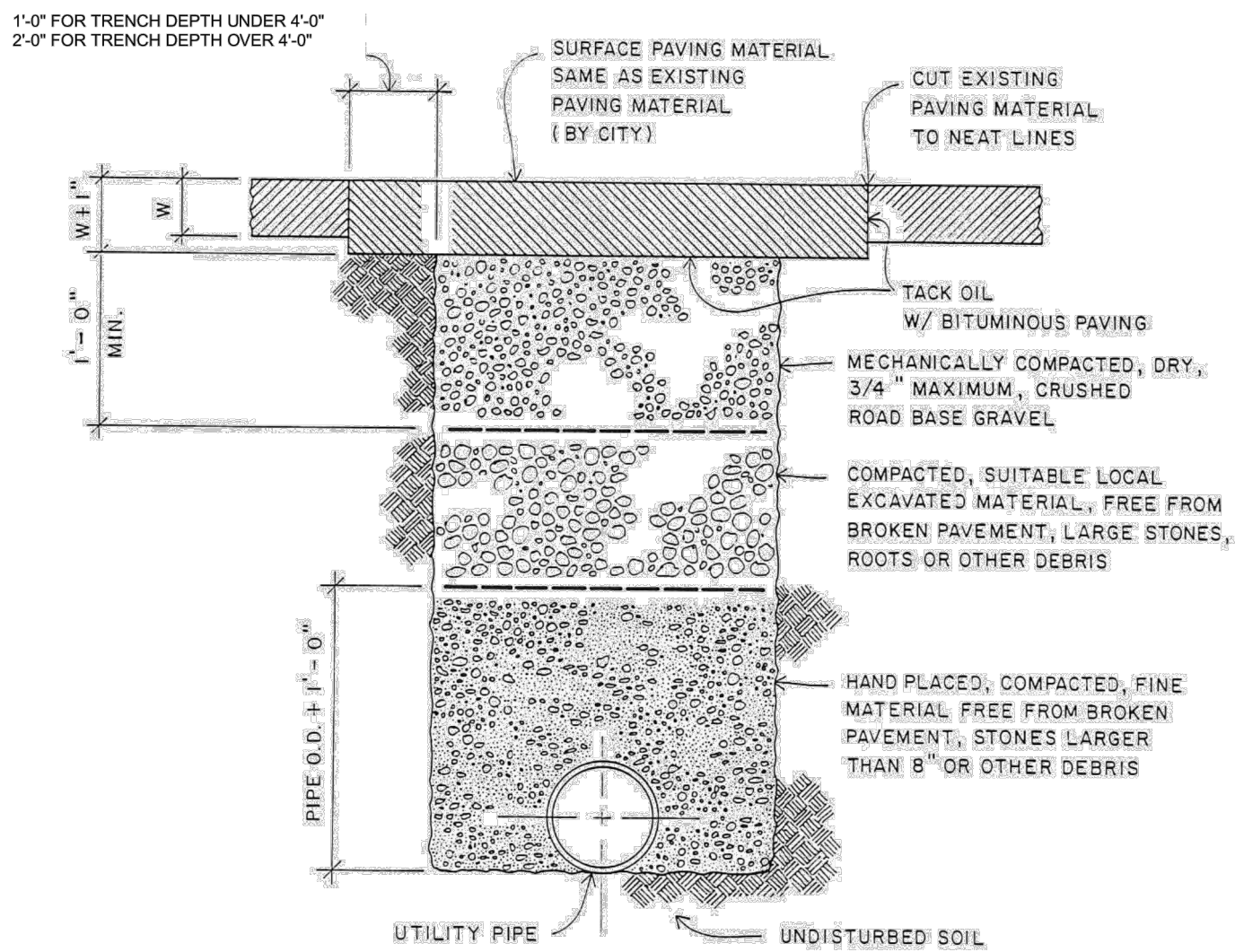
2 BUILDING SECTION
 SCALE: 3/32" = 1'-0"



1 BUILDING SECTION
 SCALE: 3/32" = 1'-0"

REVISION BLOCK	
NO.	DESCRIPTION:

A203
 SECT & DETAIL
 date:
 11.17.2022

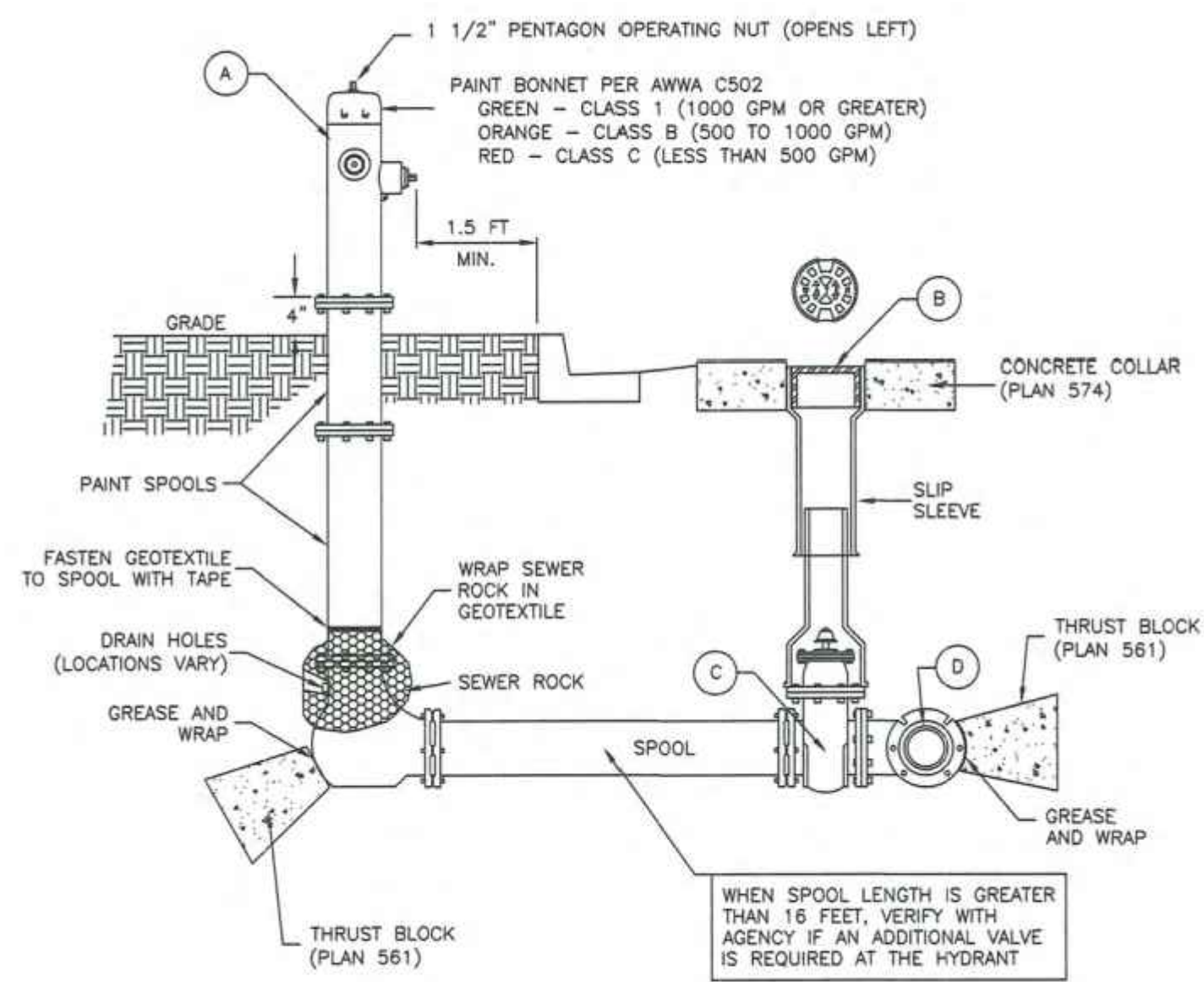


- NOTES:**
- MATERIAL MUST BE REPLACED AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
 - CONTRACTOR TO IMMEDIATELY REMOVE EXCESS MATERIAL.

BOUNTIFUL STANDARD STREET EXCAVATION DETAIL

1
C502

TRENCHING DETAIL
NOT TO SCALE



LEGEND

No.	*	ITEM	DESCRIPTION
A		FIRE HYDRANT	AWWA C502
B		VALVE BOX WITH LID	2-PIECE CAST IRON
C		GATE VALVE WITH 2" X 2" NUT	AWWA C509
D		TEE WITH 125 # FLANGE	AWWA C110

* FURNISHED BY UTILITY AGENCY

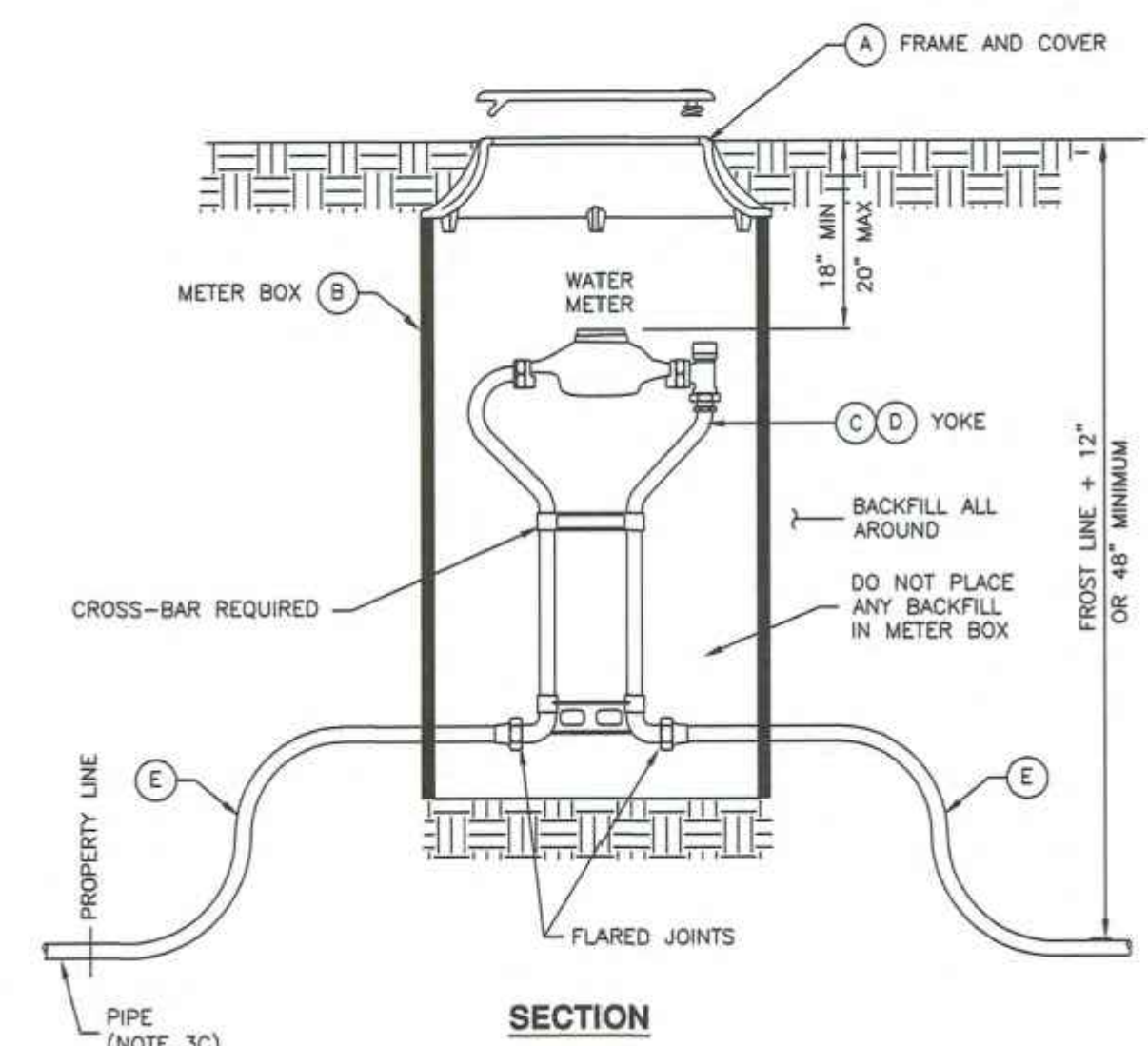
SECTION

APWA Utah Chapter

2
C502

Fire hydrant with valve
SEE NOTE #1

Plan 511
February 2011



LEGEND

No.	*	ITEM	DESCRIPTION
A		FRAME AND COVER	CAST IRON COVER
B		METER BOX (18" TO 21" DIAMETER) (30" TO 36" DEEP)	CORRUGATED PE, PVC, CMP OR MATERIAL ACCEPTABLE TO AGENCY
C		3/4" METER YOKE	OPTIONAL BACKFLOW PROTECTION PER AGENCY REQUIREMENTS
D		1" METER YOKE	OPTIONAL BACKFLOW PROTECTION PER AGENCY REQUIREMENTS
E		COPPER PIPE	TYPE K (SOFT)

* FURNISHED BY UTILITY AGENCY

SECTION

APWA Utah Chapter

3
C502

3/4" and 1" meter
SEE NOTE #1

Plan 521
August 2011

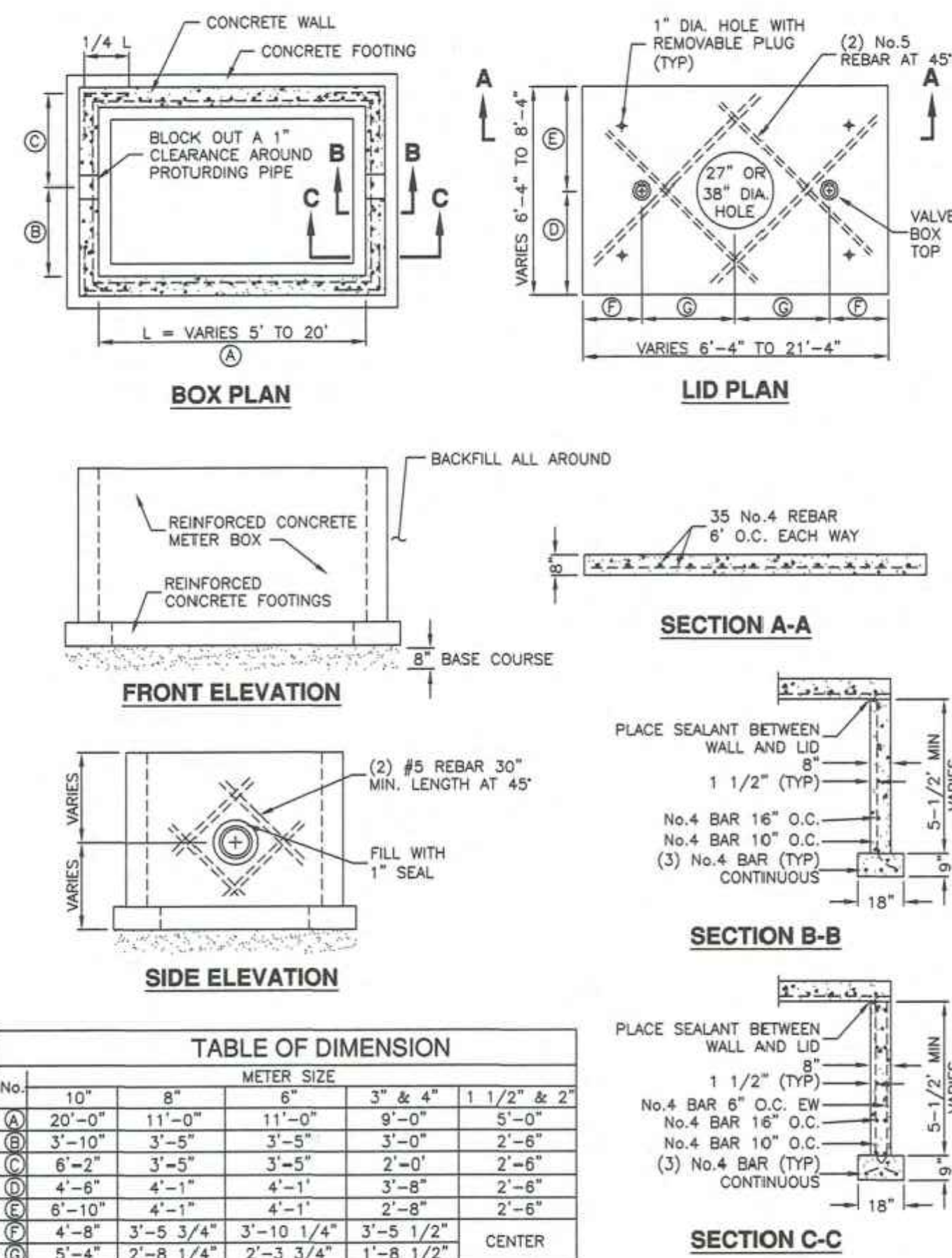


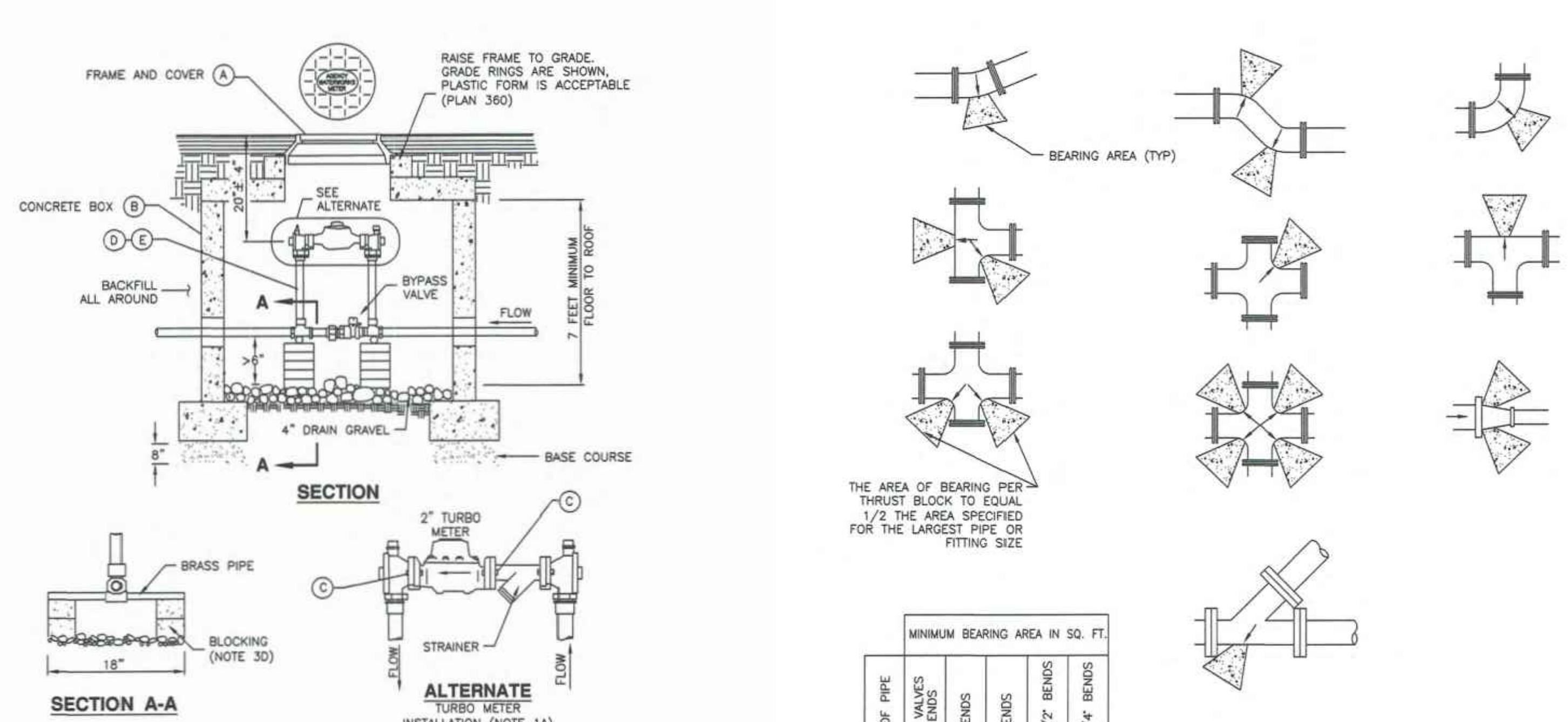
TABLE OF DIMENSION

No.	METER SIZE					
	10"	8"	3" & 4"	1 1/2" & 2"		
A	20'-0"	11'-0"	11'-0"	9'-0"	5'-0"	
B	3'-10"	3'-5"	3'-5"	3'-0"	2'-6"	
C	6'-2"	3'-5"	3'-5"	2'-0"	2'-6"	
D	4'-8"	4'-1"	4'-1"	3'-8"	2'-6"	
E	6'-10"	4'-1"	4'-1"	2'-8"	2'-6"	
F	4'-8"	3'-5 3/4"	3'-10 1/4"	3'-5 1/2"	CENTER	
G	5'-4"	2'-8 1/4"	2'-3 3/4"	1'-8 1/2"		

4
C502
Concrete meter boxes
SEE NOTE #1

Plan 505
August 2011

APWA Utah Chapter



LEGEND

No.	*	ITEM	DESCRIPTION
A		27" FRAME AND COVER	PLAN 502
B		CONCRETE BOX	PLAN 505
C		STAINLESS STEEL METER BOLTS	5/8" x 2 3/4" BRASS
D		1 1/2" CUSTOM SETTER WITH BYPASS	
E		2" CUSTOM SETTER WITH BYPASS	

* FURNISHED BY UTILITY AGENCY

APWA Utah Chapter

5
C502

1 1/2" and 2" meter
SEE NOTE #1

Plan 522
August 2011

APWA Utah Chapter

6
C502

Direct bearing thrust block
SEE NOTE #1

Plan 561
August 2010

MINIMUM BEARING AREA IN SQ. FT.

SIZE OF PIPE	TEES, VALVES DEAD ENDS				90° BENDS		45° BENDS		22 1/2° BENDS		11 1/4° BENDS	
	4"	6"	8"	12"	14"	16"	20"	24"	28"	32"	36"	42"
4"	2	3	2	2	2	2	2	2	2	2	2	2
6"	4	5.5	3	2.5	2	2	2	2	2	2	2	2
8"	6.5	9.5	5	2.75	2.5	2	2	2	2	2	2	2
12"	14	20	11	5.5	3	2	2	2	2	2	2	2
14"	19	26.5	14.5	7.5	4	2	2	2	2	2	2	2
16"	24	34	18.5	9.5	6	2	2	2	2	2	2	2
20"	27	52	28.5	14.5	9	2	2	2	2	2	2	2
24"	53	74	41	21	12	2	2	2	2	2	2	2
30"	81	114	62	32	16	2	2	2	2	2	2	2

- NOTES:**
- TO BE FURNISHED AND INSTALLED BY BOUNTIFUL CITY WATER DEPARTMENT. COORDINATE WITH BOUNTIFUL CITY WATER DEPARTMENT.



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 www.civilsolutionsgroup.net

TOWNS AT 400
 30 WEST 400 SOUTH
 BOUNTIFUL, UTAH

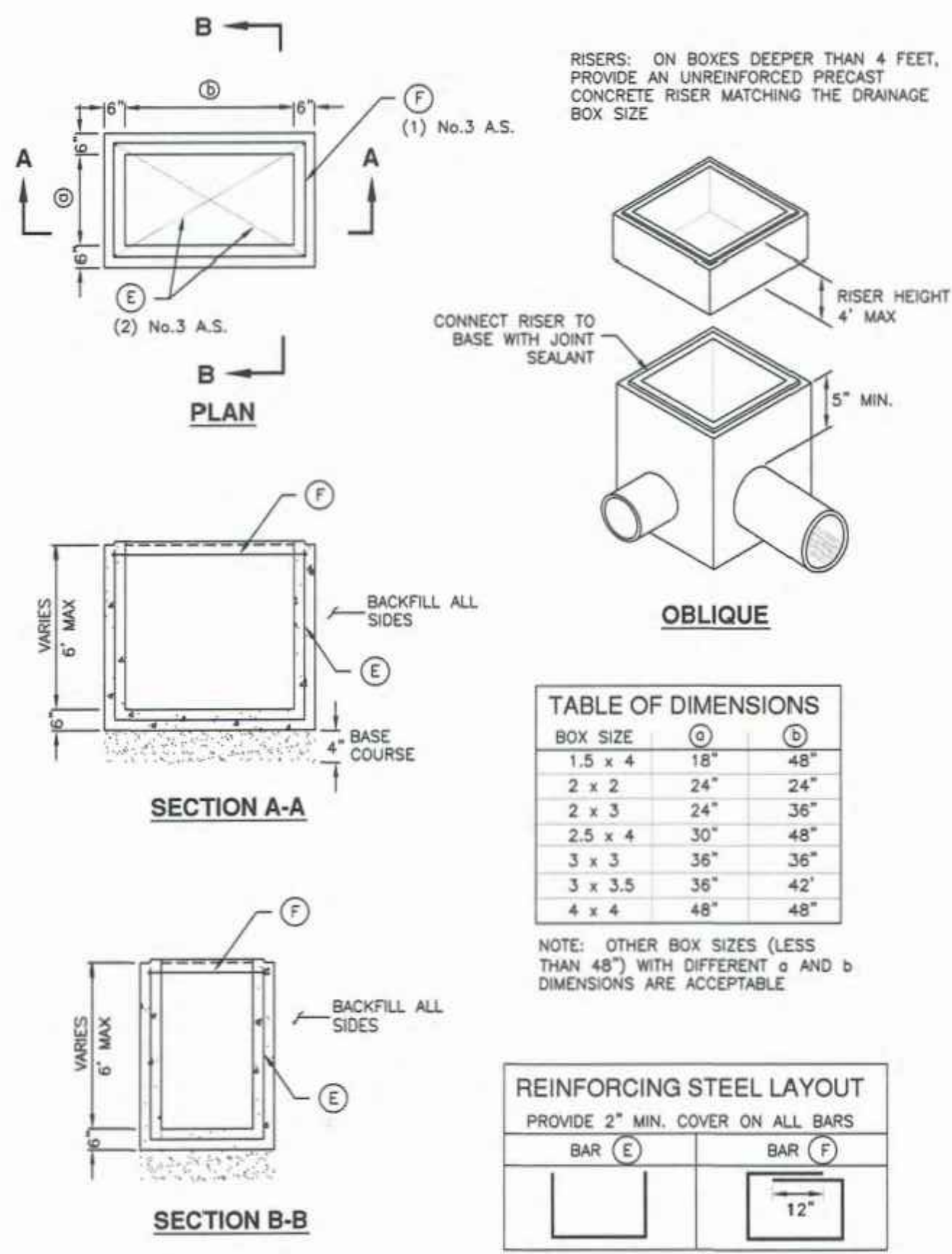
MARK	DATE	DESCRIPTION

PROJECT #: 22-009
 DRAWN BY: A. OCHSENBEIN
 PROJECT MANAGER: W. SOUTHWICK
 ISSUED: 11/17/2022



DETAILS

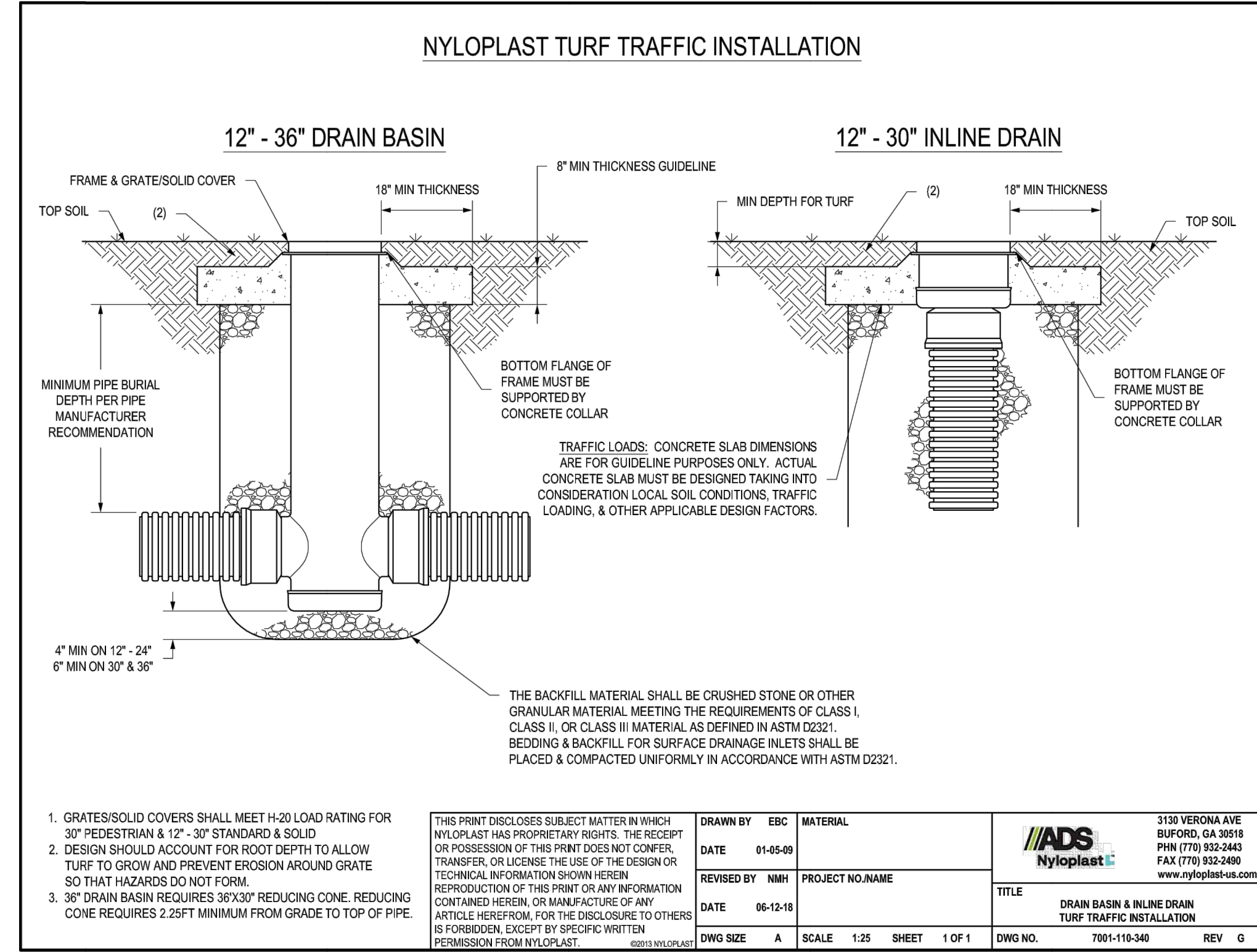
C502



1
C503

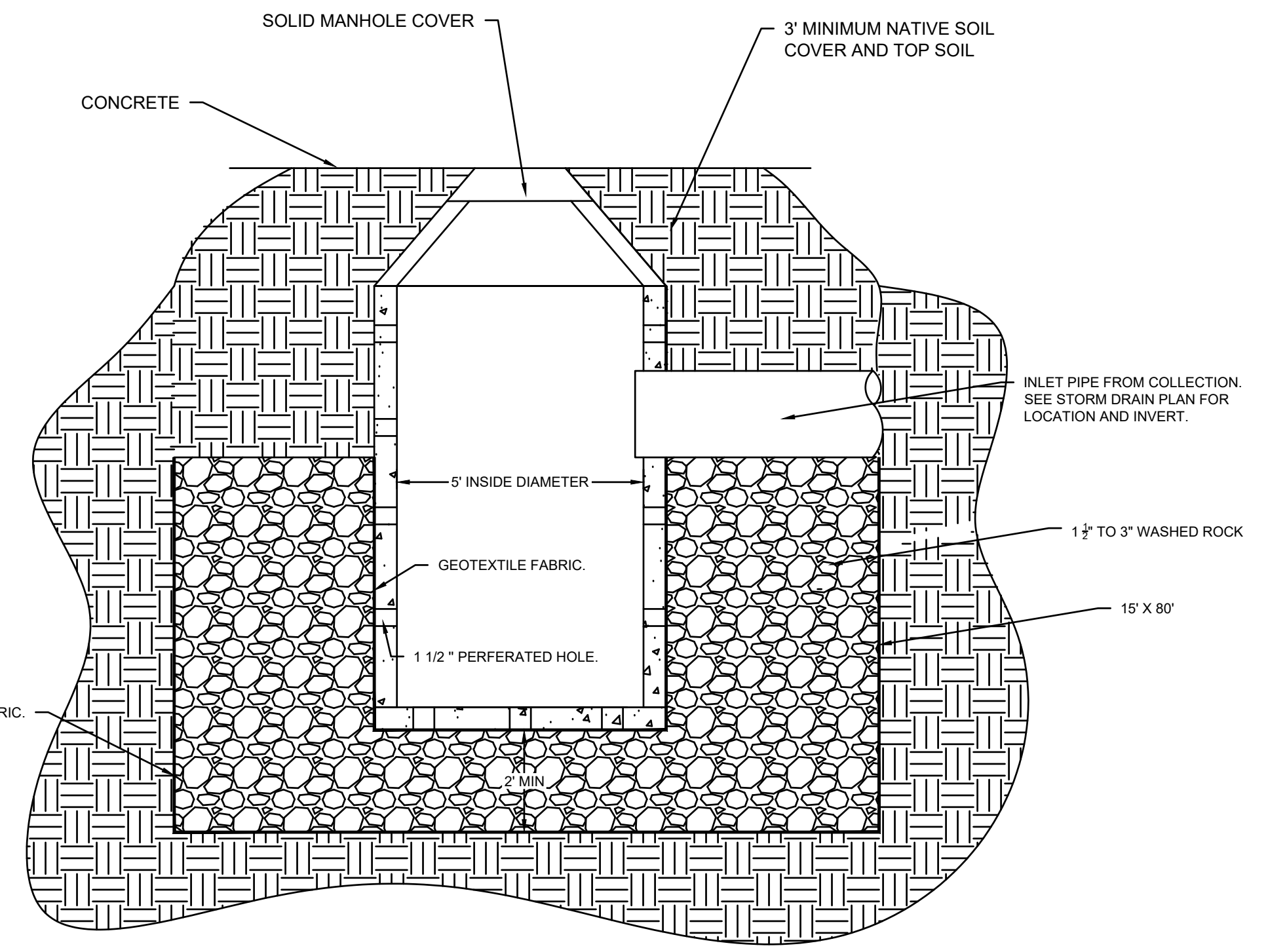
Precast box

Plan
332
June 2010



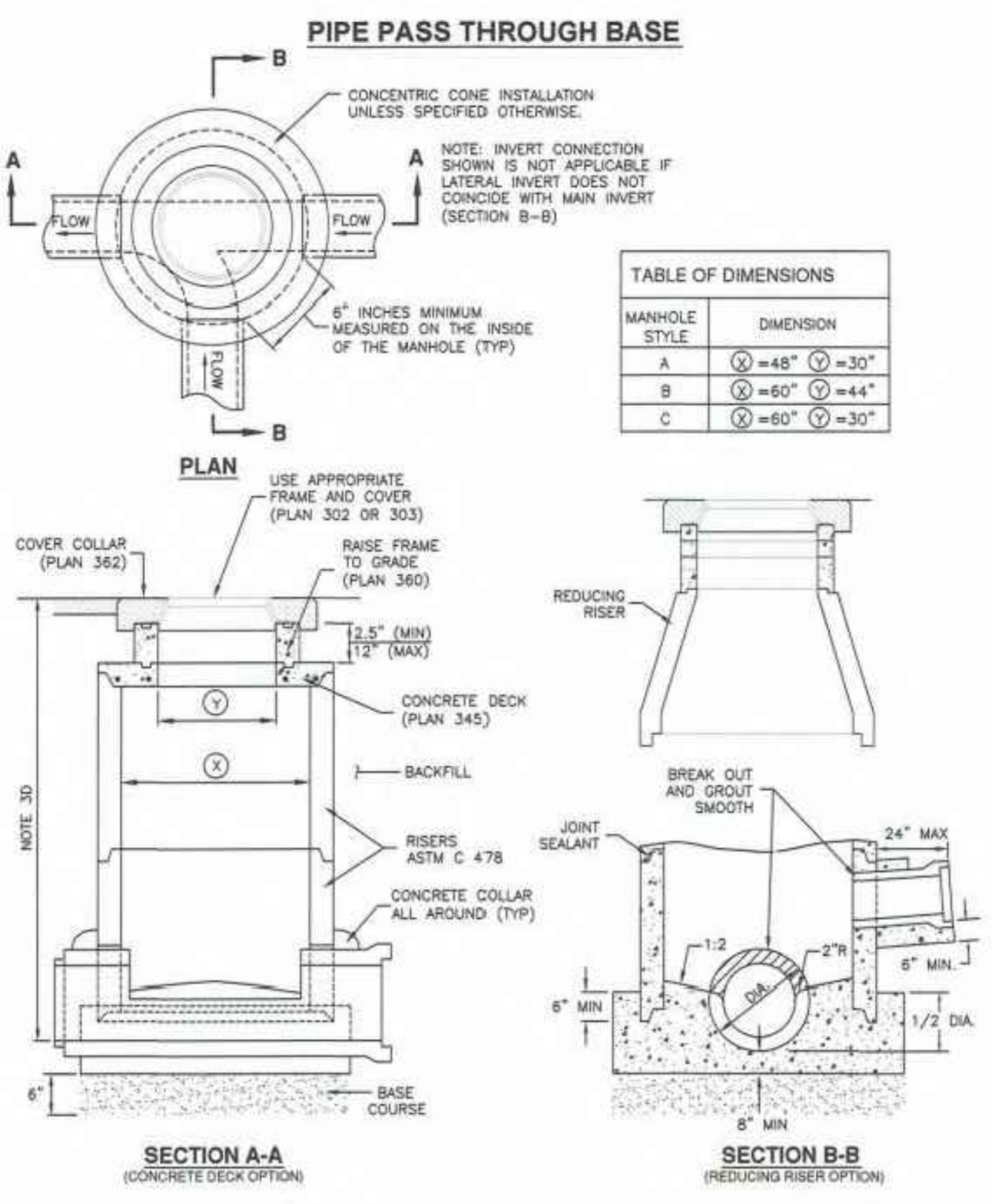
2
C503

YARD DRAIN
NOT TO SCALE



4
C503

STORM DRAIN SUMP
NOT TO SCALE



3
C503

Precast manhole

Plan
341.2
November 2010



Know what's below. 811

Call 811 before you dig.

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UTILITY NOTIFICATION CENTER, INC.
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TOWNS AT 400
30 WEST 400 SOUTH
BOUNTIFUL, UTAH

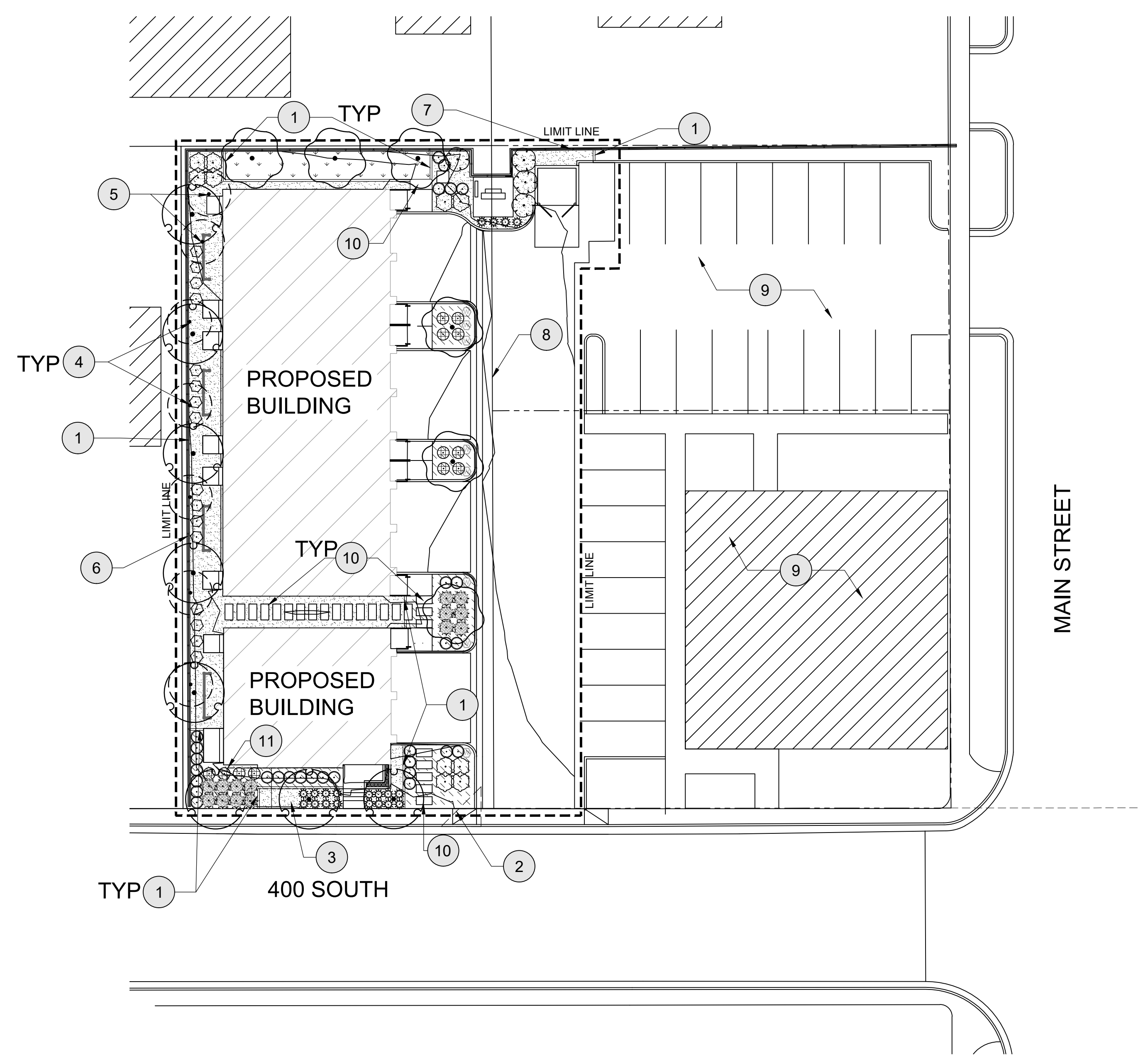
MARK	DATE	DESCRIPTION

PROJECT #: 22-009
DRAWN BY: A. OCHSENBEIN
PROJECT MANAGER: W. SOUTHWICK
ISSUED: 11/17/2022



DETAILS

C503



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	GAL
	AC2	8	ACER PLATANOIDES 'CRIMSON SENTRY' / CRIMSON SENTRY MAPLE	B&B	2" CAL
	MR	6	MALUS X 'ROYALTY' / ROYALTY CRABAPPLE	B&B	2" CAL

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT
	BG	29	BUXUS MICROPHYLLA 'WINTER GEM' / GLOBE WINTER GEM BOXWOOD	5 GAL.	
	CH	4	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD	5 GAL.	
	JA	14	JUNIPERUS COMMUNIS 'ALPINE CARPET' / JUNIPER	5 GAL.	
	RR	16	RHAMNUS FRANGULA 'FINE LINE' / FINE LINE BUCKTHORN	5 GAL.	
	RW	10	ROSA X 'MEICOUBLAN' / WHITE MEIDLAND	5 GAL.	

PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT
	CK	12	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL.	
	DW	11	DIANTHUS GRATIANOPOLITANUS 'FIREWITCH' / FIREWITCH CHEDDAR PINK	1 GAL.	
	PH	20	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS	1 GAL.	

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
	CONCRETE MOWSTRIP: 6" WIDE- SEE DETAIL		5/L201
	10' X 10' SIGHT TRIANGLE AT DRIVEWAY INTERSECTION		
	METER FOR IRRIGATION SYSTEM. SEE CIVIL PLANS FOR EXACT SIZE AND LOCATION. IRRIGATION PLAN BY OTHERS.		
	EXISTING LARGE SHRUBS AND OTHER VEGETATION TO BE REMOVED ALONG WEST SIDE OF PROPERTY.		
	EXISTING FLOWERING PEAR TREE TO BE REMOVED.		
	EXISTING 6" VINYL FENCE TO REMAIN.		
	EXISTING 6' CHAIN LINK FENCE WITH SLATS TO REMAIN.		
	PARCEL LINE		
	OUT OF SCOPE FOR THIS PROJECT		
	4" CONCRETE OVER 4" COMPACTED BASE COURSE		
	FUTURE RAMP. SEE CIVIL PLANS		

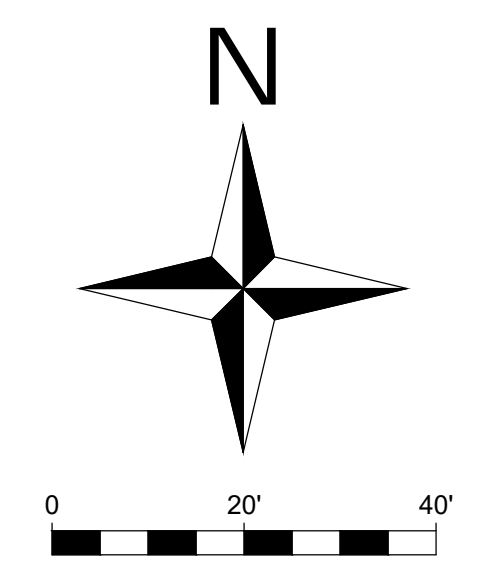
SYMBOL	DESCRIPTION	QTY	DETAIL
	TURF GRASS: SOD (IMPERIAL BLUE FROM CHANSHARE SOD OR APPROVED EQUAL) INSTALLED OVER 5" TOPSOIL LAYER.	363 SF	5/L201
	BARK MULCH (SMALL BARK MULCH FROM MILLER COMPANIES LC OR APPROVED EQUAL) INSTALLED AT DEPTH OF 3" WITHOUT WEED BARRIER FABRIC. PLANTINGS WITHIN THIS AREA WILL INCLUDE TREES, SHRUBS, GRASSES AND PERENNIALS.	1,022 SF	5/L201
	ROCK MULCH, 1" (WASATCH TAN CRUSHED ROCK FROM STAKER PARSON OR APPROVED EQUAL) INSTALLED AT DEPTH OF 3" INSTALLED OVER DEWITT PRO 5 BARRIER FABRIC.	1,924 SF	5/L201

GENERAL NOTES:
 1. CONTRACTOR TO VERIFY ALL QUANTITIES.
 2. SEE L201 FOR PLANTING NOTES AND DETAILS.

IRRIGATION NOTES:
 1. LANDSCAPE TO BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM.
 2. IRRIGATION PLAN BY OTHERS. PROVIDE SLEEVES UNDER DRIVEWAYS TO PLANTING ISLANDS AS NEEDED.

BOUNTIFUL CITY - DOWNTOWN ZONE			
* LANDSCAPE REQUIREMENTS			
PLANT TYPE	REQUIREMENT	NUMBER REQUIRED	NUMBER PLANNED
SITE TREES	1 screening tree / 750 SF required landscape area	2	5
SITE TREES	1 ornamental tree / 750 SF required landscape area	2	6
SITE SHRUBS	1 shrub / 200 SF landscape area	8	62
STREET TREES - 400 SOUTH	1 tree / 35 ft	3	3
LANDSCAPE AREA	10% plus 50 SF per unit.	1,294 + 50 SF X 8 UNITS = 1,695 SF	3167.2 SF

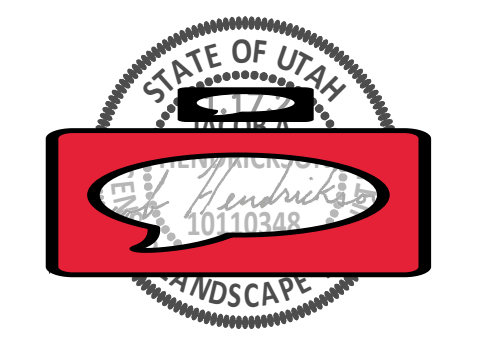
*LANDSCAPE QUANTITIES ARE WITHIN PARCEL 030320055. REPAIRED LANDSCAPE AT ELECTRICAL TRANSFORMER AND DUMPSTER ENCLOSURE ARE NOT PART OF THESE NUMBERS.



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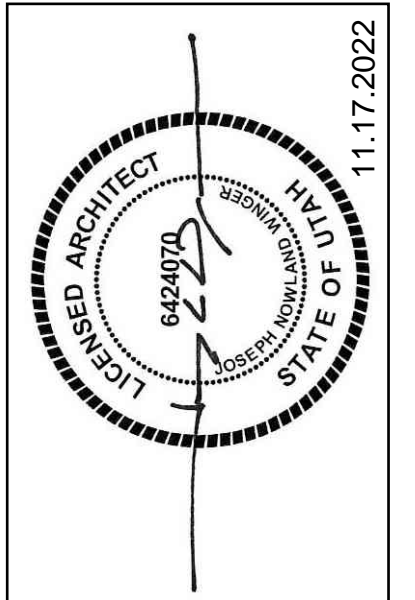
MARK:	DATE:	DESCRIPTION:

PROJECT #: 22-009
 DRAWN BY: KJ
 REVIEWED BY: JH
 ISSUED: 11.17.2022



LANDSCAPE PLAN

L101

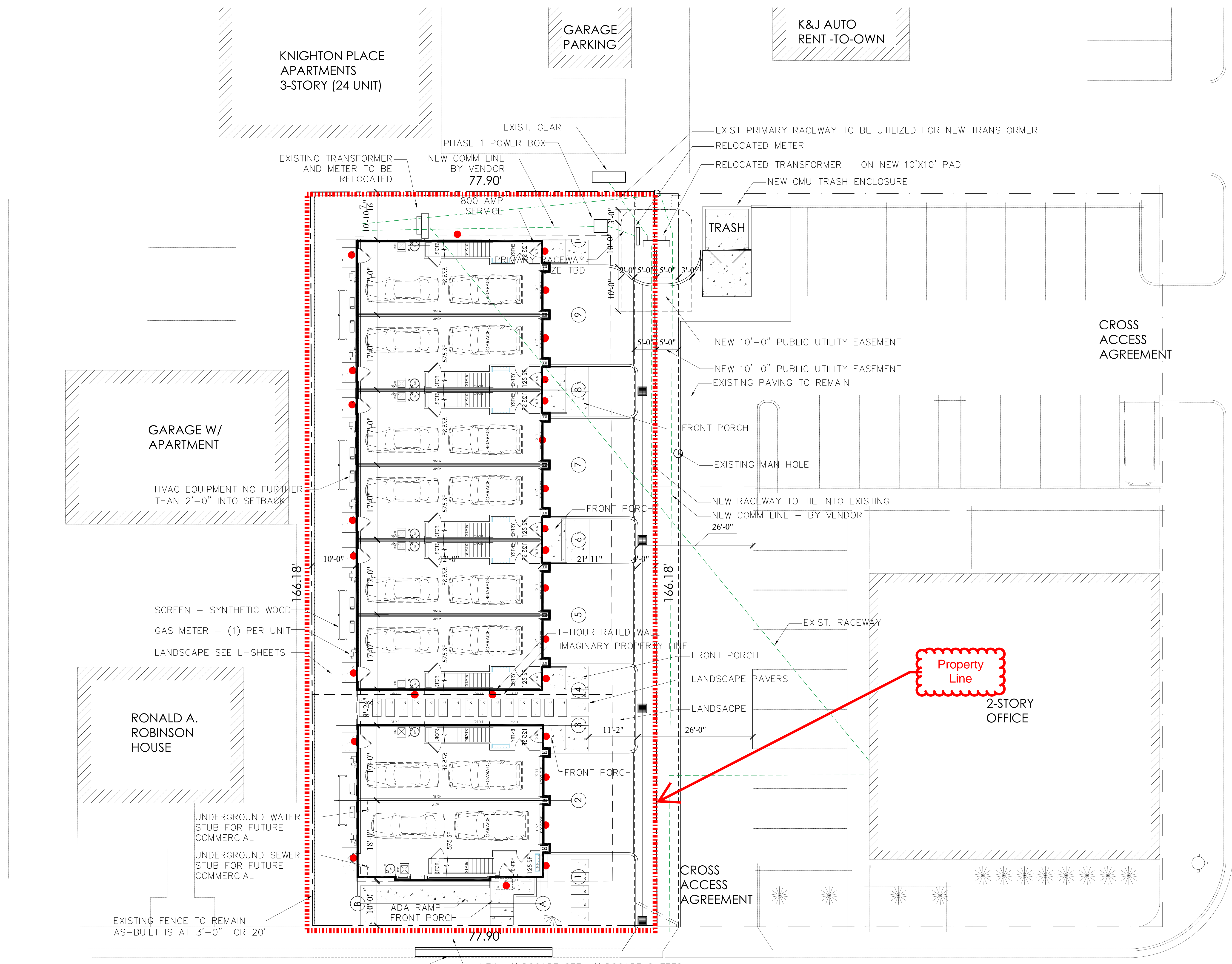


stamp:

TOWNS at 400
 30 West 400 South
 Bountiful Utah 84010

REVISION BLOCK	
NO.	DATE: DESCRIPTION:

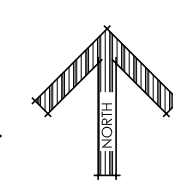
E100
 LIGHTING
 PLAN
 date:
 11.17.2022

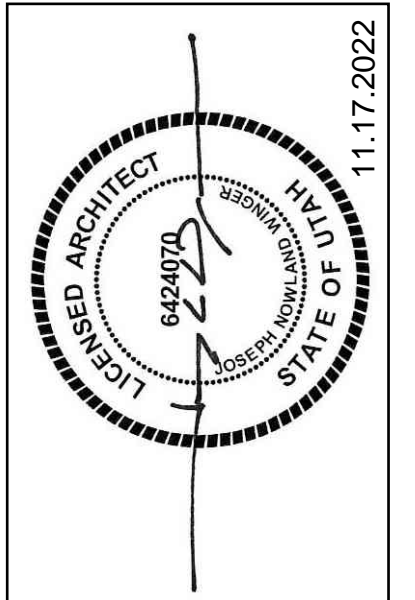


MAIN

400 South

1 SITE PLAN
 SCALE: 1" = 10'-0"



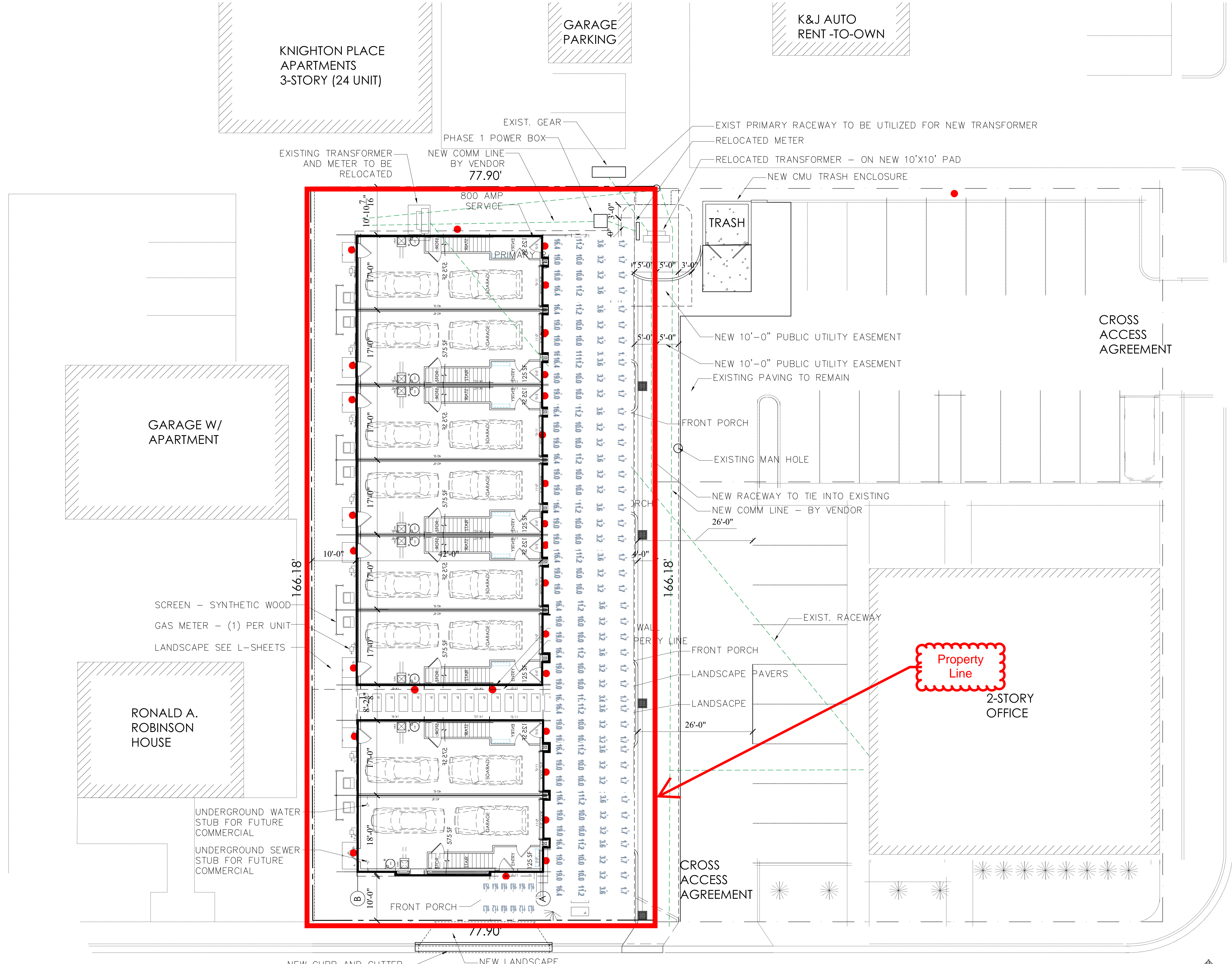


stamp:

TOWNS at 400
 30 West 400 South
 Bountiful Utah 84010

REVISION BLOCK	
NO.	DATE: DESCRIPTION:

E101
 PHOTOMETRIC
 PLAN
 date:
 11.17.2022



MAIN

400 South

1 SITE PLAN
 SCALE: 1" = 10'-0"

BOUNTIFUL 390 APARTMENTS CONSTRUCTION DRAWINGS

11/1/2022

LEGEND EXISTING

	ADJACENT PROPERTY BOUNDARY
	CULINARY WATER LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE
	IRRIGATION LINE
	GAS LINE
	UNDERGROUND POWER LINE
	AERIAL POWER LINE
	UNDERGROUND COMMUNICATION LINE
	CONTOUR MINOR
	CONTOUR MAJOR
	FENCE
	ASPHALT PAVEMENT
	CLOSED FACE CURB AND GUTTER
	OPEN FACE CURB AND GUTTER
	CONCRETE PAVEMENT
	EXISTING TO BE REMOVED
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	SEWER MANHOLE
	STORM DRAIN BOX
	STORM WATER CATCH BASIN
	ROAD SIGN
	POWER POLE
	DECIDUOUS TREE
	CONIFEROUS TREE

LEGEND PROPOSED

	PROPERTY BOUNDARY
	CULINARY WATER LINE (SIZE SHOWN ON PLAN)
	SANITARY SEWER LINE (SIZE SHOWN ON PLAN)
	STORM DRAIN LINE (SIZE SHOWN ON PLAN)
	IRRIGATION LINE (SIZE SHOWN ON PLAN)
	GAS LINE
	UNDERGROUND POWER LINE
	AERIAL POWER LINE
	UNDERGROUND COMMUNICATION LINE
	CONTOUR MAJOR
	CONTOUR MINOR
	FENCE
	ASPHALT PAVEMENT
	CLOSED FACE CURB & GUTTER
	OPEN FACE CURB & GUTTER
	CONCRETE PAVEMENT
	CURB & GUTTER TRANSITION
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	SEWER MANHOLE
	STORM DRAIN BOX
	STORM WATER CATCH BASIN
	ROAD SIGN



Sheet List Table	
Sheet Number	Sheet Title
C001	COVER & LEGEND
C101	DEMOLITION PLAN
C102	SITE & DIMENSION PLAN
C201	GRADING PLAN
C301	STORM DRAIN & UTILITY PLAN
C501	DETAILS
C502	DETAILS
C503	DETAILS

- ALL MATERIALS, WORKMANSHIP, CONSTRUCTION AND PLACEMENT SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS AS DEFINED IN THE MANUAL OF STANDARD SPECIFICATIONS AND MANUAL OF STANDARD PLANS, UTAH CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS. WHERE THERE IS A CONFLICT BETWEEN THESE PLANS, SPECIFICATIONS OR ANY APPLICABLE STANDARD, THE MOST RESTRICTIVE STANDARD SHALL APPLY.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE UTAH CHAPTER OF AMERICAN PUBLIC WORKS ASSOCIATION (APWA) STANDARD PLANS AND SPECIFICATIONS, 2017 EDITION.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR FIELD LOCATING AND VERIFYING ELEVATIONS OF ALL EXISTING SEWER MAINS, WATER MAINS, CURBS, GUTTERS AND OTHER UTILITIES AT THE POINTS OF CONNECTION SHOWN ON THE PLANS AND AT ANY UTILITY CROSSINGS PRIOR TO INSTALLING ANY OF THE SITE ELEMENTS INDICATED IN THESE PLANS. IF A CONFLICT EXISTS AND/OR A DESIGN MODIFICATION IS REQUIRED, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER. DESIGN MODIFICATIONS MUST BE APPROVED BY THE OWNER PRIOR TO BEING IMPLEMENTED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES, AS INDICATED ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT BLUE STAKES (BY DIALING 811) AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION, TRENCHING OR GRADING TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. ALL OTHER UN-REGISTERED UTILITIES (I.E. DITCH, IRRIGATION COMPANY, OTHER SITE-SPECIFIC UTILITIES, ETC.) ARE TO BE LOCATED BY CONTACTING, IN ADVANCE, THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS SHOULD ALSO BE LOCATED PRIOR TO BEGINNING EXCAVATION, TRENCHING OR GRADING ACTIVITIES.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE PROJECT OWNER, LOCAL JURISDICTION AND ALL UTILITY COMPANIES INVOLVED REGARDING RELOCATIONS, ADJUSTMENTS, EXTENSIONS AND REARRANGEMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH MINIMAL DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL MEANS REQUIRED TO PROTECT EXISTING UTILITIES AND/OR TO WORK AROUND SUCH UTILITIES. THIS INCLUDES, BUT IS NOT LIMITED TO, SUPPORTING EXISTING UTILITIES, SHORING AROUND EXISTING UTILITIES, PHASING OF WORK AND TRAFFIC CONTROL.
- THE CONTRACTOR SHALL NOTIFY THE LOCAL JURISDICTION AND AFFECTED UTILITY COMPANY, AND ALL AFFECTED PARTIES A MINIMUM OF 24 HOURS PRIOR TO ANY EXISTING UTILITIES, SHORING AROUND EXISTING UTILITIES, PHASING OF WORK AND TRAFFIC CONTROL.
- THE CONTRACTOR IS NOT TO OPERATE ANY VALVES, FIRE HYDRANTS AND OTHER APPURTENANCES, COORDINATE WITH THE UTILITY SUPPLIER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY, INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, SECURITY AND OTHER SITE-RELATED SAFETY PRACTICES. REFER TO OSHA PUBLICATION 2226, EXCAVATING AND TRENCHING.
- IF DURING CONSTRUCTION CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN TO THE REVIEWING AGENCY (LOCAL GOVERNMENT, UDOT OR OTHERS AS REQUIRED BY PERMIT) FOR REVIEW AND ACCEPTANCE, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY. ALL TRAFFIC CONTROL PLANS SHALL BE IN ACCORDANCE WITH MUTCD OR UDOT STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TRAFFIC CONTROL DEVICES, PERSONNEL AND OTHER FACILITIES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL HAVE ONSITE AT ALL TIMES AN UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), A BMP MAINTENANCE FOLDER, ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND AGREEMENTS NEEDED FOR THE JOB.
- THE CONTRACTOR SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE UTAH PERMIT FOR STORM WATER DISCHARGE, THE SWPPP AND THE EROSION CONTROL PLAN.
- ALL BMPs SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION AND AT AREAS WITH DISTURBED SOIL (ON OR OFF SITE) PRIOR TO ANY OTHER GROUND DISTURBING ACTIVITY. ALL BMPs SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR.

- UNTIL THE ENTIRE DISTURBED AREA IS STABILIZED WITH HARD SURFACING OR LANDSCAPING.
- MUD AND DEBRIS MUST BE REMOVED BY THE END OF EACH WORKING DAY BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, HAND SWEEPING, ETC.).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-COINTEGRATED INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE. THIS RECORD DRAWING SET SHALL BE AVAILABLE TO THE OWNERS/ENGINEERS DESIGNATED REPRESENTATIVE AT ALL TIMES.
- WORK ACTIVITY AND SCHEDULES SHALL BE COORDINATED WITH THE OWNER AND THEIR ACTIVITIES ON-SITE.
- UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS AND SPECIFICATIONS.
- IMPROVEMENTS DEPICTED IN THESE PLANS AND CONSTRUCTED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR TO BE FREE FROM MATERIAL AND WORKMANSHIP DEFECTS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
- THE APPROVED, DESIGNATED PROJECT SUPERVISOR SHALL BE ON-SITE WHILE WORK IS BEING CONDUCTED.
- SOIL COMPACTION EFFORT SHALL BE PER GEOTECHNICAL REPORT BY CIVIL SOLUTIONS GROUP.

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390 APARTMENTS
390 SOUTH MAIN STREET
BOUNTIFUL, UTAH

MARK	DATE	DESCRIPTION

PROJECT #: 22-009
DRAWN BY: A. OCHSENBEIN
PROJECT MANAGER: W. SOUTHWICK
ISSUED: 11/1/2022



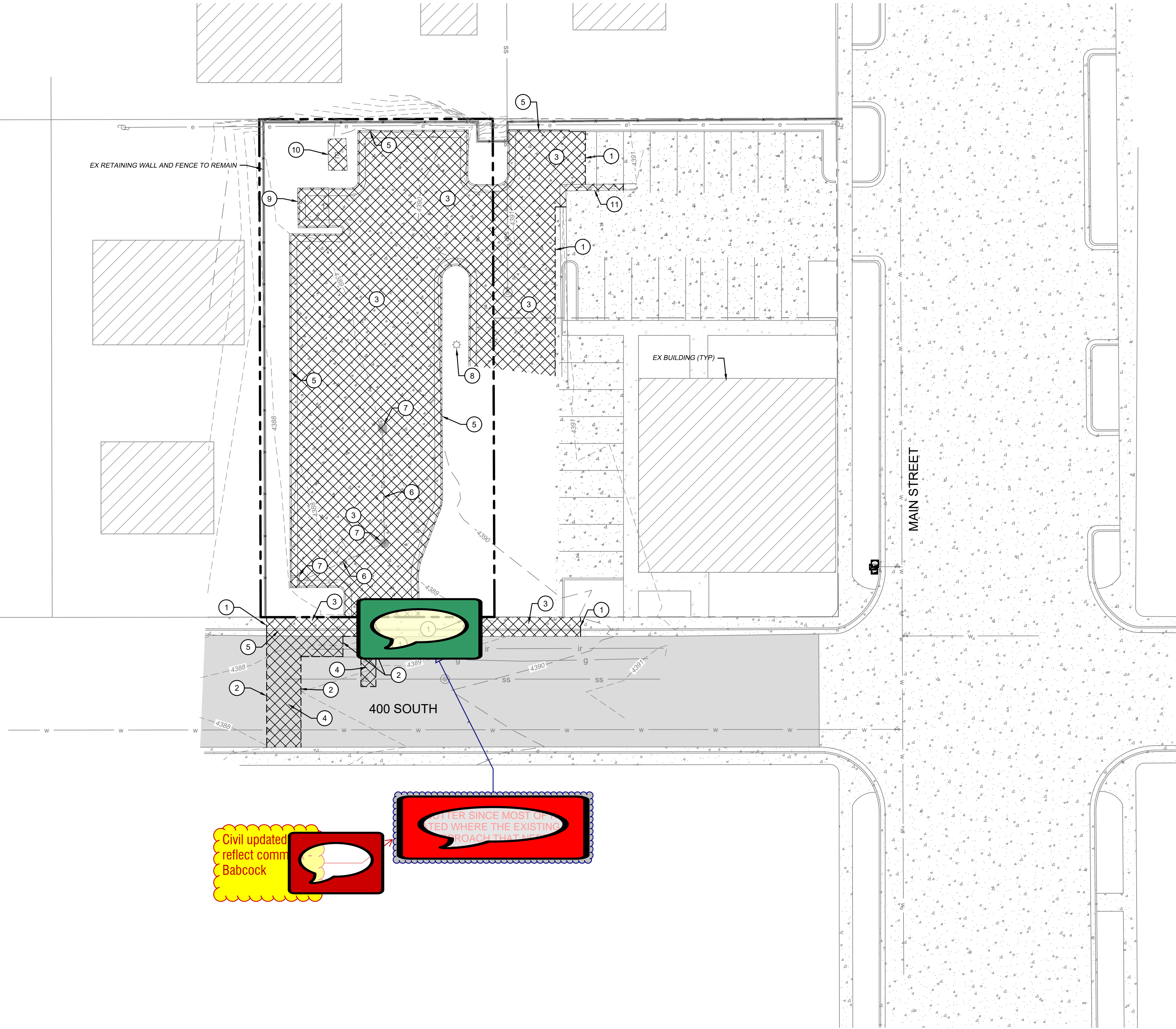
COVER &
LEGEND
C001

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SALT LAKE | P: 801.216.3192
UTAH VALLEY | P: 801.874.1432
info@civilsolutionsgroup.net
www.civilsolutionsgroup.net

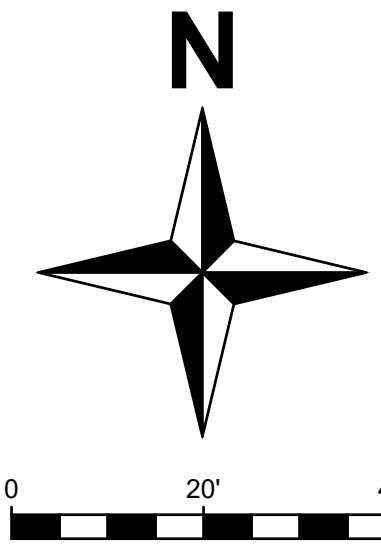
- ① DEMOLITION PLAN SHEET KEY NOTES:**
ALL ITEMS CALLED OUT TO BE REMOVED SHALL BE DISPOSED OF IN AN APPROPRIATE MANNER AND LOCATION:
1. SAWCUT CONCRETE PAVEMENT
 2. SAWCUT ASPHALT PAVEMENT
 3. REMOVE CONCRETE PAVEMENT
 4. REMOVE ASPHALT PAVEMENT
 5. REMOVE CURB & GUTTER
 6. REMOVE STORM WATER LINE
 7. REMOVE STORM WATER STRUCTURE (SUMP)
 8. REMOVE LIGHT POLE
 9. REMOVE TRASH ENCLOSURE
 10. REMOVE CONCRETE PAD AND RELOCATE ELECTRICAL EQUIPMENT. SEE UTILITY PLAN FOR PROPOSED LOCATIONS.
 11. REMOVE CONCRETE WATERWAY

GENERAL NOTES:

1. ALL ITEMS NOT CALLED OUT FOR REMOVAL ARE TO REMAIN



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Babcock



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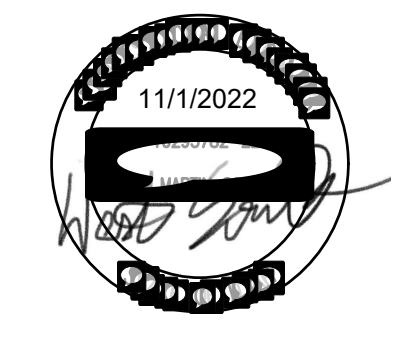
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390 APARTMENTS
390 SOUTH MAIN STREET
BOUNTIFUL, UTAH

MARK	DATE	DESCRIPTION

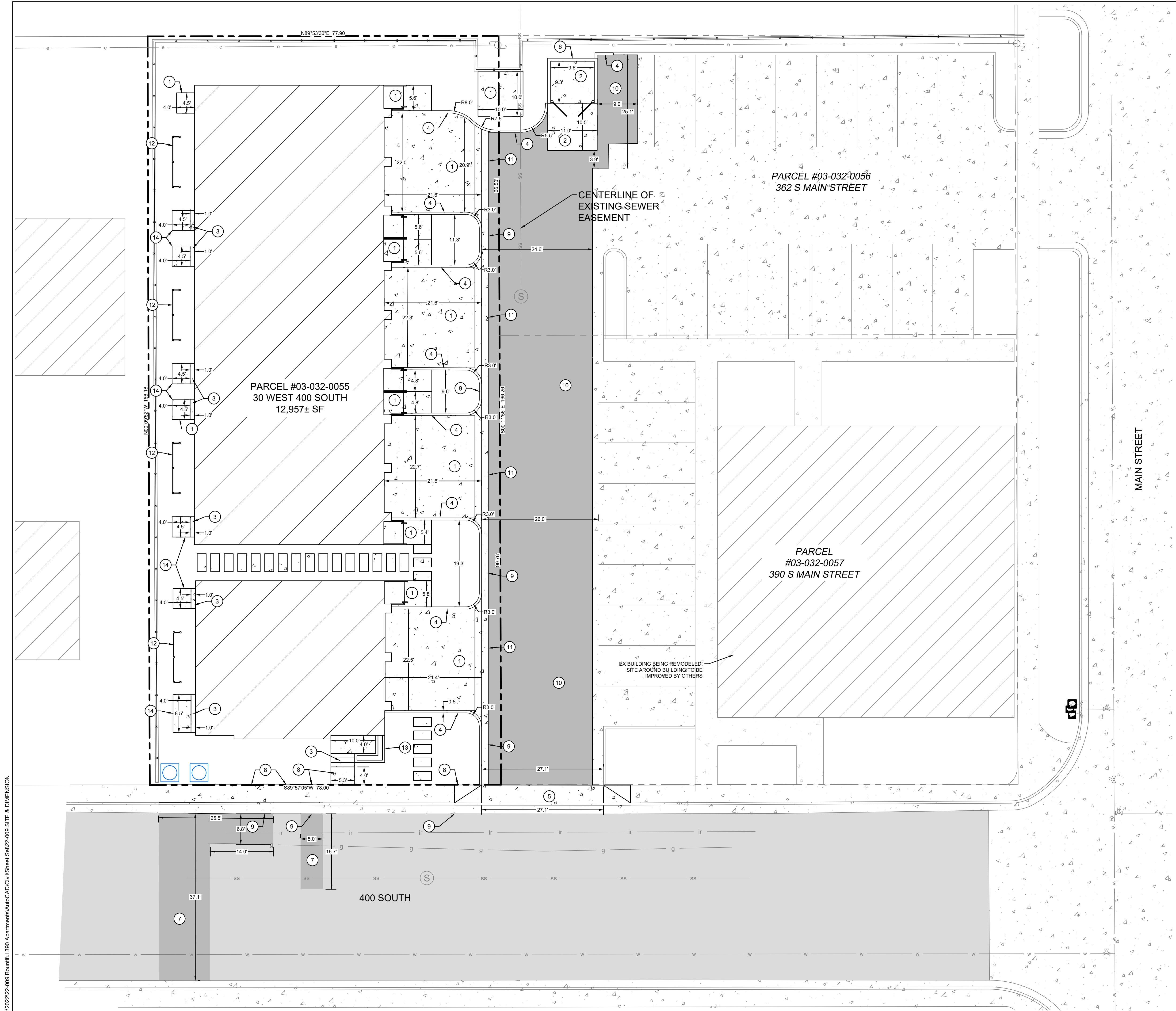
PROJECT #: 22-009
DRAWN BY: A. OCHSENBEIN
PROJECT MANAGER: W. SOUTHWICK
ISSUED: 11/1/2022



DEMOLITION PLAN

C101

P:\2022\22-009 Bountiful 390 Apartments\AutoCAD\CivilSheet Set\22-009 SITE & DIMENSION



① SITE SHEET KEY NOTES:
 PROVIDE, INSTALL, AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. STANDARD DUTY CONCRETE PAVEMENT (1/C501)
2. HEAVY DUTY CONCRETE PAVEMENT (2/C501)
3. CONCRETE STAIRS. SEE ARCHITECTURAL PLANS FOR DETAILS.
4. CURB (10/C501)
5. DRIVEWAY APPROACH (5/C501)
6. DUMPSTER ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
7. ASPHALT PAVEMENT PATCH (1/C502)
8. SIDEWALK (4/C501)
9. APWA TYPE E CURB AND GUTTER (6/C501)
10. ASPHALT PAVEMENT (3/C501)
11. 3" CONCRETE WATERWAY (8/C501)
12. FENCE. SEE ARCHITECTURAL PLANS FOR DETAILS.
13. RAISED PLANTER. SEE ARCHITECTURAL PLANS FOR DETAILS.
14. THICKENED EDGE CONCRETE (6/C501)

GENERAL NOTES:

1. ALL DRIVE AISLES ARE TWO-WAY

- PARKING TABULATION:**
1. PARKING REQUIREMENTS FOR TOWNHOMES:
 - 1.1. 2 STALLS PER 2 BEDROOM UNIT
 - 1.2. 0.25 STALLS PER UNIT FOR VISITOR SPACE
 - 1.3. TOTAL PARKING REQUIRED: 18 STALLS
 - 1.4. PARKING PROVIDED WITHIN TOWNHOME UNIT: 2 STALLS PER UNIT
 - 1.5. TOTAL PARKING WITHIN TOWNHOMES: 16 STALLS
 - 1.6. TOTAL PARKING PROVIDED: 18 STALLS*
 2. **PARKING REQUIREMENTS FOR THE ADJACENT OFFICE BUILDING ARE AS FOLLOWS:
 - 2.1. BUILDING SQUARE FOOTAGE: 7,251 SF
 - 2.2. PARKING REQUIREMENTS FOR OFFICE BUILDING: 1 STALL PER 300 SF
 - 2.3. PARKING STALLS REQUIRED FOR OFFICE BUILDING: 25 STALLS
 - 2.4. TOTAL STALLS ON OFFICE BUILDING LOT: 27 STALLS
- *2 STALLS WILL BE UTILIZED FROM THE OFFICE BUILDING PARKING TO PROVIDE THE REQUIRED 2 GUEST PARKING STALLS
 **OFFICE BUILDING CALCULATIONS ARE SHOWN FOR THE PURPOSE OF INDICATING THERE IS SUFFICIENT STALLS TO PROVIDE 2 GUEST PARKING STALLS FOR THE TOWNHOME UNITS

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390 APARTMENTS
 390 SOUTH MAIN STREET
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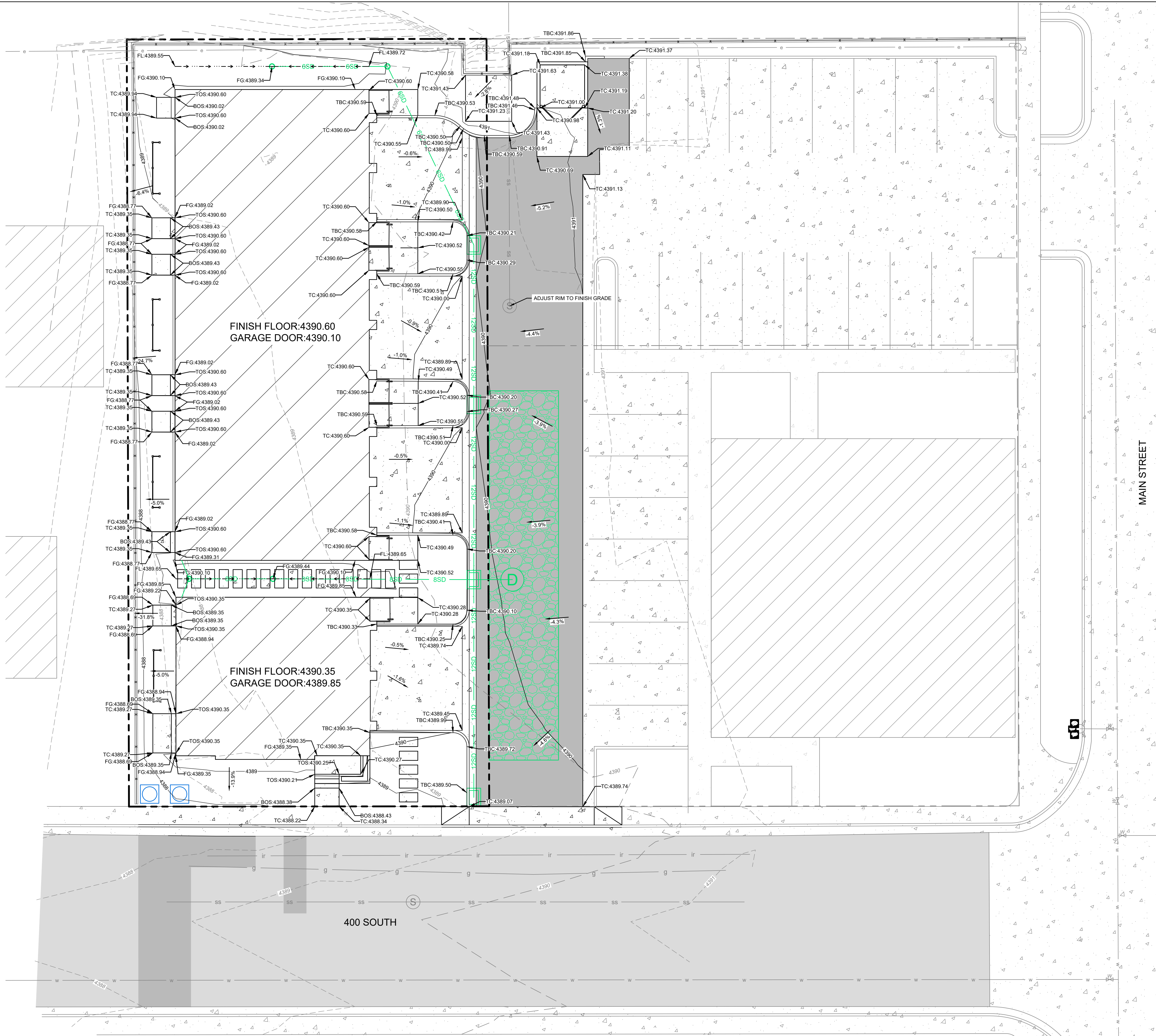
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SITE & DIMENSION PLAN
C102

P:\2022\22-009 Bountiful 390 Apartments\AutoCAD\Civil\Sheet Set\22-009 GRADING



FINISH FLOOR:4390.60
GARAGE DOOR:4390.10

FINISH FLOOR:4390.35
GARAGE DOOR:4389.85

GRADING ABBREVIATIONS:

- 1. TC = TOP OF CONCRETE
- 2. TOS = TOP OF STAIR
- 3. BOS = BOTTOM OF STAIR
- 4. TBC = TOP BACK OF CURB
- 5. FL = FLOWLINE
- 6. FG = FINISH GRADE

GENERAL NOTES:

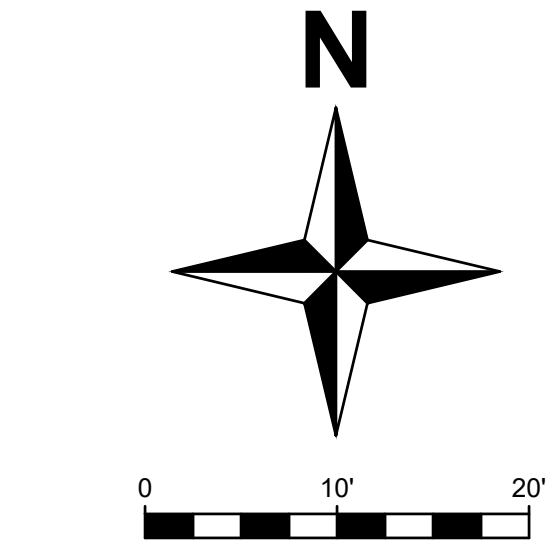
- 1. VERTICAL DATA (CONTOUR LINES AND/OR SPOT ELEVATIONS, ETC.) SHOWN HEREON IS BASED ON THE NAVD83 ELEVATION OF 4457.64 PUBLISHED BY THE DAVIS COUNTY SURVEYOR ON THE WEST WITNESS CORNER (1.5" BRASS PLUG IN CURB) FOR THE SOUTHEAST CORNER OF SECTION 19, T2N, R1E, S1 & 2. A GPS-DERIVED LOCAL ELEVATION OF 4392.99 ON THE RING & LID MONUMENT LOCATED AT 400 SOUTH MAIN STREET HAS BEEN HELD AS THE PROJECT BENCHMARK.
- 2. MAINTAIN A MINIMUM OF 0.5% LONGITUDINAL SLOPE IN ALL GUTTERS AND WATERWAYS.
- 3. MAINTAIN A MAXIMUM CROSS-SLOPE OF 2.0% ON ALL SIDEWALKS AND AT ALL BUILDING DOORWAY EXITS AND ENTRANCES.
- 4. ALL TOP BACK OF CURB CALL OUTS ARE SHOWN TO FULL HEIGHT.

civilsolutionsgroup inc.
 CACHE VALLEY | P: 435.213.3762
 SALT LAKE | P: 801.216.3192
 UTAH VALLEY | P: 801.874.1432
 info@civilsolutionsgroup.net
 www.civilsolutionsgroup.net

390 APARTMENTS
 390 SOUTH MAIN STREET
 BOUNTIFUL, UTAH

MARK	DATE	DESCRIPTION

PROJECT #: 22-009
 DRAWN BY: A. OCHSENBEIN
 PROJECT MANAGER: W. SOUTHWICK
 ISSUED: 11/1/2022



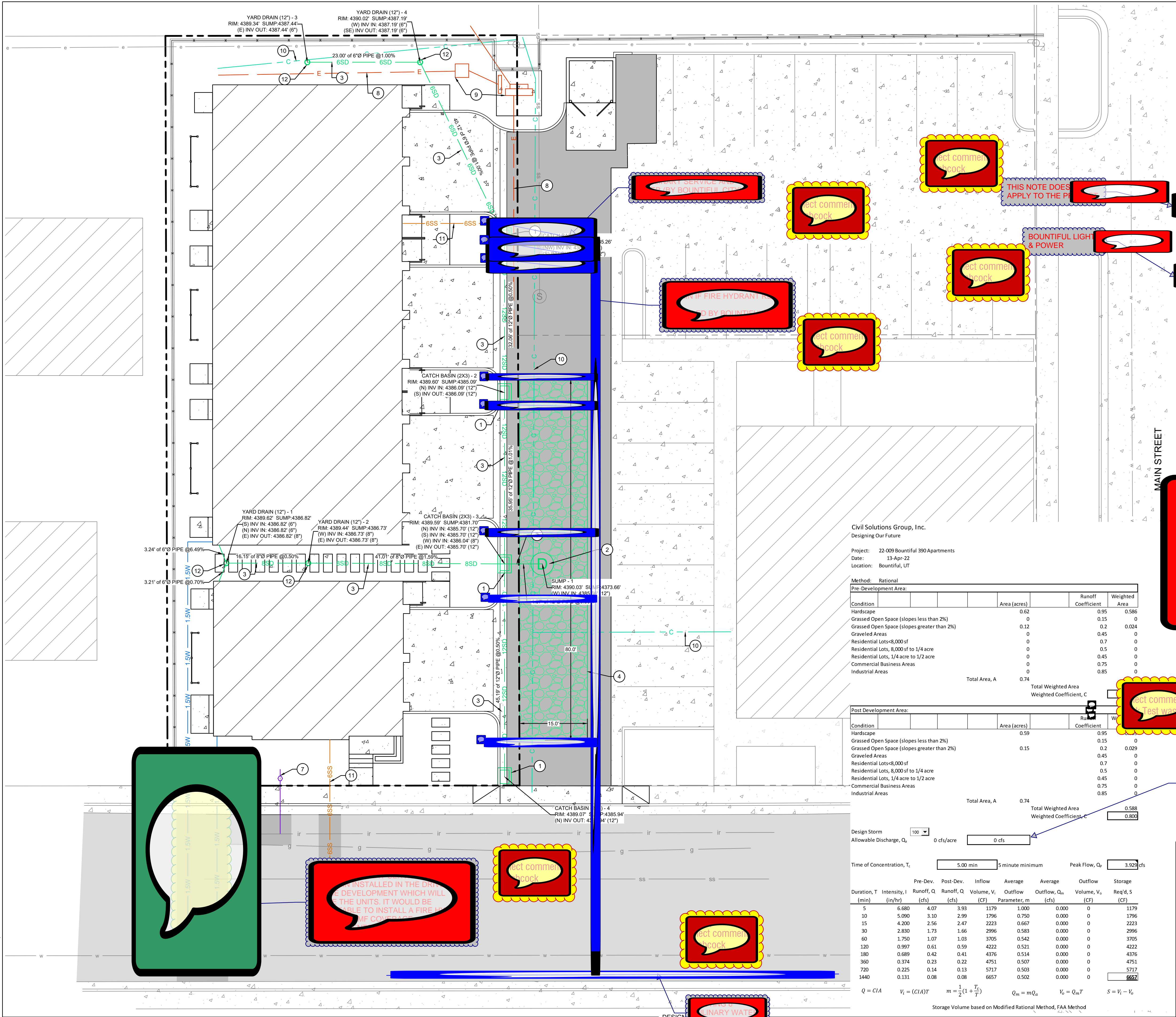
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GRADING PLAN

C201

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UTILITY SHEET KEY NOTES:
PROVIDE, INSTALL, AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. 2' X 3' CATCH BASIN (1/C503)
2. 50' STORM DRAIN MANHOLE (3/C503)
3. STORM DRAIN LINE (1/C503)
4. STORM DRAIN SUMP (4/C503)
5. 1 1/2" WATER SERVICE WITH 1.5" WATER METER (4 & 5/C502)
6. FIRE HYDRANT (2/C502)
7. IRRIGATION SERVICE (3/C502)
8. UNDERGROUND POWER LINE. SEE ELECTRICAL PLANS FOR MORE INFORMATION.
9. POWER EQUIPMENT. SEE ELECTRICAL PLANS FOR MORE INFORMATION.
10. COMMUNICATION LINE. SEE ELECTRICAL PLANS FOR MORE INFORMATION.
11. 6" SEWER LATERAL (7/C501)
12. 12" NYLOPLAST YARD DRAIN OR APPROVED EQUIV (2/C503)

GENERAL NOTES:

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND CONTACT ENGINEER IF DIFFERENT FROM LOCATIONS DISPLAYED ON THESE PLANS.
2. MINIMUM 18" OF VERTICAL SEPARATION REQUIRED BETWEEN WATER MAIN AND SEWER MAIN WHERE LINES INTERSECT.
3. MINIMUM OF 10' FROM OUTSIDE-OF-PIPE TO OUTSIDE-OF-PIPE REQUIRED.

4. ALL WATER AND IRRIGATION LINES SHALL BE INSTALLED WITH 4" CONCRETE THROUST BLOCKS ON ALL TEES, WYES, BENDS, ANGLES, ETC ON ALL WATER AND IRRIGATION LINES AS REQUIRED BY STATE REGULATION.
5. ALL SEWER LINES SHALL BE CONSTRUCTED OF PVC SDR-35 MATERIAL.
6. ALL STORM DRAIN LINES SHALL BE CORRUGATED HDPE.
7. ALL IRRIGATION MAIN PIPE SHALL BE "PURPLE PIPE" FOR USE WITH RECLAIMED WATER SYSTEMS AS IS REQUIRED BY STATE REGULATIONS.
8. CONTRACTOR SHALL PLACE CONCRETE THROUST BLOCKS ON ALL TEES, WYES, BENDS, ANGLES, ETC ON ALL WATER AND IRRIGATION LINES AS REQUIRED BY STATE REGULATION.

9. CONTRACTOR SHALL COORDINATE WITH POWER AND TELEPHONE COMPANIES TO TRENCH, BED, INSTALL AND FILL IN THE POWER TRENCH AND PROVIDE THE REQUIRED PVC SCHEDULE 40 CONDUIT.
10. TELEPHONE AND CABLE - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR LOCATION OF CONDUIT CROSSINGS AND SHALL INSTALL ALL CONDUITS.
11. GAS - CONTRACTOR SHALL COORDINATE INSTALLATION OF GAS WITH QUESTAR GAS.

STORMWATER NOTES:

1. THE RATIONAL METHOD WAS USED TO CALCULATE THE REQUIRED STORAGE VOLUME FOR THE SITE. THE 100-YEAR, 24-HOUR STORM WAS USED FOR THE CALCULATIONS.
2. TOTAL REQUIRED VOLUME IS 6,657 CF.
3. TOTAL VOLUME PROVIDED IS 6,720 CF.
4. STORAGE VOLUME FOR THE SITE IS PROVIDED IN THE PROPOSED SUMP. THE STORAGE VOLUME INCLUDES STORMWATER FROM ALL THREE PARCELS.
5. SUMP INFORMATION:
 - S1. HIGH WATER ELEVATION: 4384.67
 - S2. BOTTOM OF MANHOLE: 4374.67
 - S3. BOTTOM OF GRAVEL: 4372.67
 - S4. WIDTH: 15'
 - S5. LENGTH: 80'
 - S6. HEIGHT: 14'

Civil Solutions Group, Inc.
Designing Our Future

Project: 22-009 Bountiful 390 Apartments
Date: 13-Apr-22
Location: Bountiful, UT

Method: Rational

Pre-Development Area:

Condition	Area (acres)	Runoff Coefficient	Weighted Area
Hardscape	0.62	0.95	0.586
Grassed Open Space (slopes less than 2%)	0	0.15	0
Grassed Open Space (slopes greater than 2%)	0.12	0.2	0.024
Graveled Areas	0	0.45	0
Residential Lots < 8,000 sf	0	0.7	0
Residential Lots, 8,000 sf to 1/4 acre	0	0.5	0
Residential Lots, 1/4 acre to 1/2 acre	0	0.45	0
Commercial Business Areas	0	0.75	0
Industrial Areas	0	0.85	0
Total Area, A	0.74		

Total Weighted Area
0.880

Post Development Area:

Condition	Area (acres)	Runoff Coefficient	Weighted Area
Hardscape	0.59	0.95	0.561
Grassed Open Space (slopes less than 2%)	0	0.15	0
Grassed Open Space (slopes greater than 2%)	0.15	0.2	0.030
Graveled Areas	0	0.45	0
Residential Lots < 8,000 sf	0	0.7	0
Residential Lots, 8,000 sf to 1/4 acre	0	0.5	0
Residential Lots, 1/4 acre to 1/2 acre	0	0.45	0
Commercial Business Areas	0	0.75	0
Industrial Areas	0	0.85	0
Total Area, A	0.74		

Total Weighted Area
0.588

Design Storm

Allowable Discharge, Q_a 0 cfs/acre 0 cfs

Time of Concentration, T_c 5.00 min 5 minute minimum Peak Flow, Q_p 3.929 cfs

Duration, T (min)	Intensity, I (in/hr)	Runoff, Q (cfs)	Pre-Dev. Runoff, Q (cfs)	Post-Dev. Runoff, Q (cfs)	Inflow Volume, V _i (CF)	Average Outflow, Q _{out} (cfs)	Outflow Volume, V _o (CF)	Storage Req'd, S (CF)
5	6.680	4.07	3.93	1179	1,000	0.000	0	1179
10	5.090	3.10	2.99	1796	0.750	0.000	0	1796
15	4.200	2.56	2.47	2223	0.667	0.000	0	2223
30	2.830	1.73	1.66	2996	0.583	0.000	0	2996
60	1.750	1.07	1.03	3705	0.542	0.000	0	3705
120	0.997	0.61	0.59	4222	0.521	0.000	0	4222
180	0.689	0.42	0.41	4376	0.514	0.000	0	4376
360	0.374	0.23	0.22	4751	0.507	0.000	0	4751
720	0.225	0.14	0.13	5717	0.503	0.000	0	5717
1440	0.131	0.08	0.08	6657	0.502	0.000	0	6657

$Q = CIA$
 $V_i = (CIA)T$
 $m = \frac{1}{2} \left(1 + \frac{T_c}{T} \right)$
 $Q_{out} = mQ_i$
 $V_o = Q_{out}T$
 $S = V_i - V_o$

Storage Volume based on Modified Rational Method, FAA Method

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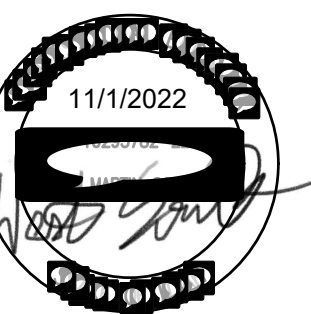
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MARK:	DATE:	DESCRIPTION:

STORM DRAIN & UTILITY PLAN
C301

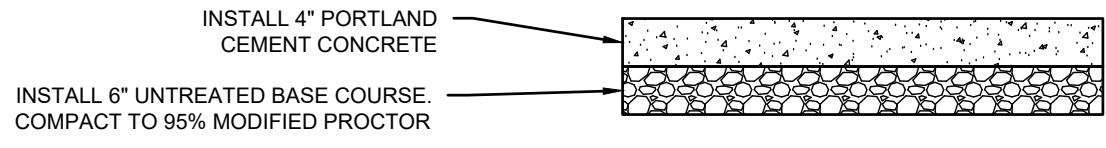
MARK	DATE	DESCRIPTION

PROJECT #: 22-009
 DRAWN BY: A. OCHSENBEIN
 PROJECT MANAGER: W. SOUTHWICK
 ISSUED: 11/1/2022



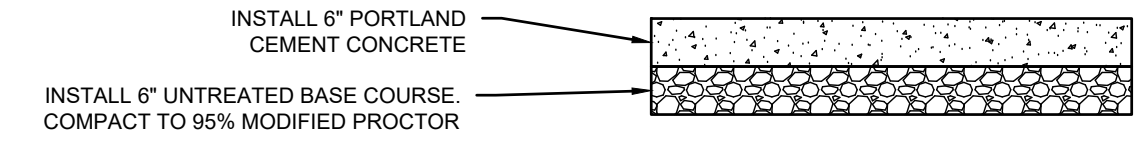
DETAILS

C501



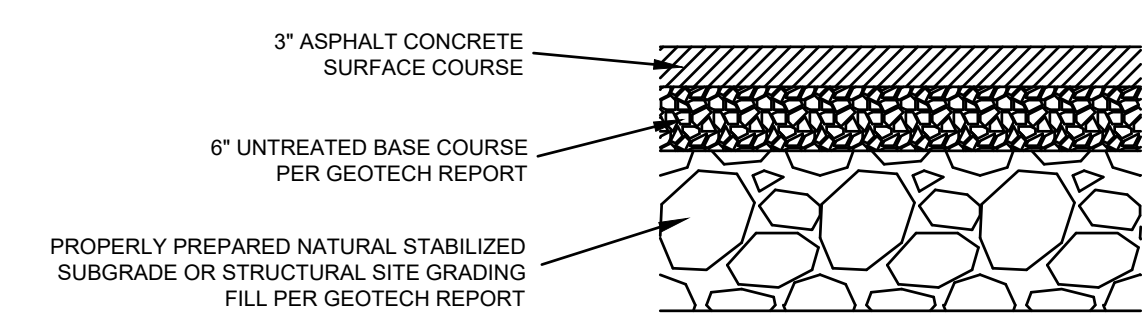
NOTES:
 1. PAVEMENT SECTION SHALL CONFORM TO THE SITE GEOTECHNICAL STUDY PERFORMED BY CIVIL SOLUTIONS GROUP.

1 STANDARD DUTY CONCRETE
 C501
 NOT TO SCALE



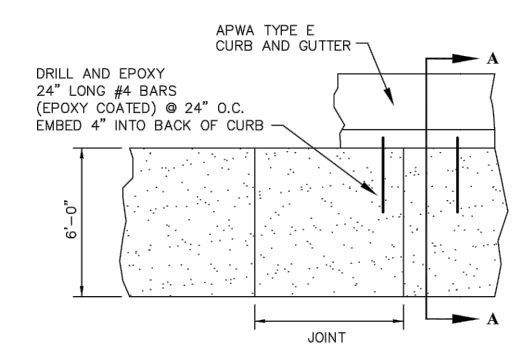
NOTES:
 1. PAVEMENT SECTION SHALL CONFORM TO THE SITE GEOTECHNICAL STUDY PERFORMED BY CIVIL SOLUTIONS GROUP.

2 HEAVY DUTY CONCRETE
 C501
 NOT TO SCALE

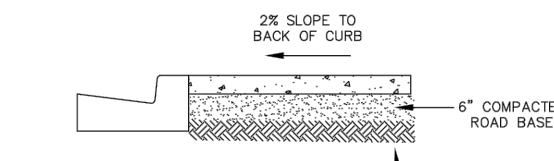


3 ASPHALT PAVEMENT
 C501
 NOT TO SCALE

PLAN VIEW



CONCRETE SIDEWALK ADJACENT TO CURB
 SEE APWA PLAN 231 FOR ADDITIONAL INFORMATION



SECTION A-A

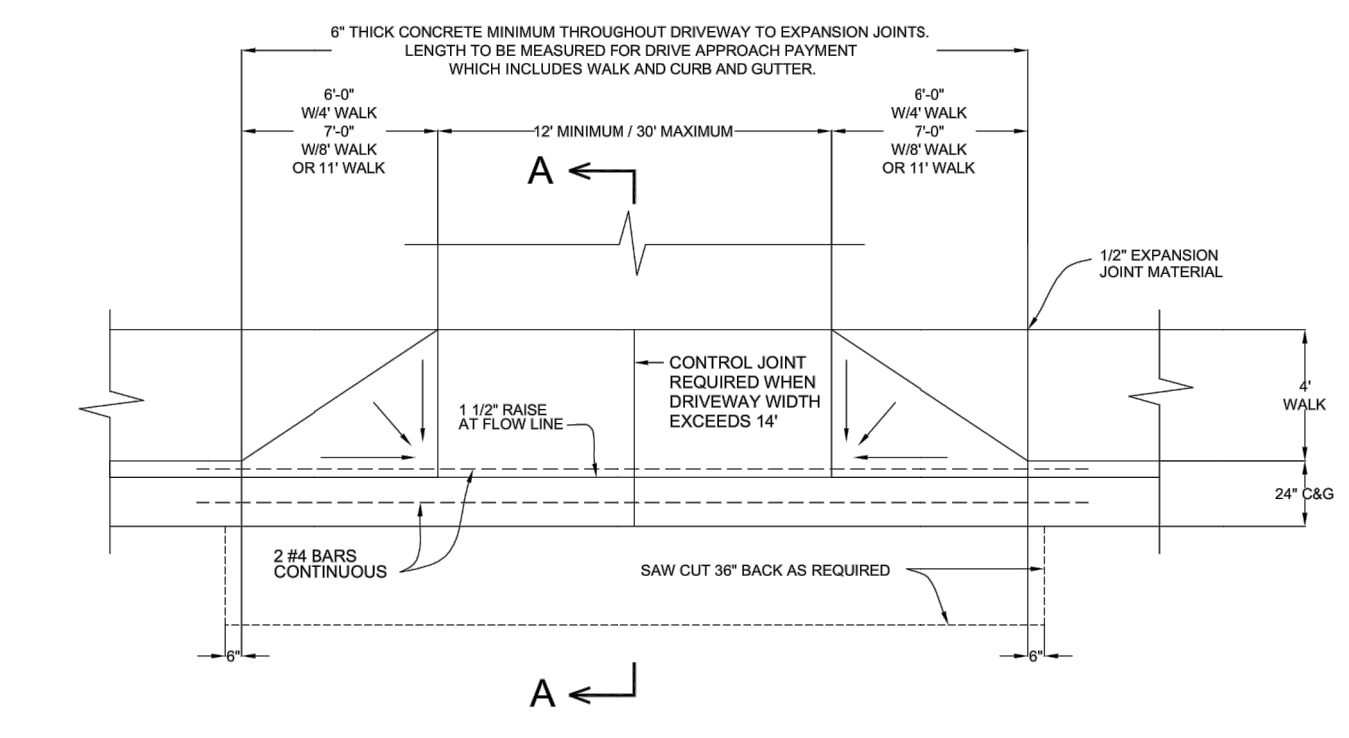
NOTES:
 1. SEE DRIVE APPROACH DETAILS FOR SIDEWALK THICKNESS THROUGH DRIVE APPROACHES.
 2. EXPANSION JOINT SPACING: 100 FT OR AT DRIVE APPROACHES LESS THAN 100 FT.
 3. JOINT SPACING: WIDTH (MIN), 1.5 WIDTH (MAX). MATCH CURB JOINT SPACING.
 4. APWA MATERIAL SPECIFICATIONS APPLY.
 5. TREAT FIELD OUT ENDS OF EPOXY COATED REINFORCING PRIOR TO PLACING CONCRETE FOR SIDEWALK.

4
 C501

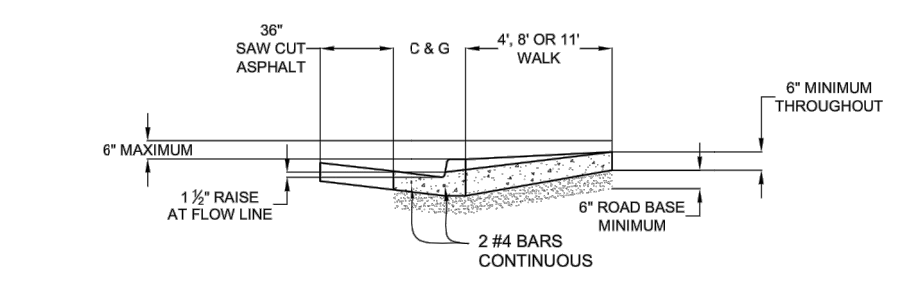
SIDEWALK
 NOT TO SCALE

BOUNTIFUL STANDARD TYPE B DRIVE APPROACH
 TO BE USED WHEN WALK IS AGAINST CURB

PLAN VIEW



SECTION A-A

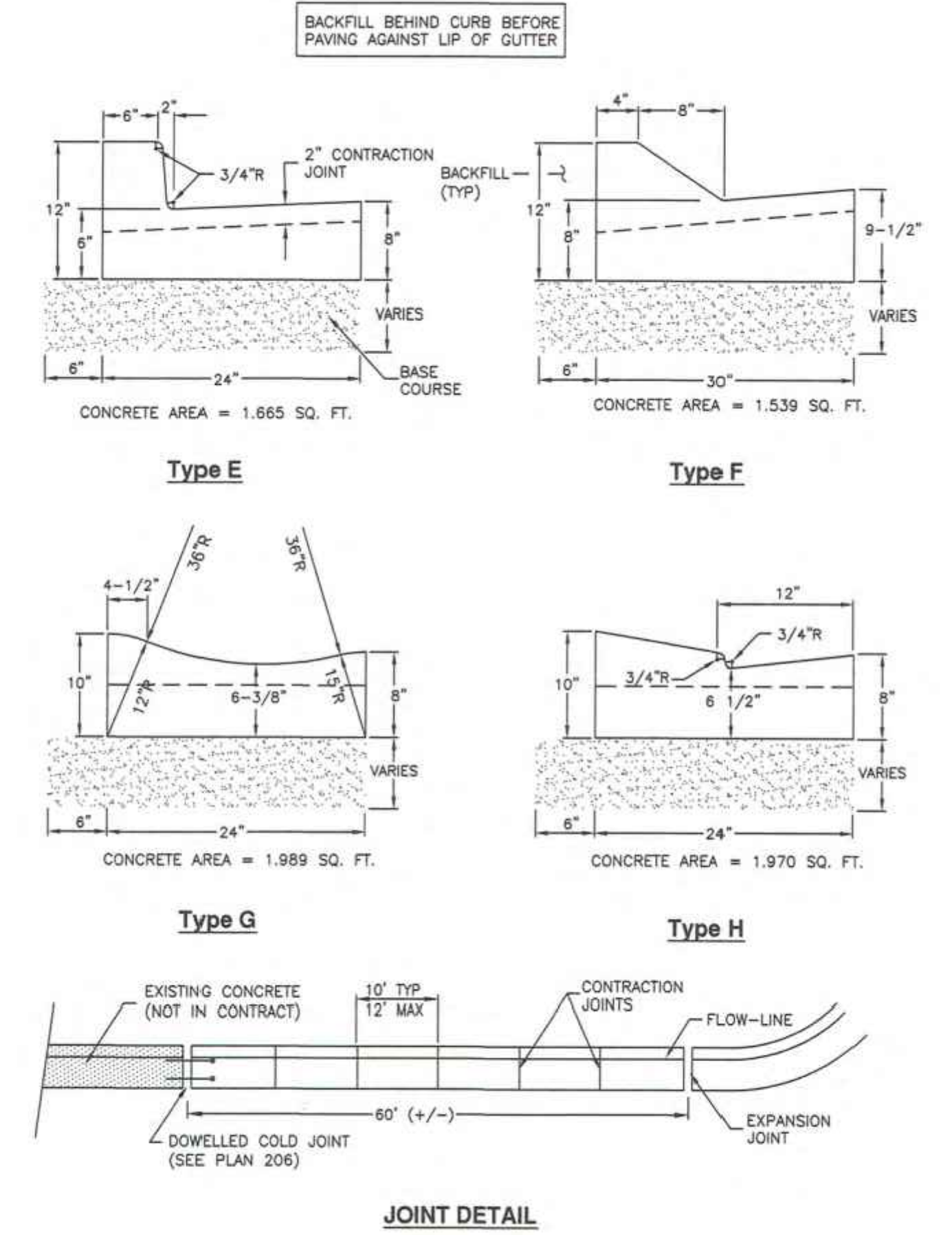


NOTES

1. CONCRETE: CLASS 4000 PER APWA SECTION 03304. PLACE PER APWA SECTION 02770. CURE PER APWA SECTION 03300
2. COMPACT EXISTING SUBGRADE 95% MINIMUM (MODIFIED PROCTOR).
3. CURING BY APPLICATION OF CURING COMPOUND PER CURRENT APWA SPECIFICATIONS.
4. WHERE CONCRETE OR ASPHALT IS TO BE REMOVED, THE MATERIAL MUST BE SAWCUT TO FULL DEPTH WITH STRAIGHT LINES. MINIMUM WIDTH OF ASPHALT REMOVAL IN FRONT OF A DRIVE APPROACH IS 3 FT. 0 INCHES.
5. 6" ROAD BASE MINIMUM UNDER ALL NEW CONCRETE.
6. EPOXY COATED REBAR REQUIRED.
7. STRAIGHT METAL FORMS REQUIRED FOR ALL TANGENT SECTIONS OR WHERE THE CURB RADIUS IS NOT LESS THAN 150 FT.

REVISED 8/2017

5 DRIVE APPROACH
 C501
 NOT TO SCALE

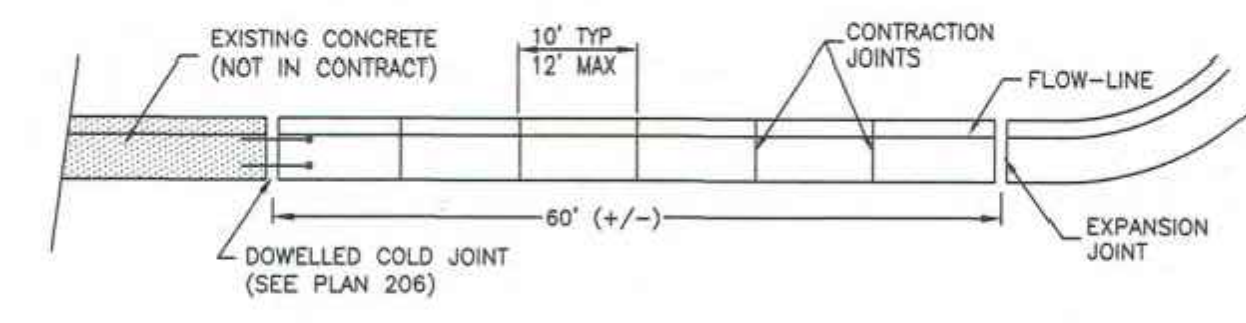


6
 C501

Curb and gutter

Plan **205.2**
 April 2011

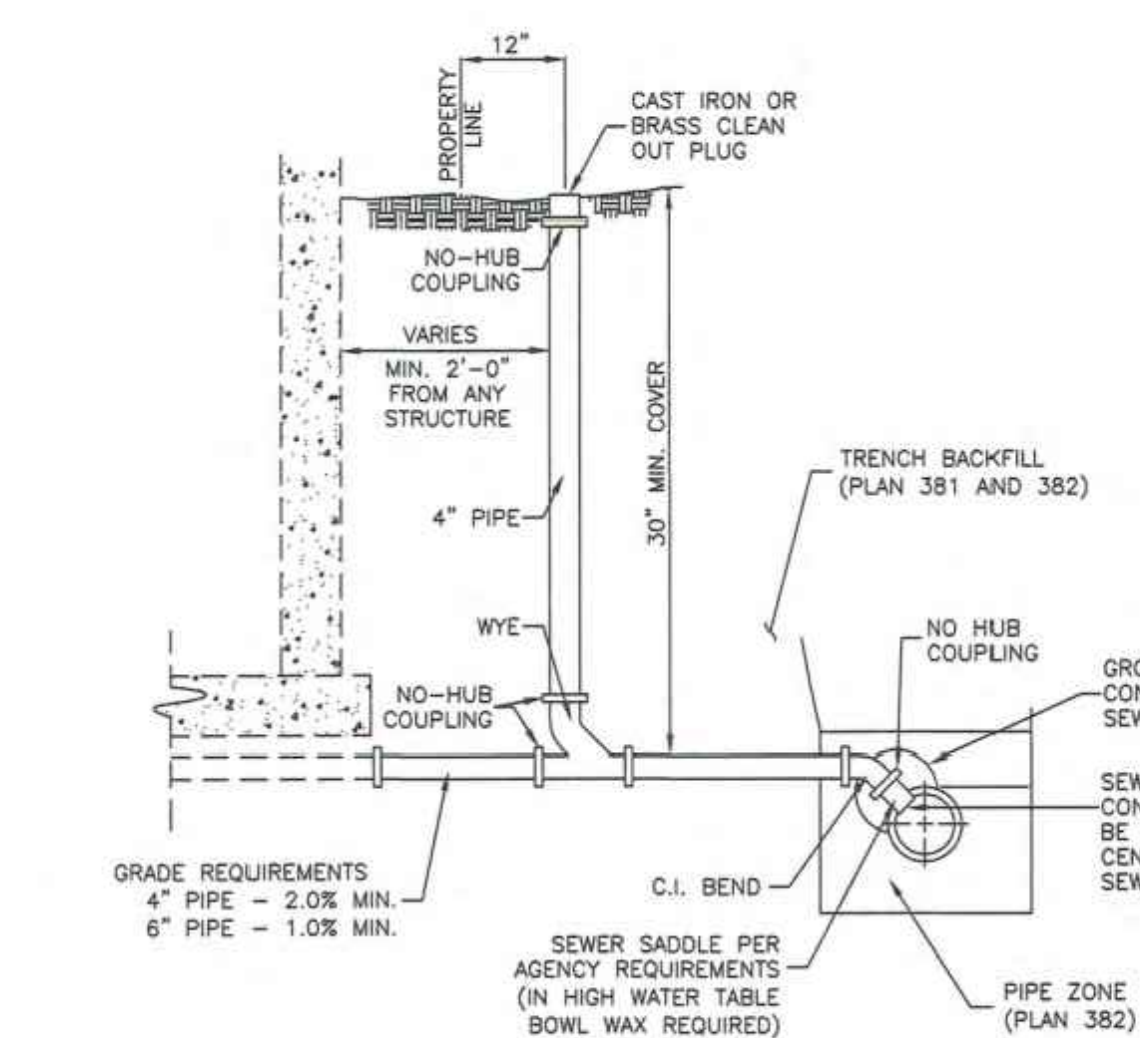
JOINT DETAIL



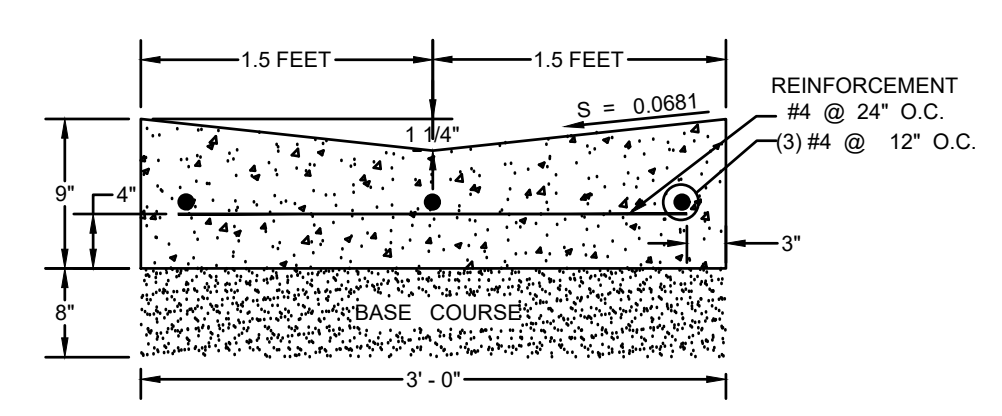
7
 C501

Sewer lateral connection

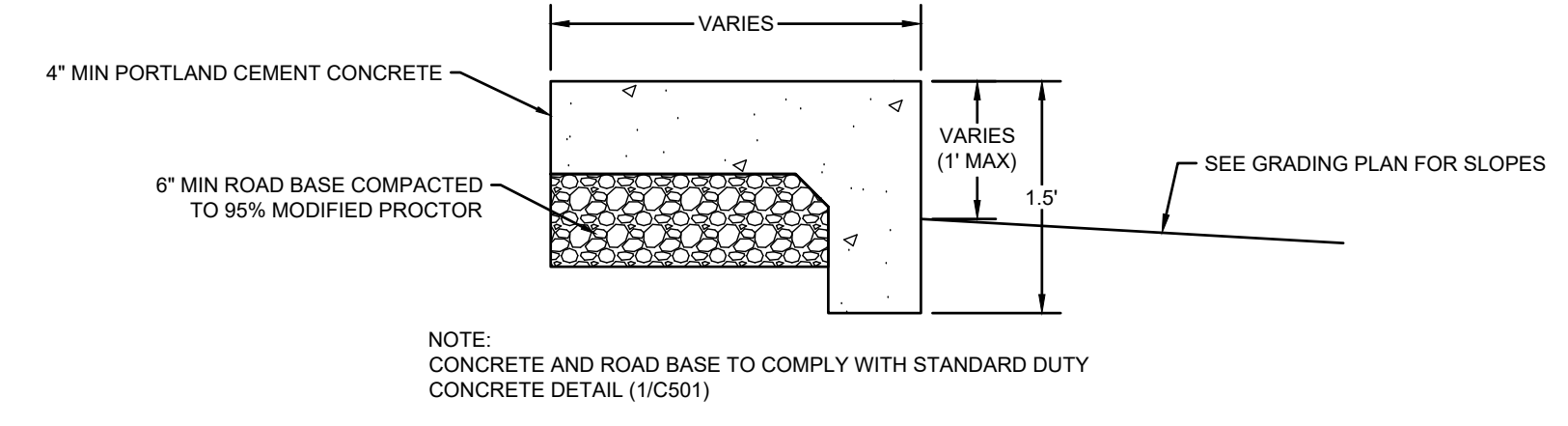
Plan **431**
 January 2011



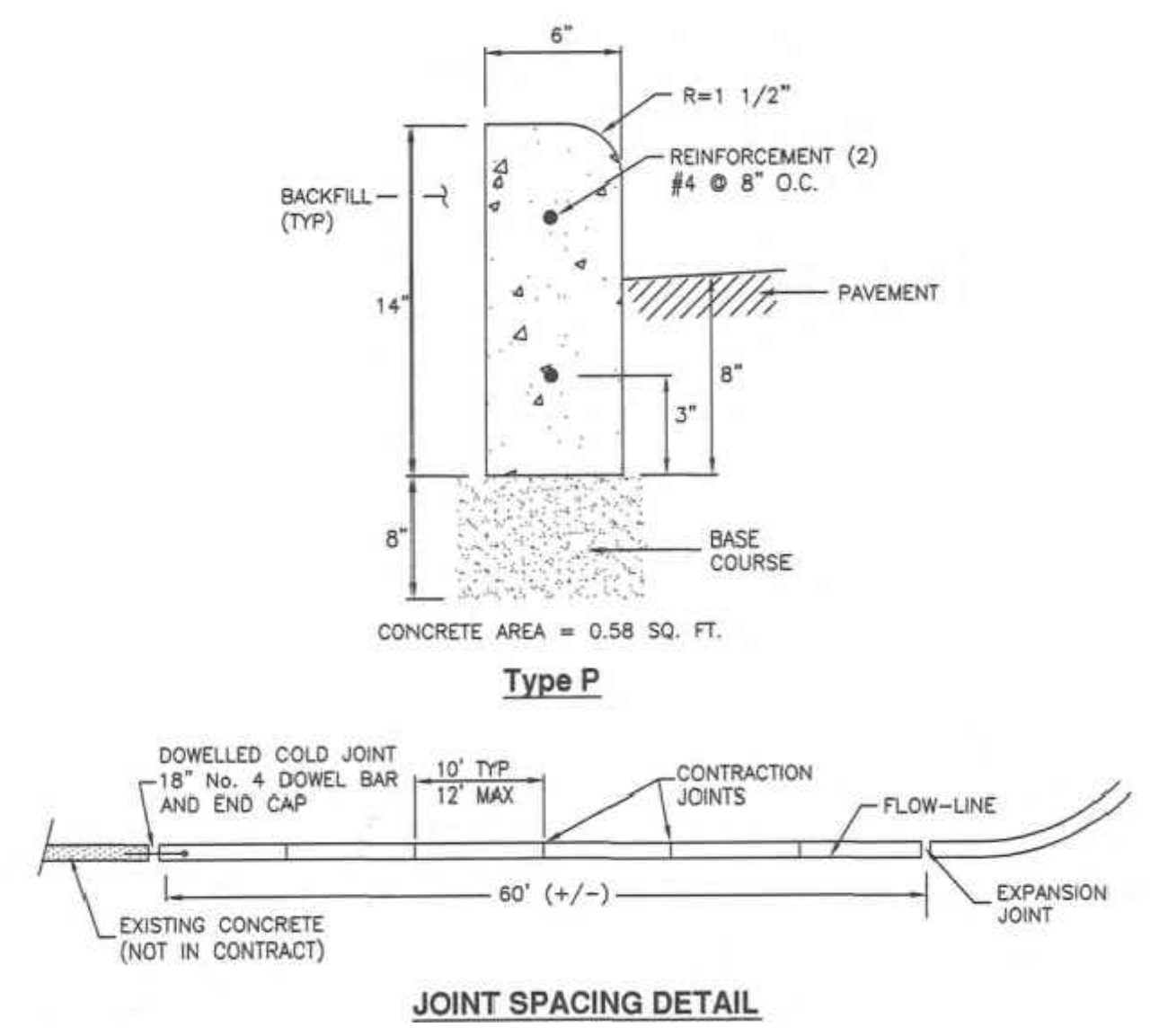
SEWER LATERAL CONNECTION



8 3' CONCRETE WATERWAY
 C501
 NOT TO SCALE



9 THICKENED EDGE CONCRETE
 C501
 NOT TO SCALE

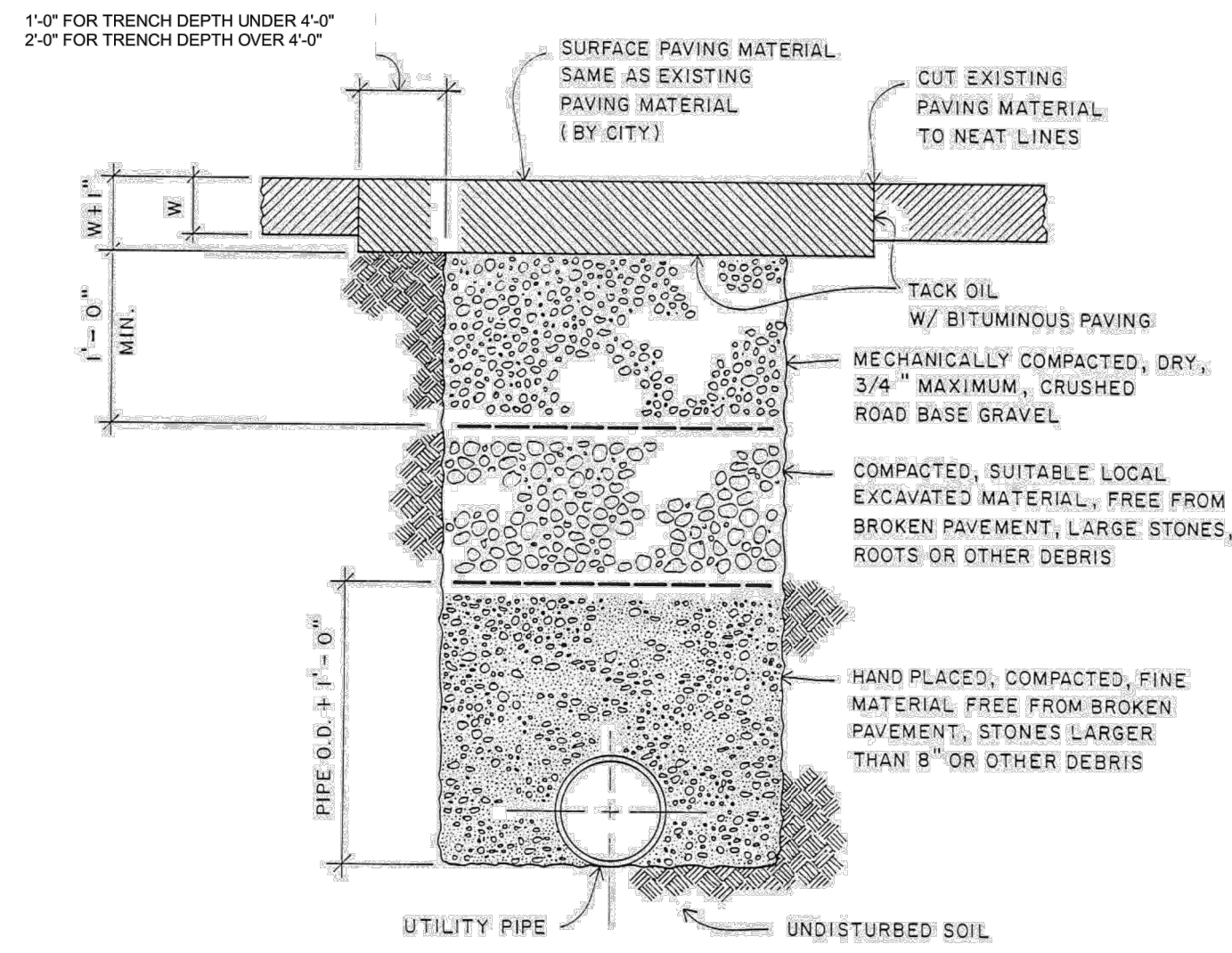


10
 C501

APWA TYPE P CURB
 NOT TO SCALE

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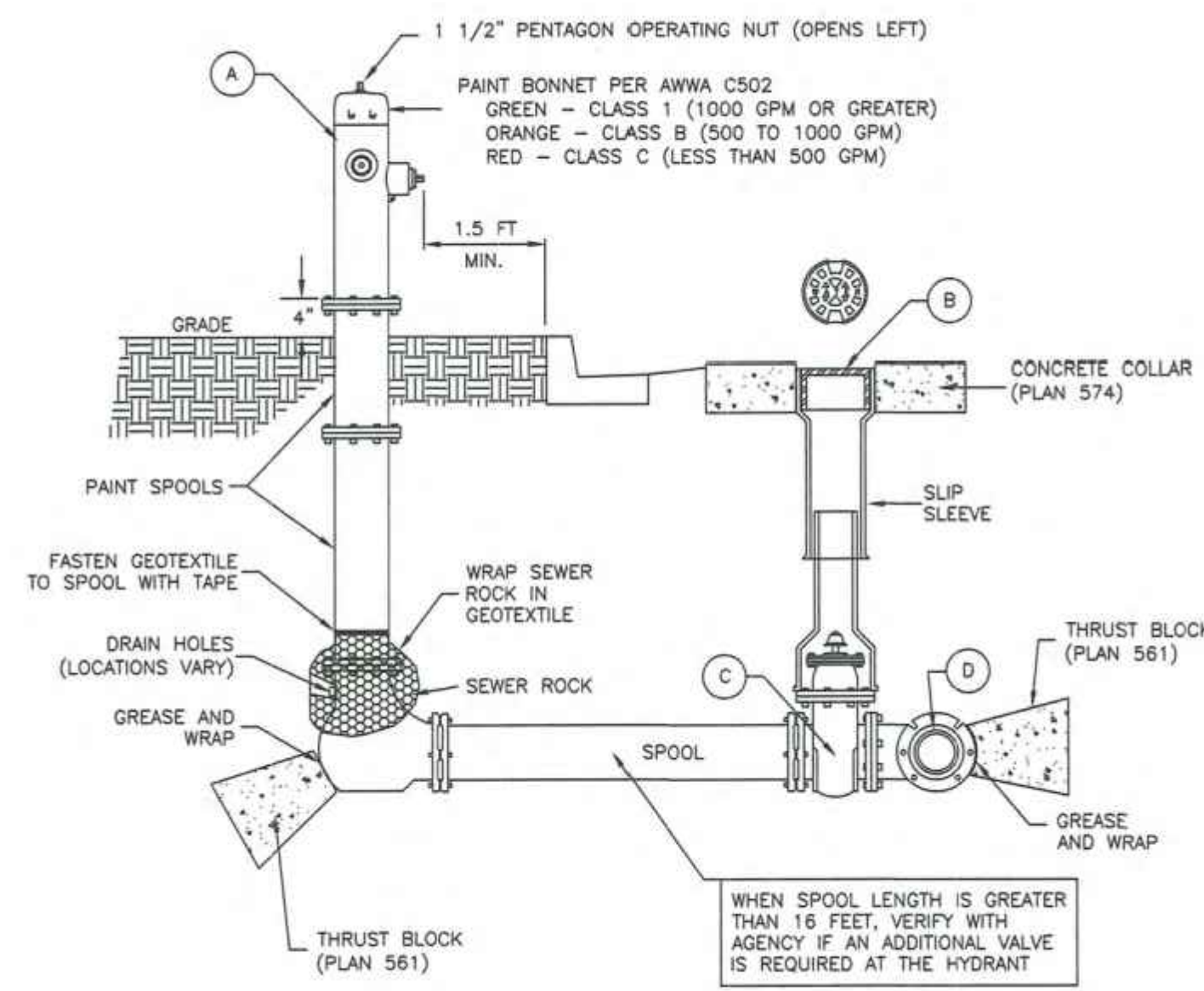
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- NOTES:
- MATERIAL MUST BE REPLACED AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
 - CONTRACTOR TO IMMEDIATELY REMOVE EXCESS MATERIAL.

BOUNTIFUL STANDARD STREET EXCAVATION DETAIL

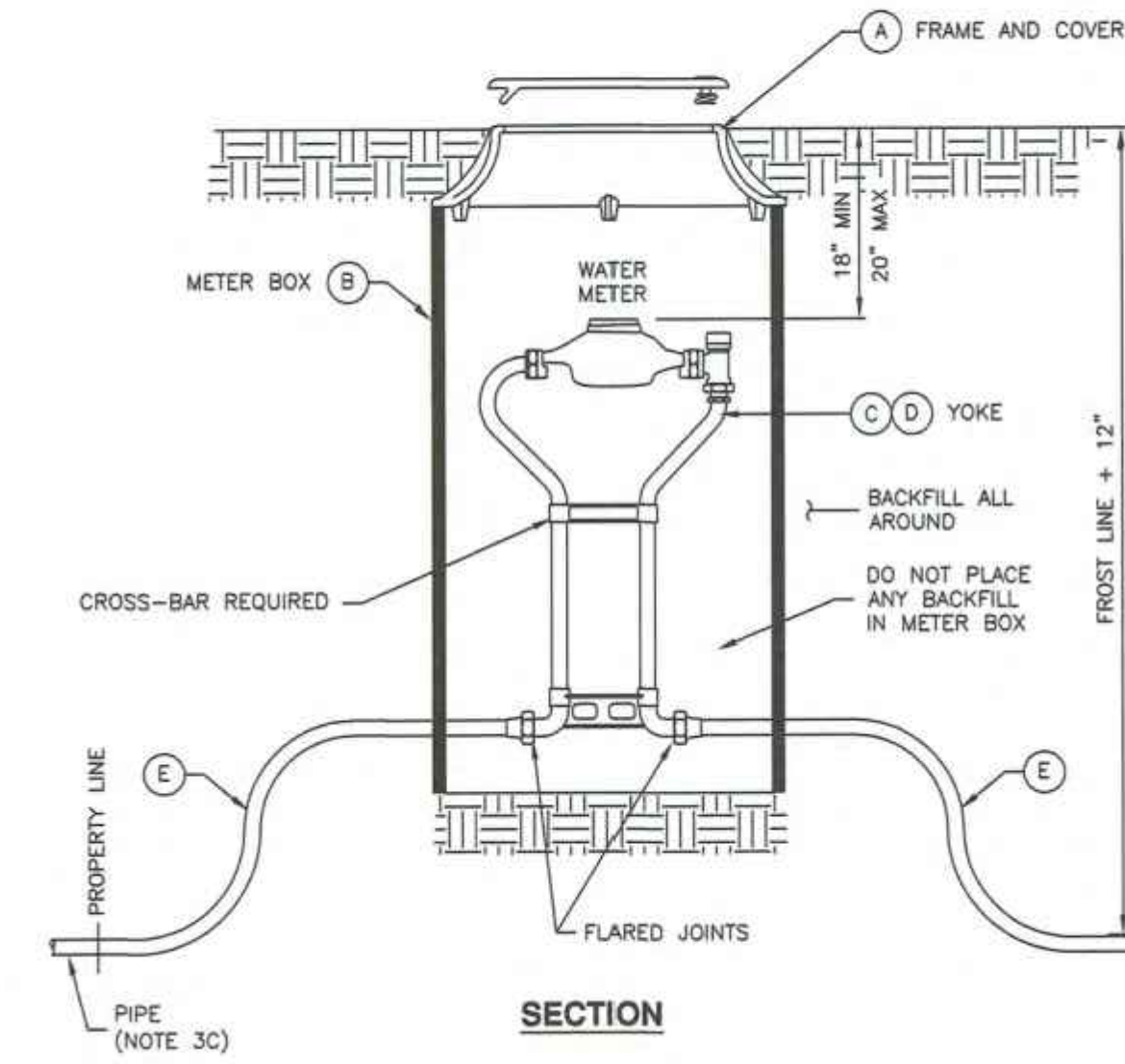
1 TRENCHING DETAIL
C502 NOT TO SCALE



LEGEND			
No.	*	ITEM	DESCRIPTION
(A)		FIRE HYDRANT	AWWA C502
(B)		VALVE BOX WITH LID	2-PIECE CAST IRON
(C)		GATE VALVE WITH 2" X 2" NUT	AWWA C509
(D)		TEE WITH 125 # FLANGE	AWWA C110

* FURNISHED BY UTILITY AGENCY

SECTION



LEGEND			
No.	*	ITEM	DESCRIPTION
(A)		FRAME AND COVER	CAST IRON COVER
(B)		METER BOX (18" TO 21" DIAMETER) (30" TO 36" DEEP)	CORRUGATED PE, PVC, CMP OR MATERIAL ACCEPTABLE TO AGENCY
(C)		3/4" METER YOKE	OPTIONAL BACKFLOW PROTECTION PER AGENCY REQUIREMENTS
(D)		1" METER YOKE	OPTIONAL BACKFLOW PROTECTION PER AGENCY REQUIREMENTS
(E)		COPPER PIPE	TYPE K (SOFT)

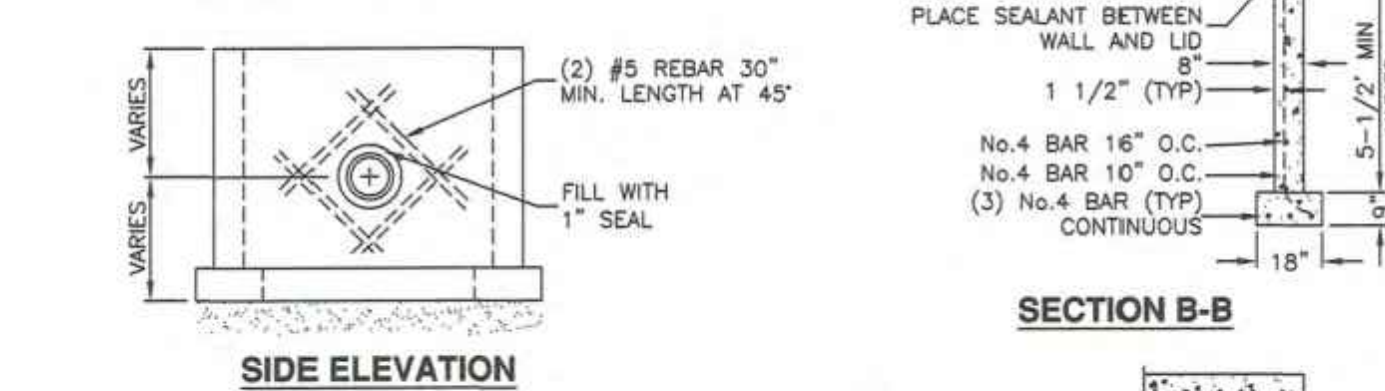
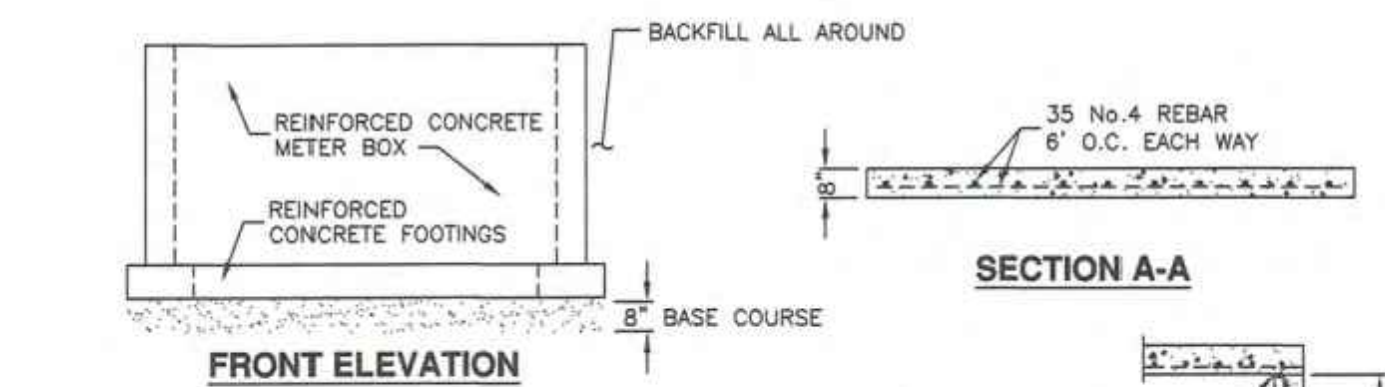
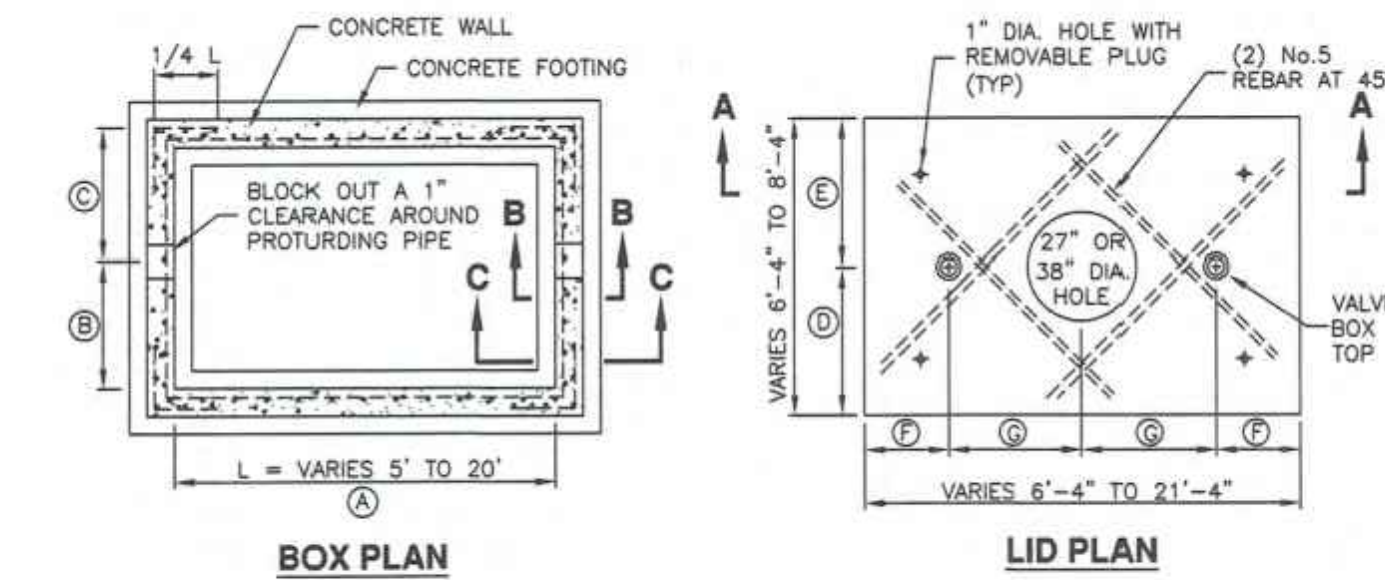
* FURNISHED BY UTILITY AGENCY

3 3/4" and 1" meter
C502 SEE NOTE #1

2 Fire hydrant with valve
C502 SEE NOTE #1

Plan 511
February 2011

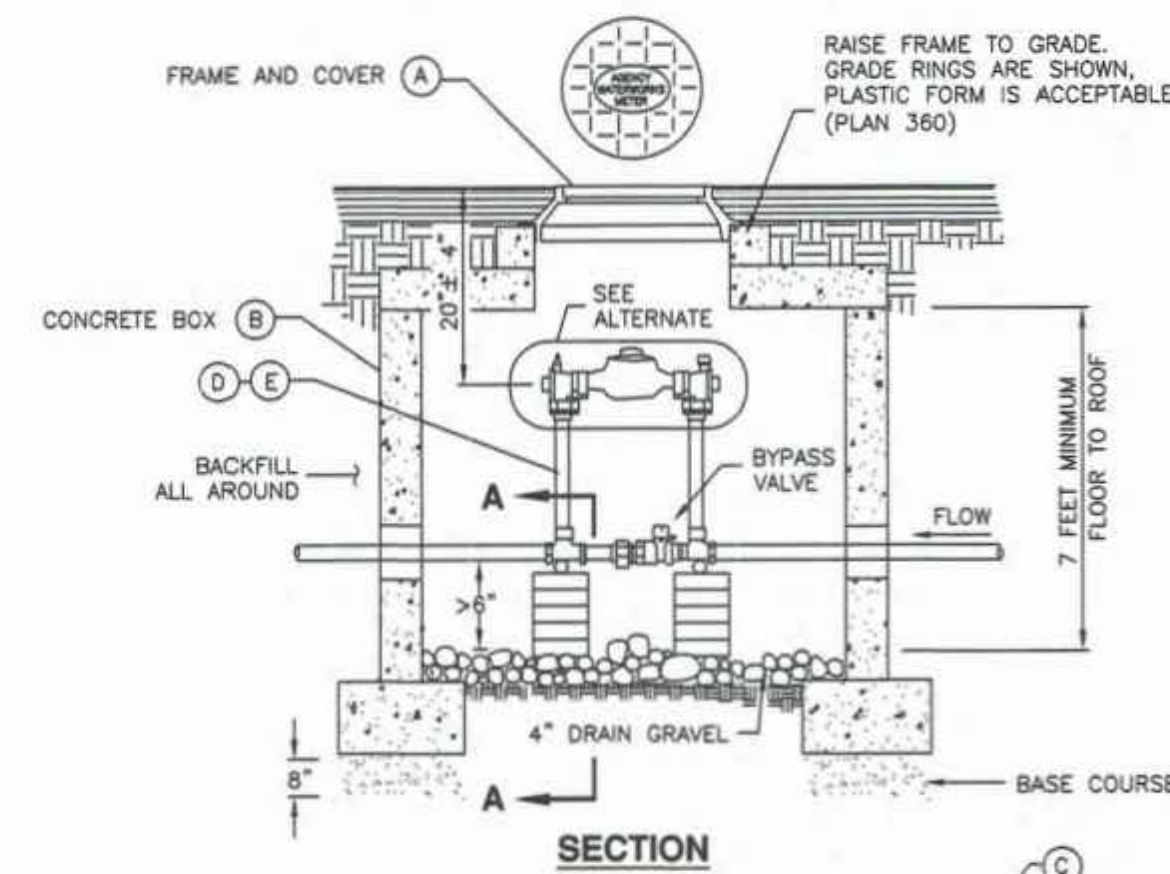
Plan 521
August 2001



No.	METER SIZE				
	10"	8"	3" & 4"	1 1/2" & 2"	
(A)	20'-0"	11'-0"	11'-0"	9'-0"	5'-0"
(B)	3'-10"	3'-5"	3'-5"	3'-0"	2'-6"
(C)	6'-2"	3'-5"	3'-5"	2'-0"	2'-6"
(D)	4'-8"	4'-1"	4'-1"	3'-8"	2'-6"
(E)	6'-10"	4'-1"	4'-1"	2'-8"	2'-6"
(F)	4'-8"	3'-5 3/4"	3'-10 1/4"	3'-5 1/2"	CENTER
(G)	5'-4"	2'-8 1/4"	2'-3 3/4"	1'-8 1/2"	

4 Concrete meter boxes
C502 SEE NOTE #1

Plan 505
August 2001

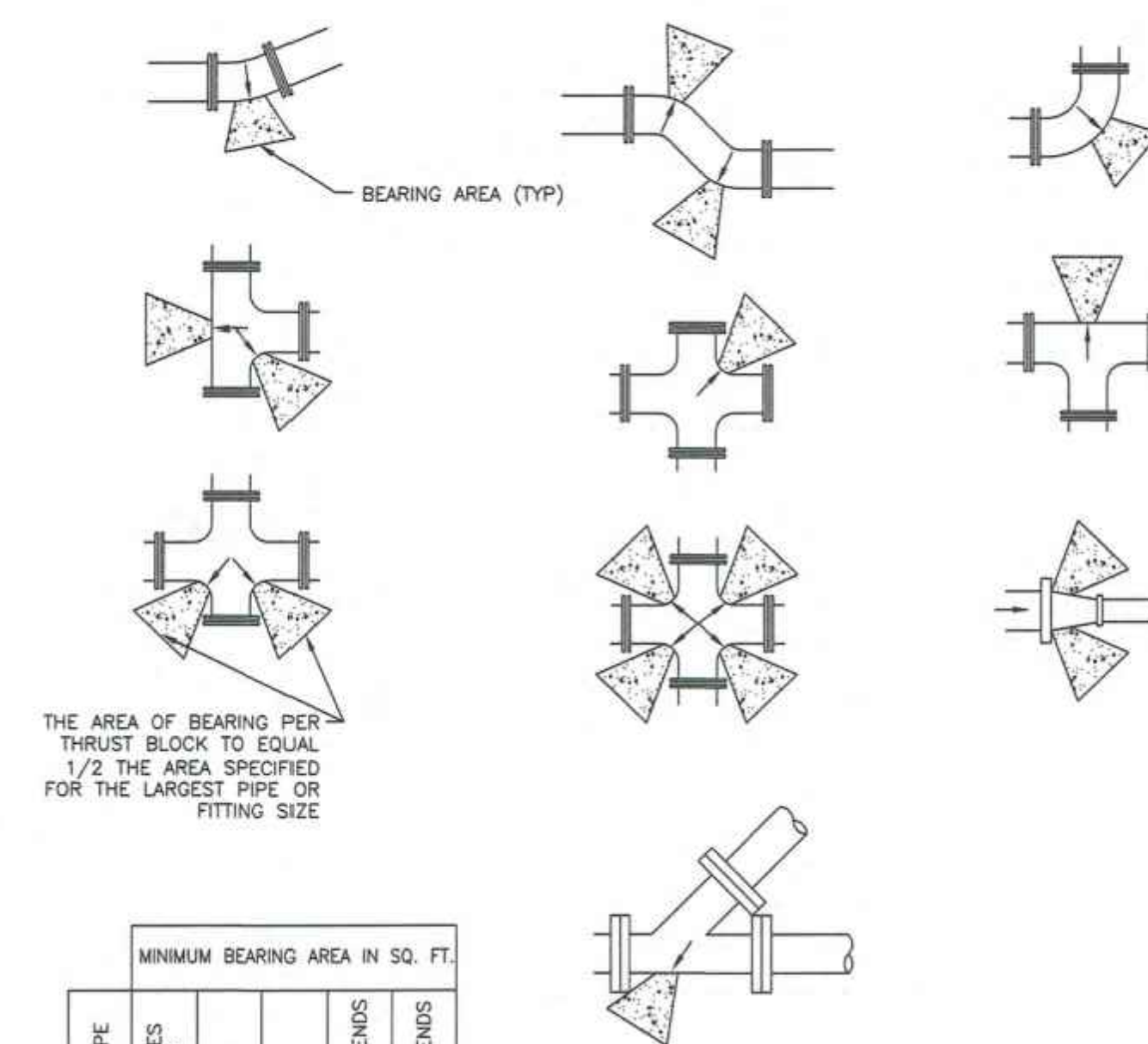


LEGEND			
No.	*	ITEM	DESCRIPTION
(A)		27" FRAME AND COVER	PLAN 502
(B)		CONCRETE BOX	PLAN 505
(C)		STAINLESS STEEL METER BOLTS	5/8" x 2 3/4" BRASS
(D)		1 1/2" CUSTOM SETTER WITH BYPASS	
(E)		2" CUSTOM SETTER WITH BYPASS	

* FURNISHED BY UTILITY AGENCY

5 1 1/2" and 2" meter
C502 SEE NOTE #1

Plan 522
August 2001



SIZE OF PIPE	MINIMUM BEARING AREA IN SQ. FT.				
	TEES, VALVES, DEAD ENDS	90° BENDS	45° BENDS	22 1/2° BENDS	11 1/4° BENDS
4"	2	3	2	2	2
6"	4	5.5	3	2.5	2
8"	6.5	9.5	5	2.75	2.5
12"	14	20	11	5.5	3
14"	19	26.5	14.5	7.5	4
16"	24	34	18.5	9.5	6
20"	27	52	28.5	14.5	9
24"	53	74	41	21	12
30"	81	114	62	32	16

6 Direct bearing thrust block
C502 SEE NOTE #1

Plan 561
August 2010

MARK	DATE	DESCRIPTION

PROJECT #: 22-009
DRAWN BY: A. OCHSENBEIN
PROJECT MANAGER: W. SOUTHWICK
ISSUED: 11/1/2022



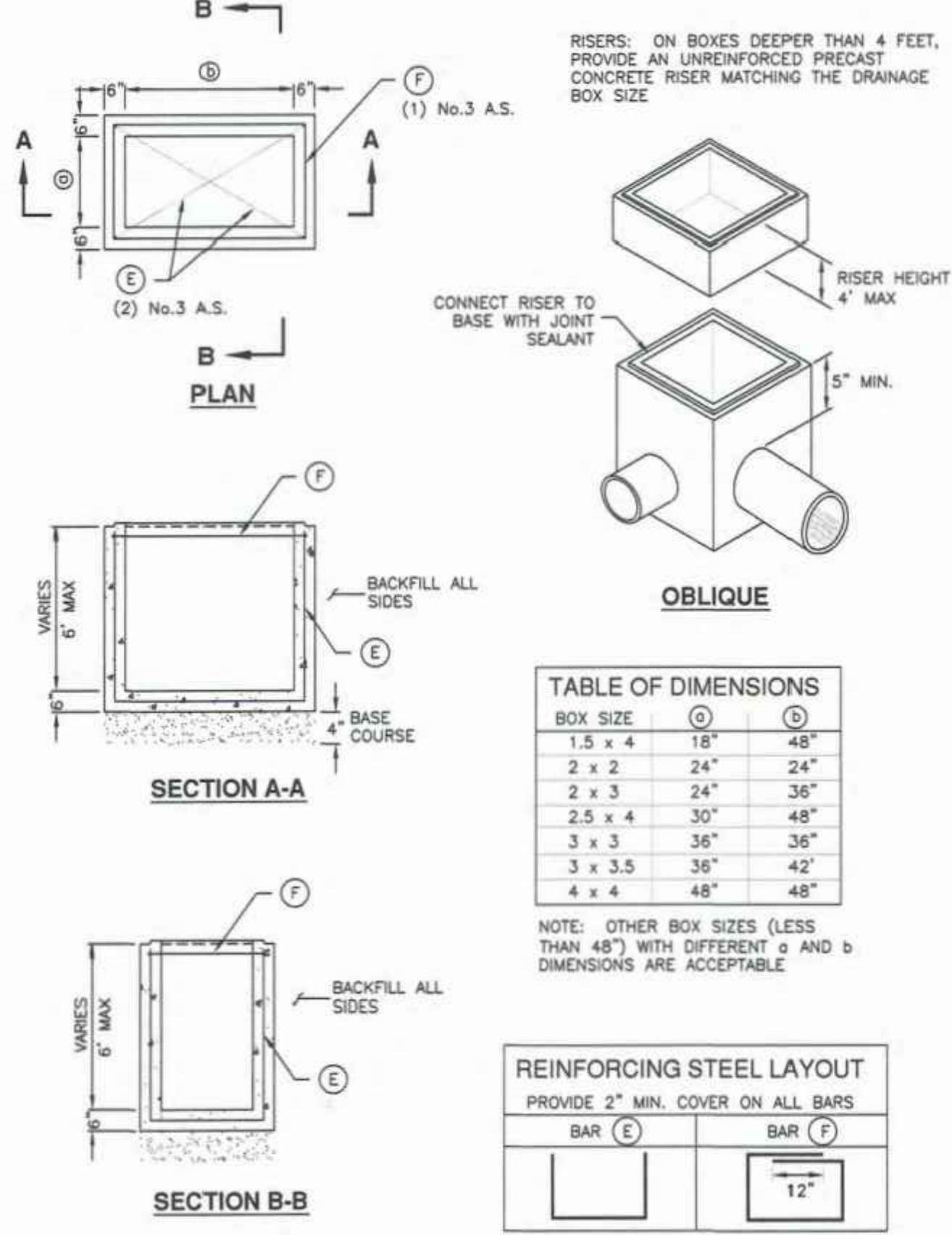
NOTES:
1. TO BE FURNISHED AND INSTALLED BY BOUNTIFUL CITY WATER DEPARTMENT. COORDINATE WITH BOUNTIFUL CITY WATER DEPARTMENT.

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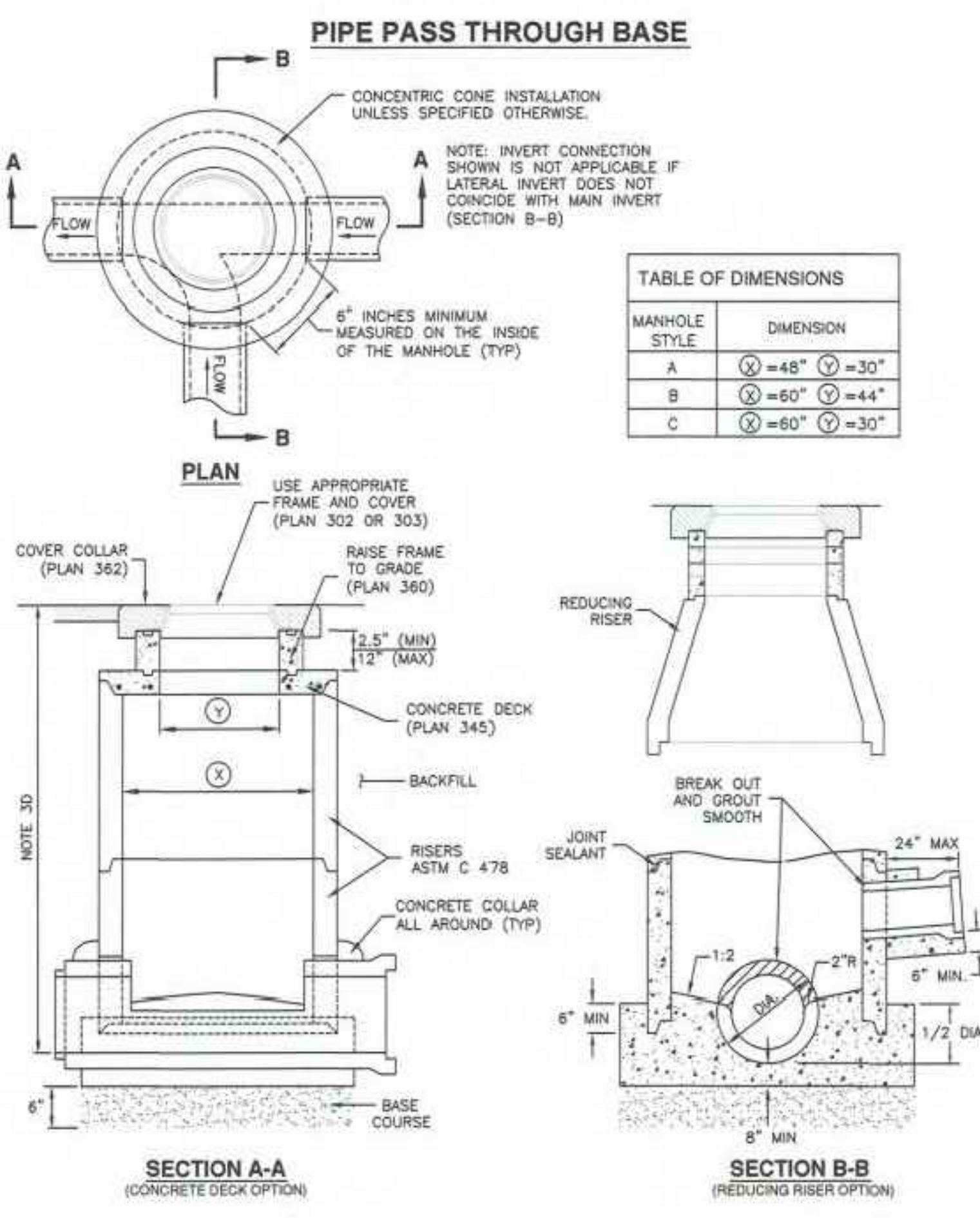
DETAILS

C502



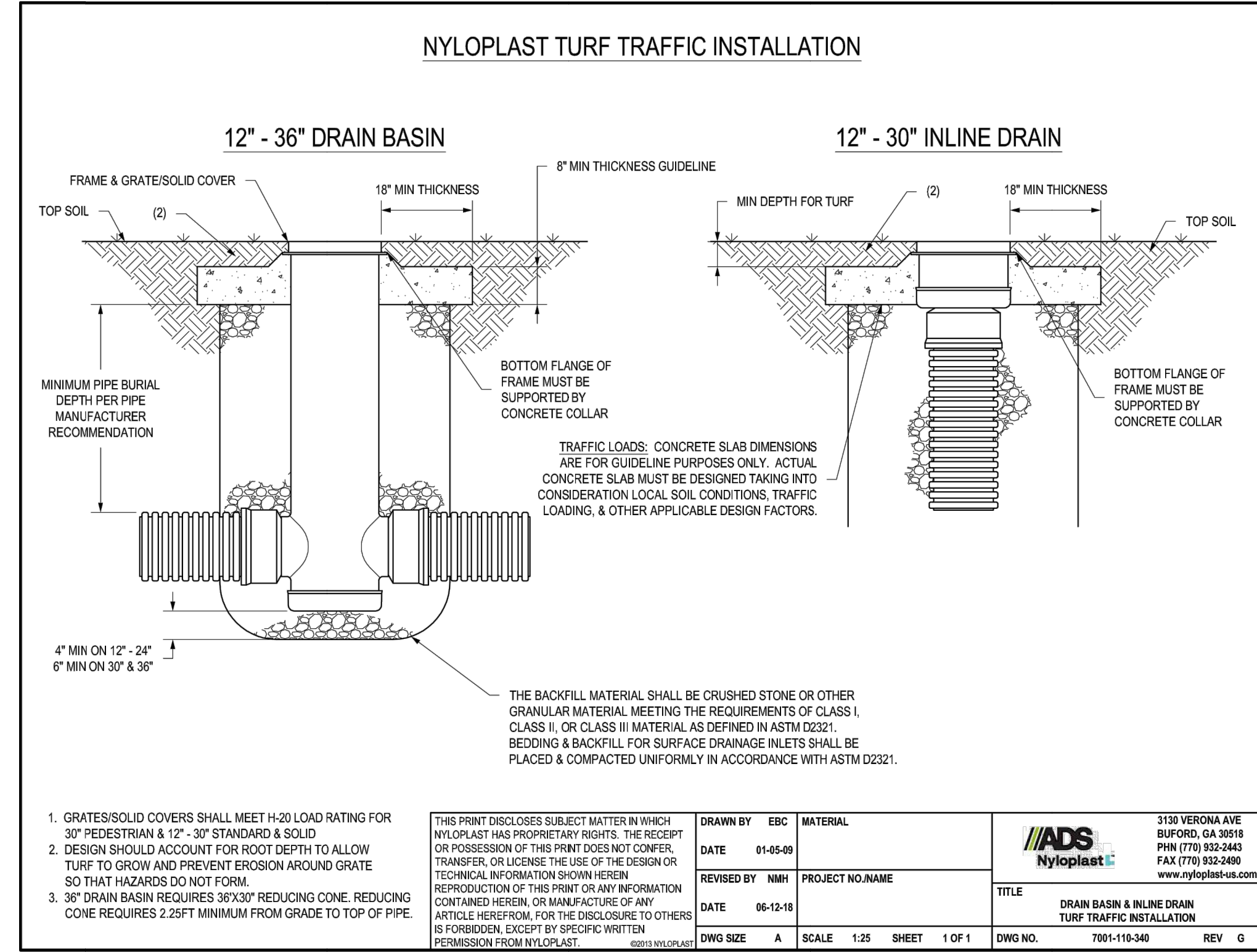
Plan **332**
June 2010

1
C503
Precast box

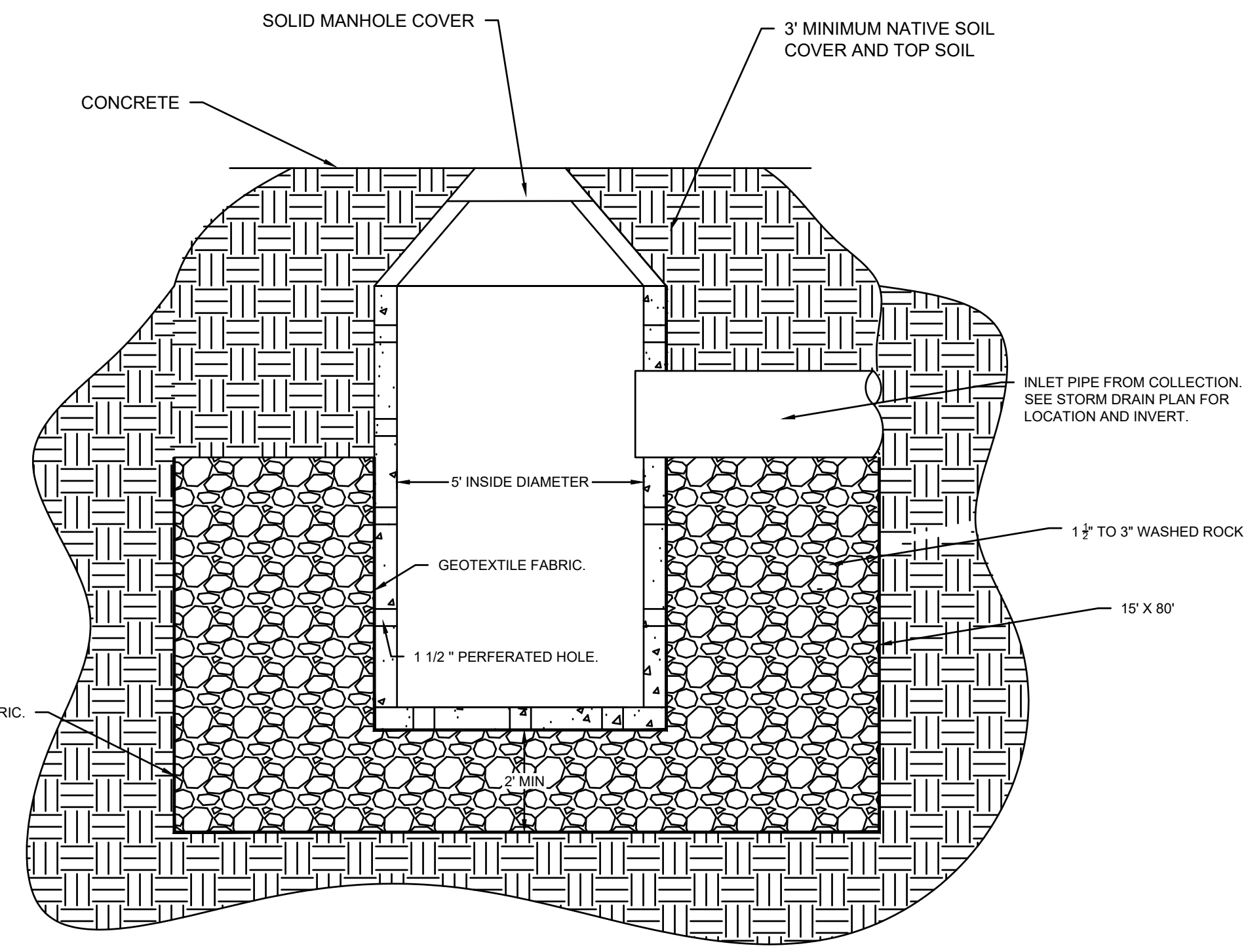


Plan **341.2**
November 2010

3
C503
Precast manhole



2
C503
YARD DRAIN
NOT TO SCALE



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390 APARTMENTS
390 SOUTH MAIN STREET
BOUNTIFUL, UTAH

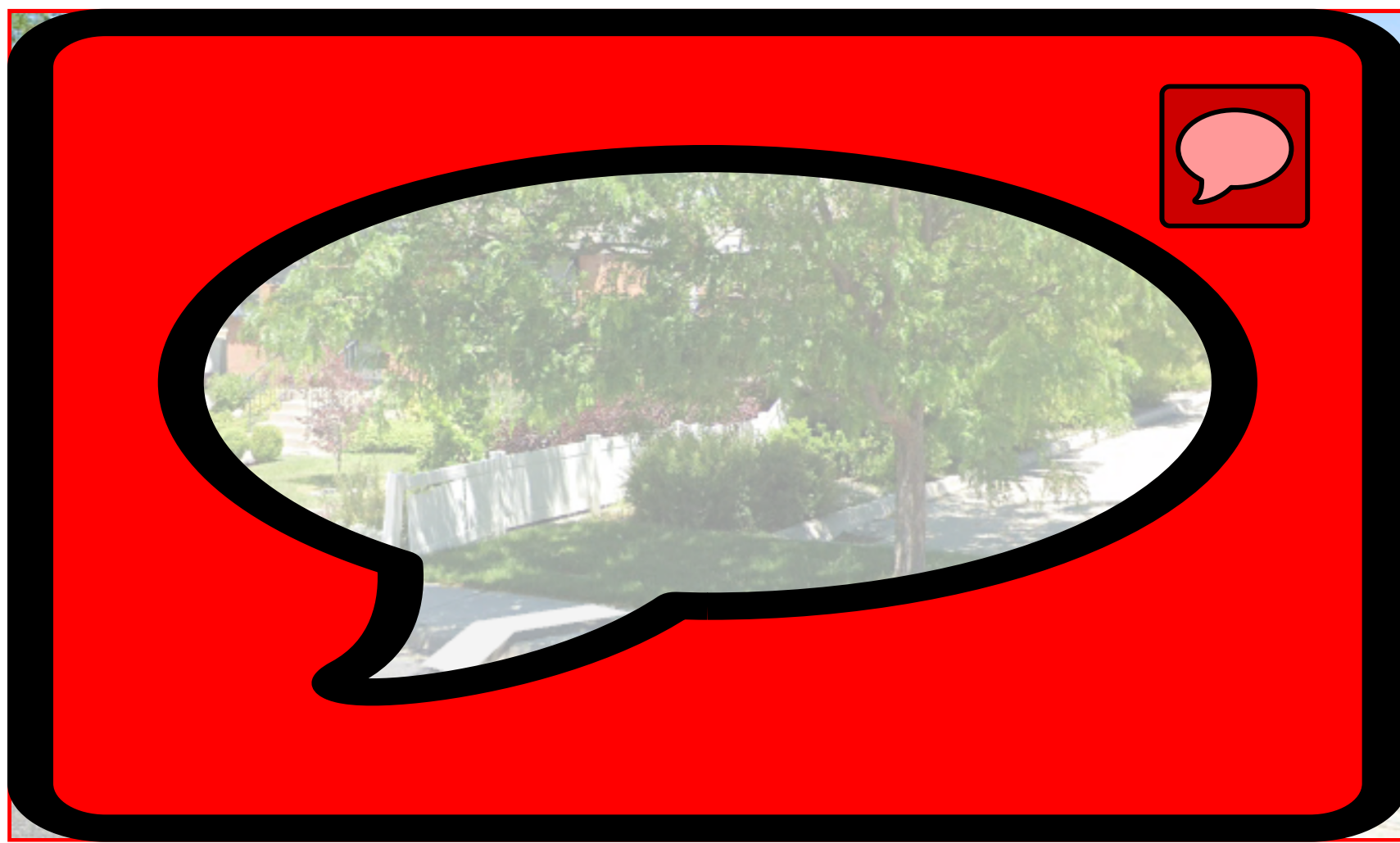
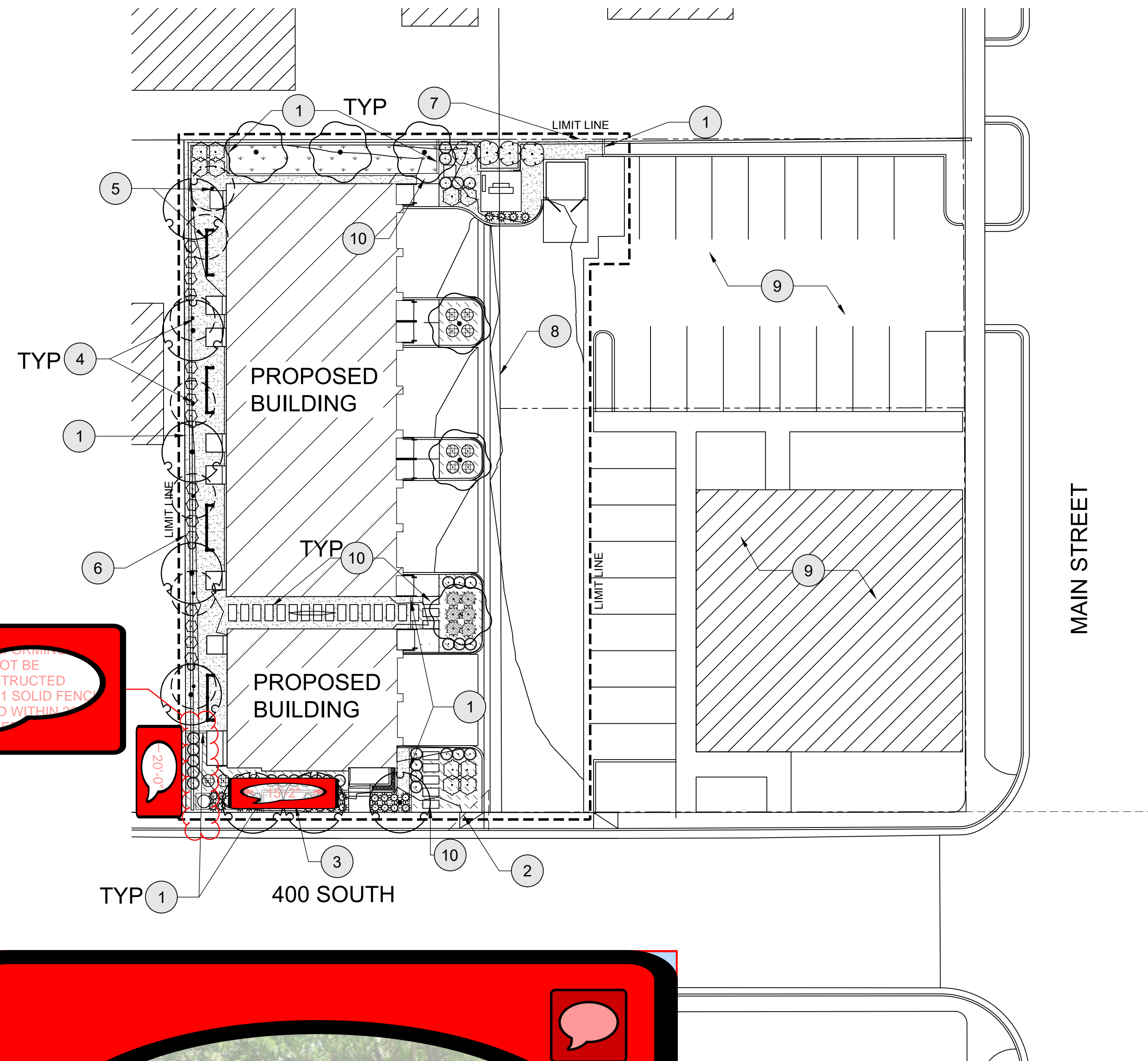
MARK	DATE	DESCRIPTION

PROJECT #: 22-009
DRAWN BY: A. OCHSENBEIN
PROJECT MANAGER: W. SOUTHWICK
ISSUED: 11/1/2022



DETAILS

C503



	NUMBER REQUIRED	NUMBER PLANNED
Landscape area	2	5
Landscape area	2	6
Landscape area	8	66
	3	3
	1,294 + 50 SF X 8 UNITS = 1,695 SF	3934 SF

PUMPSTER ENCLOSURE ARE NOT PART OF THESE NUMBERS.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CAL
	AC2	8	ACER PLATANOIDES 'CRIMSON SENTRY' / CRIMSON SENTRY MAPLE	B&B	2" CAL
	MR	6	MALUS X 'ROYALTY' / ROYALTY CRABAPPLE	B&B	2" CAL
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT
	BG	30	BUXUS MICROPHYLLA 'WINTER GEM' / GLOBE WINTER GEM BOXWOOD	5 GAL.	
	CH	4	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD	5 GAL.	
	JA	6	JUNIPERUS COMMUNIS 'ALPINE CARPET' / JUNIPER	5 GAL.	
	RR	16	RHAMNUS FRANGULA 'FINE LINE' / FINE LINE BUCKTHORN	5 GAL.	
	RW	10	ROSA X 'MEICOUBLAN' / WHITE MEIDLAND	5 GAL.	
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT
	CK	12	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL.	
	DW	11	DIANTHUS GRATIANOPOLITANUS 'FIREWITCH' / FIREWITCH CHEDDAR PINK	1 GAL.	
	PH	30	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS	1 GAL.	

REFERENCE NOTES SCHEDULE

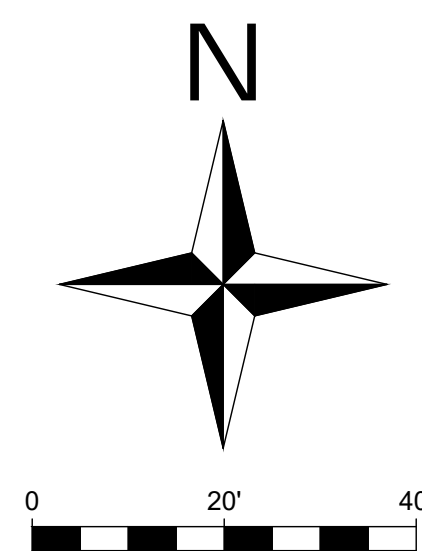
SYMBOL	DESCRIPTION	QTY	DETAIL
1	CONCRETE MOWSTRIP: 6" WIDE- SEE DETAIL		5/L201
2	10' X 10' SIGHT TRIANGLE AT DRIVEWAY INTERSECTION		
3	METER FOR IRRIGATION SYSTEM. SEE CIVIL PLANS FOR EXACT SIZE AND LOCATION. IRRIGATION PLAN BY OTHERS.		
4	EXISTING LARGE SHRUBS AND OTHER VEGETATION TO BE REMOVED ALONG WEST SIDE OF PROPERTY.		
5	EXISTING FLOWERING PEAR TREE TO BE REMOVED.		
6	EXISTING 6" VINYL FENCE TO REMAIN.		
7	EXISTING 6" CHAIN LINK FENCE WITH SLATS TO REMAIN.		
8	PARCEL LINE		
9	OUT OF SCOPE FOR THIS PROJECT		
10	4" CONCRETE OVER 4" COMPACTED BASE COURSE		
SYMBOL	DESCRIPTION	QTY	DETAIL
	TURF GRASS: SOD (IMPERIAL BLUE FROM CHANSHARE SOD OR APPROVED EQUAL) INSTALLED OVER 5" TOPSOIL LAYER.	431 SF	5/L201
	BARK MULCH (SMALL BARK MULCH FROM MILLER COMPANIES LC OR APPROVED EQUAL) INSTALLED AT DEPTH OF 3" WITHOUT WEED BARRIER FABRIC. PLANTINGS WITHIN THIS AREA WILL INCLUDE TREES, SHRUBS, GRASSES AND PERENNIALS.	1,067 SF	5/L201
	ROCK MULCH, 1" (WASATCH TAN CRUSHED ROCK FROM STAKER PARSON OR APPROVED EQUAL) INSTALLED AT DEPTH OF 3" INSTALLED OVER DEWITT PRO 5 BARRIER FABRIC.	2,436 SF	5/L201

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL QUANTITIES.
- SEE L201 FOR PLANTING NOTES AND DETAILS.

IRRIGATION NOTES:

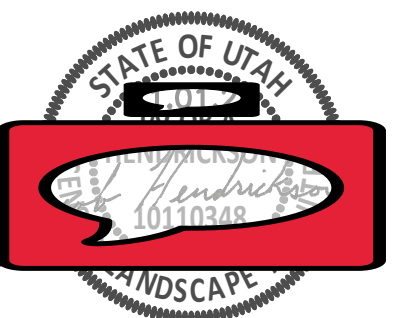
- LANDSCAPE TO BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM.
- IRRIGATION PLAN BY OTHERS. PROVIDE SLEEVES UNDER DRIVEWAYS TO PLANTING ISLANDS AS NEEDED.



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MARK:	DATE:	DESCRIPTION:

PROJECT #: 22-009
 DRAWN BY: KJ
 REVIEWED BY: JH
 ISSUED: 11.01.2022



LANDSCAPE PLAN

L101

LANDSCAPE NOTES & SPECIFICATIONS:

GENERAL NOTES:

- 1. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO ANY SITE WORK... 2. THE CONTRACTOR(S) AND SUBCONTRACTORS ARE 100% RESPONSIBLE FOR ANY DAMAGE OCCURRED BY CONTRACTOR/SUBCONTRACTORS TO BUILDINGS, VEHICLES, TREES, SIDEWALKS, CURBS, DRIVES, UTILITIES AND ALL PROPERTY OF THE OWNER... 3. TIME IS OF THE ESSENCE AND THE OWNER IS RELYING ON THE LANDSCAPING TO BE COMPLETED IN A PROFESSIONAL AND TIMELY MANNER...

PLANTING NOTES:

- 5. THE PLANTING PLAN IS DIAGRAMMATIC, AND PLANT LOCATIONS ARE APPROXIMATE. IF NECESSARY ADJUST PLANTING LOCATION TO ACCOMMODATE UTILITIES AND OTHER UN-FORESEEN OBSTACLES. 6. PLANT SYMBOLS TAKE PRECEDENCE OVER PLANT QUANTITIES SPECIFIED ON PLANT SCHEDULE... 10.1. pH: 5.5 - 8.0 10.2. MINIMUM 1% PERCENT ORGANIC MATTER) 10.3. TEXTURE (PARTICLE SIZE PER USDA SOIL CLASSIFICATION): SAND: <70%, CLAY: <30% 10.4. SILT: = BALANCE 10.5. STONE FRAGMENTS (GRAVELS OR ANY SOIL PARTICLE GREATER THAN 2 MM IN SIZE): <5% (BY VOLUME) 11. IN ADDITION, THE SOIL SHALL BE FERTILE, FRIABLE, NATURAL LOAM AND SHALL BE CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH... 17.5. FINISH FILLING THE HOLE AROUND THE PLANT TO GRADE LEVEL. 17.6. THOROUGHLY WATER PLANT, THEN COMPLETE BACKFILLING THE HOLE. FORM A WATERING BASIN AROUND THE PLANT AND THOROUGHLY WATER AGAIN.

- 23. CONTRACTOR TO FERTILIZE TREES, SHRUBS, PERENNIALS AND GRASSES WITH MILLERS A TO Z MIX ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. 24. PLANT QUALITY AT OR BELOW THE SOIL LINE. 24.1. A MINIMUM OF THREE STRUCTURAL ROOTS REASONABLY DISTRIBUTED AROUND THE TRUNK SHALL BE FOUND IN EACH PLANT... 24.2. THE ROOT CROWN MUST NOT BE MORE THAN TWO INCHES BELOW THE SOIL LINE... 24.3. THE ROOT SYSTEM SHALL BE REASONABLY FREE OF ROOT DEFECTS INCLUDING POTENTIALLY STEM-GIRDLING ROOTS ABOVE THE ROOT COLLAR AND MAIN STRUCTURAL ROOTS, VERTICAL ROOTS, AND/OR KINKED ROOTS FROM NURSERY PRODUCTION PRACTICES... 24.4. ALL PLANTS MAY BE INSPECTED AT THE SUPPLIER'S NURSERY... 24.5. CONTAINER-GROWN PLANTS, IN ADDITION TO THE ABOVE REQUIREMENTS, SHOULD COMPLY WITH THE FOLLOWING: 24.5.1. CONTAINER-GROWN PLANTS MAY BE PERMITTED ONLY WHEN INDICATED ON THE DRAWING OR THIS SPECIFICATION. 24.5.2. CONTAINER-GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED... 24.6. PLANTS THAT FAIL TO MEET ANY OF THE ABOVE REQUIREMENTS SHALL BE MODIFIED TO CORRECT DEFICIENCIES IF APPROVED BY THE LANDSCAPE ARCHITECT... 24.6.1. SHAVING ALL CIRCLING ROOTS ON THE EXTERIOR OF THE ROOT MASS DEEP ENOUGH SO THAT ALL CUT ROOTS ENDS ARE ROUGHLY RADIAL TO THE TRUNK. 24.6.1.2. REMOVAL OF ALL ROOTS ABOVE THE TOP OF THE MAIN STRUCTURAL ROOTS AND TRUNK FLARE INCLUDE ANY ROOTS THAT ARE IMPRINTS FROM PREVIOUS SMALLER CONTAINERS. (THE ABOVE MODIFICATIONS SHALL NOT BE CAUSE TO ALTER THE WARRANTY PROVISIONS OF THIS SPECIFICATION.)

TREE STAKING:

- 31. LANDSCAPE CONTRACTOR TO PROVIDE BID TO STAKE UP TO 50% OF TREES. 32. THE OWNER, OWNERS REPRESENTATIVE SHALL HAVE THE AUTHORITY TO REQUIRE THAT TREES ARE STAKED OR TO REJECT STAKING AS AN ALTERNATIVE WAY TO STABILIZE THE TREE. 33. TREES THAT REQUIRE HEAVILY MODIFIED ROOT BALLS TO MEET THE ROOT QUALITY STANDARDS MAY BECOME UNSTABLE. THE OWNER, OWNERS REP MAY CHOOSE TO REJECT THESE TREES RATHER THAN UTILIZE STAKING TO TEMPORARILY SUPPORT THE TREE. 34. STAKES SHALL BE LODGE POLE STAKES FREE OF KNOTS AND OF DIAMETERS AND LENGTHS APPROPRIATE TO THE SIZE OF PLANT AS REQUIRED TO ADEQUATELY SUPPORT THE PLANT. 35. PLANTS SHALL STAND PLUMB AFTER STAKING REMOVE TREE STAKING AFTER THE FIRST FULL GROWING SEASON UNLESS DIRECTED BY THE OWNER, OWNERS REP.

MULCH:

- 36. ALL PLANTER BEDS ARE TO RECEIVE ROCK MULCH AS SPECIFIED ON PLANS OR APPROVED EQUAL BY OWNERS REP. 37. PRIOR TO PLACEMENT OF WEED FABRIC, TREAT AREAS WITH PRE-EMERGENT HERBICIDE ACCORDING TO MANUFACTURERS RECOMMENDATIONS.

WEED FABRIC:

- 39. AREAS TO RECEIVE WEED BARRIER FABRIC INCLUDE PLANTER BEDS WITH ROCK MULCH. CONTRACTOR TO INSTALL DEWITT PRO 5 WEED FABRIC. CONTRACTOR TO INSTALL WEED BARRIER PER MANUFACTURERS RECOMMENDATIONS INCLUDING THE USE OF STAPLES AS OFTEN AS RECOMMENDED.

MAINTENANCE & WARRANTIES:

- 40. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF THE TREES, PLANTER BEDS (INCLUDING WEEDING), SHRUB PRUNING, WATERING THE PLANTS AND IRRIGATION SYSTEM FOR THE DURATION OF THE CONSTRUCTION PERIOD. 41. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF LANDSCAPE FOR 90 DAYS PAST THE FINAL INSPECTION. THE MAINTENANCE IS TO INCLUDE: WEEDING PLANTER BED AREAS, SPRAYING THE SOD AREAS FOR WEEDS AND FERTILIZATION (1 APPLICATION AFTER INITIAL APPLICATION), MOWING, TRIMMING, AND IRRIGATION REPAIRS. 42. ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED BY THE CONTRACTOR AS TO GROWTH AND HEALTH FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION OF THE MAINTENANCE PERIOD AND FINAL ACCEPTANCE. ALL TREES SHALL BE GUARANTEED BY THE CONTRACTOR TO LIVE AND GROW IN AN ACCEPTABLE UPRIGHT POSITION FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION OF THE SPECIFIED MAINTENANCE PERIOD AND FINAL ACCEPTANCE. 43. THE ONLY CONDITIONS WHICH RELIEVE THE CONTRACTOR FROM THE GUARANTEE OF PLANT MATERIALS AS DESCRIBED ABOVE ARE THOSE WHICH CAN BE SHOWN ARE A DIRECT RESULT OF IMPROPER CARE OR WATERING BY THE OWNER AFTER THE MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD. 44. THE CONTRACTOR, WITHIN FIFTEEN (15) DAYS AFTER RECEIVING WRITTEN NOTIFICATION BY THE OWNERS REP, SHALL REMOVE AND REPLACE ALL GUARANTEED PLANT MATERIALS WHICH FAIL TO MEET THE REQUIREMENTS OF THE GUARANTEE. REPLACEMENT SHALL BE MADE WITH PLANT MATERIALS AS INDICATED OR SPECIFIED ON THE ORIGINAL PLANS, AND ALL SUCH REPLACEMENT MATERIALS SHALL BE GUARANTEED AS SPECIFIED FOR THE ORIGINAL MATERIALS.

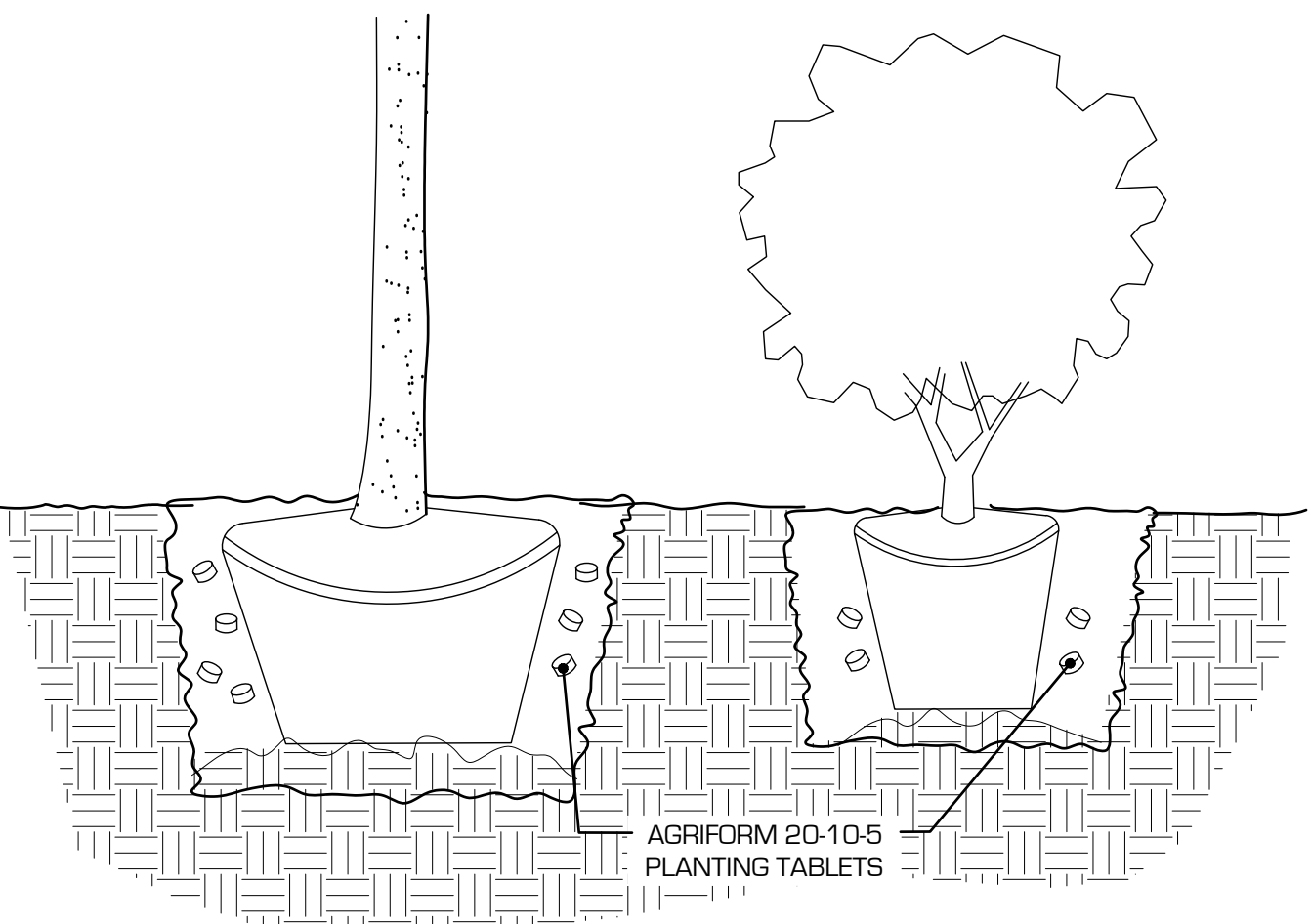
AGRIFORM® 20-10-5 PLANTING TABLETS PLUS MINORS

Table with 2 main sections: 'SUGGESTED APPLICATION RATES' for Agriform® 21-gm Tablets and Agriform® 10-gm Tablets, and 'SUGGESTED APPLICATION RATES' for Agriform® 5-gm Tablets. Includes columns for container sizes and application rates.

Always refer to label instructions before application

BID SPECIFICATIONS:

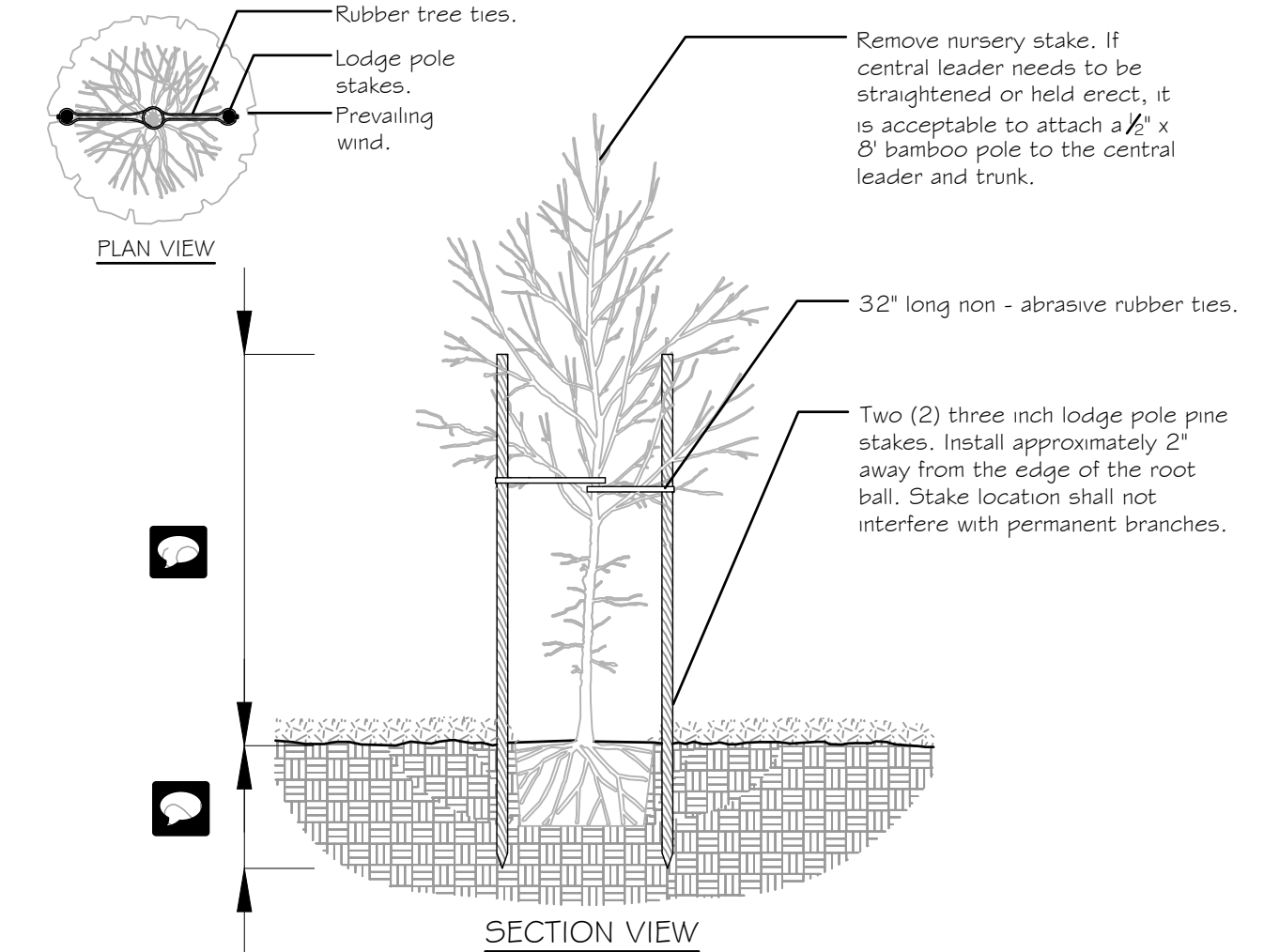
PLANTING TABLET SHALL BE TIGHTLY COMPRESSED, LONG LASTING AND SLOW RELEASE. WEIGHTS OF 5, 10, AND 21 GRAMS WITH A NITROGEN (N), PHOSPHORUS (P), AND POTASSIUM (K) ANALYSIS OF 20-10-5 AND TRACE ELEMENTS DERIVED FROM THE SOURCES LISTED IN THE GUARANTEED ANALYSIS.



1 AGRIFORM 20-10-5 PLANTING TABLETS

NOT TO SCALE

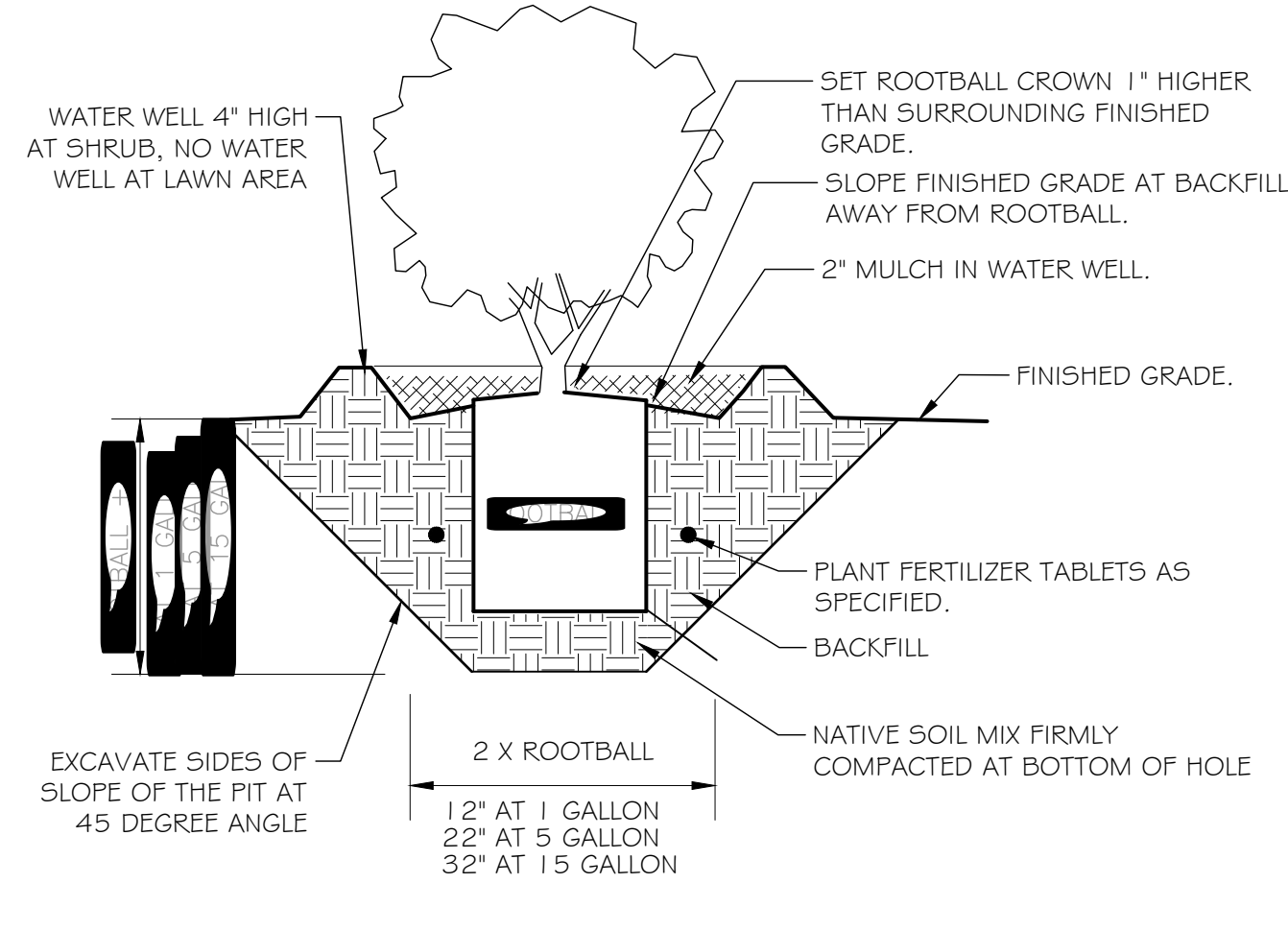
3293.01



3 TREE DOUBLE STAKING

NOT TO SCALE

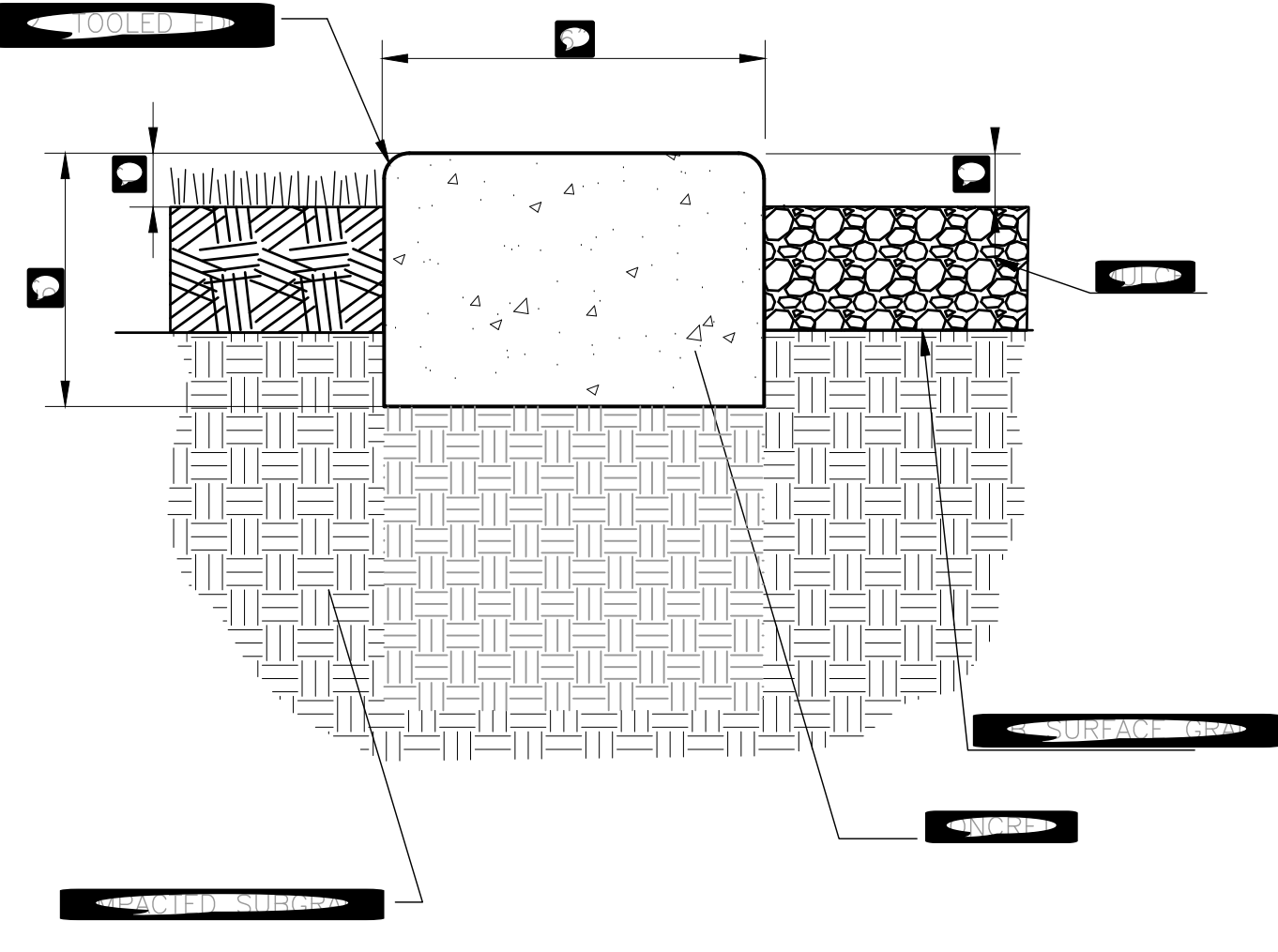
329343.06



4 SHRUB PLANTING

NOT TO SCALE

329333.13-01



5 6"X6" CONCRETE MOW STRIP AT PLANTER EDGE

NOT TO SCALE

329413.19-21

2 TYPICAL TREE B&B PLANTING DETAIL

329343-03

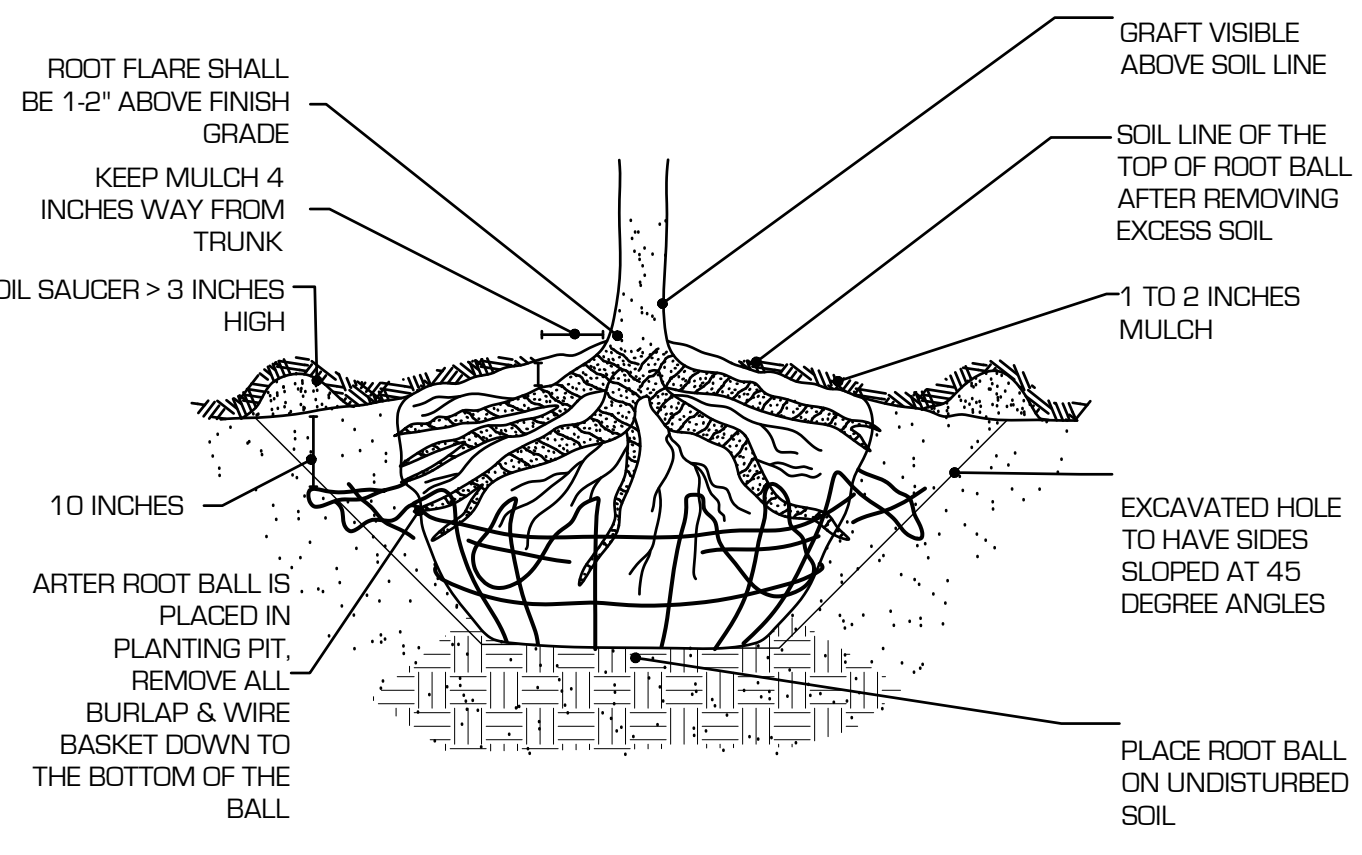
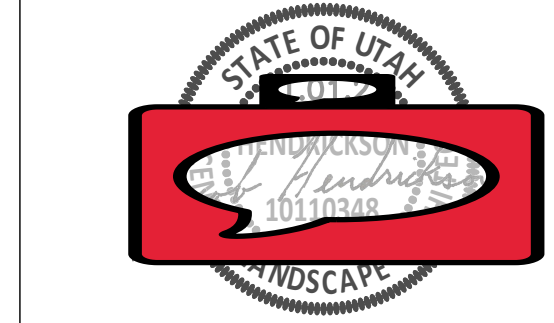


Table with 4 columns: MARK, DATE, DESCRIPTION, and a blank column for notes.

PROJECT #: 22-009 DRAWN BY: KJ REVIEWED BY: JH ISSUED: 11.01.2022



DETAILS

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Reviewed by Building Department

11/02/2022
LLOYD CHENEY

Reviewed by Planning Department

Access Roads: An all-weather fire department access road to be maintained at all times during construction. If access is not maintained, SDMF reserves the right to require roads are placed back in service.

Water for Fire Protection: Water supplies required for fire protection to be maintained at all times during construction. If water supply is not maintained, SDMF reserves the right to require water supply to be maintained.

cover sheet -

DESIGN CRITERIA:

PROJECT ADDRESS
30 WEST 400 SOUTH
BOUNTIFUL UTAH

LOT:
SIZE: 0.2971 ACRES = 12,945 SQ.FT (10,000 SF MIN REQUIRED)
FRONTAGE: 77.90' (50' REQUIRED)

CODE ANALYSIS
2018 INTERNATIONAL RESIDENTIAL CODE

TOWNHOUSE PROJECT:
EACH UNIT SEPARATED BY 2-HOUR WALL ASSEMBLY PER R302.2
GARAGE SHEETED WITH ½" GYPSUM
GARAGE ACCESS DOOR 20 MIN RATED

STRUCTURAL DESIGN CRITERIA:
SNOW: USE USU SNOW STUDY
WIND: 155 MPH VUT 120 MPH V
EXPOSURE: B
SEISMIC: ZONE D2

CHAPTER THREE (3): BUILDING PLANNING
TOWNHOUSE: R302.2
FIRE SEPARATION BETWEEN TOWNHOUSES: PER R302.2 (DOUBLE WALL)
ROOF: NO PENETRATIONS WITH IN 4" OF RATED WALL (UNLESS 30" PARAPET INSTALLED)

BUILDING HEIGHT AND AREA
AREA: 5,600 SF (110' X 110' = 12,100SQ.FT. ALLOWABLE)
HEIGHT: 36'-6" (55' ALLOWABLE)

SQUARE FOOTAGE PER UNIT:

LEVEL 1:
CAR GARAGE 575 SQ. FT.
ENTRY 125 SQ.FT.
TOTAL LEVEL 1 700 SQ. FT.

LEVEL 2:
LIVING 700 SQ. FT.
TOTAL LEVEL 2 700 SQ. FT.

LEVEL 3:
LIVING / BED 700 SQ. FT.
TOTAL LEVEL 3 700 SQ. FT.

GRAND TOTAL
USABLE 1,525 SQ. FT.
CAR GARAGE 575 SQ. FT.
GRAND TOTAL 2,100 SQ. FT.

BUILDING COVERAGE:

ZONING
DOWNTOWN (DN) ZONING

MAXIMUM BUILDING HEIGHT:
DN - DOWNTOWN ZONE: 14-7-107 STRUCTURE HEIGHT: 55'-0"

MINIMUM YARD REQUIREMENTS:
SEE SHEET AS-101

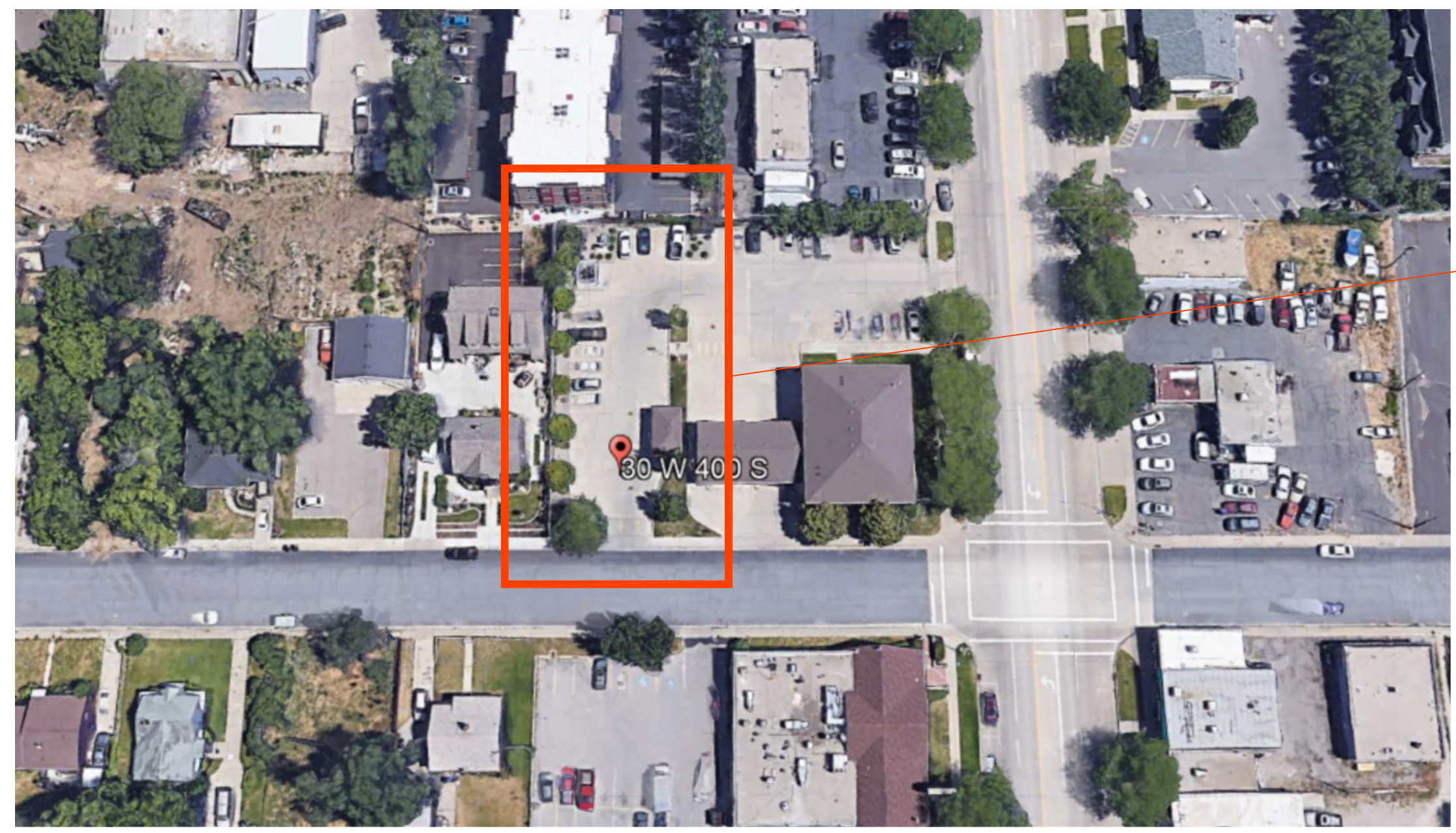
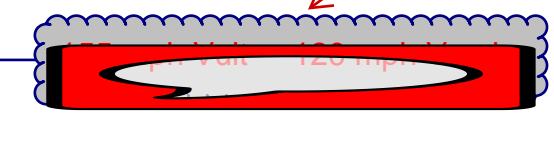
FRONT YARD SET BACK:
10'-0"

INTERIOR SIDE YARD:
10'-0"

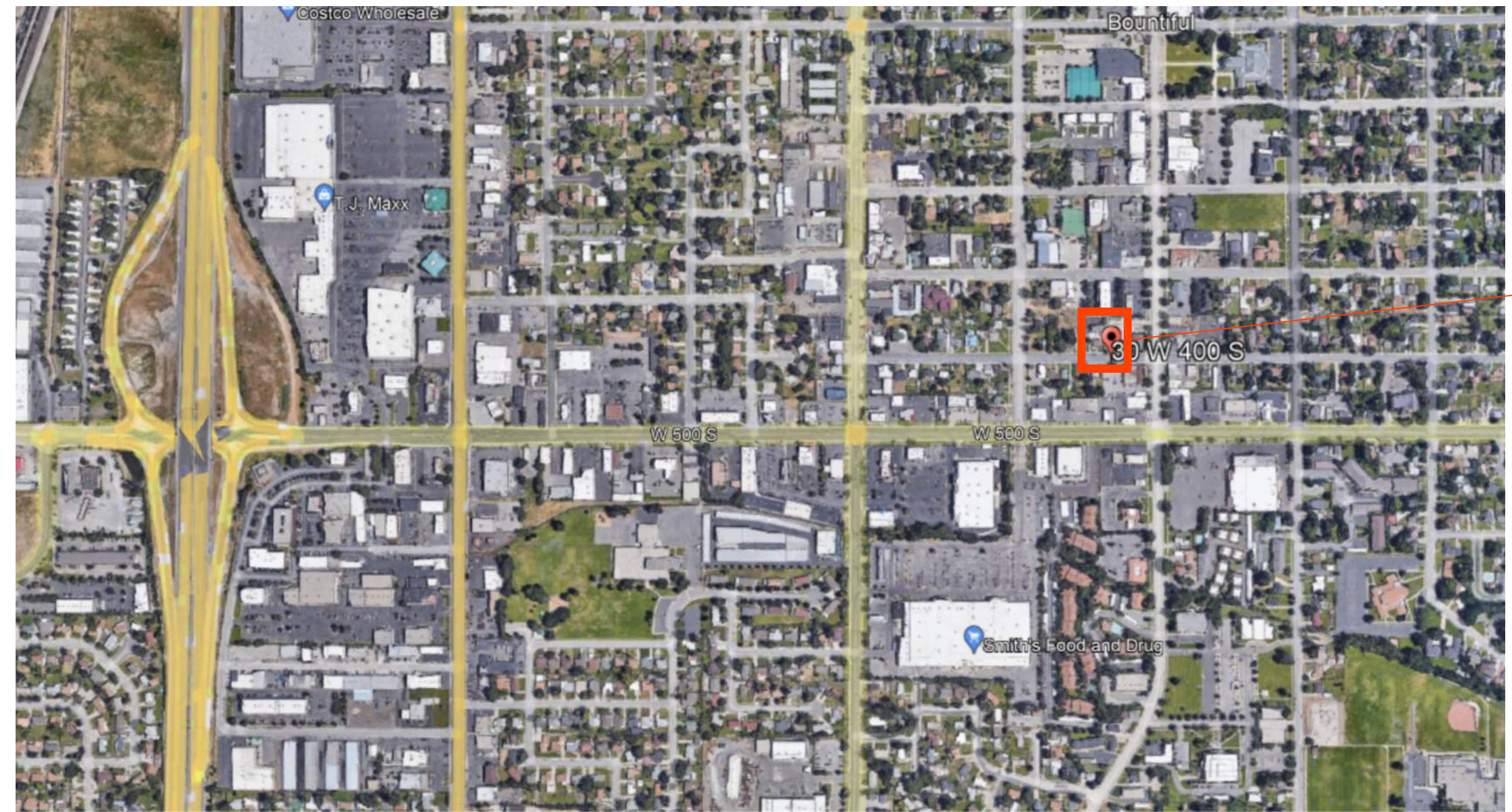
REAR YARD
10'-0"

Note added to cover sheet - Babcock

Specify (2) by rated in accordance with E-119 or UL-207



3 ENLARGED VICINITY MAP



2 VICINITY MAP



1 PERSPECTIVE

DRAWING INDEX:

GENERAL:	
G100	SITE PLAN / DRAWING INDEX
SURVEY	SHEET 1 OF 1
CIVIL:	
C001	COVER AND LEGEND
C101	DEMOLITION PLAN
C102	SITE & DIMENSION PLAN
C201	GRADING PLAN
C301	STORM DRAIN & UTILITY PLAN
C501	DETAILS
C502	DETAILS
C503	DETAILS
LANDSCAPE:	
L101	LANDSCAPE PLAN
L201	DETAILS
ARCHITECTURAL:	
AS100	ARCHITECTURAL SITE PLAN
AS101	ARCHITECTURAL DUMPSTER DETAILS
A101	LEVEL 1 & 2 FLOOR PLANS
A102	LEVEL 3 & ROOF PLANS
A103	UNIT "A" ENLARGED PLAN
A104	UNIT "B-H" ENLARGED PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A203	BUILDING SECTIONS
A204	SECTIONS & DETAILS (FUTURE PKG)
STRUCTURAL (FUTURE PACKAGE):	
S101	FOOTING AND FOUNDATION PLAN
S102	MAIN LEVEL FRAMING PLAN
S103	UPPER LEVEL FRAMING PLAN
S104	ROOF FRAMING PLAN
S105	STRUCTURAL DETAILS
ELECTRICAL (FUTURE PACKAGE):	
E101	LOWER LEVEL POWER / LIGHTING PLAN
E102	MAIN LEVEL POWER / LIGHTING PLAN
E103	UPPER LEVEL POWER / LIGHTING PLAN

SQUARE FOOTAGE:

UNIT "A-H":	
125 SF	LEVEL 1 ENTRY (FINISHED)
700 SF	LEVEL 2 LIVING (FINISHED)
700 SF	LEVEL 3 BEDROOM (FINISHED)
1,525 SF	(TOTAL LIVING)
575 SF	LEVEL 1 GARAGE (FINISHED)
2,100 SF	(GRAND TOTAL)



stamp:

TOWNS at 400
30 West 400 South
Bountiful Utah 84010

REVISION BLOCK		
NO.	DATE	DESCRIPTION:

G100
COVER
date:
10.27.2022



stamp:

KNIGHTON PLACE APARTMENTS 3-STORY (24 UNIT)

GARAGE PARKING

K&J AUTO RENT-TO-OWN

EXIST. GEAR PHASE 1 POWER BOX EXIST PRIMARY RACEWAY TO BE UTILIZED FOR NEW TRANSFORMER RELOCATED METER RELOCATED TRANSFORMER - ON NEW 10'X10' PAD NEW CMU TRASH ENCLOSURE

EXISTING TRANSFORMER AND METER TO BE RELOCATED

NEW COMM LINE BY VENDOR 77.90'

800 AMP SERVICE

TRASH

NEW 10'-0" PUBLIC UTILITY EASEMENT EXISTING PAVING TO REMAIN

FRONT PORCH

updated

of the facility an exterior wall of the building is more than 150 feet from the property by the owner of the facility

ATTACH TO EXISTING BY VENDOR

EXIST. RACEWAY

FRONT PORCH

LANDSCAPE PAVERS LANDSCAPE

CHILD PROOF LOCK TO THE

MENT

here - Cross access agreement place

here - Cross access agreement place

CROSS AGREEMENT

MAIN

reement - do need an al hydr

GARAGE W/ APARTMENT

14.7.106 PROJECTIONS INTO YARDS: A/C UNITS ARE NOT CONSIDERED AN APPERTENANCE FOR UTILITY SERVICE

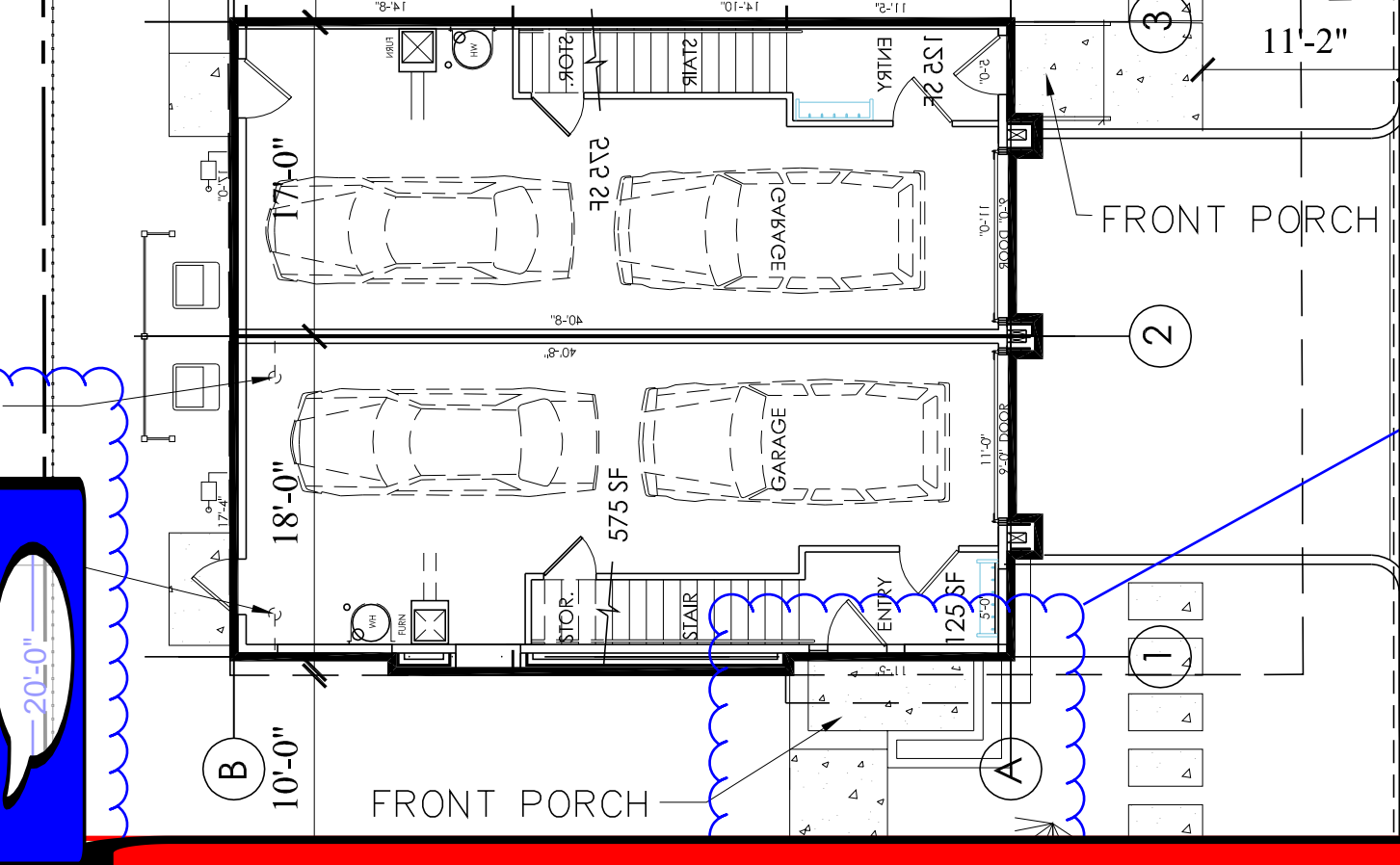
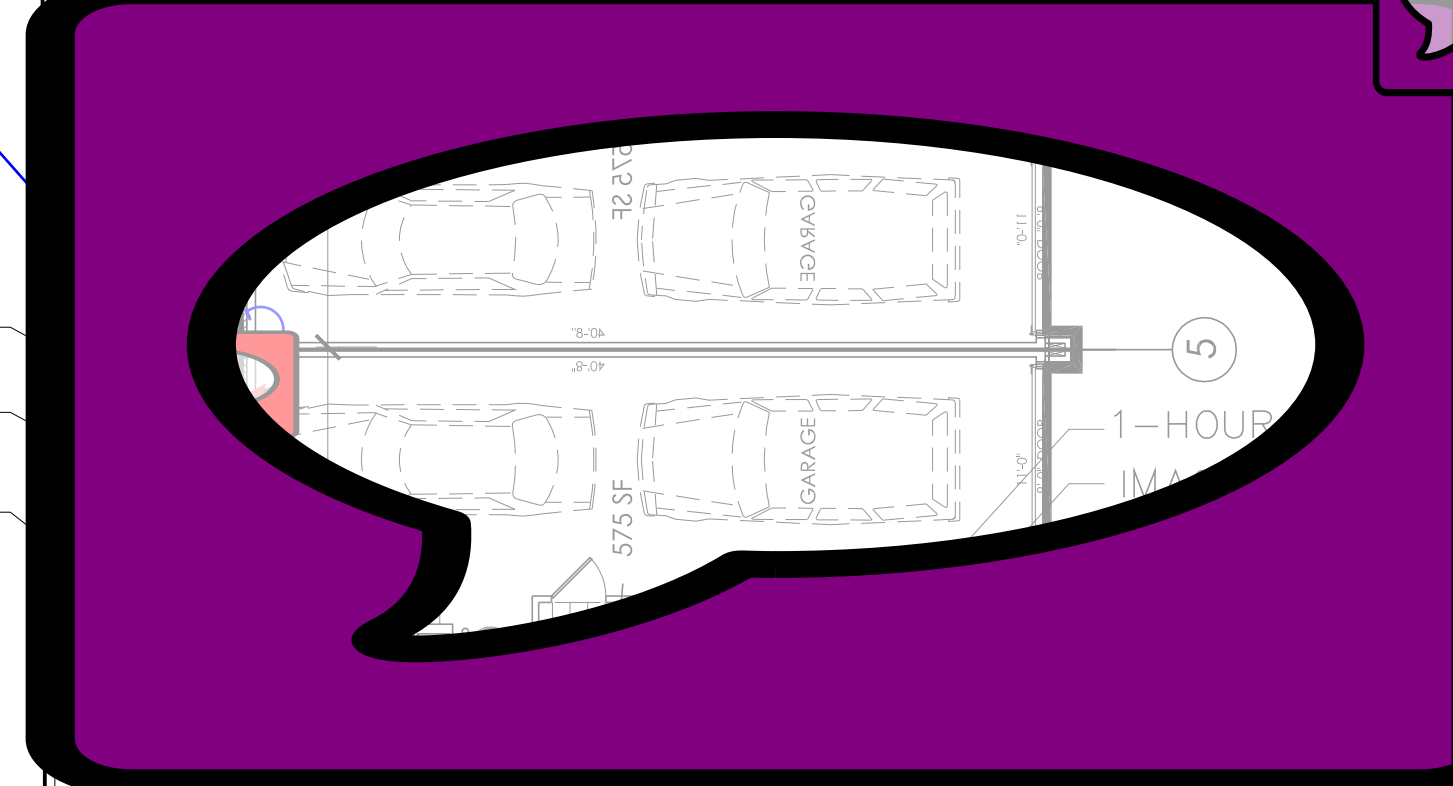
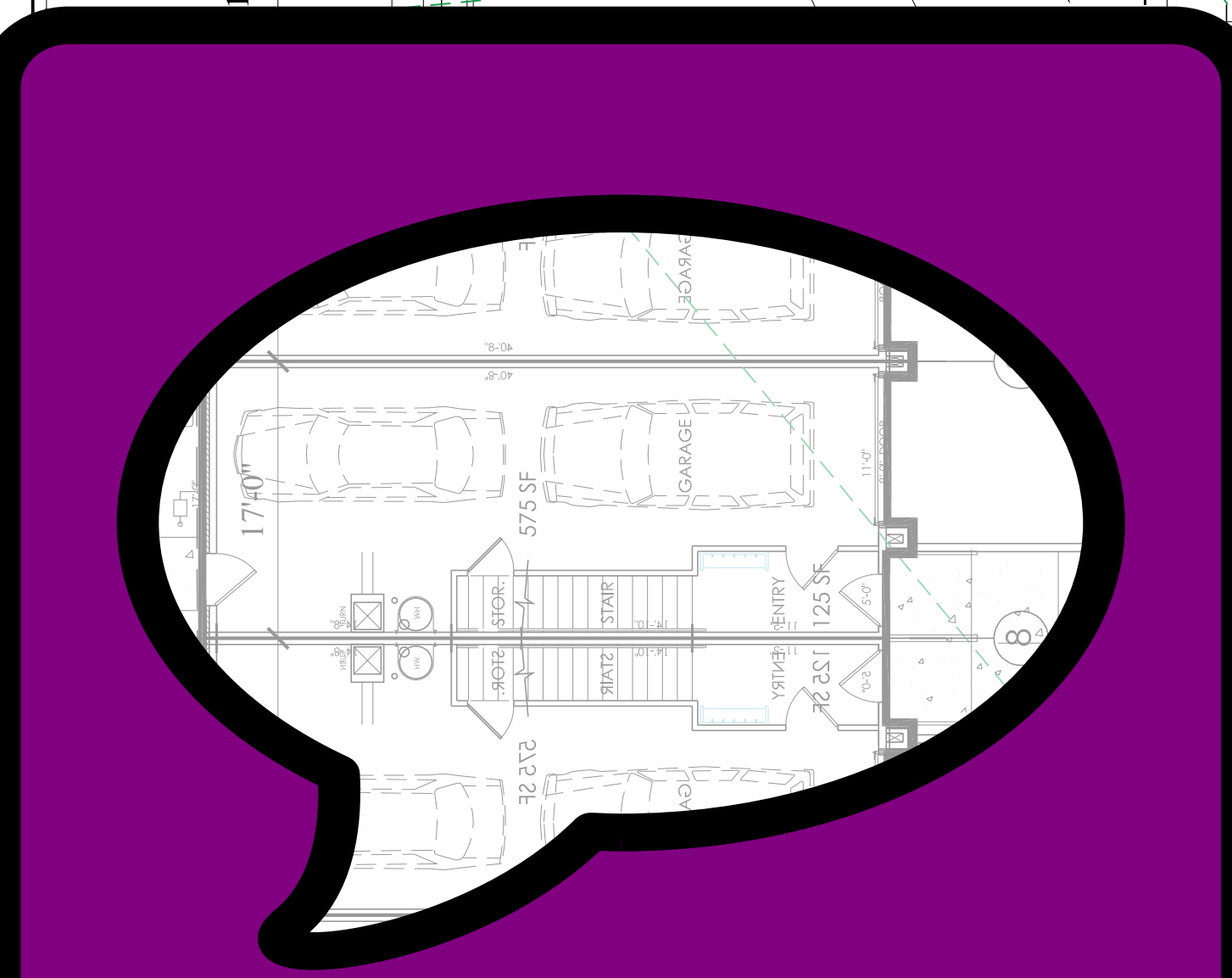
14.16.114 NONCONFORMING FENCE BE RECONSTRUCTED (DOES NOT EXCEED 20' IN HEIGHT) 14.16.111 SOLID FENCING LOCATED AT THE STREET SHALL BE A MAX HEIGHT

SCREEN - SYNTHETIC WOOD GAS METER - (1) PER UNIT LANDSCAPE SEE L-SHEETS

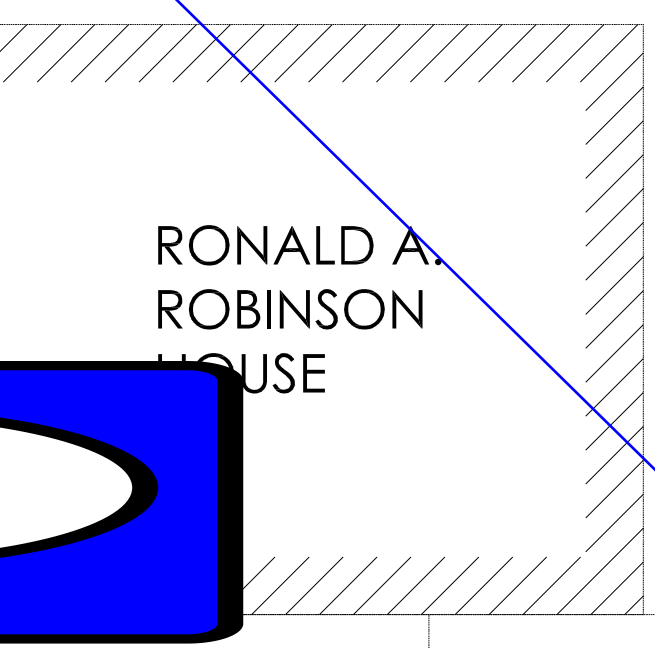
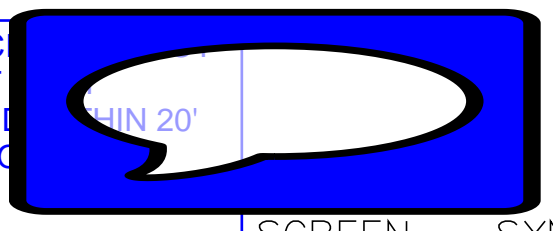
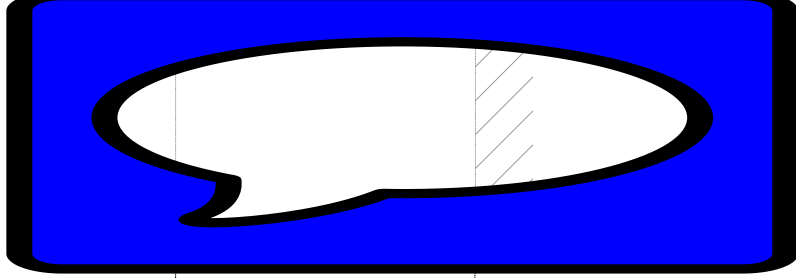
RONALD A. ROBINSON HOUSE

UNDERGROUND WATER STUB FOR FUTURE COMMERCIAL UNDERGROUND SEWER STUB FOR FUTURE COMMERCIAL

NEW C



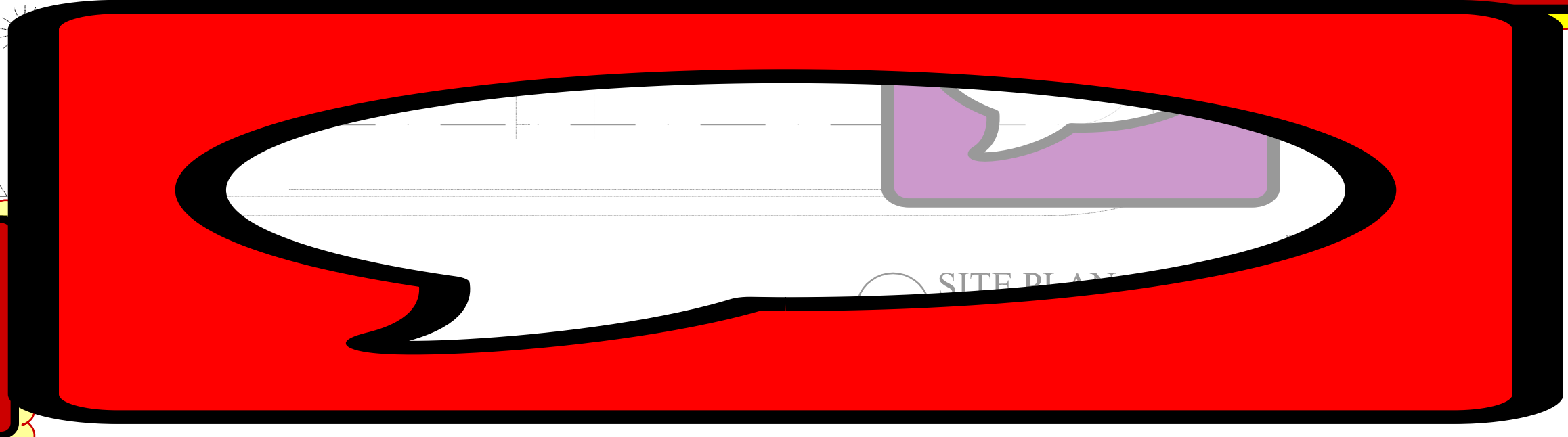
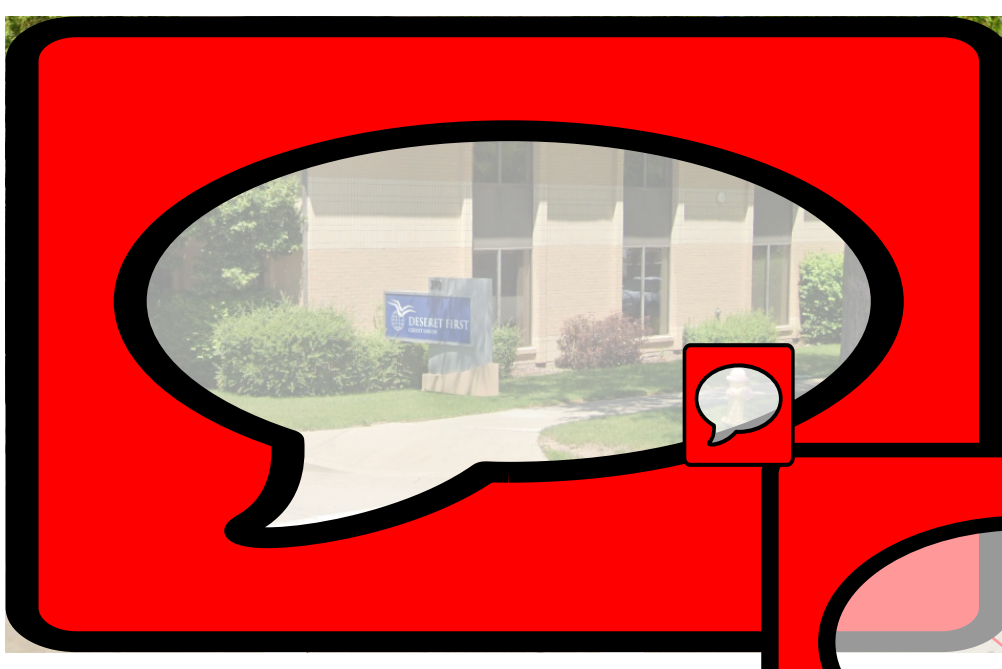
eria already comment responded to scan



FRONTAGE PER PH

dated

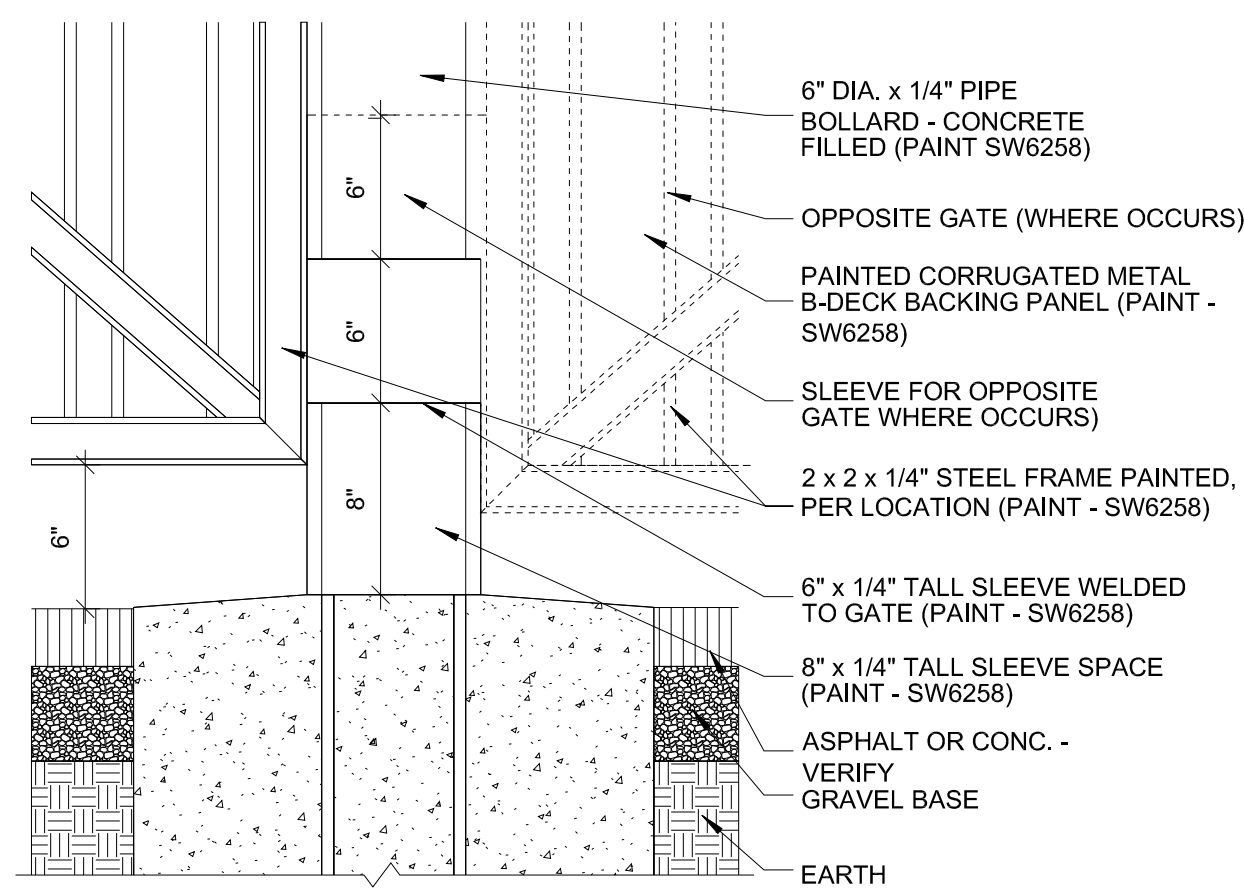
here - Cross access agreement place



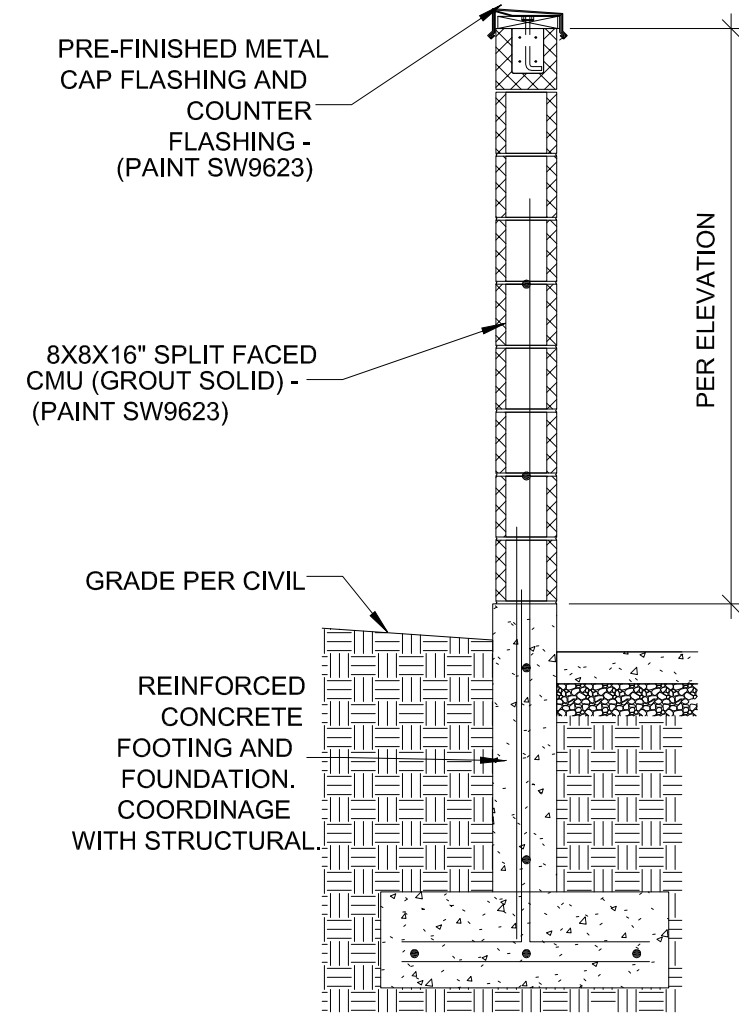
TOWNS at 400 30 West 400 South Bountiful Utah 84010

REVISION BLOCK NO.	DATE	DESCRIPTION

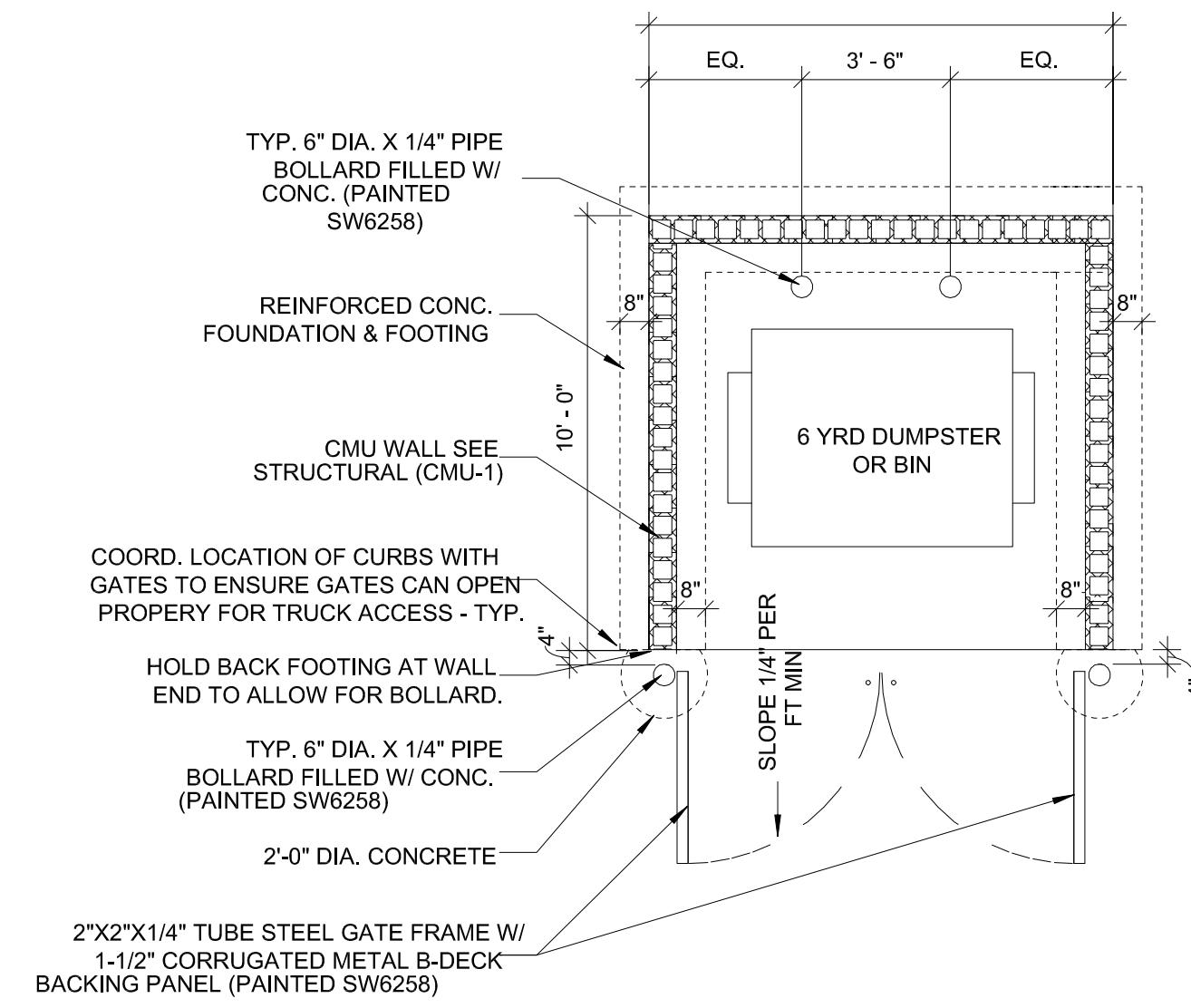
AS100 SITE PLAN date: 10.27.2022



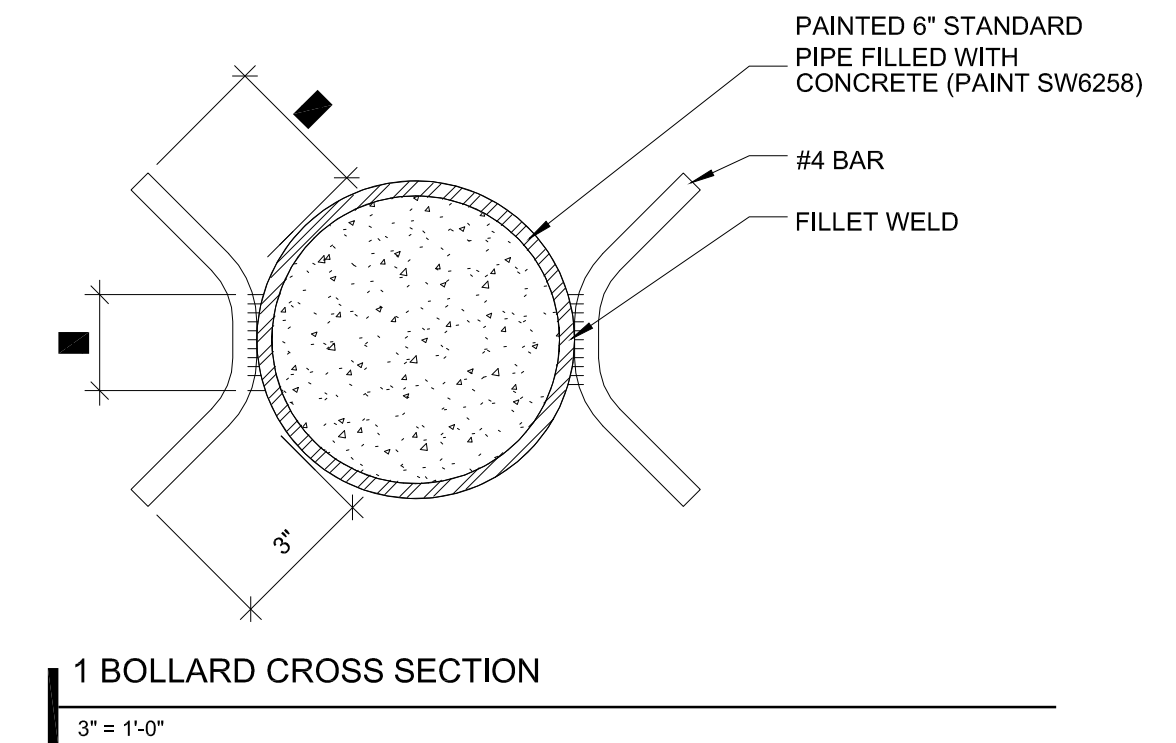
12 DUMPSTER GATE SLEEVE DETAIL
1 1/2" = 1'-0"



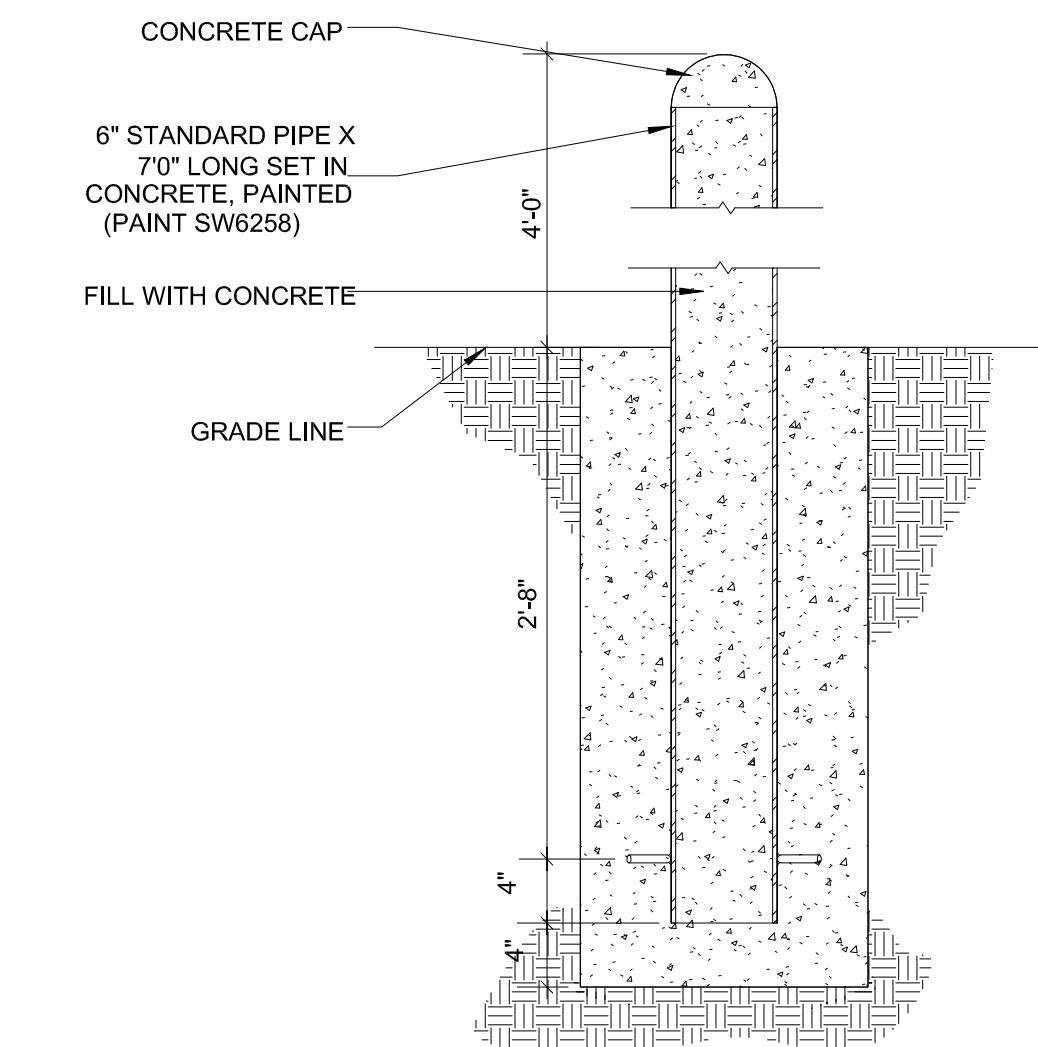
9 TRASH ENCLOSURE WALL SECTION
1/2" = 1'-0"



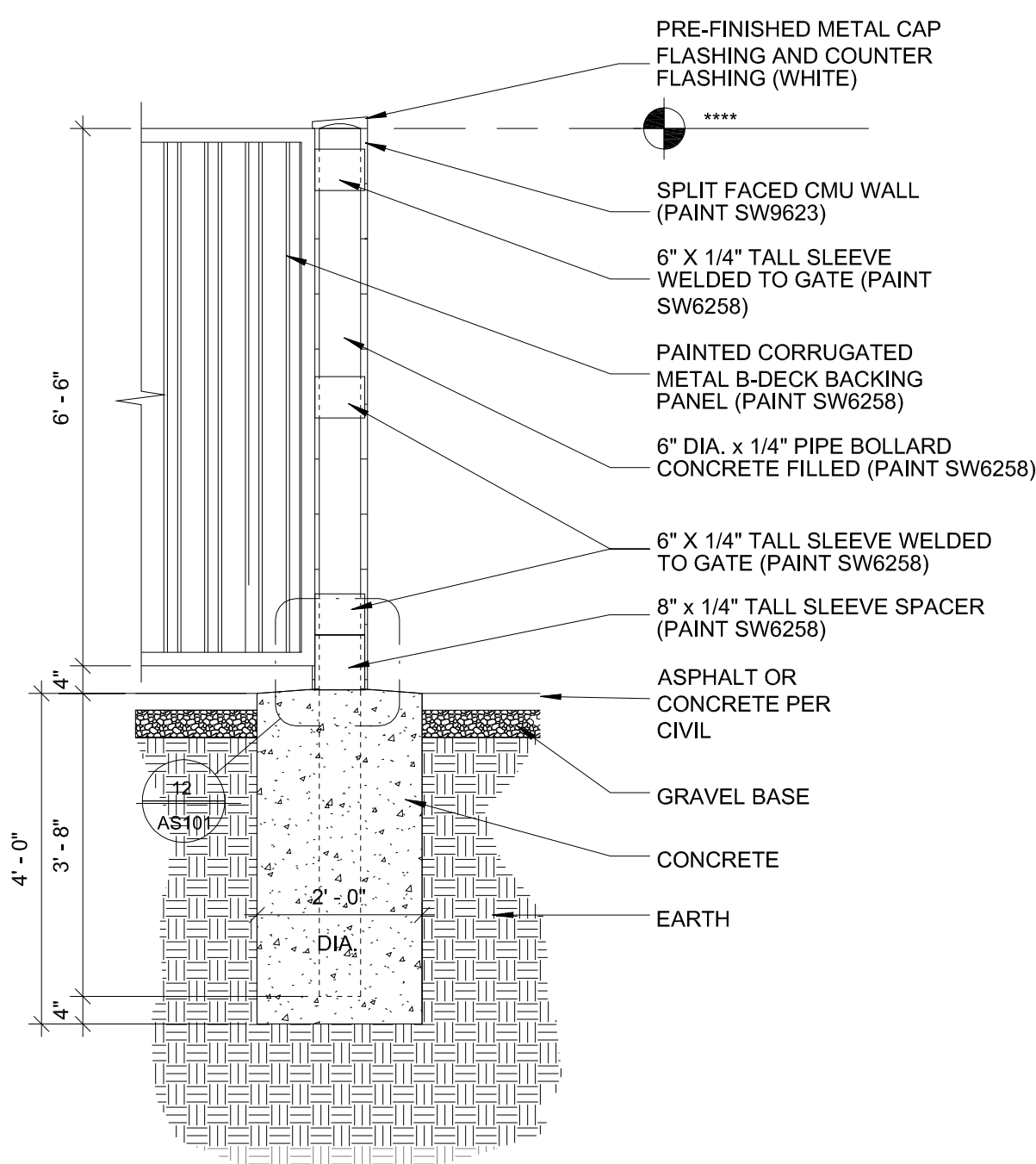
5 TRASH ENCLOSURE
1/4" = 1'-0"



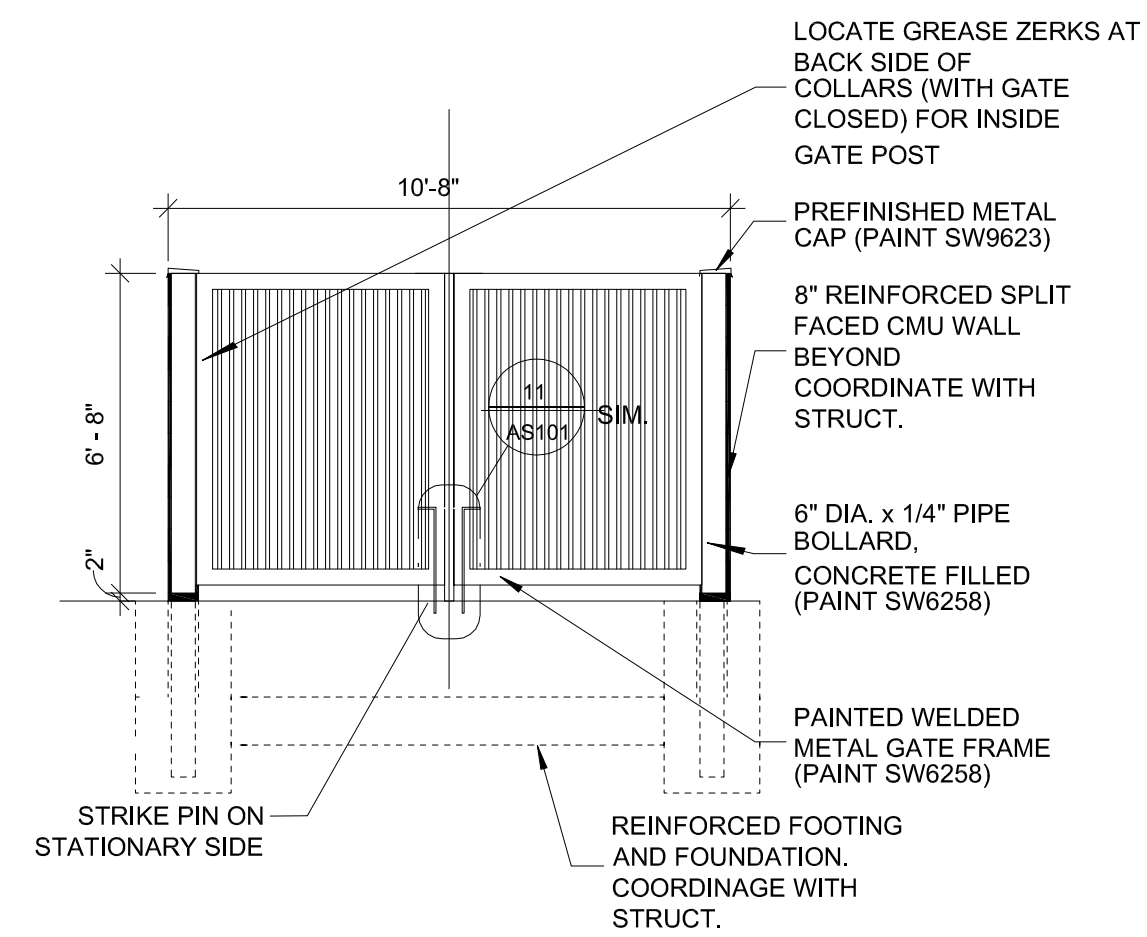
1 BOLLARD CROSS SECTION
3" = 1'-0"



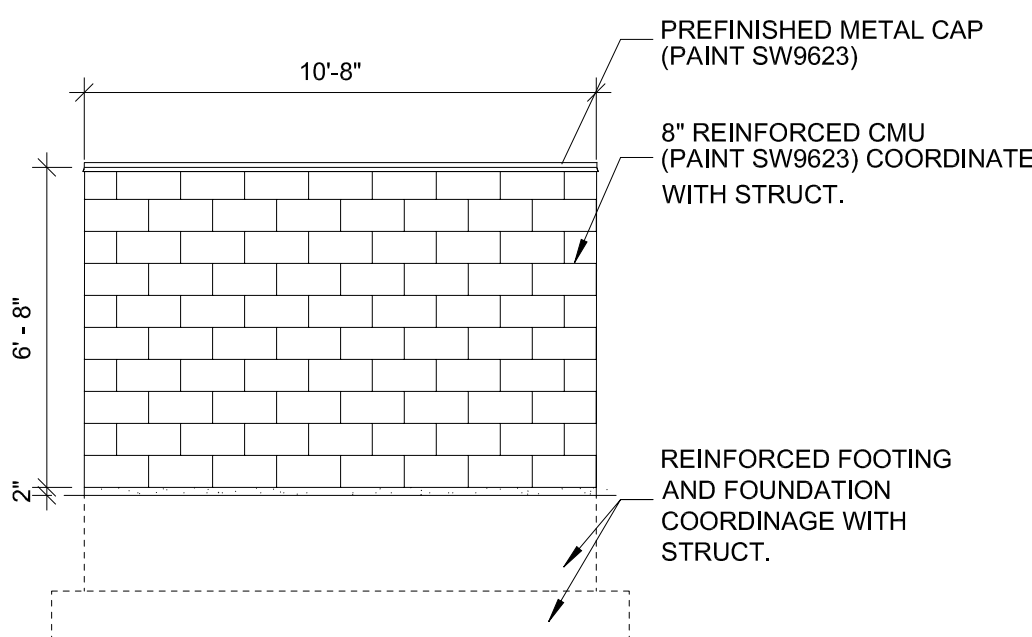
2 BOLLARD SECTION
1/2" = 1'-0"



10 DUMPSTER GATE - END POST DETAIL
1/2" = 1'-0"



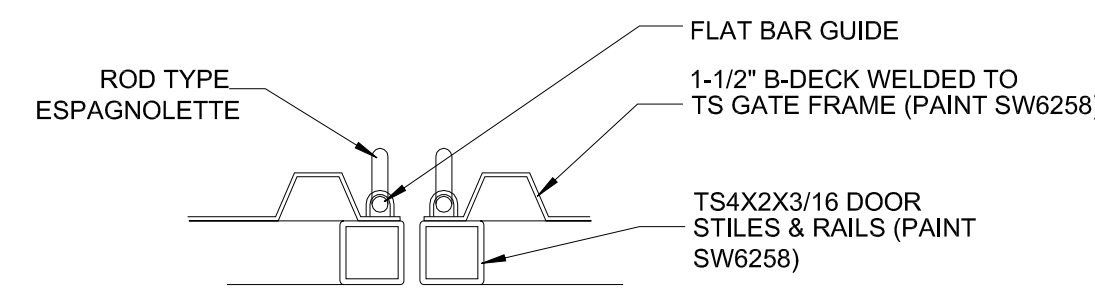
6 TRASH ENCLOSURE - FRONT ELEVATION
1/4" = 1'-0"



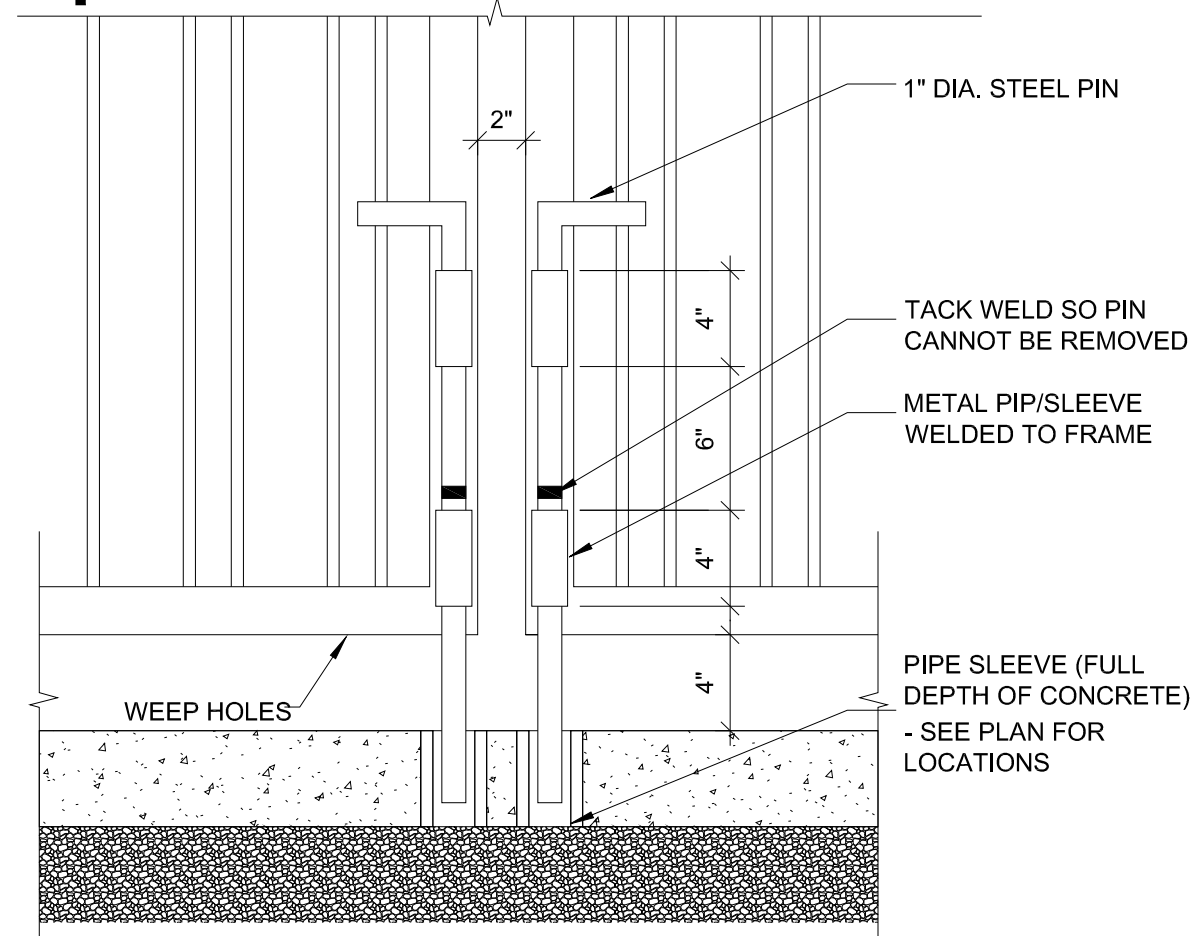
7 TRASH ENCLOSURE - BACK ELEVATION
1/4" = 1'-0"

3 NOT USED
1 1/2" = 1'-0"

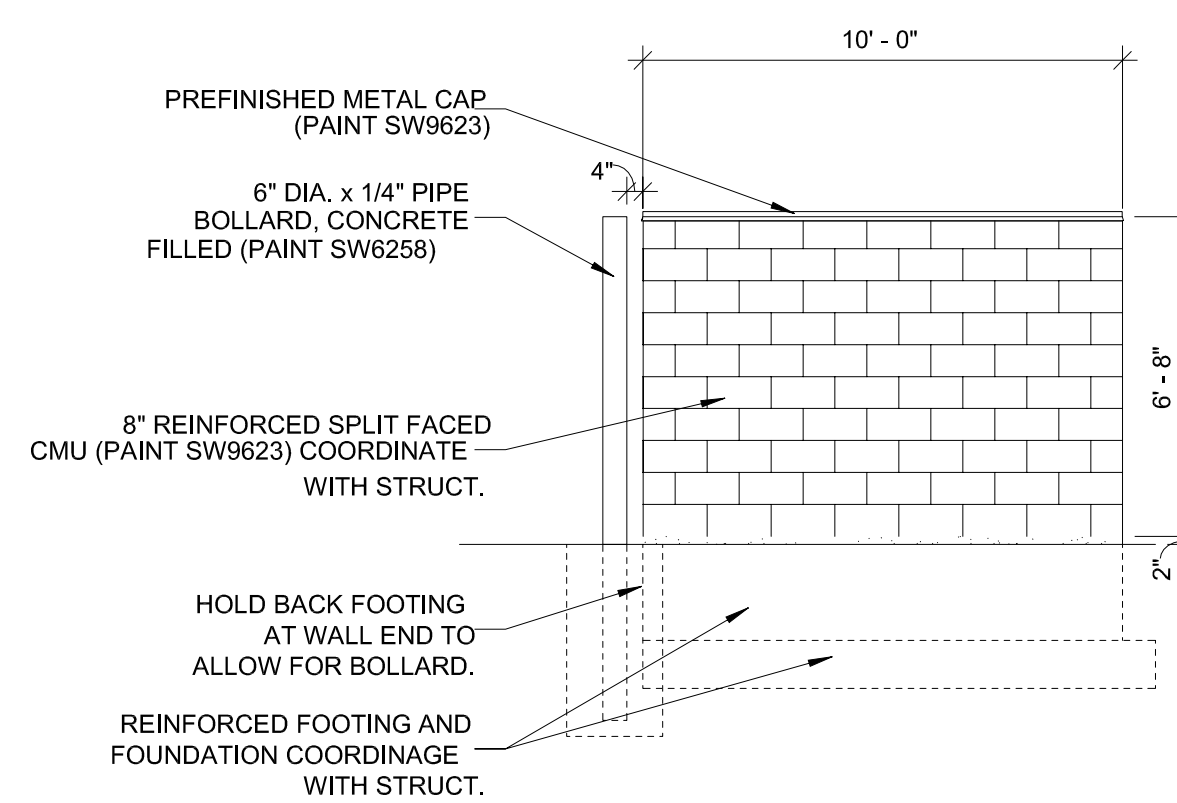
13 NOT USED
1/2" = 1'-0"



14 GATE ESPAGOLETTE
1" = 1'-0"



11 DUMPSTER GATE PIN
1 1/2" = 1'-0"



8 TRASH ENCLOSURE - SIDE ELEVATION
1/4" = 1'-0"

4 NOT USED
1/2" = 1'-0"



stamp:

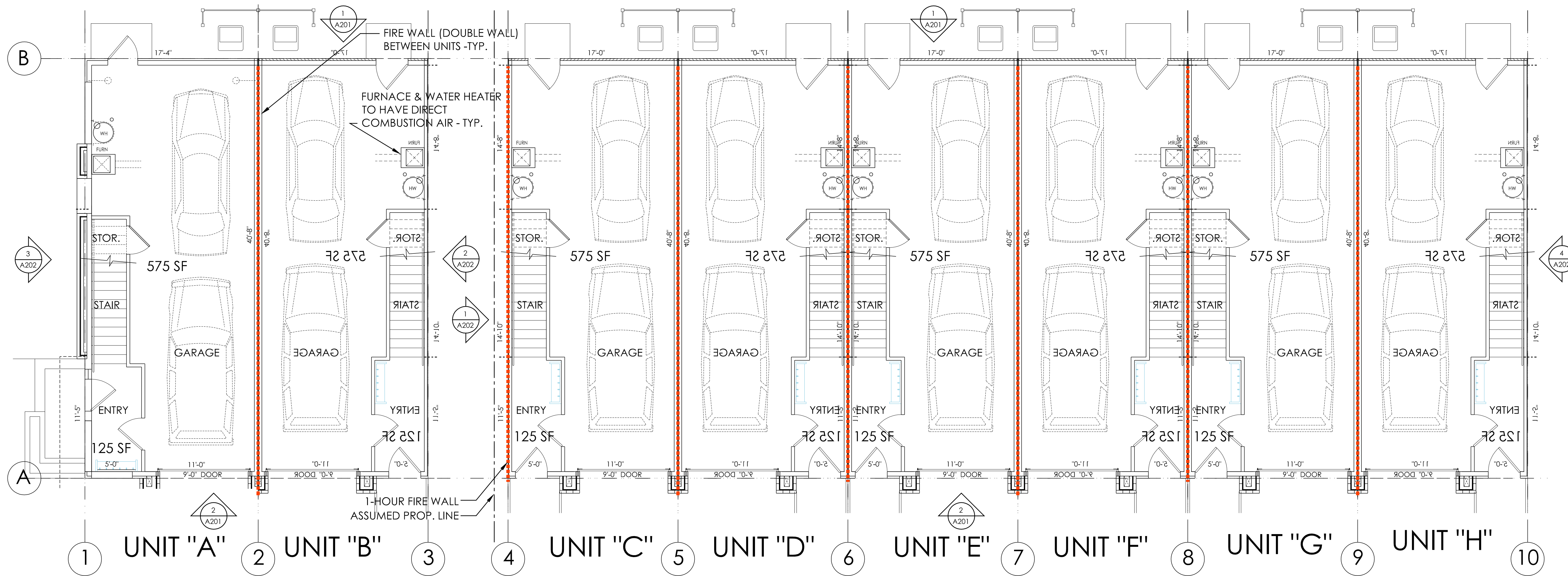
TOWNS at 400
30 West 400 South
Bountiful Utah 84010

REVISION BLOCK	
NO.	DESCRIPTION:

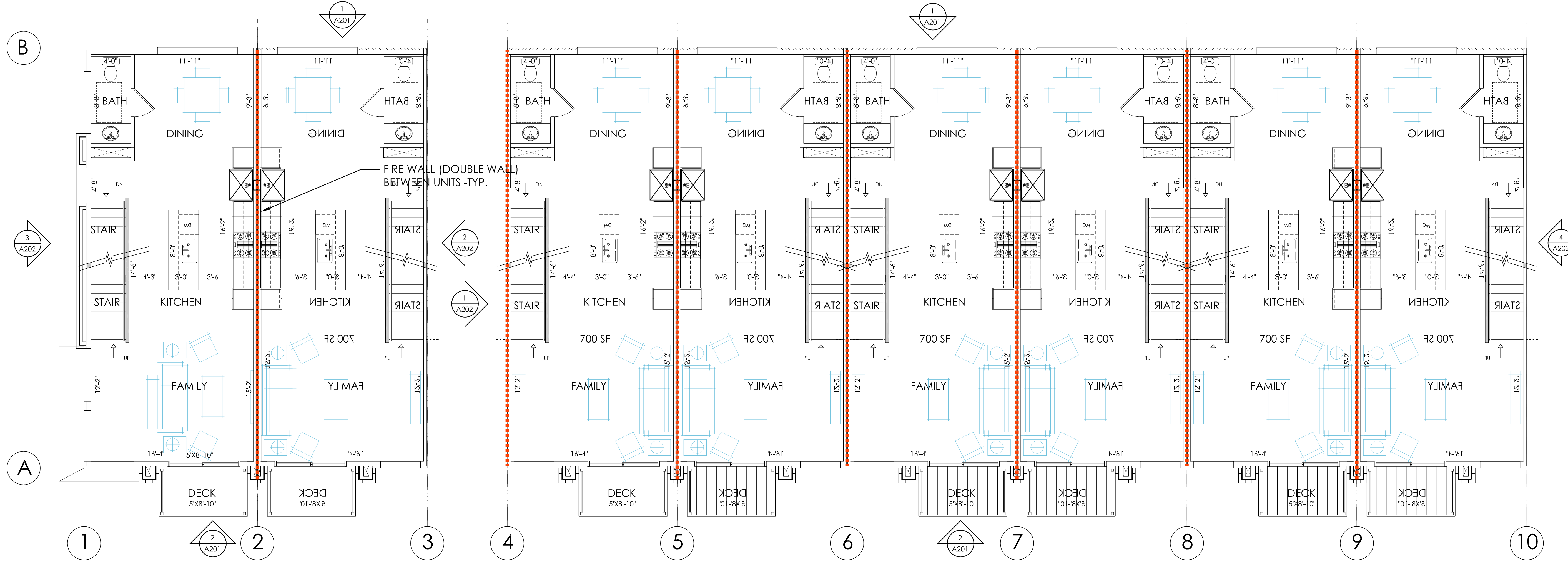
AS101
DUMPSTER
DETAILS
date:
10.27.2022



stamp:



1 LEVEL 1 - OVERALL FLOOR PLAN
SCALE: 3/32" = 1'-0"



2 LEVEL 2 - OVERALL FLOOR PLAN
SCALE: 3/32" = 1'-0"

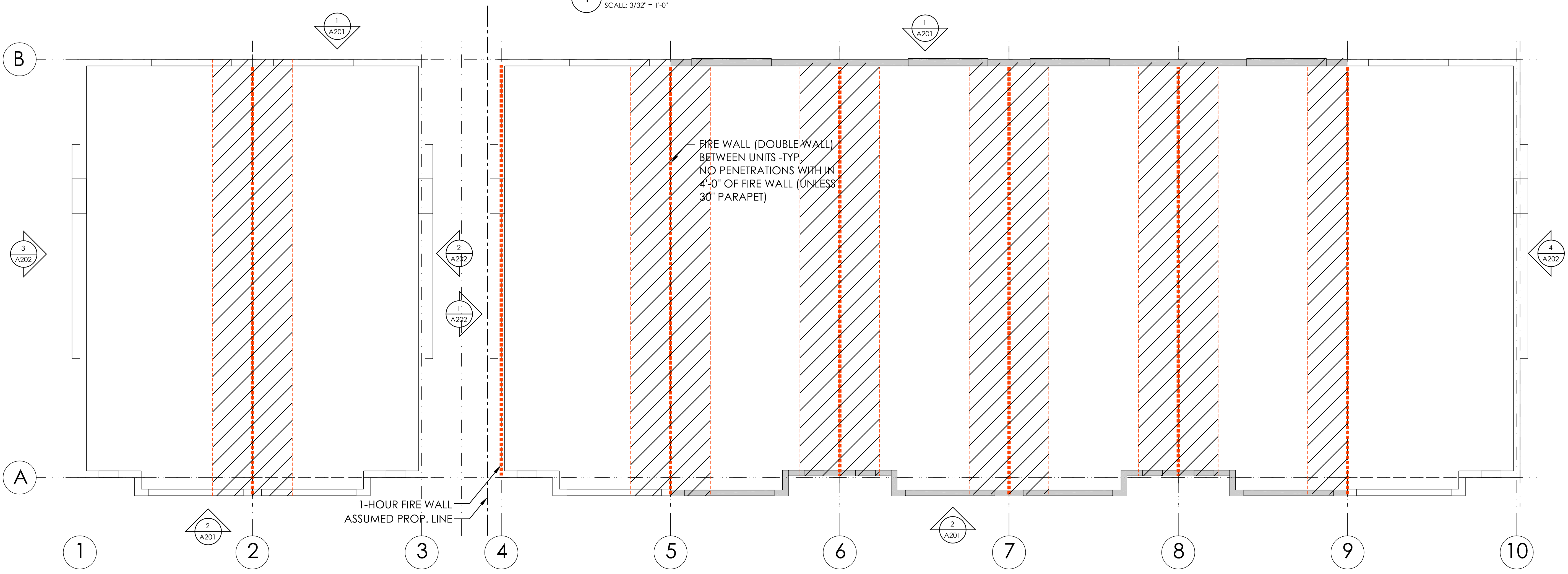
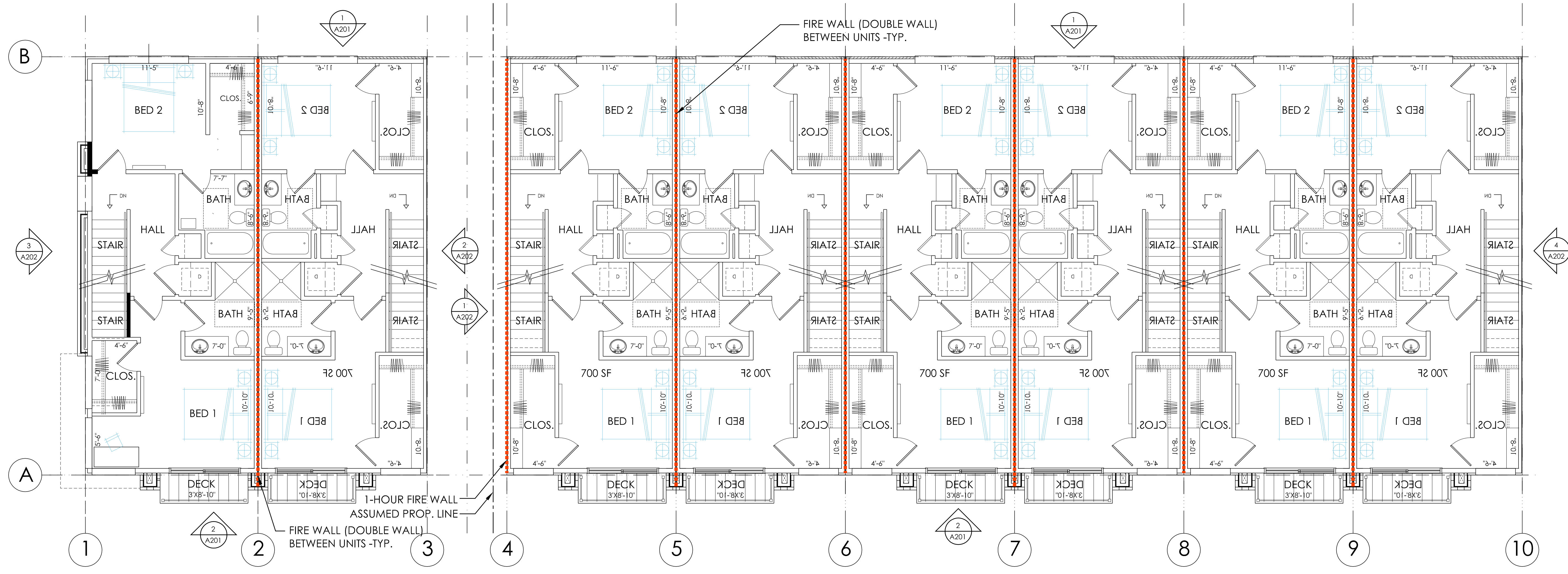
TOWNS at 400
30 West 400 South
Bountiful Utah 84010

REVISION BLOCK	
NO.	DATE: DESCRIPTION:

A101
LEVEL 1&2
date:
10.27.2022



stamp:



TOWNS at 400
30 West 400 South
Bountiful Utah 84010

REVISION BLOCK	
NO.	DESCRIPTION:

A102
LEVEL 3&ROOF
date: 10.27.2022



stamp:



1 LEVEL 1 - FLOOR PLAN (UNIT A)
SCALE: 1/4" = 1'-0"

2 LEVEL 2 - FLOOR PLAN (UNIT A)
SCALE: 1/4" = 1'-0"

3 LEVEL 3 - FLOOR PLAN (UNIT A)
SCALE: 1/4" = 1'-0"

4 ROOF PLAN (UNIT A)
SCALE: 1/4" = 1'-0"

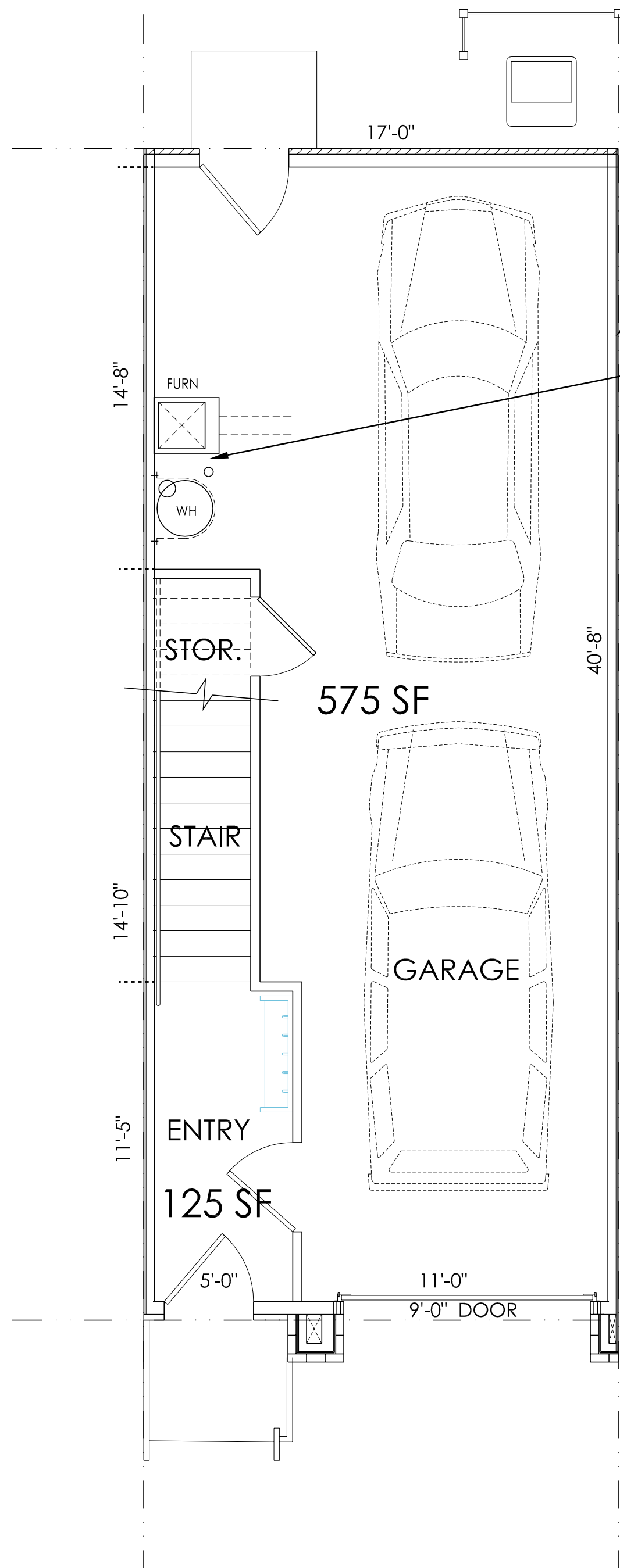
TOWNS at 400
30 West 400 South
Bountiful Utah 84010

REVISION BLOCK	
NO.	DESCRIPTION:

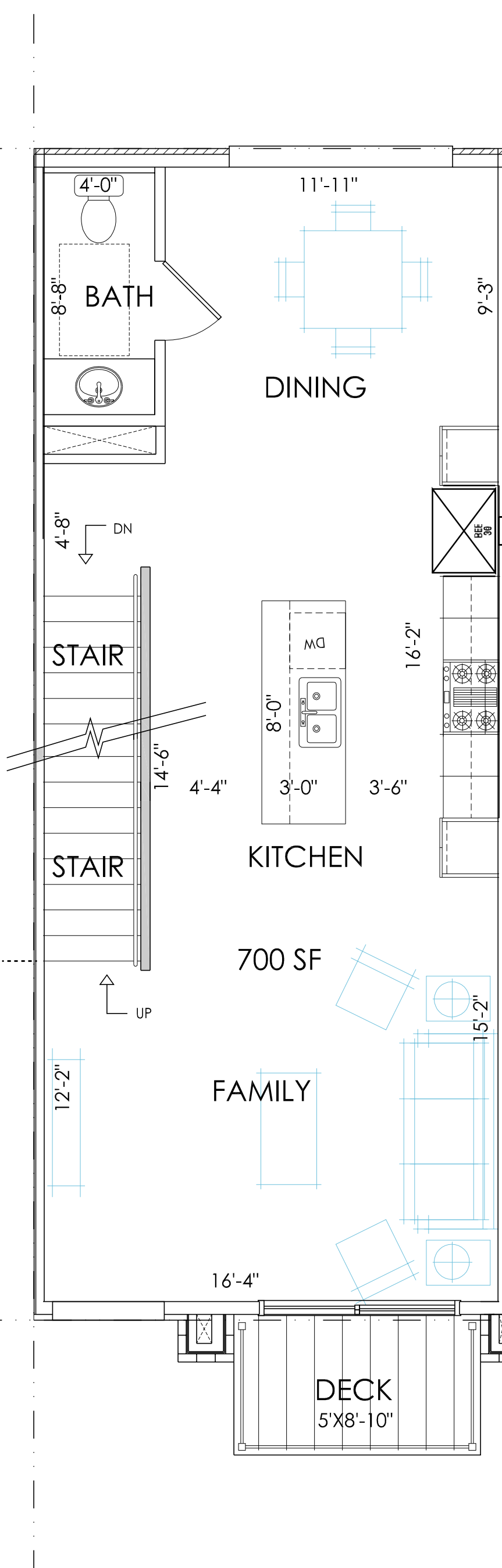
A103
UNIT A PLANS
date:
10.27.2022



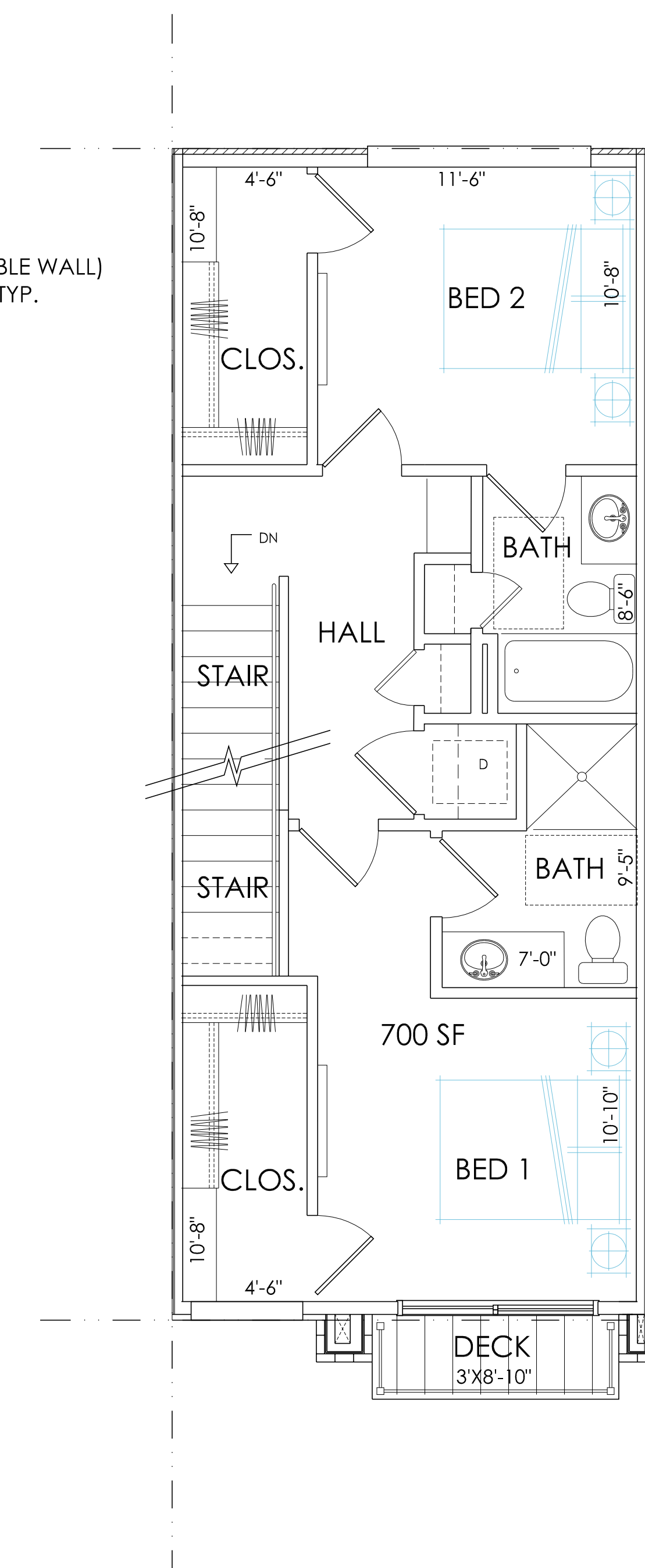
stamp:



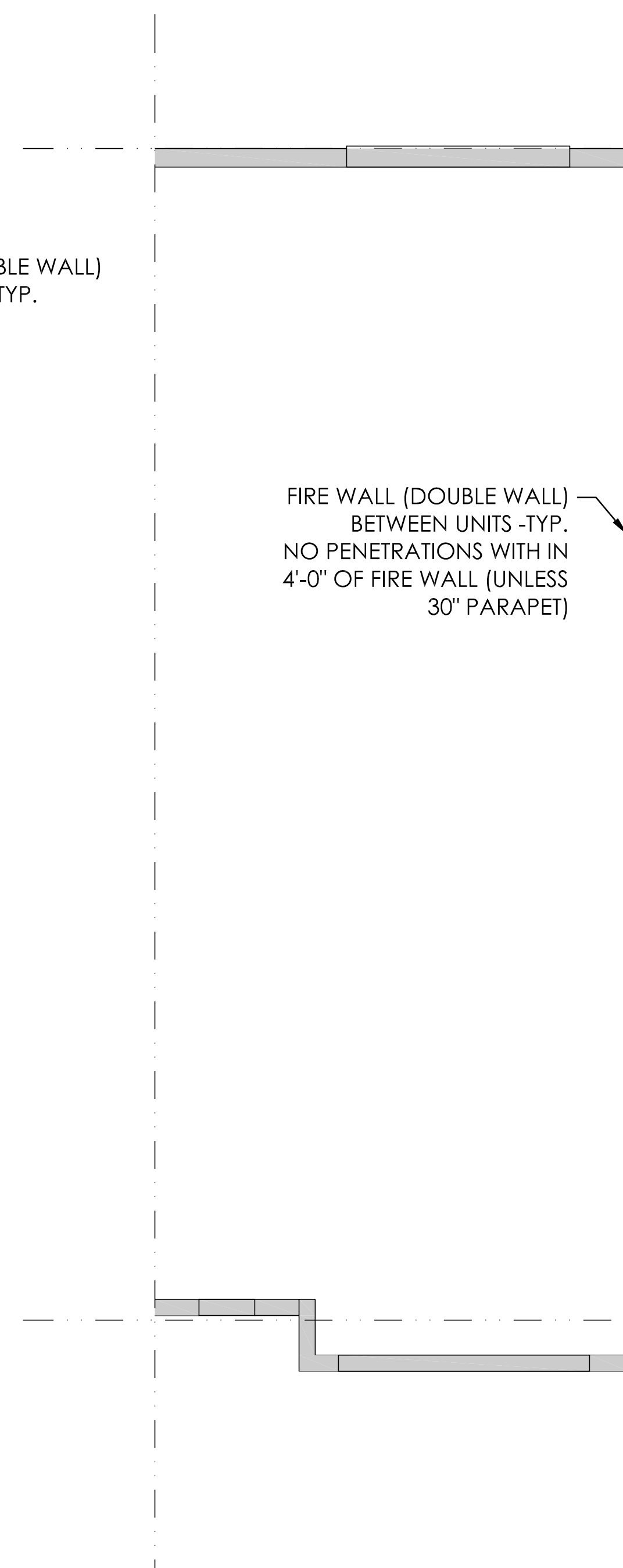
1 LEVEL 1 - FLOOR PLAN (UNIT B-H)
SCALE: 1/4" = 1'-0"



2 LEVEL 2 - FLOOR PLAN (UNIT B-H)
SCALE: 1/4" = 1'-0"



3 LEVEL 3 - FLOOR PLAN (UNIT B-H)
SCALE: 1/4" = 1'-0"



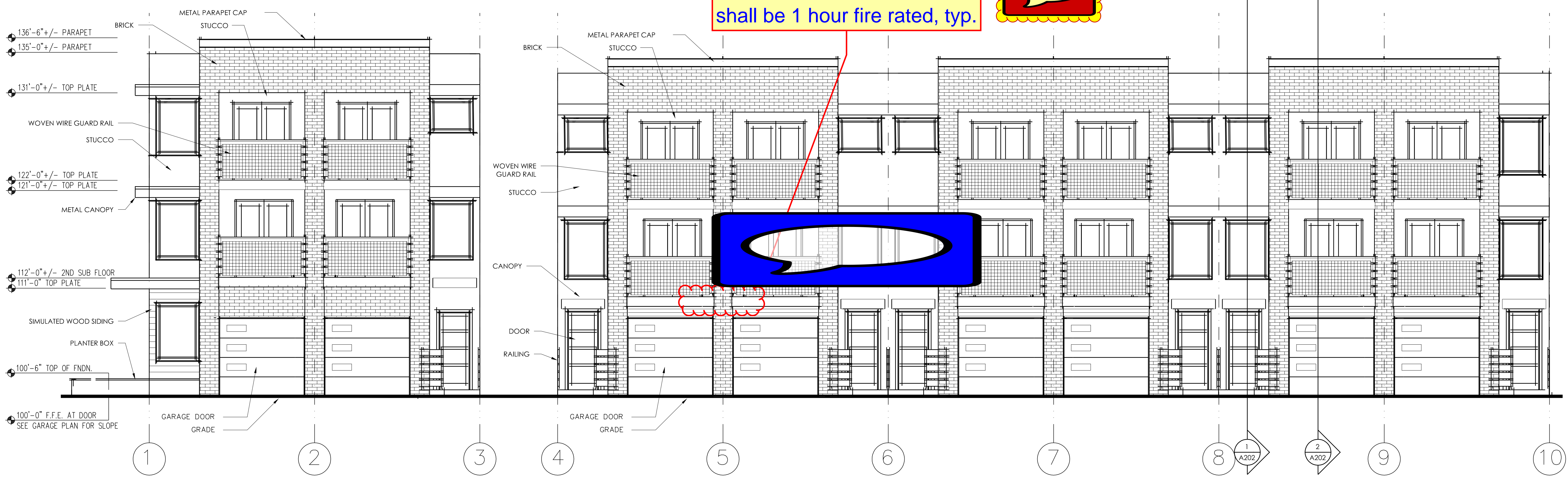
4 ROOF PLAN (UNIT B-H)
SCALE: 1/4" = 1'-0"

TOWNS at 400
30 West 400 South
Bountiful Utah 84010

REVISION BLOCK	NO.	DATE	DESCRIPTION

A104
UNIT G-H
PLANS
date:
10.27.2022

The underside of the decks within 4' of the common wall shall be 1 hour fire rated, typ.



SOUTH BUILDING FINISHES (%):
 STUCCO: 44%
 OTHER FINISHES: 56%

2 WEST ELEVATION
 SCALE: 3/32" = 1'-0"

NORTH BUILDING FINISHES (%):
 STUCCO: 48%
 OTHER FINISHES: 52%



stamp:

TOWNS at 400
 30 West 400 South
 Bountiful Utah 84010



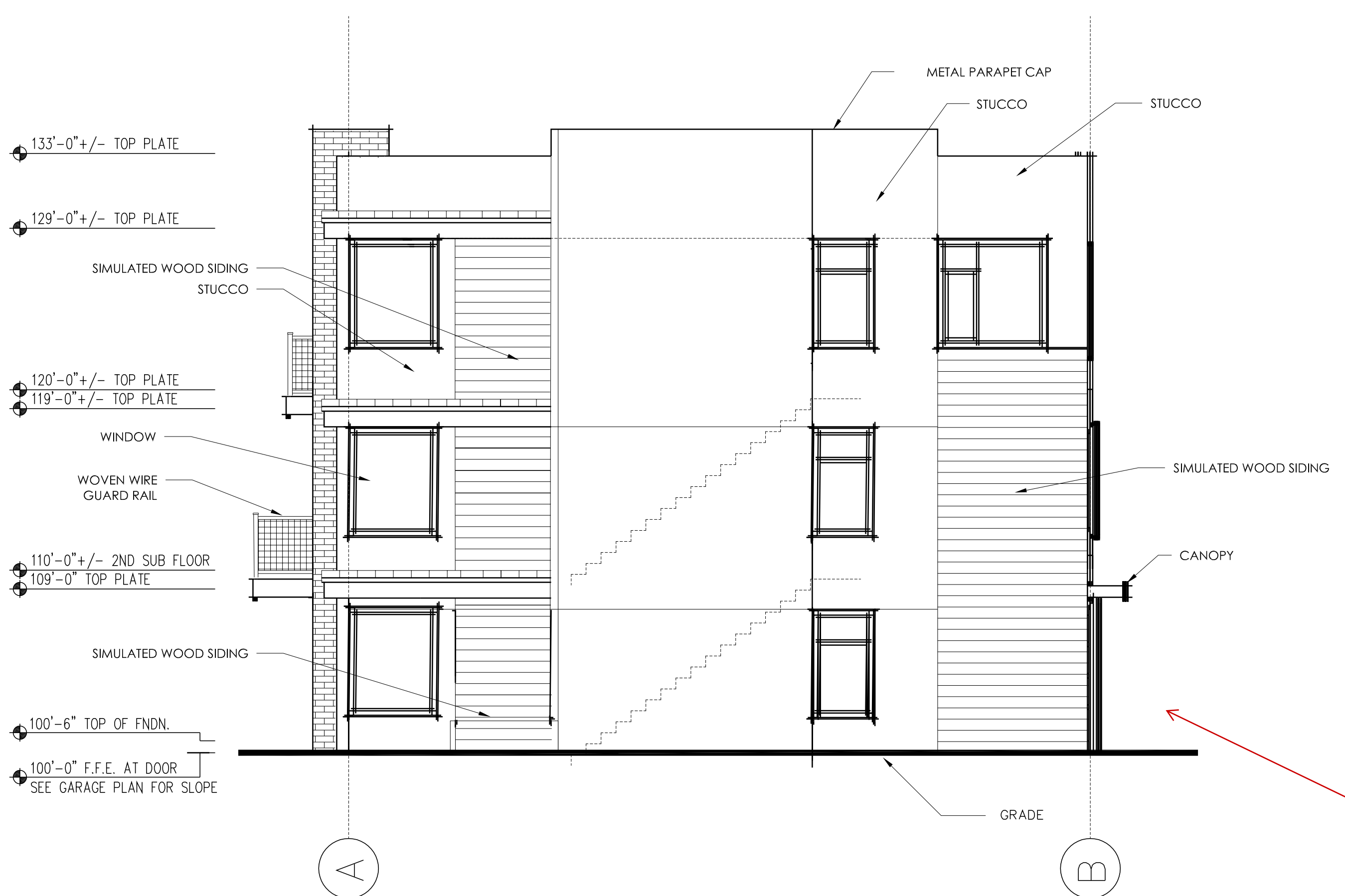
1 EAST ELEVATION
 SCALE: 3/32" = 1'-0"

NO.	DATE	DESCRIPTION

A201
 ELEVATIONS
 date:
 10.27.2022

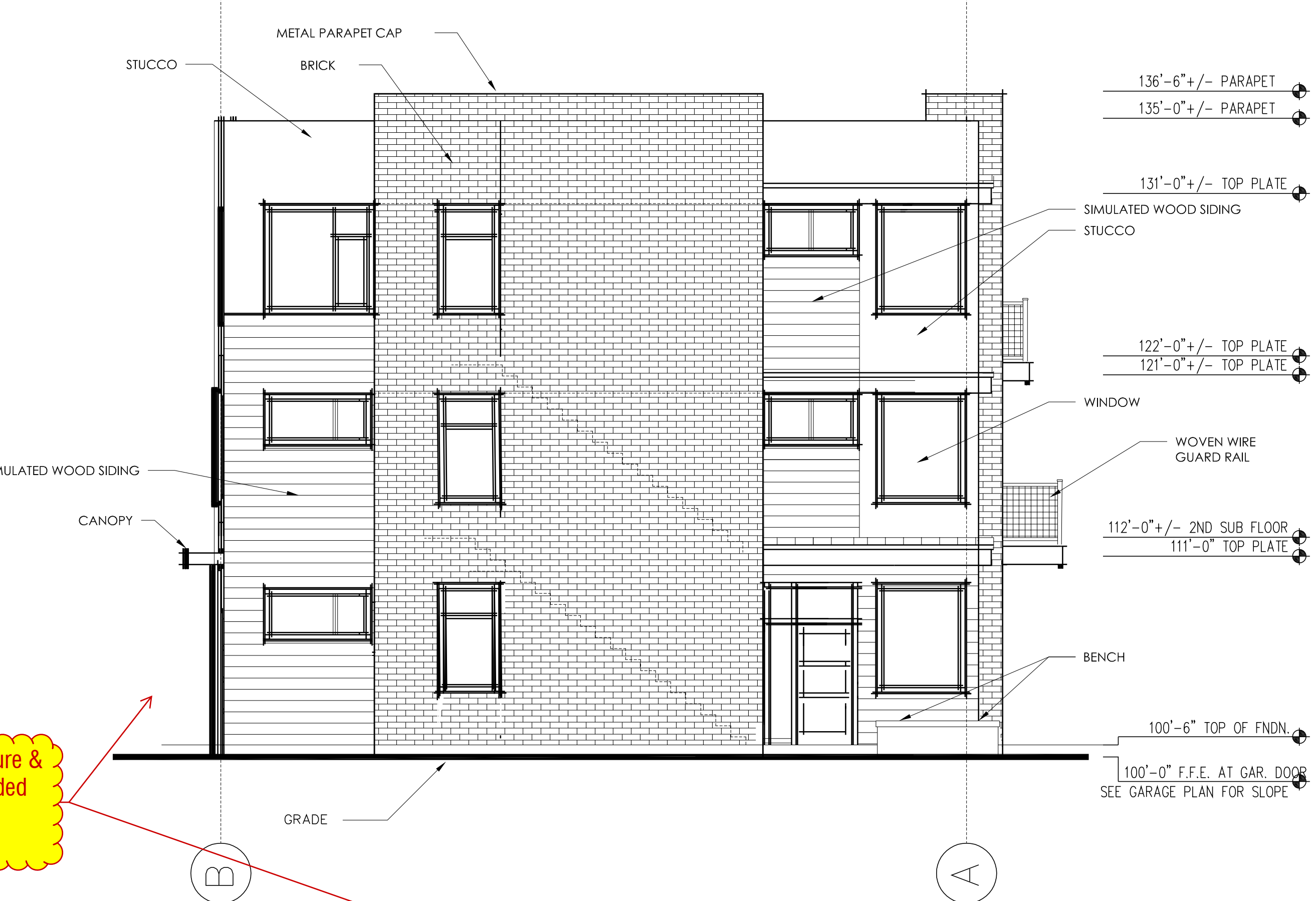


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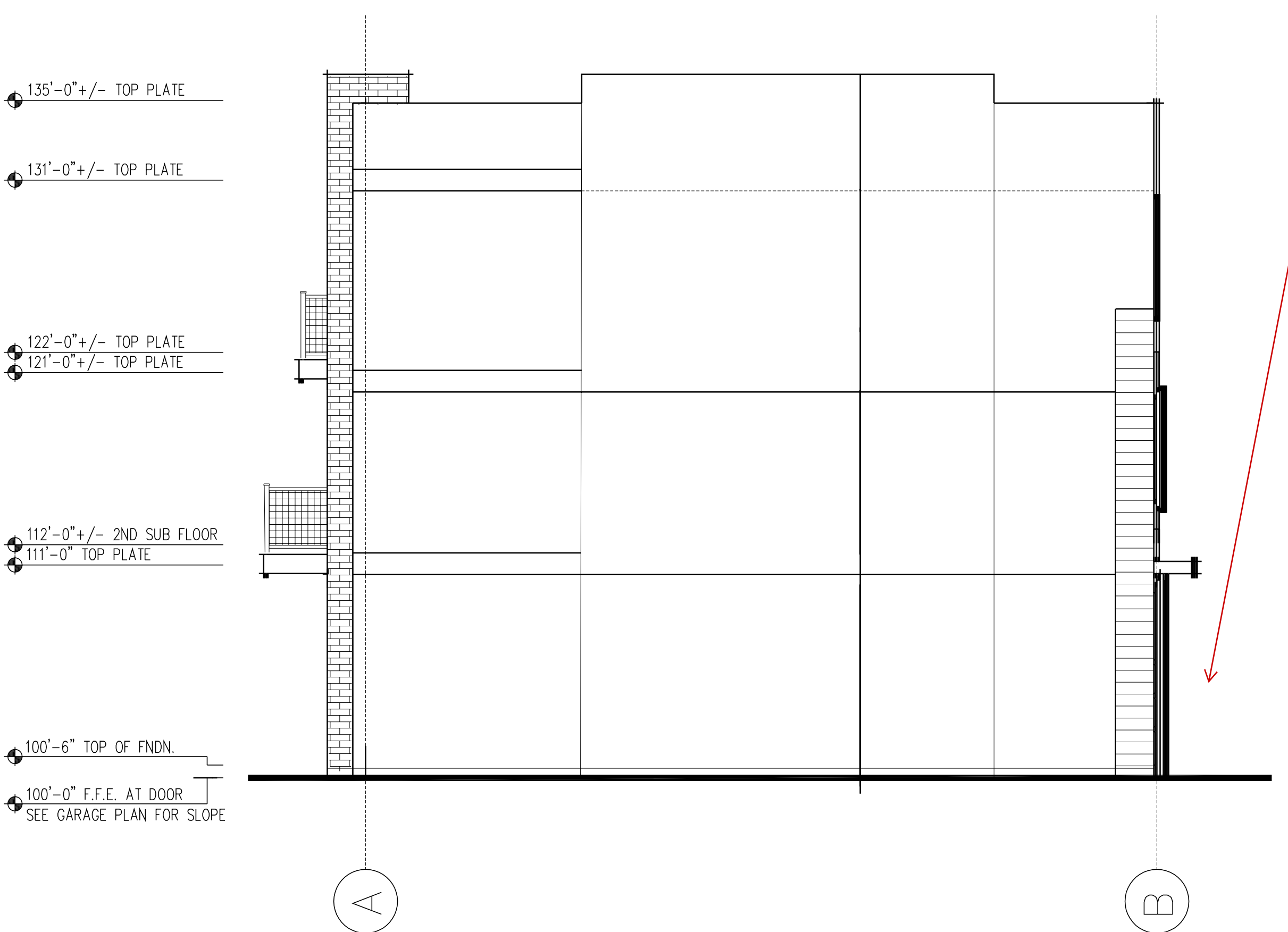
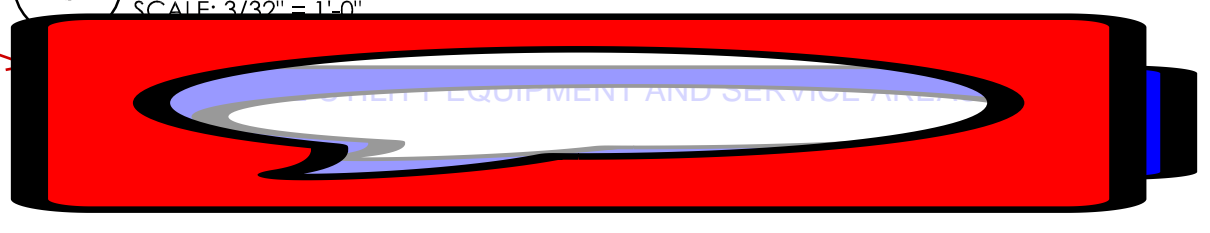


4 BUILDING ELEVATION
SCALE: 3/32" = 1'-0"

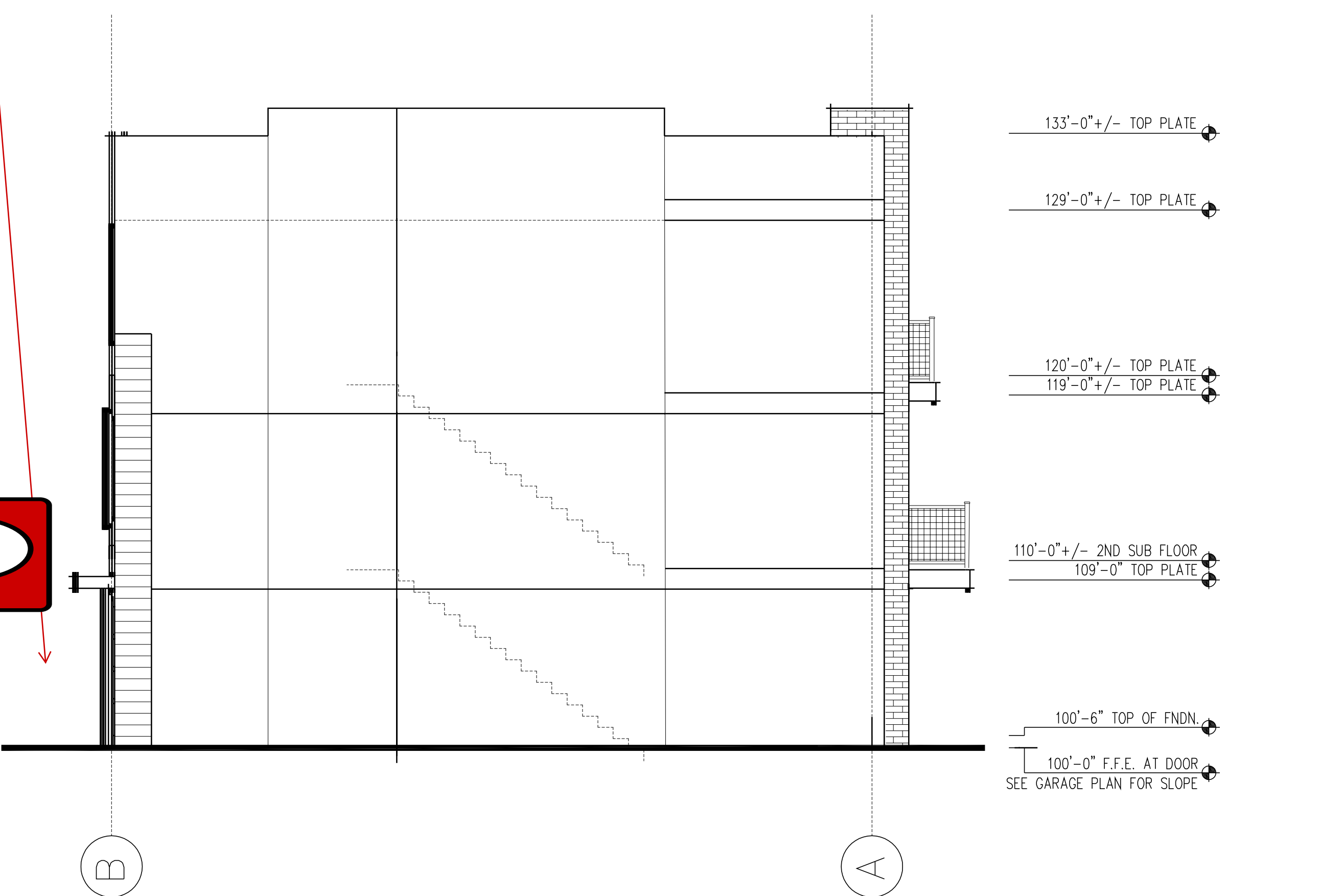
MEP enclosure & elevation added - Babcock



3 BUILDING ELEVATION
SCALE: 3/32" = 1'-0"



2 BUILDING ELEVATION
SCALE: 3/32" = 1'-0"



1 BUILDING ELEVATION
SCALE: 3/32" = 1'-0"

TOWNS at 400
30 West 400 South
Bountiful Utah 84010

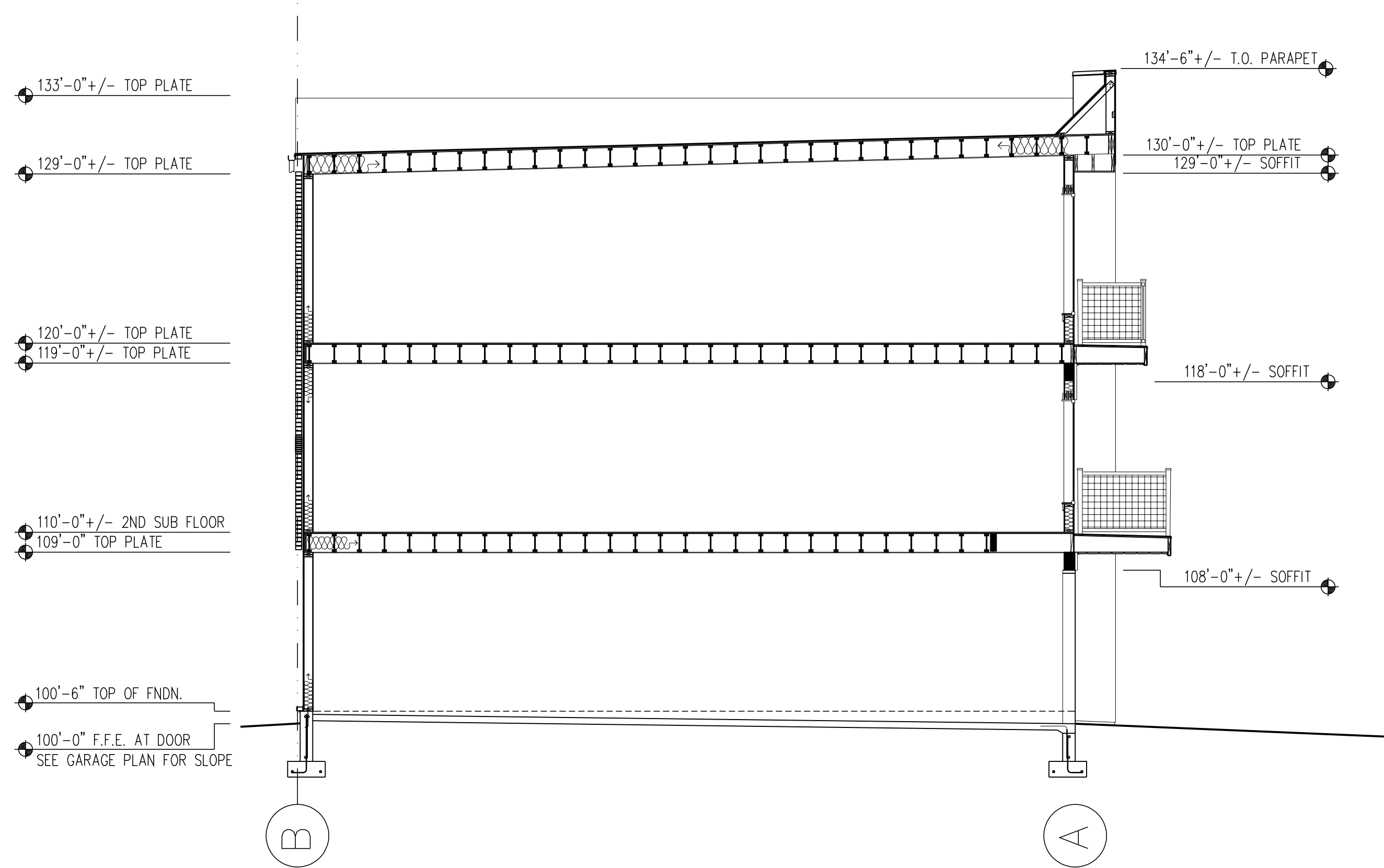
REVISION BLOCK	
NO.	DESCRIPTION:

A202
ELEV & SECT
date:
10.27.2022

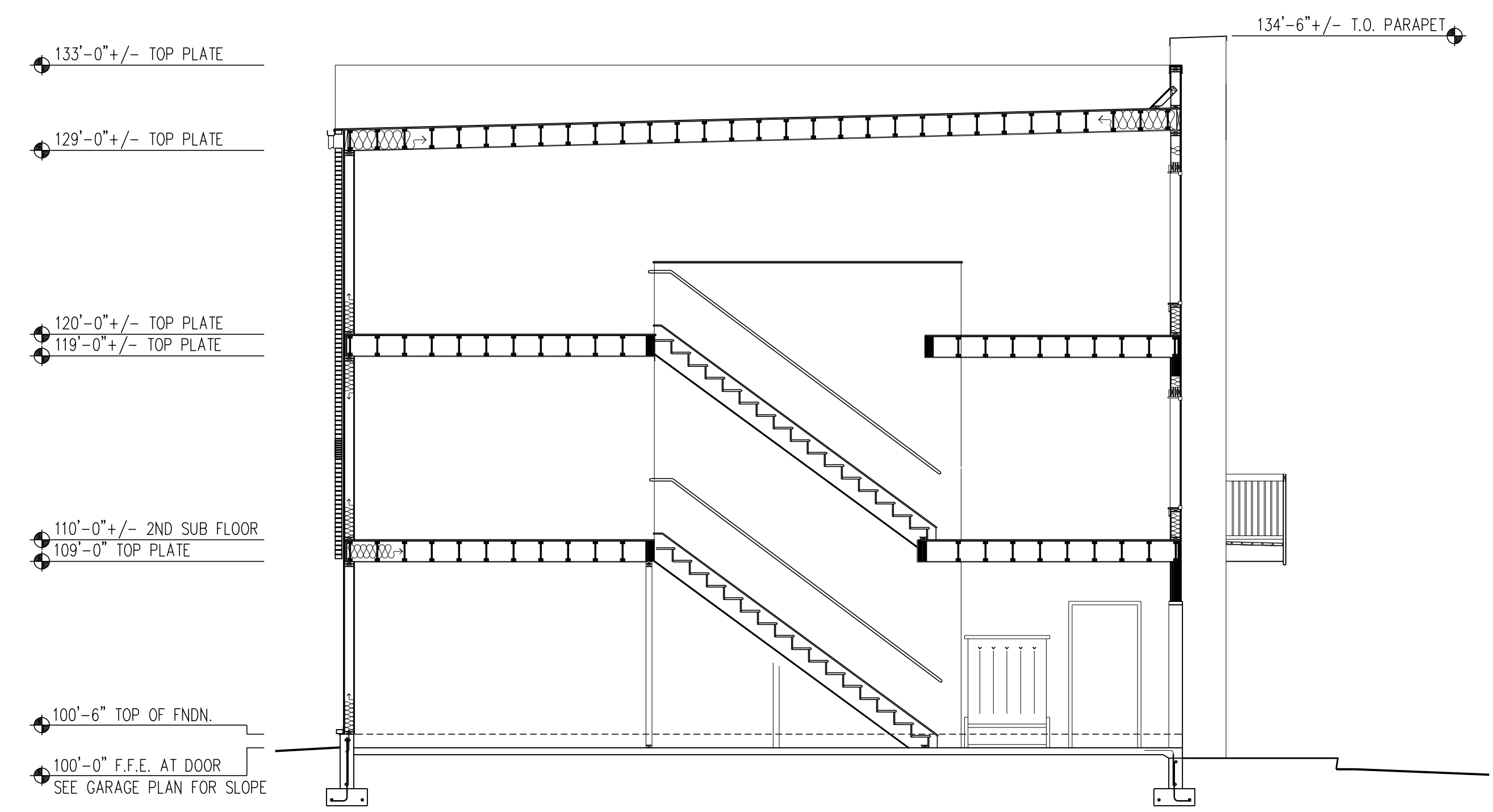


stamp:

TOWNS at 400
 30 West 400 South
 Bountiful Utah 84010



2 BUILDING SECTION
 SCALE: 3/32" = 1'-0"



1 BUILDING SECTION
 SCALE: 3/32" = 1'-0"

REVISION BLOCK	
NO.	DESCRIPTION:

A203
 SECT & DETAIL

date:
 10.27.2022

Planning Commission Staff Report



Item: Variance Request
Address: 406 South Main Street
Author: Francisco Astorga, AICP, Planning Director
Date: December 6, 2022

Authority

Land Use Code § 14-2-103 and 14-2-111 delegates Variances to be reviewed by the Planning Commission.

Background

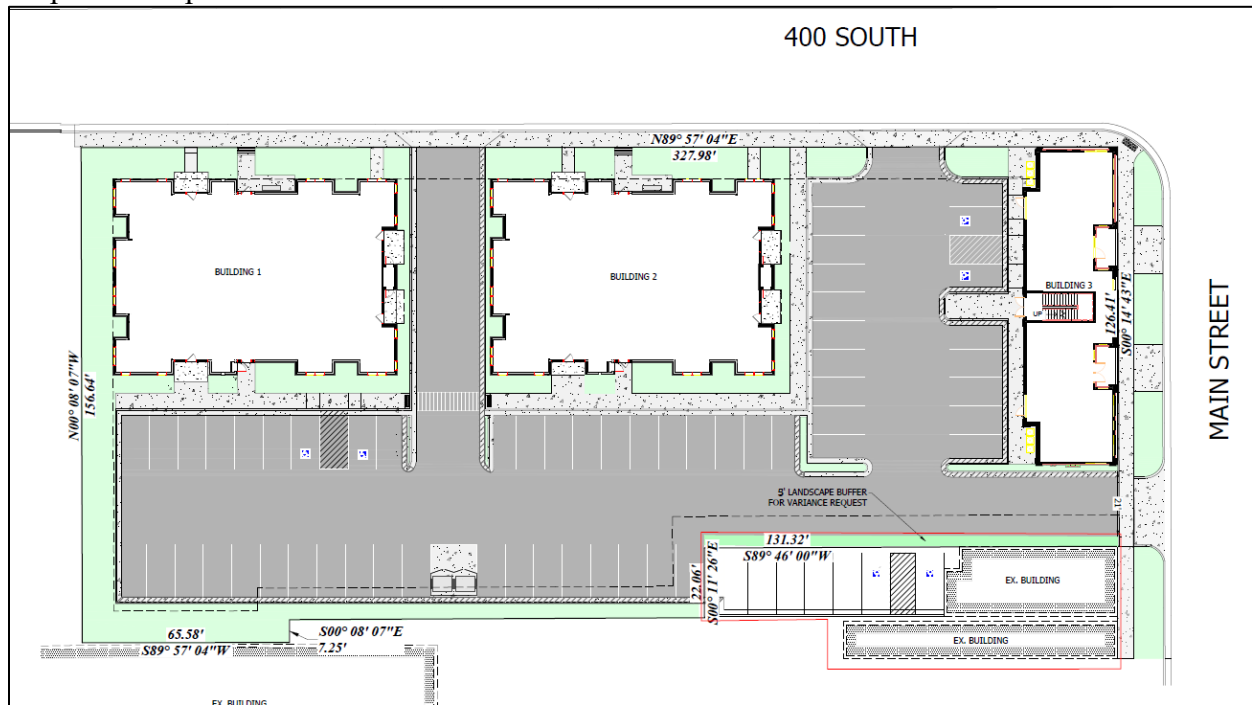
On October 18, 2022, Randy Beyer with Knowlton General LC, representing John Hepworth Investment Group LLC (property owner), submitted a Variance Application desiring a waiver or modification from the Land Use Code which requires a 5-foot landscaping buffer along a portion of the southern property line. The subject site is located at 406 South Main Street, which is in the Downtown Mixed Use Zone. The subject site consists of five (5) parcels located on the southwest corner of Main Street and 400 South. The site, formerly known as the Marie Callender's, includes additional properties to the west, including an existing single-family dwelling that would be demolished prior to the desired redevelopment of the parcels.

Under separate applications, the Applicant desires to redevelop the site into a mixed-use development consisting of approximately 2,200 square feet of office space and twenty-eight (28) residential units (apartments), approximately 31,000 square feet. These applications are on hold until this Variance Application is resolved. The Applicant submitted the following text (attachment 1) copied verbatim, and graphics (attachment 2) explaining the requested Variance, additional information provided by the Applicant is also included in the Analysis Section of this staff report.

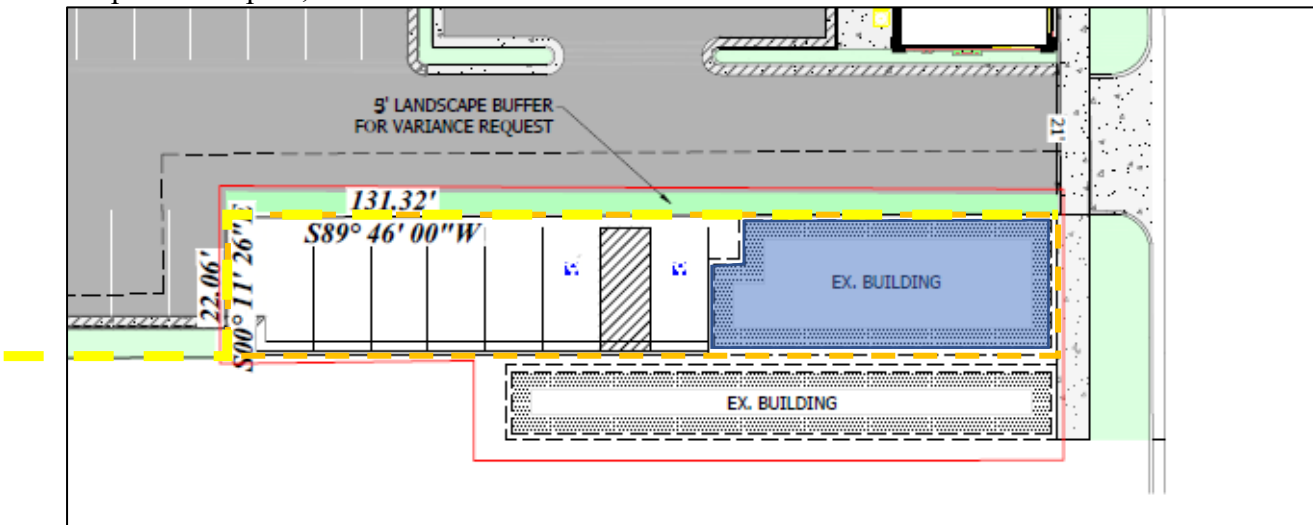
Variance Application explanation for Bountiful property (address: 400 S Main Street)

The proposed Variance Application is to allow the owner of 400 S Main Street a variance from installing a 5' landscape buffer per ordinance 14-7-109 of Bountiful City. As noted in the above illustration the landscape buffer would prevent the adjacent owner from using their parking stalls.

Proposed site plan:



Proposed site plan, zoomed in over affected area:



The added dashed yellow line is the property line between the subject site and the neighboring properties to the south. The added dashed orange line is the property line of the property to the south (458 South Main Street, hair salon site, building shown in blue). The DN Zone requires 5-foot landscaping buffer along a side property line within a driveway. If the required 5 foot landscaping buffer is installed, as shown in this exhibit above in green, it would block the access to the parking spaces behind the hair salon building (shown in blue) and it would also affect the width of the proposed driveway, that would in turn affect the width of the proposed building fronting on Main Street. Below is the affected section of the code:

14-7-109 LANDSCAPING AND PERMISSIBLE LOT COVERAGE

A. *A lot or parcel with a single family or two family dwelling shall follow the lot coverage requirements of the R-4 subzone. All others, including multi-family and mixed-use developments, shall conform to the following criteria, in addition to any other requirements of this Title:*

1. *All landscaping shall be sprinkled and planted with substantial live plant material for the purpose of buffering, screening and beautifying the site. At plant maturity, the landscaping should represent, as a minimum standard, compatibility with surrounding developed properties and uses and must be permanently maintained by the owner or occupants.*
2. *With the exception of properties fronting on Main Street a minimum ten (10) feet wide landscape buffer shall be required along all frontage areas not occupied by drive accesses.*
3. *A minimum ten (10) feet wide landscape buffer shall be established adjacent to a residential property.*
4. ***Parking, loading, and drive areas shall have a minimum five (5) feet wide landscape buffer when located adjacent to a side or rear property line, except for landscape buffering required between residential uses.***
5. *Parking areas shall be landscaped as set forth in this Code.*
6. *Approved landscaping must cover a minimum of ten (10) percent of the development site exclusive of any parkstrips in a public right-of-way. In addition to the minimum 10 percent required for all development, mixed-use and multi-family uses shall provide an additional 50 square feet of landscaping per residential unit.*
7. *Landscaping shall also be installed in all parkstrips to the same standards as other on-site landscaping. Asphalt, concrete, bricks, pavers, railroad ties, rocks, gravel, and other non-vegetative material is not allowed in the parkstrip area between the curb and sidewalk.*

B. *During the site plan approval process, the City may require more or less landscaping consistent with the provisions of the adopted Historic Downtown Plan*

Analysis

Variance not required

It is Staff's opinion and recommendation that the Application does not qualify for a Variance and should be denied. In addition to the Application not meeting the legally required criteria for a variance, it is also important to note that the Applicant's project and goals can still be met without the need for a variance by complying with the following:

14-15-106 OFF-STREET PARKING – LAYOUT

[...]

B. Overall Design Concepts.

- 1. Parking lot design shall consider development on adjacent sites. The City may require cross access connections/easements to improve traffic circulation and to enhance public safety.**
2. *Traffic circulation patterns should direct commercial traffic onto arterial streets and not local/neighborhood streets. Multiple-family residential traffic should be directed onto collector streets. The City may deny access onto a local/residential street if access to a collector or arterial street is available.*
3. *A site plan should include landscaped buffers that separate pedestrian and vehicular traffic.*

Staff recognizes that based on the location of the former/current/proposed access from Main Street leading to the parking spaces behind the neighboring property owner’s building (458 South Main Street, hair salon site, building shown in blue) there is an area in conflict with the required landscape buffer as represented by the Applicant. This required 5-foot buffer also affects the proposed width of the driveway and building fronting Main Street. Due to the provision of the Code regarding cross access connection/easement, Staff finds that in this specific case, a Variance from the 5’ landscape buffer requirement is not necessary as the only access to those parking spaces takes place over this area of conflict. If a cross access connection/easement is granted as required in the Code, the 5-foot landscape buffer, in conflict with the cross-access easement, would not be required. Staff finds that this scenario is a perfect example as to why the Code requires parking lot design to consider development on adjacent sites, and if appropriate, a cross access connections/easements would be required. Staff recognizes that not all sites qualify for this provision, but in this specific case, it is appropriate to do so, especially as the Applicant has recognized an unwritten prescriptive easement (verbally represented to staff) and mentioned on their narrative over the subject property for the benefit of the adjacent site.

Staff has communicated with the applicant how it finds that the Variance is not required by holding meetings with the applicant and in communication via e-mail.

Variance Findings

Utah Code 10-9a-702 establishes the criteria for review of Variances as it indicates that: “*Any person or entity desiring a waiver or modification of the requirements of a land use ordinance as applied to a parcel of property that he owns, leases, or in which he holds some other beneficial interest may apply to the applicable appeal authority for a variance from the terms of the ordinance*”. Furthermore, it also states that: “*The applicant shall bear the burden of proving that all of the conditions justifying a variance have been met*”.

In order for the Planning Commission, as the designated body, to grant a Variance, all of the following criteria outlined in Utah Code 10-9-102(2)(a) outlined below as items *i-v* must be met:

- (i) *Literal enforcement of the ordinance would cause an unreasonable hardship for the applicant that is not necessary to carry out the general purpose of the land use ordinances;*

Furthermore § 10-9a-702(2)(b) indicates:

(i) In determining whether or not enforcement of the land use ordinance would cause unreasonable hardship under Subsection (2)(a), the appeal authority may not find an unreasonable hardship unless the alleged hardship:

*(A) is located on or associated with the property for which the variance is sought;
and*

(B) comes from circumstances peculiar to the property, not from conditions that are general to the neighborhood.

(ii) In determining whether or not enforcement of the land use ordinance would cause unreasonable hardship under Subsection (2)(a), the appeal authority may not find an unreasonable hardship if the hardship is self-imposed or economic.

Applicant comment: *The literal enforcement of this ordinance is unreasonable for this property because it prevents the neighbor from the use of their required parking area to operate their business.*

Staff Response: Staff recognizes that requiring the 5-foot landscape buffer keeps the adjacent property owner from accessing their property; however, the Applicant fails to acknowledge Land Use Code § 14-15-106(B)(1) which requires a cross connection/easement which would not require this same area to be landscaped. If the Applicant were to accept this provision, and provide such easement, there is no need for a Variance as the proposal would comply with the Code. The Applicant has not indicated that a Variance is sought for the required a cross access connections/easements. The alleged hardship in this case is self-imposed as there are other requirements of the Code that remove the required provision which the Applicant seeks a modification for. The Applicant has not demonstrated that the literal enforcement would cause an unreasonable hardship for the Applicant.

- (ii) *There are special circumstances attached to the property that do not generally apply to other properties in the same zone;*

Furthermore § 10-9a-702(2)(c) indicates:

In determining whether or not there are special circumstances attached to the property under Subsection (2)(a), the appeal authority may find that special circumstances exist only if the special circumstances:

(i) relate to the hardship complained of; and

(ii) deprive the property of privileges granted to other properties in the same zone.

Applicant Comment: *The special circumstance attached to the property is the neighboring building that is allowed access to park behind their building as shown in the exhibit above and on page C401 of the civil packet from the property owner of 400 S Main. Normally buildings would have their own access to their parking.*

Staff Response: The Applicant acknowledges that the neighboring building/site is allowed access to park behind their building per their site plan. The Land Use Code indicates that parking lot design shall consider development on adjacent site. In specific cases, the City may require cross access connections/easements. Due to the current language of the Code, the specific situation at this site and the neighboring property, there is no special circumstance specially when the applicant acknowledges that the neighboring building is already allowed access to park behind their building through the Applicant's property. The applicant has not demonstrated that there are special circumstances attached to the property that do not generally apply to other properties in the same zone.

- (iii) *Granting the variance is essential to the enjoyment of a substantial property right possessed by other property in the same zone;*

Applicant Comment: *Therefore the granting of the variance is essential to the enjoyment of the neighboring property to allow business parking for their building.*

Staff Response: Granting the variance is not essential to the enjoyment of a substantial property right as the Variance is not necessary. The Applicant has not demonstrated how granting the variance is essential to the enjoyment of a substantial property right possessed by other property in the same zone.

- (iv) *The variance will not substantially affect the general plan and will not be contrary to the public interest;*

Applicant Comment: *This in no way affects the general plan negatively, however it positively contributes to the general plan which is to achieve its goals and provide ample parking for the businesses.*

Staff Response: Granting the Variance would not substantially affect the general plan nor will it be contrary to the public interest; however, the reason demonstrated ignores other provisions of the Code which does not require a Variance at all. As cited by the Applicant herein: "*Providing ample parking for the businesses*" can clearly be accomplished by following the Code and providing the cross access connection/easement.

- (v) *The spirit of the land use ordinance is observed and substantial justice done*

Applicant Comment: [None provided by applicant].

Staff Response: The spirit of the land use ordinance (Code) is not observed, and substantive justice is not done/ followed as the applicant chooses to follow an unnecessary Variance. The desired outcome, exact same proposal, can be accomplished by complying with the Code by providing the required cross access connection/easement.

Additional. The Applicant included the following in their submitted narrative:

How does the proposed variance request meet all of these criteria?

- *In our study of the ordinance section 14-7-109 part B states “The City may require more or less landscaping.” Within this statement it allows the process of the site plan to make a change to this ordinance. We feel that our project meets the criteria set forth in Utah Code 10-9a-702 and should be allowed to go to site plan and have the planning commission and city council govern what will be required.*

Staff Response: Staff does not dispute that more or less landscaping needs to be provided. Staff acknowledges that another section of the Land Use code is required to be considered which then qualifies for the required cross access connection/easement. The same argument is made herein that Staff does find necessary to require this area to be landscaped as this same subject area would serve as an official access easement for the benefit of the neighboring property owner to the south.

Department Review

This staff report was written by the Planning Director and reviewed by the City Attorney.

Significant Impacts

Formalizing the cross-access connection/easement instead of having “a handshake agreement between property owners of some sort” eliminates any possible future conflict and complies with the Land Use Code.

If the Planning Commission grants this Variance to modify (not require) the 5-foot landscaping buffer, it does not remove provision of the Code. The City would be required to follow the Code in the administrative applications (Conditional Use Permit and Architectural Site Plan Review) by requiring the cross access connection/easement. Issuing a Variance for the 5-foot landscaping buffer does not alleviate required cross access connection/easement outlined in 14-15-106 Off-Street Parking – Layout.

Recommendation

Staff recommends that the Planning Commission hold a public hearing, review the requested Variance Request, and deny the Variance Request based on the analysis provided herein of the required review criteria from State Law.

Attachments

1. 4th & Main Variance Questions/Narrative
2. Sheet C401 – Variance Sheet
3. Update Plans (Submitted October 18, 2022)
4. Utah State Code § 10-9a-702



Variance Application explanation for Bountiful property (address: 400 S Main Street)

The proposed Variance Application is to allow the owner of 400 S Main Street a variance from installing a 5’ landscape buffer per ordinance 14-7-109 of Bountiful City. As noted in the above illustration the landscape buffer would prevent the adjacent owner from using their parking stalls.

What City Ordinance(s) do you want a variance from?
Chapter 7 in the Downtown Zone.

14-7-109 LANDSCAPING AND PERMISSIBLE LOT COVERAGE

- A. A lot or parcel with a single family or two-family dwelling shall follow the lot coverage requirements of the R-4 subzone. All others, including multi-family and mixed-use developments, shall conform to the following criteria, in addition to any other requirements of this Title:
 - Parking, loading, and drive areas shall have a minimum five (5) feet wide landscape buffer when located adjacent to a side or rear property line, except for landscape buffering required between residential uses.
- B. During the site plan approval process, the City may require more or less landscaping consistent with the provisions of the adopted Historic Downtown Plan.

By Law, any government body granting a variance must find that the proposal meets ALL of the requirements of Utah Code 10-9a-702 (below).

How does the proposed variance request meet all of these criteria?

- In our study of the ordinance section 14-7-109 part B states “The City may require more or less landscaping.” Within this statement it allows the process of the site plan to make a change to this ordinance. We feel that our project meets the criteria set forth in Utah Code 10-9a-702 and should be allowed to go to site plan and have the planning commission and city council govern what will be required.
- i. The literal enforcement of this ordinance is unreasonable for this property because it prevents the neighbor from the use of their required parking area to operate their business.

- ii. The special circumstance attached to the property is the neighboring building that is allowed access to park behind their building as shown in the exhibit above and on page C401 of the civil packet from the property owner of 400 S Main. Normally buildings would have their own access to their parking.
- iii. Therefore the granting of the variance is essential to the enjoyment of the neighboring property to allow business parking for their building.
- iv. This in no way affects the general plan negatively, however it positively contributes to the general plan which is to achieve its goals and provide ample parking for the businesses.

MAIN STREET GOALS AND POLICIES

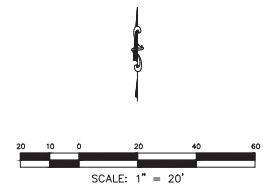
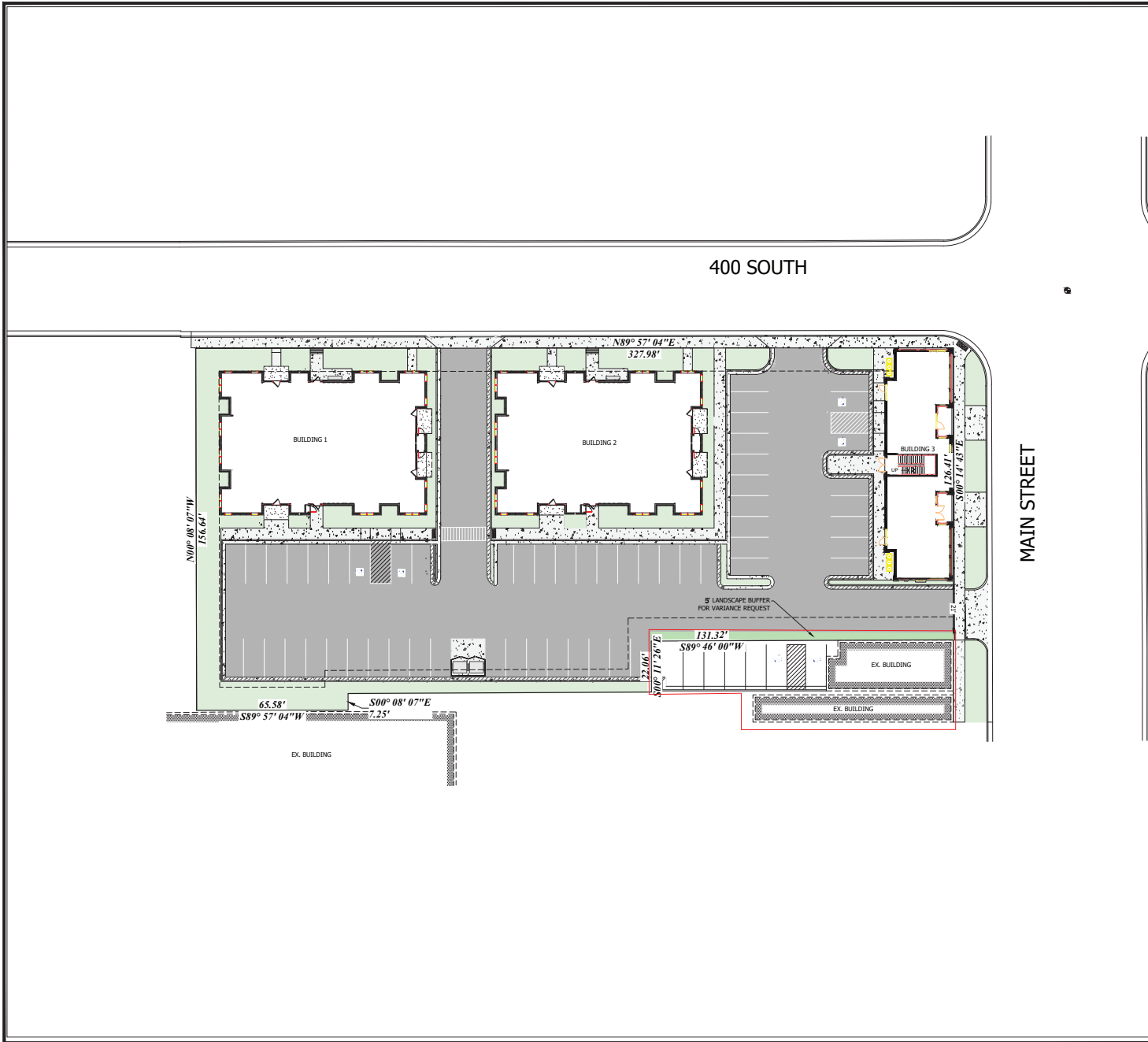
Economic Development

1. *Goal:*

Help establish an identity for the Historic Fort.

Provide diverse economic and employment opportunities and encourage multiple scales of commercial development to serve the needs of the region, the community, and individual neighborhoods.

- v. The spirit of the land use ordinance is observed with this variance as the neighboring property has existed for over 50 years has never had a landscape buffer. We will be adding a landscape buffer on 400 S Main in all locations except the property we don't have controlling interest.



1470 South 600 West
 Woods Cross, UT 84010
 Phone 801.298.2226
 www.lintellus.com



KNOWLTON GENERAL - 4TH & MAIN
 406 SOUTH MAIN STREET & 33 WEST 400 SOUTH STREET
 TAX PARCELS 06-02-0081, -0082, -0083, -0084, & -0113
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 30, T2N, R1E, S1R4M,
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DRAWN: JBC
 APPROVED: STA
 PROJECT #: 188519
 SET: 188519.dwg

C401
 VARIANCE SHEET

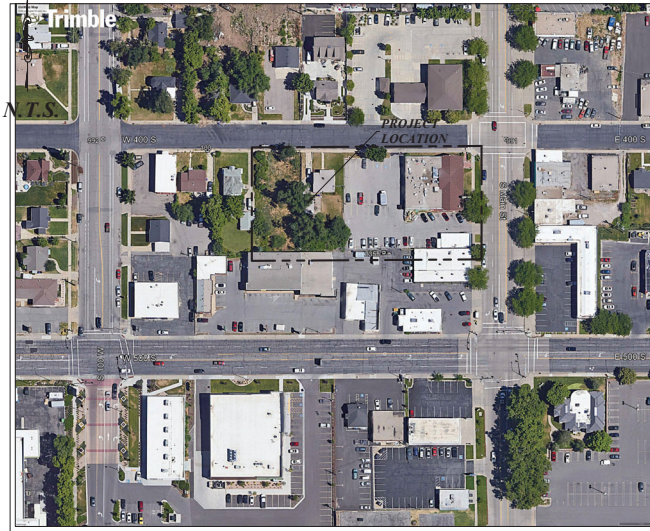


KNOWLTON GENERAL - 4TH AND MAIN

406 SOUTH MAIN STREET & 33 WEST 400 SOUTH STREET
TAX PARCELS #03-032-0081, -0082, -0083, -0084, & -0113
LOCATED IN THE NE 1/4 OF SECTION 30, T. 2 N., R. 1 E., S.L.B.&M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH



VICINITY MAP



DRAWING INDEX

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GENERAL NOTES

- 1) ALL WORK WITHIN A PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.
- 2) ALL UTILITY WORK SHALL CONFORM TO THE UTILITY OWNER'S STANDARDS & SPECIFICATIONS.
- 3) THESE PLANS DO NOT INCLUDE DESIGN OF DRY UTILITIES. THESE PLANS MAY CALL FOR RELOCATION, AND/OR REMOVAL AND/OR CONSTRUCTION OF DRY UTILITIES, BUT ARE NOT OFFICIAL DRAWINGS FOR SUCH. DESIGN AND COORDINATION OF DRY UTILITIES IS BY OTHERS.
- 4) THE CONTRACTOR SHALL COORDINATE AND OBTAIN ANY PERMITS REQUIRED FOR THE WORK SHOWN HEREON.
- 5) THE LOCATION AND ELEVATIONS OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS IS A BEST ESTIMATE BASED ON UTILITY COMPANY RECORDS, BLUESTAKES, AND FIELD MEASUREMENTS OF READILY OBSERVABLE ABOVE-GROUND FEATURES. AS SUCH, THIS INFORMATION MAY NOT BE COMPLETE, UP-TO-DATE, OR ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STOP WORK AND NOTIFY THE ENGINEER IF CONFLICTING INFORMATION IS FOUND IN THE FIELD.
- 6) THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION AND ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES PRIOR TO STAKING AND CONSTRUCTION.
- 7) CALL BLUESTAKES AT LEAST 48 HOURS PRIOR TO DIGGING. DO NOT PROCEED UNTIL BLUESTAKES ARE MARKED.
- 8) IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO MEET ALL APPLICABLE HEALTH AND SAFETY REGULATIONS, AND SHALL ASSUME SOLE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING CONSTRUCTION OF THIS PROJECT, SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK, AND THE PUBLIC IS PROTECTED.



BENCHMARK: NAIL IN SIDEWALK, NW CORNER
ELEVATION: 4390.17

COVER		REV.	BY	DATE
DRAWN:	JBC	1	JBC	02/20/21
APPROVED:	STA	2	JBC	10/26/2021
PROJECT:	1185019	3	JBC	3/10/2022
DWG:	SET_1185019.dwg	4	JBC	6/2/2022



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GENERAL NOTES	UTILITY NOTES	GRADING NOTES	LEGEND	LEGEND	ABBREVIATIONS
<p>1. ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY. CONTACT THE PUBLIC WORKS OFFICE BEFORE BEGINNING.</p> <p>2. CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND AVAILABILITY OF EXISTING UTILITIES. UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE. USE UTILITY NOTE 3.</p> <p>3. ALL DIMENSIONS ARE IN FOOT UNITS AND ARE TO THE TOP BACK OF CURB UNLESS SHOWN OR NOTED OTHERWISE.</p> <p>4. PROVIDE HANDICAP RAMPS AT ENDS OF WALKWAYS. END 1 ABOVE FLOWLINE OF CURB.</p> <p>5. CURB AND GUTTER SHALL BE AS PER AWWA STD DWG NO 205 TYPE A.</p> <p>6. UTILITY INFORMATION INDICATED ON DRAWING IS BASED UPON VISUAL OBSERVATION OR INFORMATION FURNISHED BY MUNICIPAL AUTHORITIES WHICH MAY NOT BE VALID. LATERAL LOCATIONS AND ELEVATIONS ARE ASSUMED. SEE UTILITY NOTE 3.</p> <p>7. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A QUALIFIED SOILS ENGINEER WHO SHALL VERIFY THAT ALL FILL HAS BEEN PLACED IN ACCORDANCE WITH PROVISIONS IN CURRENT INTERNATIONAL BUILDING CODE.</p> <p>8. COMPACTION TEST REPORTS SHALL BE MADE AVAILABLE TO THE ENGINEER WITHIN 24 HOURS OF A REQUEST. FINAL REPORTS AS SPECIFIED IN CURRENT INTERNATIONAL BUILDING CODE SHALL BE SUBMITTED TO THE ENGINEER WITHIN TEN DAYS AFTER COMPLETION OF GRADING.</p> <p>9. ALL STORM DRAIN PIPE SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND THE LOCAL GOVERNING MUNICIPALITY'S STANDARDS AND SPECIFICATIONS.</p> <p>10. STORM DRAIN PIPE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S SPECIFICATIONS. PRIVATE STORM DRAIN PIPE OPTIONS SHALL CONSIST OF THE FOLLOWING MATERIALS. <ul style="list-style-type: none"> 1. PVC PIPE, ASTM D3034, SDR 35, BELL & SPIGOT TYPE. 2. RCP PIPE, CLASS 3, BELL & SPIGOT TYPE. 3. HIGH DENSITY CORRUGATED POLYETHYLENE SMOOTH INTERIOR PIPE, ASTM D3535 WITH WATERGIGHT JOINTS. </p> <p>11. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CHECK CONDITIONS AT THE SITE BEFORE STARTING WORK AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.</p> <p>12. TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION UNLESS SPECIFICALLY DETAILLED. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS FOR SIMILAR WORK. DO NOT SCALE DRAWINGS.</p> <p>13. ANY OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.</p> <p>14. PIPE BEDDING SHALL BE 3/8" MAXIMUM AGGREGATE. USE 3/4" MAXIMUM SIZE ROAD BASE FOR BACKFILL MATERIAL. COMPACT TO 95% STANDARD PROCTOR DENSITY. MAXIMUM LIFT 8 INCHES.</p> <p>15. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC AND OSHA STANDARDS.</p> <p>16. ALL WORK SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION UTAH CHAPTER (APWA) MANUAL OF STANDARD SPECIFICATIONS 2007 EDITION WITH ALL PERTINENT SUPPLEMENTS AND AMENDMENTS AND THE MANUAL OF STANDARD PLANS 2007 EDITION. SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE THE REQUIREMENTS.</p> <p>17. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THE WORK TO BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORITY FROM THE OWNER AND/OR ENGINEER.</p> <p>18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER. ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.</p> <p>19. THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT, PIPING AND CONDUITS, STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXS, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED, WHERE NECESSARY. SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.</p> <p>20. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEViations REFINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.</p>	<p>1. ALL SEWER LATERALS SHALL BE EXTENDED 2 FEET PAST THE 10 FOOT P.U.E. CONSTRUCTION. CONTACT THE PUBLIC WORKS OFFICE BEFORE BEGINNING.</p> <p>2. ALL CONSTRUCTION SHALL COMPLY WITH LOCAL GOVERNING MUNICIPALITY DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.</p> <p>3. LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES, INCLUDING LOCATIONS AND INVERT ELEVATIONS OF ALL EXISTING STRUCTURES OR PIPES, BEFORE STARTING OR CONSTRUCTING ANY NEW UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.</p> <p>4. CONTRACTOR IS RESPONSIBLE TO EXPOSE ALL UTILITY SERVICES STUBBED INTO PROJECT PROPERTY AND GIVE ENTILUS 48 HOURS PRIOR NOTICE SO ENTILUS CAN VERIFY DEPTHS AND INVERT ELEVATIONS TO DETERMINE IF CONFLICTS EXIST. ALSO ANY EXISTING UTILITIES THAT RUN ACROSS PROJECT PROPERTY WHICH MAY CAUSE FUTURE. CONTACT NEED TO BE EXPOSED AND LOCATED BOTH HORIZONTALLY AND VERTICALLY. CONTRACTOR PROCEED AT OWN RISK IF ENTILUS IS NOT NOTIFIED TO FIELD VERIFY THE ABOVE MENTIONED CONDITIONS.</p> <p>5. CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS WHERE APPLICABLE.</p> <p>6. NO GROUNDWATER OR DEBRIS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES IS TO BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAYS WORK.</p> <p>7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS FOR H-20 LOAD REQUIREMENTS.</p> <p>8. ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.</p> <p>9. ALL SEWER LINES AND LATERALS ARE TO BE SDR 35 PVC PIPE.</p> <p>10. SEWER LATERALS WILL BE INSTALLED AT A UNIFORM SLOPE OF NOT LESS THAN 2% GRADE AND THEY SHALL HAVE A MINIMUM OF 4 FEET OF COVER, UNLESS OTHERWISE NOTED.</p> <p>11. ALL NEW CULINARY AND IRRIGATION WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.</p> <p>12. WATER LINES SHALL BE PVC C-90. WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET CITY HEALTH STANDARDS. MECHANICAL JOINTS REQUIRED WHEN LESS THAN 18" VERTICAL OR 10' HORIZONTAL SEPARATION FROM SEWER LINES.)</p> <p>13. ALL WATER LINES SHALL BE 6" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 1-1/2" MINIMUM UNLESS OTHERWISE NOTED.</p> <p>14. WATER SERVICE LATERALS TO INCLUDE ALL BRASS SADDLE, CORP. STOP VALVE, DOUBLE CHECK VALVE AND BACKFLOW PREVENTION DEVICE, AND SHUTOFF VALVE IN BOX NEAR BUILDING EDGE.</p> <p>15. ALL WATER LINES SHALL BE A MINIMUM 48" BELOW FINISH GROUND TO TOP OF PIPE. ALL VALVE BOXES AND MANHOLES SHALL BE RAISED OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE COLLAR IN PAVED AREAS.</p> <p>16. CONTRACTOR TO NOTIFY PUBLIC UTILITIES FOR CHLORINE TEST PRIOR TO PLYING LINES. CHLORINE LEFT IN PIPE 24 HOURS MINIMUM WITH 25 PPM RESIDUAL. ALL TURNING OF MANLINE VALVES, CHLORINATION, FLUSHING, PRESSURE TESTING, BACTERIA TESTING, ETC. TO BE COORDINATED WITH LOCAL GOVERNING MUNICIPALITY. ALL TESTS TO BE IN ACCORDANCE WITH AWWA STANDARDS.</p> <p>17. BOTTOM FLANGE OF FIRE HYDRANTS TO BE SET TO APPROXIMATELY 4" INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TEL, 6" LINE VALVE, AND HYDRANT COMPLETE TO MEET CITY STANDARDS.</p> <p>18. ALL NEW STORM DRAIN/AND DRAIN CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.</p> <p>19. ALL STORM WATER CONVEYANCE PIPING TO BE RCP - CLASS 3 OR EQUAL, UNLESS OTHERWISE NOTED.</p> <p>20. CONTRACTOR IS TO SUBMIT SITE PLAN/SUBDIVISION PLAT TO DOMINION ENERGY GAS FOR DESIGN OF GAS SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH DOMINION ENERGY GAS FOR CONTRACTOR LIMITS OF WORK VERSUS DOMINION ENERGY GAS LIMITS.</p> <p>21. ALL GAS LINE TAPS TO BE HDPE WITH COPPER TRACER WIRE AND DETECTA TAPE. TERMINATE TRACER WIRE AT APPROVED LOCATIONS.</p> <p>22. ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO-FUSION TECHNOLOGY.</p> <p>23. ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40 OR BETTER.</p> <p>24. ALL PHONE AND TV CONDUITS TO BE PVC SCH 40 OR BETTER.</p> <p>25. CONTRACTOR IS TO SUBMIT SITE PLAN/SUBDIVISION PLAT TO COMCAST FOR DESIGN OF CABLE TV SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH COMCAST FOR CONTRACTOR LIMITS OF WORK VERSUS COMCAST LIMITS.</p> <p>26. CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW TELEPHONE SERVICE TO NEW BUILDINGS OR LOTS WITH CENTURYLINK. A PVC CONDUIT, FLYWOOD BACKBOARD, AND GROUND WIRE IS REQUIRED FOR SERVICE THROUGH PROPERTY. COORDINATE SIZES. LOCATION WITH CENTURYLINK.</p> <p>27. ALL UTILITIES ARE TO BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING AGENCY/DISTRICT STANDARDS AND SPECIFICATIONS: <ul style="list-style-type: none"> WATER - BOUNTIFUL CITY SEWER - SOUTH DAVIS SEWER DISTRICT IRRIGATION - BOUNTIFUL CITY ELECTRICAL - ROCKY MOUNTAIN POWER TELEPHONE - CENTURYLINK NATURAL GAS - DOMINION ENERGY </p>	<p>1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING IT WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 95% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 2% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.</p> <p>2. THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THE PROJECT. SPECIFIC DETAILS SHOWN SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.</p> <p>3. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTORS FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSURED INCLUDED IN THE CONTRACT.</p> <p>4. IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER.</p> <p>5. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS/HER OWN ESTIMATE OF EARTHWORK QUANTITIES.</p> <p>6. WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OR CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY: <ul style="list-style-type: none"> • PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR VERIFY THE GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS. • THE CONTRACTOR SHALL SUBMIT THE SLOPE AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR TO THE PLACEMENT OF CONCRETE. • THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR TYPICAL CROSS SECTION. • THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER FORMS WITHOUT THE APPROVAL OF THE ENGINEER. </p>	<p>SECTION CORNER</p> <p>MONUMENT</p> <p>EXISTING SPOT ELEVATION</p> <p>PROPOSED SPOT ELEVATION</p> <p>DOWNWARD GRADE</p> <p>EXISTING INDEX CONTOUR</p> <p>EXISTING MINOR CONTOUR</p> <p>PROPOSED CONTOUR</p> <p>PROPOSED MINOR CONTOUR</p> <p>LOT OR BOUNDARY LINE</p> <p>PUBLIC UTILITY EASEMENT</p> <p>BUILDABLE AREA SETBACK</p> <p>CENTER LINE OF ROAD</p> <p>EXISTING FENCE</p> <p>PROPOSED FENCE</p> <p>EXISTING BUILDING</p> <p>PROPOSED BUILDING</p> <p>EXISTING ASPHALT</p> <p>PROPOSED ASPHALT</p> <p>EXISTING CONCRETE</p> <p>PROPOSED CONCRETE</p> <p>EXISTING CURB & GUTTER</p> <p>PROPOSED CURB & GUTTER</p> <p>ADA PARKING</p> <p>STREET LIGHT</p> <p>LIGHT POLE</p> <p>POWER POLE</p> <p>TELEPHONE POLE</p> <p>UTILITY POLE</p> <p>STREET SIGN</p> <p>EXISTING RETAINING WALL</p> <p>PROPOSED RETAINING WALL</p> <p>EXISTING ROCK WALL</p> <p>PROPOSED ROCK WALL</p> <p>EXISTING FIBER OPTIC</p> <p>PROPOSED FIBER OPTIC</p> <p>EXISTING NATURAL GAS</p> <p>PROPOSED NATURAL GAS</p> <p>EXISTING POWER</p> <p>PROPOSED POWER</p> <p>EXISTING OVERHEAD POWER</p> <p>PROPOSED OVERHEAD POWER</p> <p>EXISTING UNDERGROUND POWER</p> <p>PROPOSED UNDERGROUND POWER</p> <p>EXISTING TELEPHONE</p> <p>PROPOSED TELEPHONE</p> <p>EXISTING IRRIGATION LINE</p> <p>PROPOSED IRRIGATION LINE</p> <p>IRRIGATION MANHOLE</p> <p>IRRIGATION METER</p> <p>BLOWOFF</p> <p>VALVE</p> <p>TEE</p> <p>ELBOW</p> <p>REDUCER</p> <p>THRUST BLOCK</p>	<p>EXISTING WATER LINE</p> <p>PROPOSED WATER LINE</p> <p>EXISTING FIRE PROTECTION</p> <p>PROPOSED FIRE PROTECTION</p> <p>WATER MANHOLE</p> <p>WATER METER</p> <p>FIRE HYDRANT</p> <p>BLOWOFF</p> <p>VALVE</p> <p>TEE</p> <p>ELBOW</p> <p>REDUCER</p> <p>THRUST BLOCK</p> <p>EXISTING SEWER LINE</p> <p>PROPOSED SEWER LINE</p> <p>SEWER MANHOLE</p> <p>SEWER MANHOLE</p> <p>EXISTING LAND DRAIN</p> <p>PROPOSED LAND DRAIN</p> <p>LAND DRAIN MANHOLE</p> <p>EXISTING STORM DRAIN</p> <p>PROPOSED STORM DRAIN</p> <p>EXISTING CURB & GUTTER</p> <p>PROPOSED CURB & GUTTER</p> <p>ADA PARKING</p> <p>STREET LIGHT</p> <p>LIGHT POLE</p> <p>POWER POLE</p> <p>TELEPHONE POLE</p> <p>UTILITY POLE</p> <p>STREET SIGN</p> <p>EXISTING RETAINING WALL</p> <p>PROPOSED RETAINING WALL</p> <p>EXISTING ROCK WALL</p> <p>PROPOSED ROCK WALL</p> <p>EXISTING FIBER OPTIC</p> <p>PROPOSED FIBER OPTIC</p> <p>EXISTING NATURAL GAS</p> <p>PROPOSED NATURAL GAS</p> <p>EXISTING POWER</p> <p>PROPOSED POWER</p> <p>EXISTING OVERHEAD POWER</p> <p>PROPOSED OVERHEAD POWER</p> <p>EXISTING UNDERGROUND POWER</p> <p>PROPOSED UNDERGROUND POWER</p> <p>EXISTING TELEPHONE</p> <p>PROPOSED TELEPHONE</p> <p>EXISTING IRRIGATION LINE</p> <p>PROPOSED IRRIGATION LINE</p> <p>IRRIGATION MANHOLE</p> <p>IRRIGATION METER</p> <p>BLOWOFF</p> <p>VALVE</p> <p>TEE</p> <p>ELBOW</p> <p>REDUCER</p> <p>THRUST BLOCK</p>	<p>DIAMETER</p> <p>DELTA</p> <p>DEGREES</p> <p>MINUTES, FEET</p> <p>SECONDS, INCHES</p> <p>AMERICAN DISABILITIES ACT</p> <p>CORRUGATED BLACK PLASTIC PIPE</p> <p>AMERICAN PUBLIC WORKS ASSOCIATION</p> <p>ARCHITECT, ARCHITECTURAL</p> <p>AMERICAN SOCIETY FOR TESTING AND MATERIALS</p> <p>AMERICAN WATER WORKS ASSOCIATION</p> <p>BAR & C</p> <p>BOUNDARY LINE AGREEMENT</p> <p>BUILDING</p> <p>BENCHMARK</p> <p>BOUNDARY</p> <p>BACK OF WALK</p> <p>BEARING</p> <p>BU BUTTERFLY VALVE</p> <p>CURB AND GUTTER</p> <p>CATCH BASIN</p> <p>CHORD</p> <p>CHORD BEARING</p> <p>CAST IRON</p> <p>CAST IN PLACE</p> <p>CENTRILINE</p> <p>CORRUGATED METAL PIPE</p> <p>CLEANOUT</p> <p>COMMUNICATIONS</p> <p>CONCRETE</p> <p>CONSTRUCTION</p> <p>CULINARY</p> <p>CULINARY WATER</p> <p>CULINARY WATERLINE</p> <p>DEMOLITION</p> <p>DUCTILE IRON</p> <p>DIAMETER</p> <p>DISTANCE</p> <p>DRAWING</p> <p>EAST, ELECTRICITY, ELECTRICAL</p> <p>EASEMENT</p> <p>EXISTING GRADE</p> <p>ELBOW</p> <p>ELECTRICAL</p> <p>ELEVATION</p> <p>EDGE OF ASPHALT</p> <p>END VERTICAL CURVE</p> <p>END VERTICAL CURVE ELEVATION</p> <p>END VERTICAL CURVE STATION</p> <p>EXISTING</p> <p>FINISH FLOOR ELEVATION</p> <p>FINISH GRADE</p> <p>FIRE HYDRANT</p> <p>FLOWLINE FND FOUNDATION</p> <p>FIRE PROTECTION</p> <p>FOOTING</p> <p>GAS, NATURAL GAS</p> <p>GRADE BREAK</p> <p>GATE VALVE</p> <p>HIGH-DENSITY POLYETHYLENE PIPE</p> <p>HP HIGH POINT</p> <p>HPE HIGH POINT ELEVATION</p>
SEQUENCE OF CONSTRUCTION	<ol style="list-style-type: none"> CONSTRUCTION EXT IS TO BE CONSTRUCTED AT THE TIME OF ENTRY TO SITE. CLEAR AND GRUB AREAS FOR SEDIMENT MEASURES. INSTALL SILT FENCES. COMPLETE CLEARING OF SITE AND BEGAIN ROUGH GRADING. FILL AREAS SHALL BE FILLED IN 12 INCH MAXIMUM LIFTS AND COMPACTED TO AT LEAST 95% MAXIMUM DENSITY. DRAINAGE WILL BE CONTROLLED AND GROUND SLOPED SO AS TO DIRECT RUNOFF TO SEDIMENT CONTROLLED INLETS. INSTALL REMAINDER OF STORM DRAIN. INSTALL UTILITY LINES, WATER, ETC. INSTALL CURBS, WALKS, ETC., AND STABILIZE ALL DISTURBED AREAS. INSTALL BASE COURSE. REMOVE SEDIMENT CONTROL MEASURES, CLEAN OUT TEMPORARY SEDIMENTATION BASINS AND REGRADE, CLEAN OUT SEDIMENT TRAPS AND CONVERT THEM TO STORM WATER MANAGEMENT STRUCTURES. PAVE SITE. OWNER TO BE RESPONSIBLE TO CHECK CLEAN OUT INLET BOXES FOR SEDIMENT AND OIL AND CLEAN AS NECESSARY 				
<p>DATE</p> <p>COMMENT</p> <p>REV #</p>	<p>DATE</p> <p>COMMENT</p> <p>REV #</p>				

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Entellus

10/4/2022
 No. 189998
 BOUNTIFUL CITY, UT
 ADVOC. T.

KNOWLTON GENERAL - 4TH AND MAIN
 406 SOUTH MAIN STREET & 33 WEST 400 SOUTH STREET
 TAX PARCELS #03-032-0081, -0082, -0083, -0084, & -0113
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 16 OF T32N., R.1E., S.11&12M.
 BOUNTIFUL CITY, DAVIS COUNTY, UT 84018

DR-AWN: JBC
 APPROVED: STC
 PROJECT # 1181919
 SET 1181919.dwg

C101

NOTES & LEGEND

710 WORKING DAYS BEFORE YOU DIG CALL

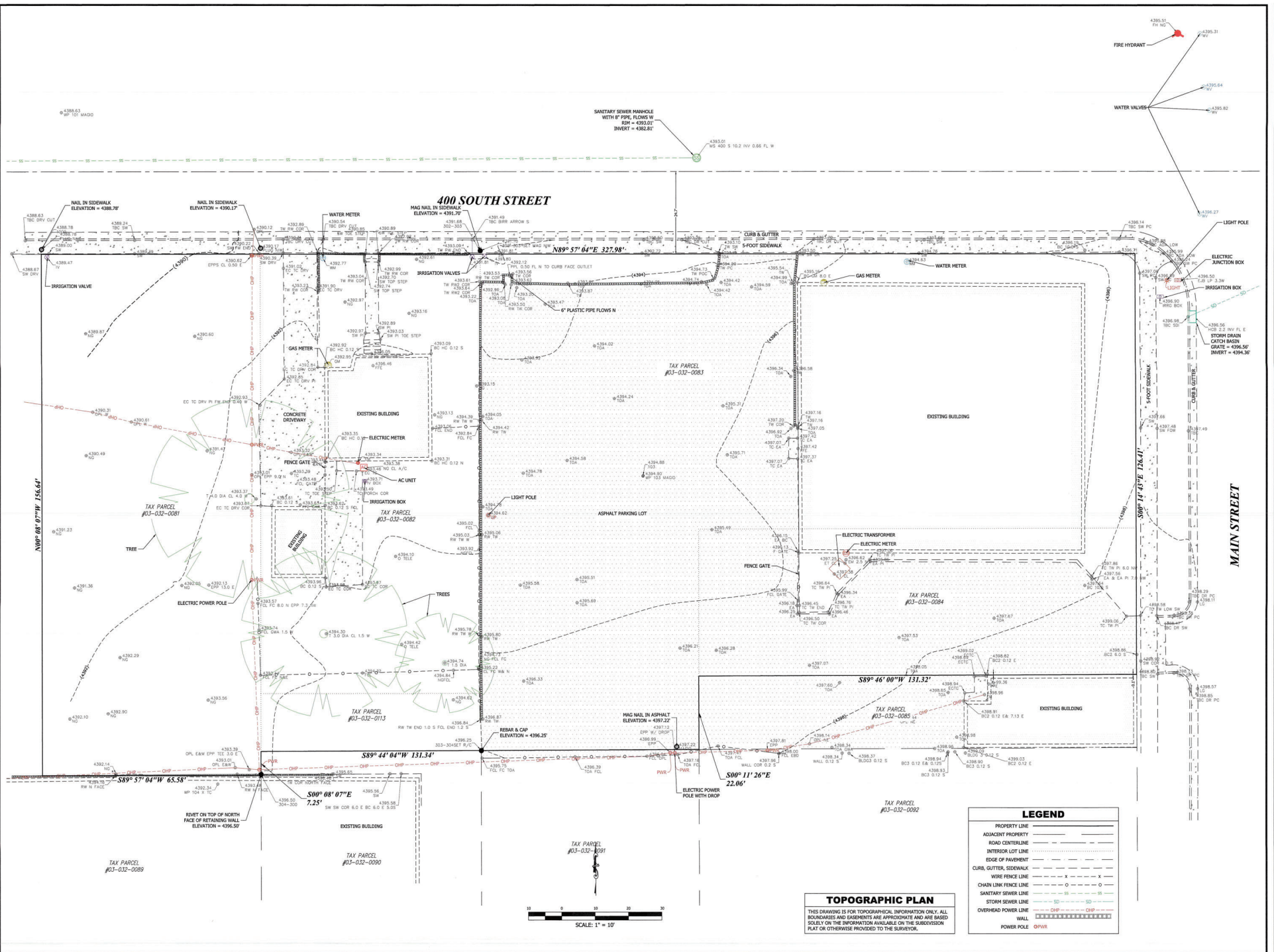
1-800-862-4111
 OR 801-208-2100
 9A11 LINE

IT'S THE LAW TO CALL



KNOWLTON GENERAL - 4TH & MAIN
406 SOUTH MAIN STREET, E. 1/2 WEST 4TH SOUTH STREET
TAX PARCELS #03-02-0081, #03-02-0082, #03-02-0083, #03-02-0084
LOCATED IN THE NORTH LOT 10 OF SECTION 06, T21N, E1E, S1R, 4M.
BENTLEY MAPS, L.L.C. © 2022, 2021, 2020

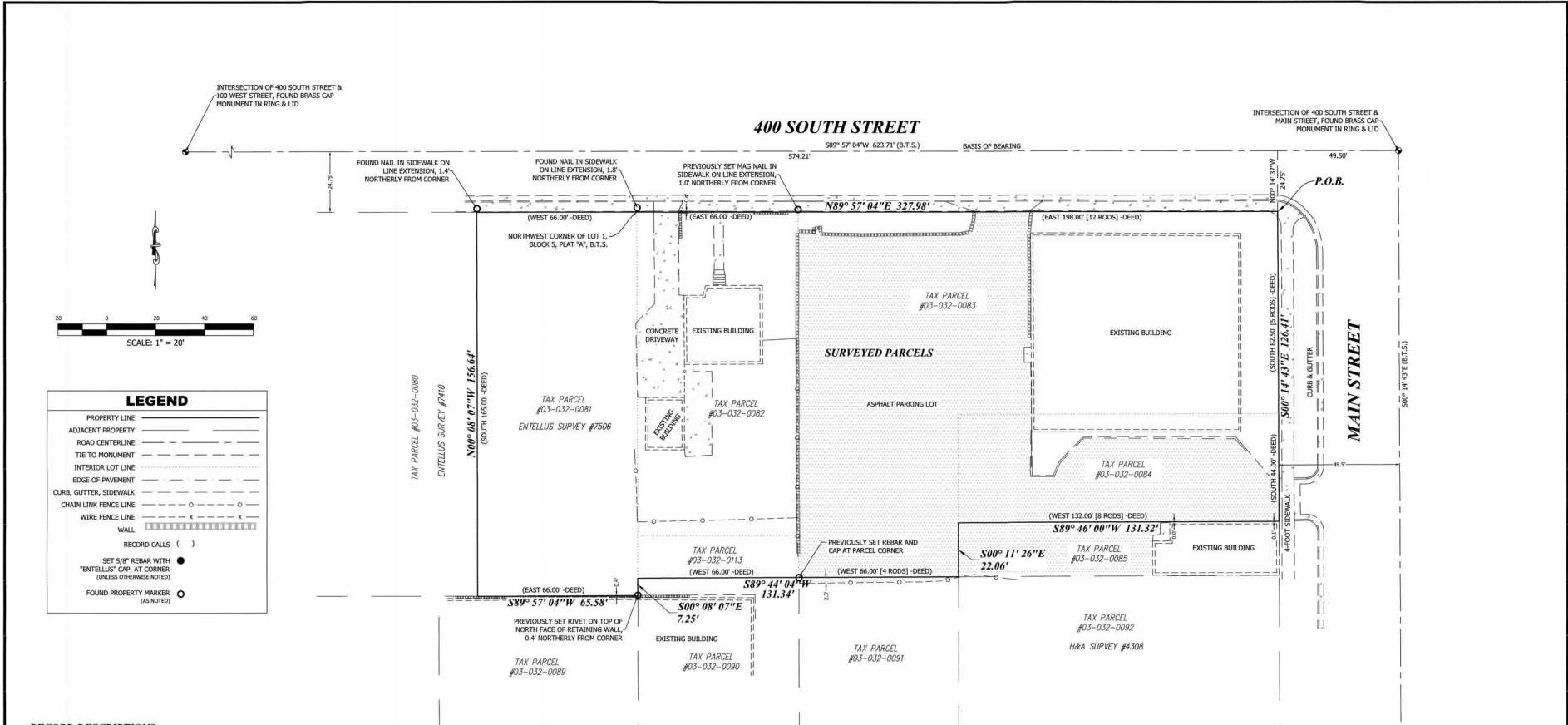
DRAWN: 05/22/2021
JAP
APPROVED: 06/14/2021
JBC
PROJECT: 115519.02
TOPOGRAPHY 115519.02
V200
TOPOGRAPHIC SURVEY



LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY	---
ROAD CENTERLINE	---
INTERIOR LOT LINE	---
EDGE OF PAVEMENT	---
CURB, GUTTER, SIDEWALK	---
WIRE FENCE LINE	---
CHAIN LINK FENCE LINE	---
SANITARY SEWER LINE	---
STORM SEWER LINE	---
OVERHEAD POWER LINE	---
WALL	---
POWER POLE	---

TOPOGRAPHIC PLAN
THIS DRAWING IS FOR TOPOGRAPHICAL INFORMATION ONLY. ALL BOUNDARIES AND ELEVATIONS ARE APPROXIMATE AND ARE BASED SOLELY ON THE INFORMATION AVAILABLE ON THE SUBDIVISION PLAT OR OTHERWISE PROVIDED TO THE SURVEYOR.



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY
- ROAD CENTERLINE
- TIE TO MONUMENT
- INTERIOR LOT LINE
- EDGE OF PAVEMENT
- CURB, GUTTER, SIDEWALK
- CHAIN LINK FENCE LINE
- WIRE FENCE LINE
- WALL

RECORD CALLS ()

- SET 5/8" REBAR WITH "ENTELLUS" CAP AT CORNER (UNLESS OTHERWISE NOTED)
- FOUND PROPERTY MARKER (AS NOTED)

RECORD DESCRIPTIONS

TAX PARCEL #03-032-0081
 FROM A WARRANTY DEED RECORDED AS ENTRY #2072829, DAVIS COUNTY RECORDER'S OFFICE.
 BEGINNING AT THE NORTHEAST CORNER OF LOT 2, BLOCK 5, PLAT "A", BOUNTIFUL TOWNSITE SURVEY, AND RUNNING THENCE WEST 66 FEET; THENCE SOUTH 165 FEET; THENCE EAST 66 FEET; THENCE NORTH 165 FEET TO THE POINT OF BEGINNING.

TAX PARCEL #03-032-0082
 FROM A SPECIAL WARRANTY DEED RECORDED AS ENTRY #3134765, DAVIS COUNTY RECORDER'S OFFICE.
 BEGINNING AT THE NORTHWEST CORNER OF LOT 1, BLOCK 5, PLAT A, BOUNTIFUL TOWNSITE SURVEY, THENCE EAST 66 FEET; THENCE SOUTH 132 FEET; THENCE NORTH 132 FEET TO THE POINT OF BEGINNING.

TAX PARCEL #03-032-0083
 ADAPTED FROM A WARRANTY DEED RECORDED AS ENTRY #2814126, DAVIS COUNTY RECORDER'S OFFICE.
 BEGINNING AT THE NORTHEAST CORNER OF LOT 1, BLOCK 5, PLAT A, BOUNTIFUL TOWNSITE SURVEY, THENCE SOUTH 5 RODS; THENCE WEST 8 RODS; THENCE SOUTH 4 RODS; THENCE WEST 4 RODS; THENCE NORTH 9 RODS; THENCE EAST 12 RODS TO THE POINT OF BEGINNING.

TAX PARCEL #03-032-0084
 ADAPTED FROM A WARRANTY DEED RECORDED AS ENTRY #2814127, DAVIS COUNTY RECORDER'S OFFICE.
 BEGINNING 5 RODS SOUTH OF THE NORTHEAST CORNER OF LOT 1, BLOCK 5, PLAT A, BOUNTIFUL TOWNSITE SURVEY, AND RUNNING THENCE SOUTH 44 FEET, THENCE WEST 8 RODS, THENCE NORTH 44 FEET, THENCE EAST 8 RODS TO THE POINT OF BEGINNING.

TAX PARCEL #03-032-0113
 ADAPTED FROM A WARRANTY DEED RECORDED AS ENTRY #2993137, DAVIS COUNTY RECORDER'S OFFICE.
 BEGINNING AT THE SOUTHEAST CORNER OF LOT 1, BLOCK 5, PLAT A, BOUNTIFUL TOWNSITE SURVEY; RUNNING THENCE WEST 264 FEET; THENCE NORTH 33 FEET; THENCE EAST 66 FEET; THENCE SOUTH 16.5 FEET; THENCE EAST 198 FEET; THENCE SOUTH 16.5 FEET TO THE POINT OF BEGINNING.

WHOLE SURVEYED PARCEL CONTAINS 1.067 ACRES

CERTIFICATE

I, JEREMIAH R. CUNNINGHAM, A PROFESSIONAL LAND SURVEYOR ACCORDING TO THE LAWS OF THE STATE OF UTAH, DO CERTIFY THAT I HAVE SURVEYED THE PARCEL OF GROUND SHOWN HERON ACCORDING TO UTAH STATE CODE 17-23-17.

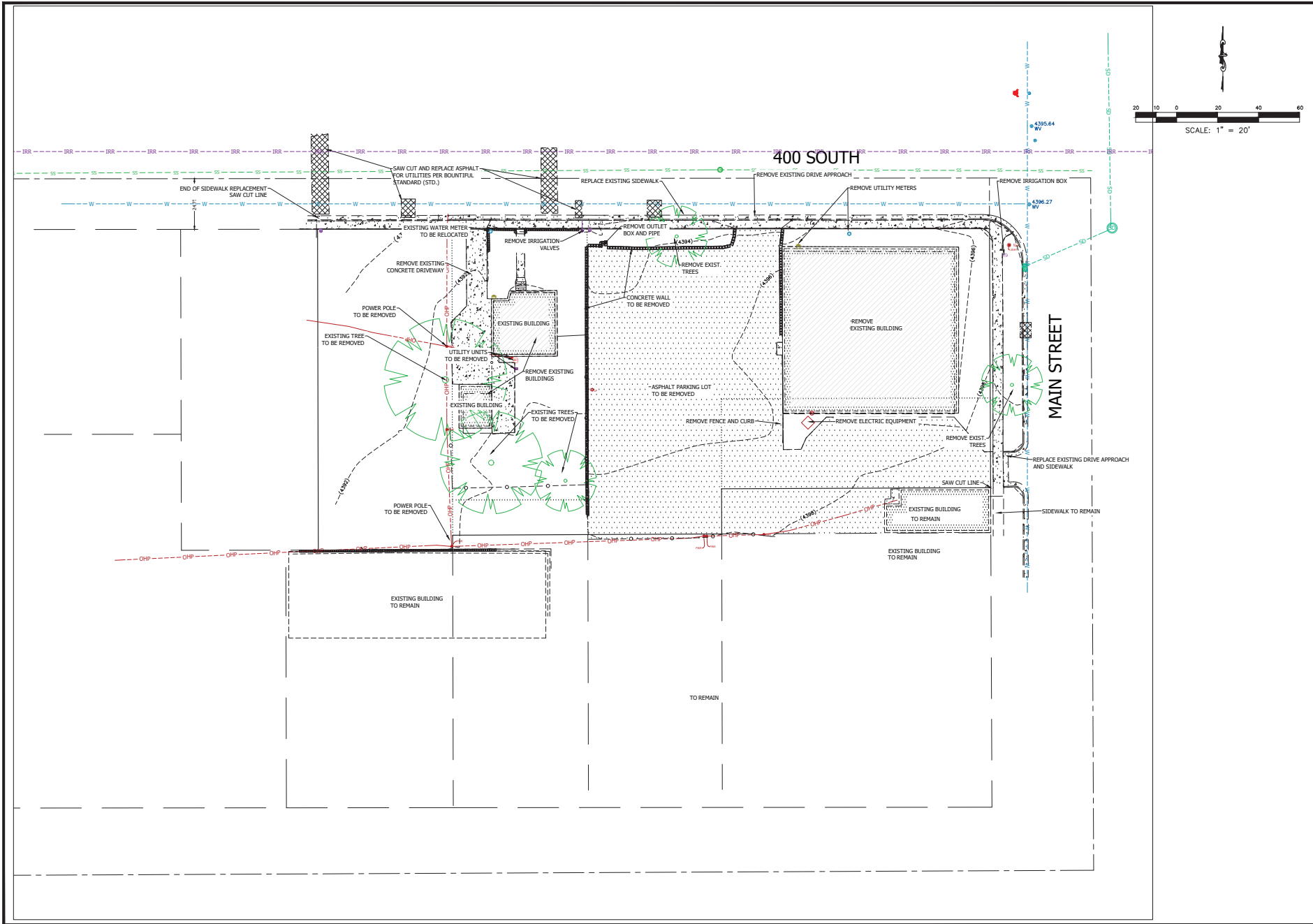
9102497
 Jeremiah R. Cunningham
 0222628
 875-419-1750

NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO IDENTIFY THE BOUNDARIES OF MULTIPLE PARCELS. THE BASIS OF BEARING WAS SET ALONG THE MONUMENTS IN 400 SOUTH STREET, AS SHOWN. RECORD BEARINGS AND DISTANCES ALONG THIS STREET AND AROUND THIS BLOCK WERE TAKEN FROM THE "RESURVEY OF PLAT "A" BOUNTIFUL TOWNSITE SURVEY" PLAT (B.T.S.) PREPARED IN 1989 BY JACK BALLING. ALTHOUGH THE MONUMENTS IN 500 SOUTH STREET WERE NOT MEASURED FOR THIS SURVEY, THEIR POSITION HAS BEEN PERPETUATED BASED ON PRIOR SURVEY DATA. THE RETRACEMENT BY MR. BALLING SHOWS THAT THIS BLOCK IS DEFICIENT, AS DESCRIBED BELOW.

THIS SURVEY IS ALSO A RETRACEMENT OF TWO SURVEYS PERFORMED BY ENTELLUS IN 2019, SURVEY #7410 ON TAX PARCEL #03-032-0080 AND SURVEY #7266, WHICH INCLUDES THE WESTERLY PARCELS THAT ARE SHOWN ON THIS SURVEY. THESE PRIOR SURVEYS IDENTIFY THAT THIS BLOCK IS SHORT BY AT LEAST 16 FEET IN A NORTH AND SOUTH DIRECTION AND SHORT BY AT LEAST 3 FEET IN AN EAST TO WEST DIRECTION. AN EARLIER SURVEY PERFORMED BY HILL & ARGYLE ON PARCELS TO THE SOUTH OF THIS SURVEY ALSO DESCRIBES THIS DEFICIENCY ("H&A" SURVEY #4398). MR. HILL'S SURVEYS TRY TO RESOLVE THIS DISCREPANCY BY RELYING ON SENIOR RIGHTS, PROPORTIONING, AND OCCUPATION LINES (ACQUISITION). THESE THREE PRIOR SURVEYS WERE ALL PERFORMED BY VON HILL. ANOTHER SURVEY ON PARCELS TO THE SOUTH WAS PERFORMED BY LYMAN BGS ("LBS" SURVEY #4576). THE LBS SURVEY IDENTIFIES THE DEFICIENCY IS 6.5 FEET BUT DOES NOT TRY TO RESOLVE OR PROPORTION OCCUPATION LINES TO ACCOUNT FOR THE DEFICIENCY. WE ACCEPT MR. HILL'S SOLUTION FOR THESE PARCELS.

THE NORTHERLY AND EASTERLY LINES OF THE PROPERTY WERE DETERMINED USING AN OFFSET LINE FROM THE MONUMENTS AROUND THE BLOCK. THE WESTERLY LINE WAS DETERMINED USING THE PRIOR SURVEYS. THE WESTERLY LINE OF THE ORIGINAL "LOT 1" OF BLOCK 5 WAS CALCULATED USING A LINE RUNNING FROM THE MIDPOINT OF THE SOUTH BLOCK LINE TO THE MIDPOINT OF THE NORTH BLOCK LINE. A PORTION OF THE SOUTHERLY LINES OF THE SURVEYED PARCELS WERE DETERMINED BASED OFF OF THE PRIOR SURVEYS, AS NOTED ABOVE. THE REMAINING PARTS OF THE SOUTHERLY LINES WERE BASED ON THE EXTENSION OF THE SOUTHERLY SURVEYED LINE AND THE LOCATION OF A BUILDING ON TAX PARCEL #03-032-0085. THE DEPTH OF THE -0085 PARCEL WAS DETERMINED BASED ON ITS PRIOR LOCATED LOCATION IN RELATION TO THE WESTERLY LINE OF THE MEASURED LOT.

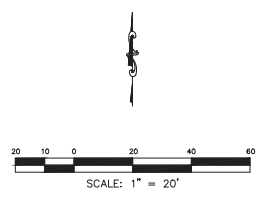
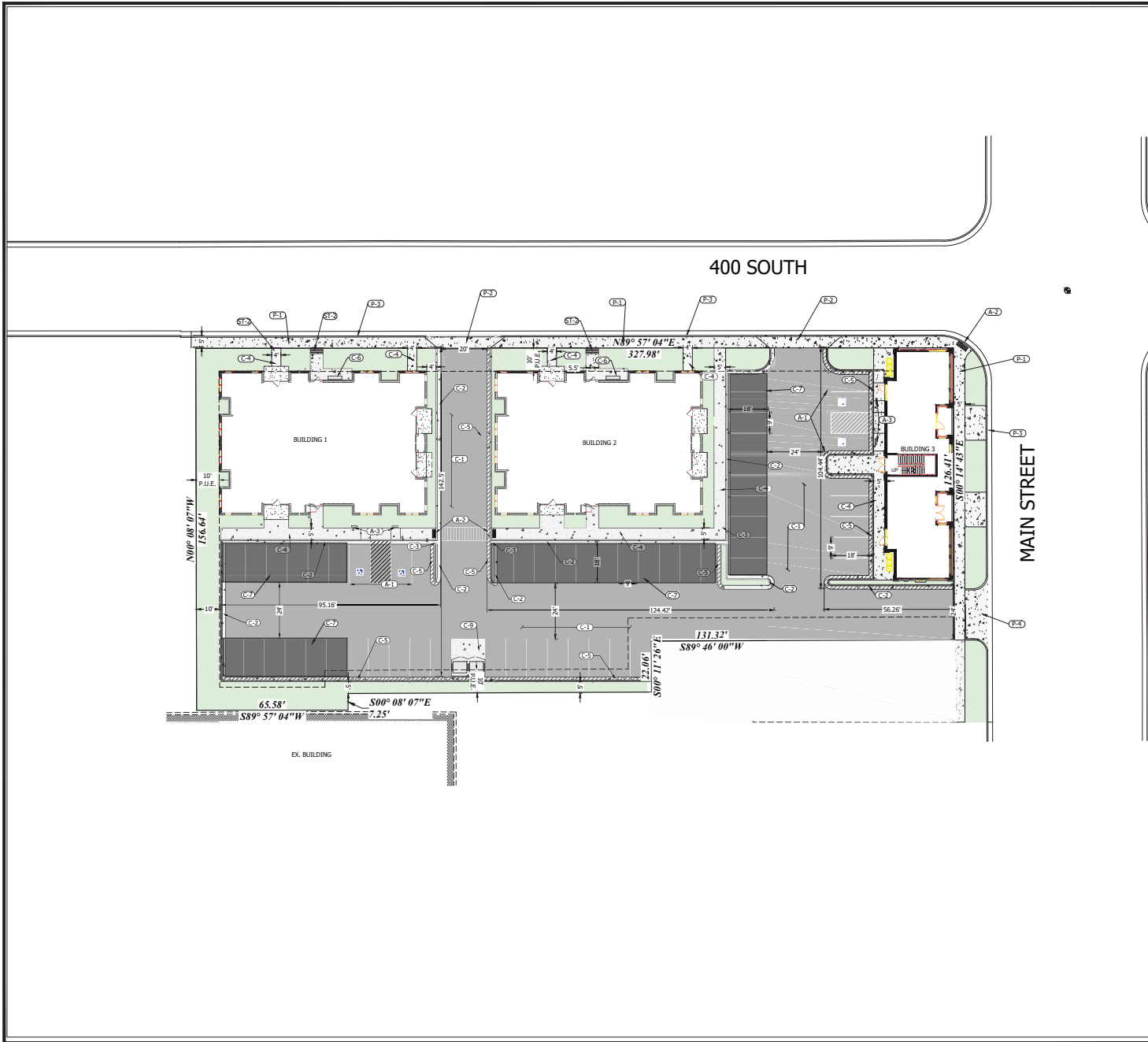


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KNOWLTON GENERAL - 4TH & MAIN
 406 SOUTH MAIN STREET & S3 WEST 400 SOUTH STREET
 TAX PARCELS 06-02-0081, -0082, -0083, -0084, & -0113
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 30, T2N, R1E, S1&2 R.A.M.
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DRAWN: JBC
 APPROVED: STA
 PROJECT # 1185019
 SET 1185019.dwg
C300
 DEMOLITION PLAN



PARKING TABLE	
33 COVERED STALLS	
20 UNCOVERED STALLS	
4 STANDARD ADA RESERVED STALLS	

NOTE: REFER TO PARKING STUDY BY OTHERS

SYMBOL LEGEND	
(C1)	PRIVATE ASPHALT SECTION PER DETAIL, SHEET C900
(C2)	PRIVATE 24" CATCH CURB & GUTTER PER DETAIL, SHEET C900
(C3)	PRIVATE DRAINAGE CURB CUT HI-BACK CURB AND GUTTER PER DETAIL, SHEET 900
(C4)	PRIVATE CONCRETE SIDEWALK PER DETAIL, SHEET C900
(C5)	PRIVATE 24" RELEASE CURB & GUTTER PER DETAIL, SHEET C900
(C6)	PRIVATE PERMANENT BENCH PER DETAIL OR SIMILAR, SHEET C900
(C7)	COVERED PARKING AREA/CARPPOOL PER ARCHITECTURAL DRAWING
(C8)	ACCESSIBLE CHU DUMPSTER ENCLOSURE PER DETAIL, SHEET C900
(A1)	ADA ACCESSIBLE PARKING & RAMP PER DETAIL, SHEET C900
(A2)	ADA POLE-MOUNTED VAN-ACCESSIBLE PARKING SIGN PER DETAIL, SHEET C900
(11)	OUTDOOR STAIRS, TYPICAL PER DETAIL, SHEET C900
(R1)	CONCRETE SIDEWALK REPLACEMENT PER BOUNTIFUL CITY STANDARDS
(R2)	FLAIRED CONCRETE DRIVE APPROACH PER BOUNTIFUL CITY STANDARDS
(R3)	CONCRETE CURB & GUTTER REPLACEMENT PER BOUNTIFUL CITY STANDARDS
(R4)	OPEN CONCRETE DRIVE APPROACH PER BOUNTIFUL CITY STANDARDS

ALL ITEMS WITHIN THE PUBLIC RIGHT-OF-WAY TO CONFORM TO THE RIGHT-OF-WAY OWNERS STANDARDS & SPECIFICATIONS.

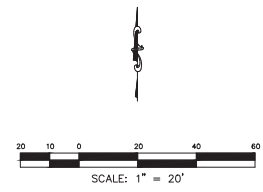
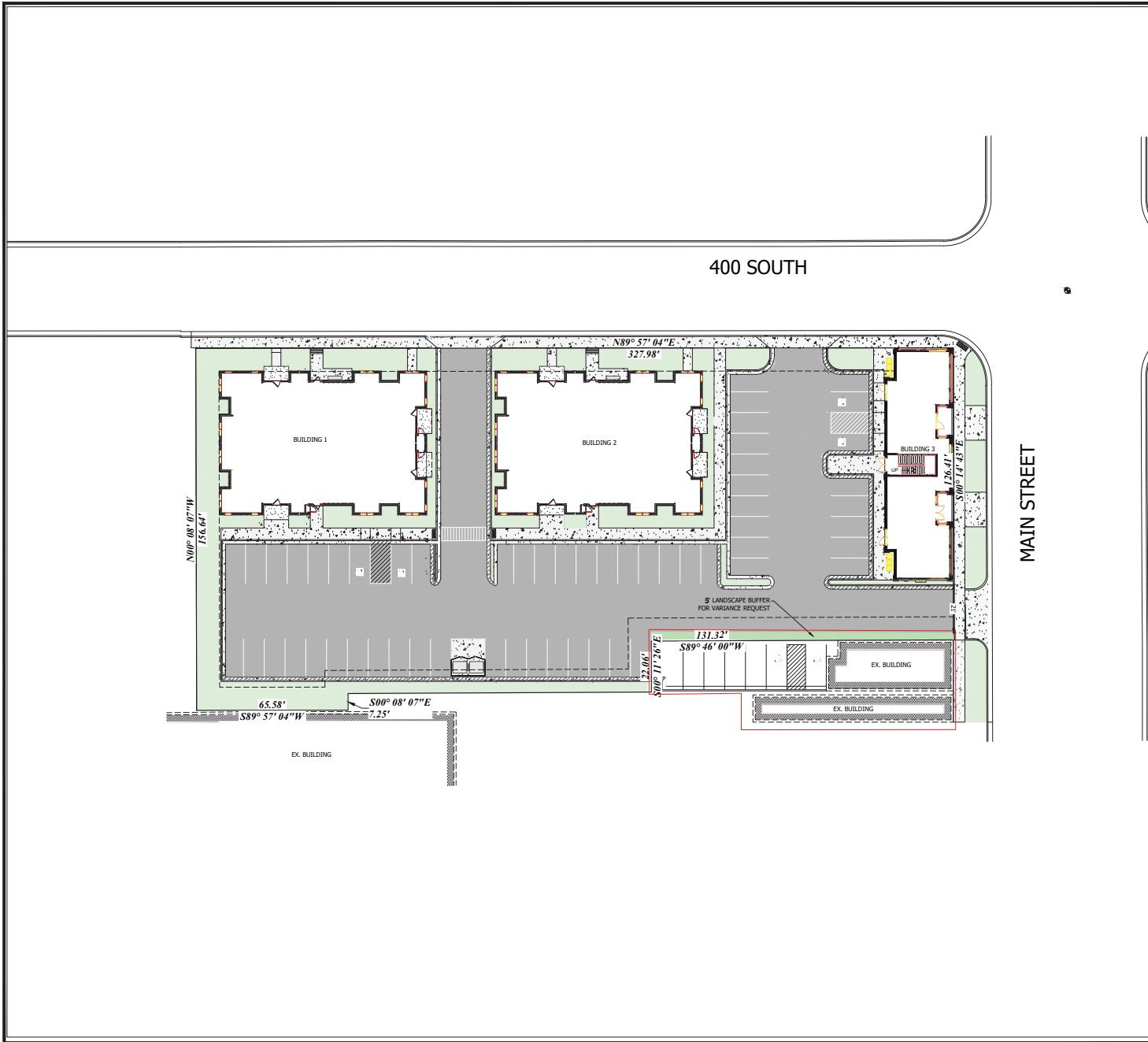
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 TAX PARCELS 06-02-0081, -0082, -0083, -0084, & -0113
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 30, T2N, R1E, S12R, W4M,
 BOUNTIFUL CITY, DAVIS COUNTY, UT

DATE:	11/15/2022
DRAWN:	JBC
APPROVED:	STA
PROJECT #:	1185019
SHEET:	1885019.dwg

C400
SITE PLAN



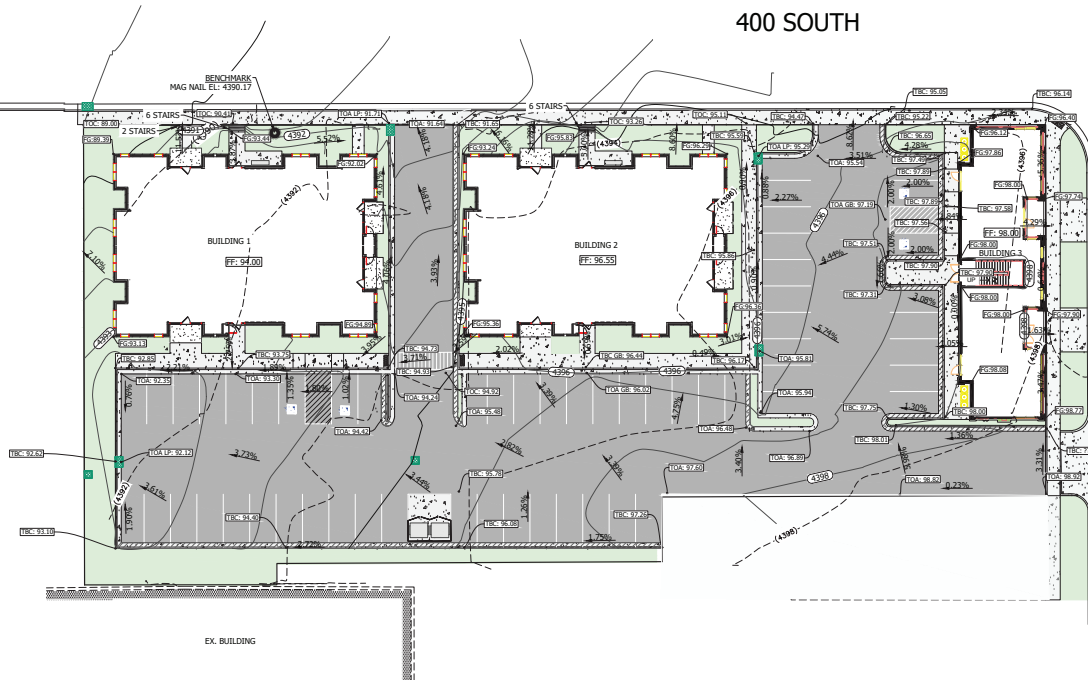
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 LOCATED IN THE NORTHEAST 1/4 OF SECTION 30, T2N, R1E, S1R4M,
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DRAWN: JBC
 APPROVED: STA
 PROJECT #: 188519
 SET: 188519.dwg

C401
 VARIANCE SHEET



DRAINAGE CALCULATIONS

6-Sep-22

Pre-Development Area Analysis

Area	sq.ft.	Acres	C
Building	8,315	0.19	0.85
Improvements	19,220	0.44	0.90
Landscape	22,591	0.52	0.15
Total	50,127	1.15	0.55

Post-Development Area Analysis

Area	sq.ft.	Acres	C
Building	15,546	0.36	0.85
Improvements	27,306	0.63	0.90
Landscape	7,275	0.17	0.15
Total	50,127	1.15	0.78

10 Year Detention Analysis

MS4 Precipitation Frequency Data Server
 Latitude: 40.8851° Longitude: -111.8808°
 Allowable Runoff: 0.20 cfs/acre

Time (min.)	1	Runoff in./hr	Runoff ft ³	Allowable Runoff ft ³	Storage ft ³
5	3.360	900	69	831	
10	2.560	1,371	138	1,233	
15	2.120	1,703	207	1,496	
30	1.430	2,297	414	1,883	
60	0.882	2,834	829	2,006	
120	0.529	3,400	1,657	1,743	
180	0.386	3,721	2,486	1,235	
360	0.237	4,569	4,971	0	
720	0.147	5,668	9,943	0	
1440	0.092	7,095	19,885	0	

Required Detention: **2,006**

80th Percentile Retention Analysis

Peak EQ. A Reten = 0.225(Dimp) - 05 when Imp < 55%
 Peak EQ. B Reten = 1.14(Imp) - 371 when Imp > 55%
 WQV EQ. WQV = (Peak Reten) * 4.112
 Retention Retention = WQV / 4.550

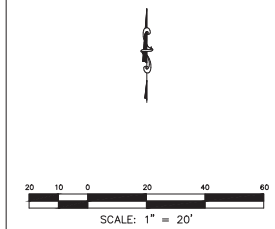
Imp	0.60 (ft.)
Imp	0.55
Imp	85%
A	1.15 (acre)
Reten	0.17
WQV	0.60
Retention	0.025 ac-ft
Retention	1078 cu.ft.

Combined Storage

Retention	1,078 cu.ft.
Detention	928 cu.ft.
Combined Storage	2,006 cu.ft.

Office Siting

Highwater Elevation	4,394.15 ft
Office Elevation	4,392.07 ft
Flow	0.23 cfs
Eq	0.62 square-edge
Office Size	2.42 m.



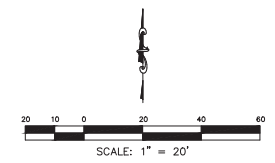
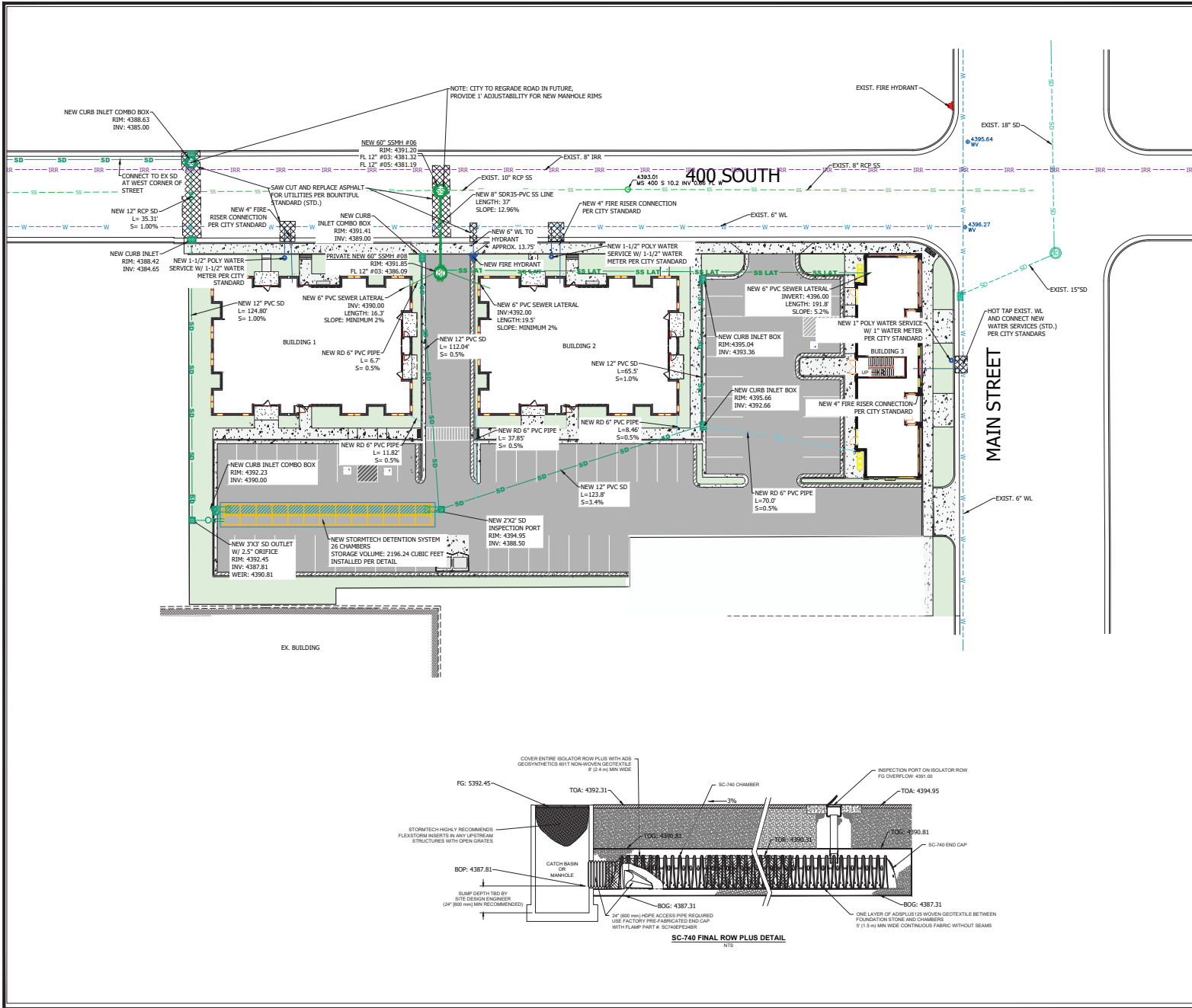
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 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

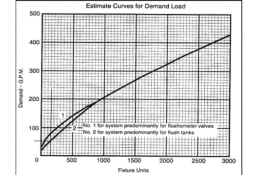
DRAWN: JBC
 APPROVED: STA
 PROJECT #: 188519
 SET: 188519.dwg

C500
 GRADING PLAN



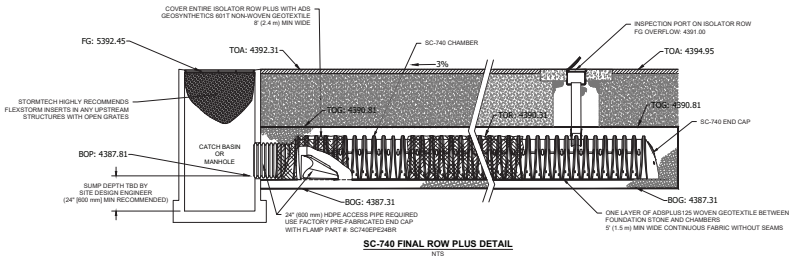
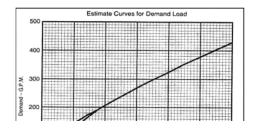
METER SIZING PER BUILDINGS 1,2

Room	Fixtures	Units/Fixture	Feature	Units
1 Bedroom				
Bath/Shower	1	1.4	1.4	1.4
Lavatory	1	0.7	0.7	0.7
Dishwasher / Sink	2	1.4	2.8	2.8
Flush Tank Toilet	1	2.2	2.2	2.2
Clothes Washer	1	1.4	1.4	1.4
Total				8.5
2/3 Bedroom				
Bath/Shower	2	1.4	2.8	2.8
Lavatory	2	0.7	1.4	1.4
Dishwasher / Sink	2	1.4	2.8	2.8
Flush Tank Toilet	2	2.2	4.4	4.4
Clothes Washer	1	1.4	1.4	1.4
Total				12.8
1 Bedroom Units				
	0	8.5	0	0
2/3 Bedroom Units				
	12	12.8	154	154
Total Feature Units				154
GPM from Hunter Curve				50
Required Meter Size				1-1/2"



METER SIZING PER BUILDING 3

Room	Fixtures	Units/Fixture	Feature	Units
1 Bedroom				
Bath/Shower	1	1.4	1.4	1.4
Lavatory	1	0.7	0.7	0.7
Dishwasher / Sink	2	1.4	2.8	2.8
Flush Tank Toilet	1	2.2	2.2	2.2
Clothes Washer	1	1.4	1.4	1.4
Total				8.5
2/3 Bedroom				
Bath/Shower	2	1.4	2.8	2.8
Lavatory	2	0.7	1.4	1.4
Dishwasher / Sink	2	1.4	2.8	2.8
Flush Tank Toilet	2	2.2	4.4	4.4
Clothes Washer	1	1.4	1.4	1.4
Total				12.8
COMMERCIAL				
Flush Tank Toilet	2	2.2	4.4	4.4
Lavatory	2	0.7	1.4	1.4
Total				5.8
1 Bedroom Units				
	2	8.5	17	17
2/3 Bedroom Units				
	2	12.8	26	26
Commercial				12
Total Feature Units				54
GPM from Hunter Curve				30
Required Meter Size				1"

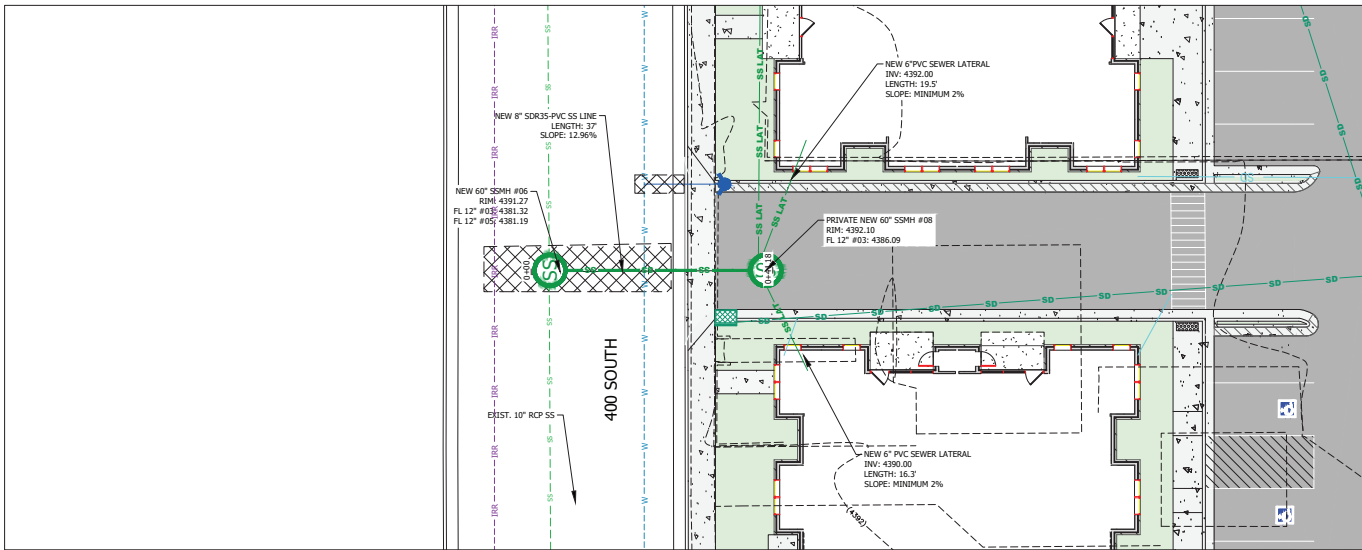


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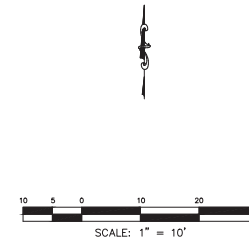
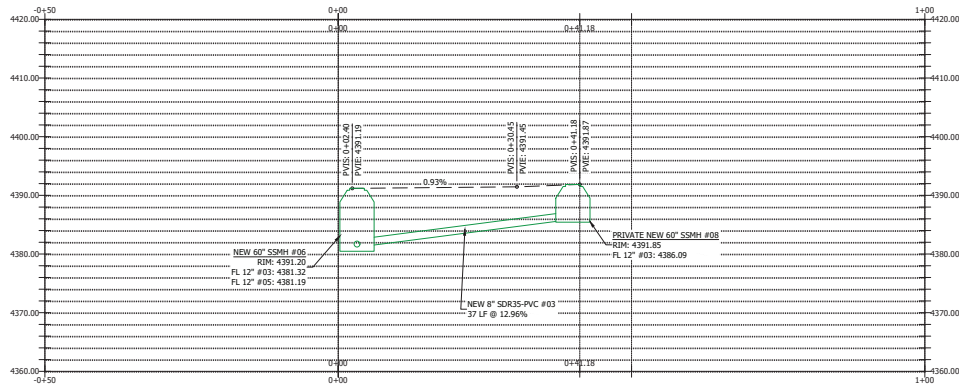


KNOWLTON GENERAL - 4TH & MAIN
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TAX PARCELS 06-02-081, -082, -083, -084, & -0113
LOCATED IN THE NORTHEAST 1/4 OF SECTION 30, T2N, R1E, S1&2E, W4M
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DRAWN: JBC
APPROVED: STA
PROJECT #: 1185019
SET: 118516.dwg
C600
UTILITY PLAN



4TH SOUTH TO DEVELOPMENT - STA: -0+50 to 1+00

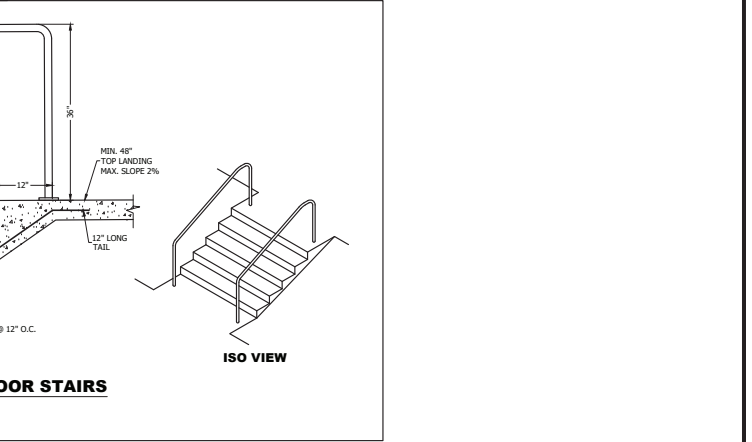
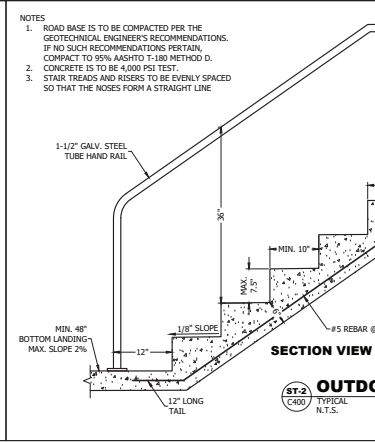
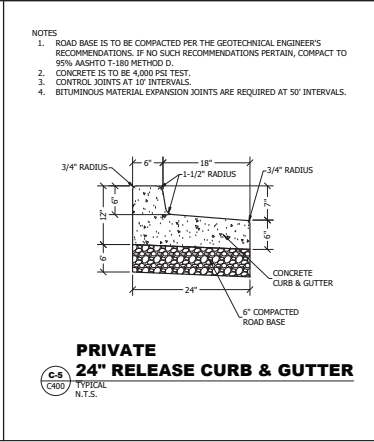
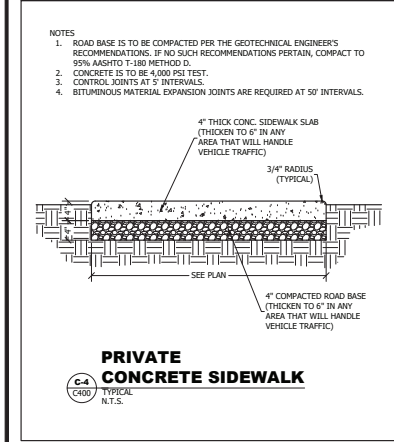
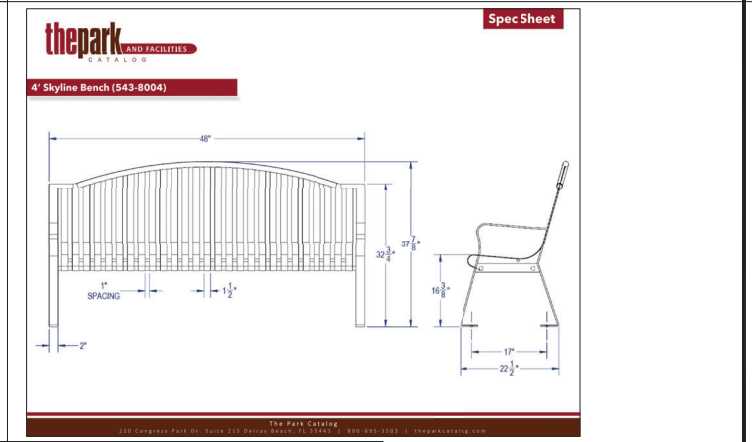
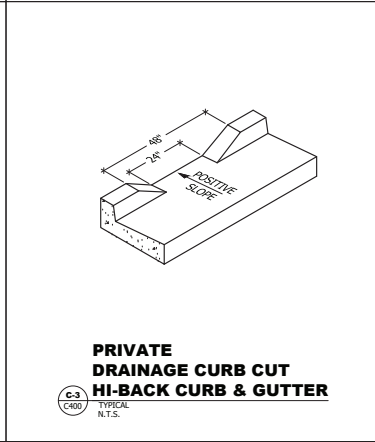
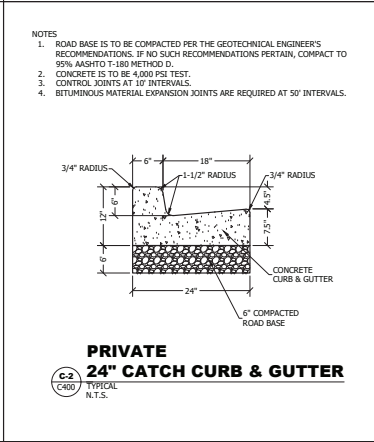
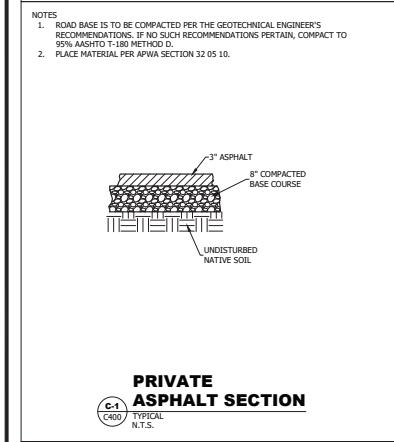
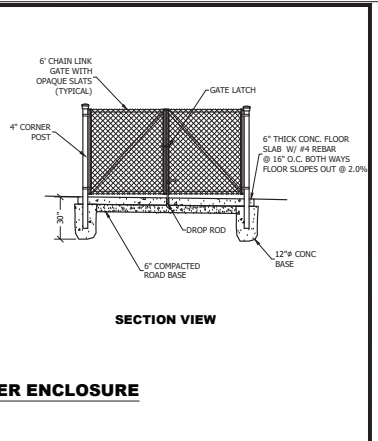
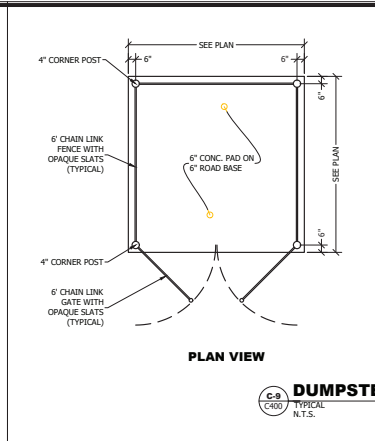
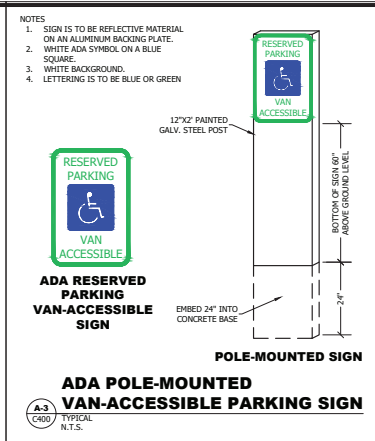
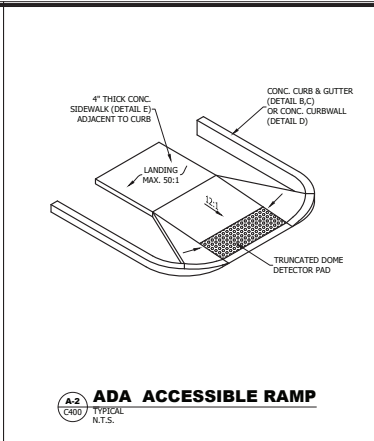
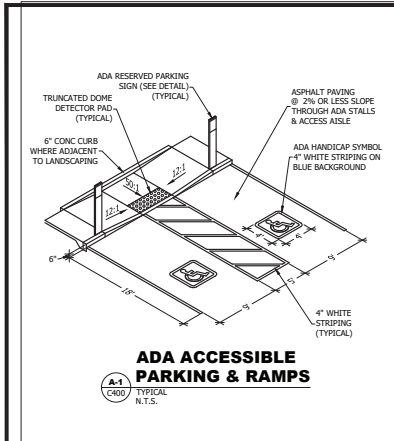


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LOCATED IN THE NORTHEAST 1/4 OF SECTION 30, T2N, R1E, S1L.R.A.M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DRAWN: JBC
APPROVED: STA
PROJECT #: 188519
SET: 188519.dwg
C700
PLAN AND PROFILE



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Entellus

PROFESSIONAL ENGINEER
10/4/2002
No. 189998
SCOTT T. SCOTT
ABOVE ALL

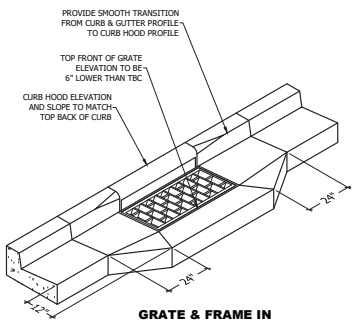
KNOWLTON GENERAL - 4TH AND MAIN

406 SOUTH MAIN STREET & 33 WEST 400 SOUTH STREET
TAYLOR ARCELS 01-213-2101 - 0082 - 0083 - 0084 - 0013
LOCATED IN THE NORTHEAST 1/4 OF SECTION 36, T.2N., R.1E., S.1&2&3, BOUNTIFUL CITY, DAVIS COUNTY, UTAH

REV #	DATE	COMMENT

DRAWN: JBC
APPROVED: STA
PROJECT: 1185019
SET: 118519.002

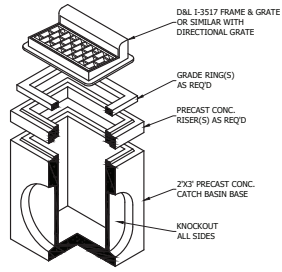
C900
SITE DETAILS



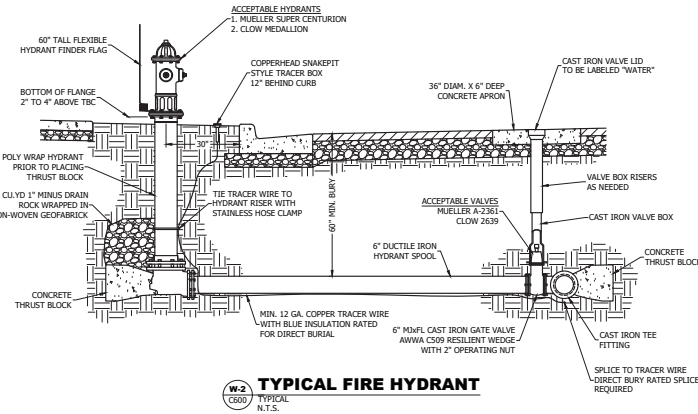
GRATE & FRAME IN CONCRETE CURB & GUTTER

PRIVATE STORM DRAIN CURB INLET BOX

SD-2
C600
TYPICAL
N.T.S.

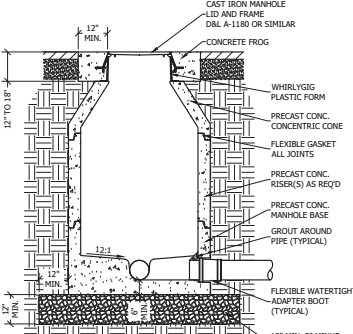


GRATE & FRAME WITH PRECAST CONCRETE BOX



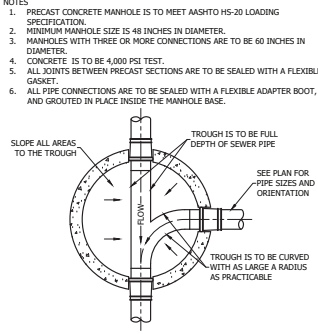
TYPICAL FIRE HYDRANT

W-2
C600
TYPICAL
N.T.S.

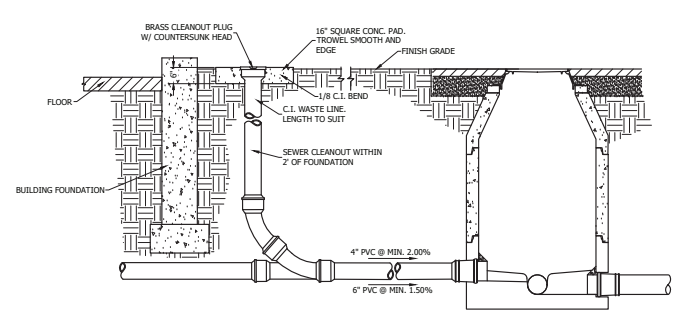


SECTION VIEW PRIVATE CONCENTRIC CONE SANITARY SEWER MANHOLE

SS-1
C600
TYPICAL
N.T.S.

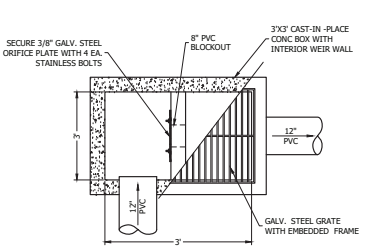


PLAN VIEW

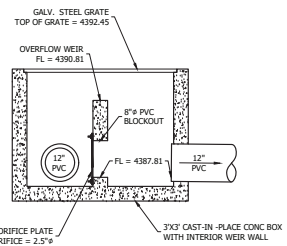


SEWER LATERAL TO MANHOLE

SS-1
C600
TYPICAL
N.T.S.



PLAN VIEW



SECTION VIEW

PRIVATE STORM DRAIN CONTROL BOX WITH OVERFLOW WEIR

SD-8
C600
TYPICAL
N.T.S.

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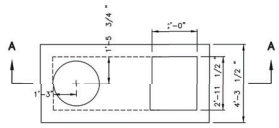
KNOWLTON GENERAL - 4TH AND MAIN

406 SOUTH MAIN STREET & 33 WEST 400 SOUTH STREET
TAXY ARCELS 02-013-0101, -0083, -0083, -0083, -0083, A-0113
LOCATED IN THE NORTHEAST 1/4 OF SECTION 36, T.23. N., R.1E., S.1&2&3&4
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

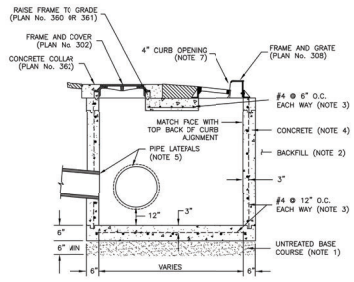
REV #	DATE	COMMENT

DRAWN: JBC
APPROVED: STA
PROJECT #: 1185919
SET: 118519.002

C910
UTILITY DETAILS



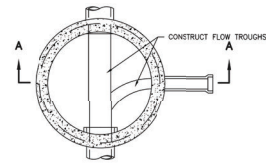
PLAN



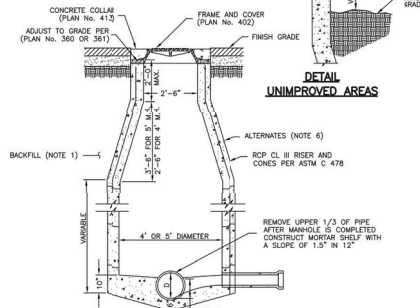
SECTION A-A

Combination inlet/cleanout box

Plan No. 316



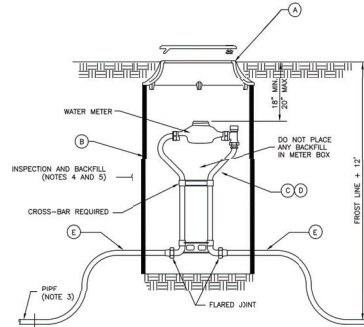
PLAN



SECTION A-A

Sanitary sewer manhole

Plan No. 411



SECTION

No.	ITEM	DESCRIPTION
(A)	FRAME AND COVER	CAST IRON COVER (gross) DUCTILE IRON COVER (in-ways)
(B)	METER BOX	CORRUGATED F.E. PVC, CMP OR MATERIAL ACCEPTABLE TO AGENCY (18" TO 21" DIAMETER) (36" TO 36" DEEP)
(C)	3/4" METER YOKE	OPTIONAL BACKFLOW PROTECTION PER AGENCY REQUIREMENTS
(D)	1" METER YOKE	OPTIONAL BACKFLOW PROTECTION PER AGENCY REQUIREMENTS
(E)	COPPER PIPE	TYPE K (SOFT)

3/4" and 1" meter

Plan No. 521

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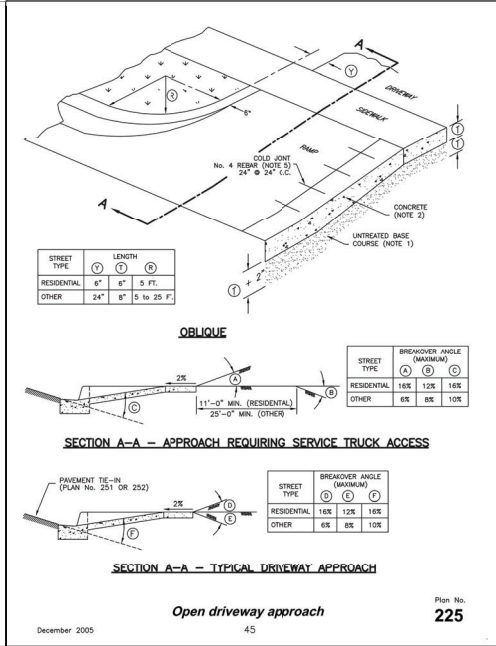
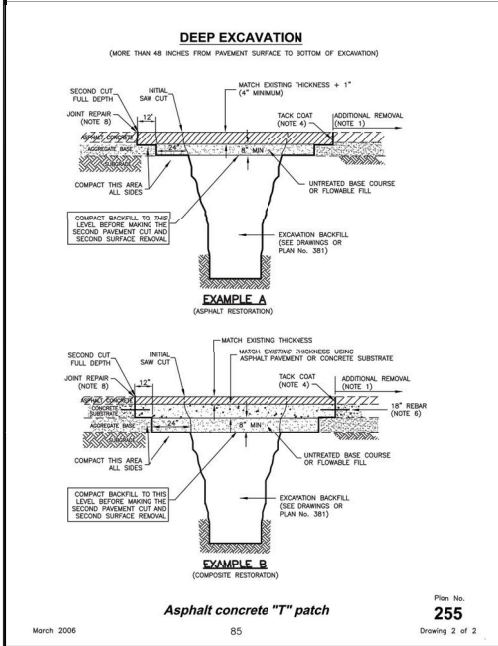
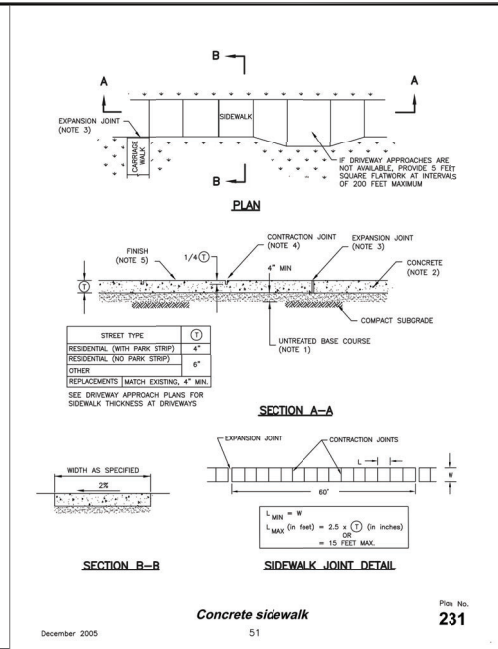
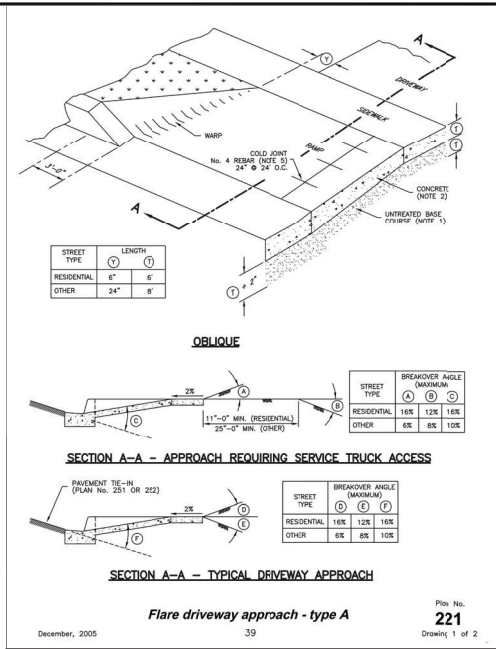
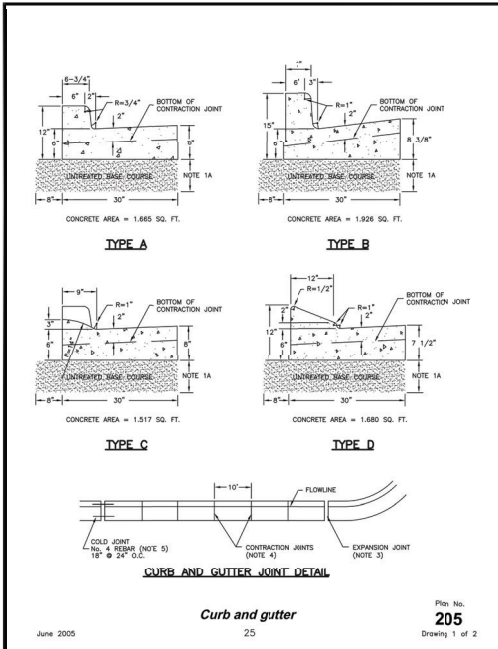
KNOWLTON GENERAL - 4TH AND MAIN

406 SOUTH MAIN STREET & 33 WEST 400 SOUTH STREET
TAXY ARCELS 02-032-0104L - 0003 - 0003 - 0004 - 0113
LOCATED IN THE NORTHEAST 1/4 OF SECTION 30, T.23. N., R.1E., S.14R. & M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

REV #	DATE	COMMENT

DRAWN: JBC
APPROVED: STA
PROJECT #: 1185019
SET 118519.dwg

C920
CITY UTILITY DETAILS



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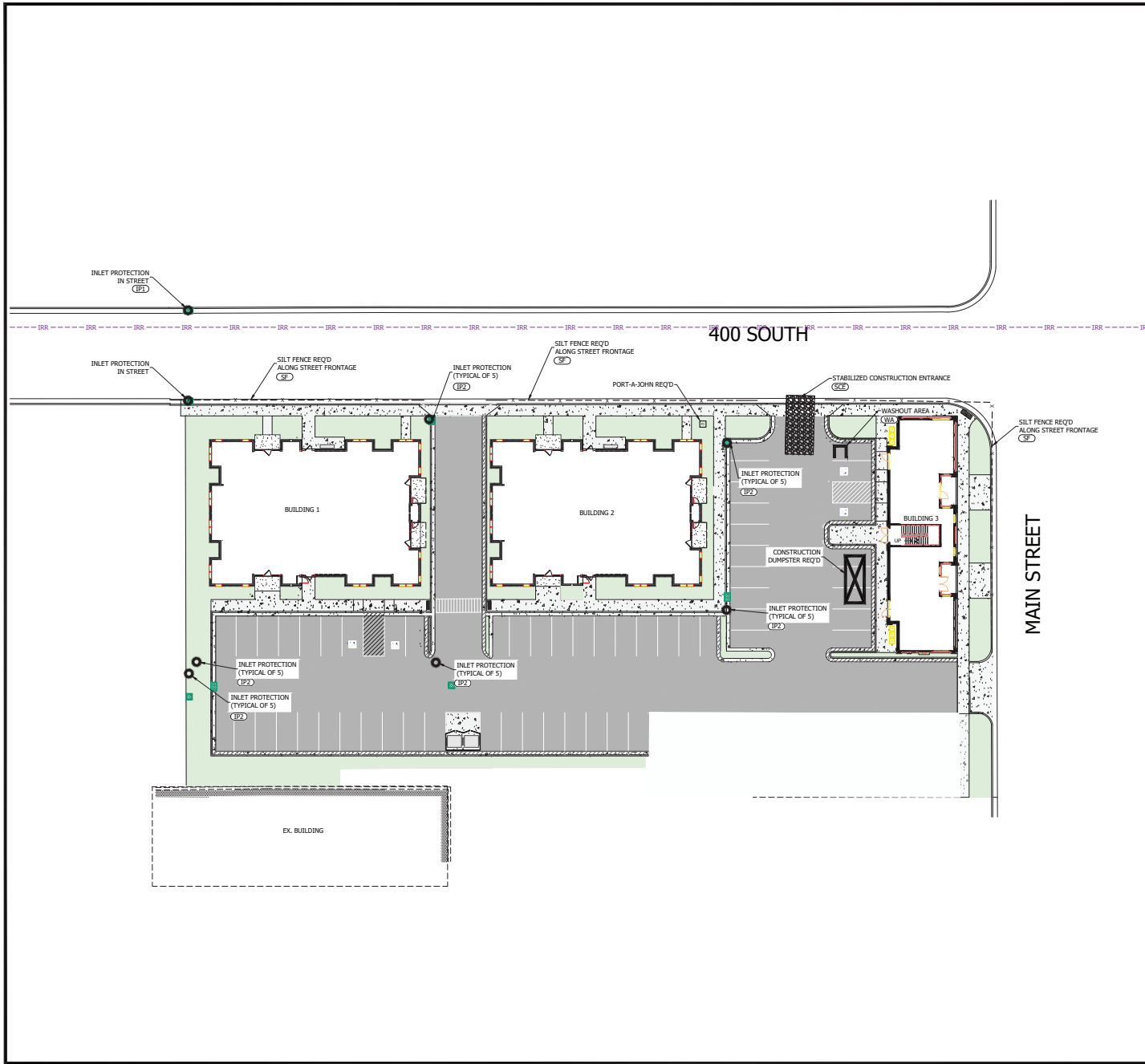


KNOWLTON GENERAL - 4TH AND MAIN
406 SOUTH MAIN STREET & 33 WEST 400 SOUTH STREET
TAX PARCELS 0024324061 - 0062 - 0063 - 0064 - 0113
LOCATED IN THE NORTHEAST 1/4 OF SECTION 36, T.2N., R.1E., S.1&2&3&4
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

REV #	DATE	COMMENT

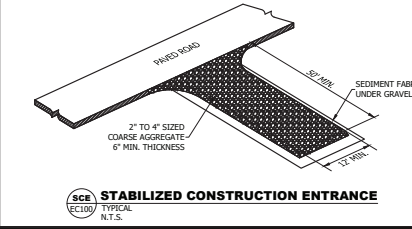
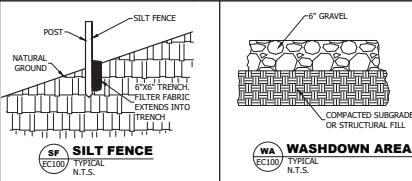
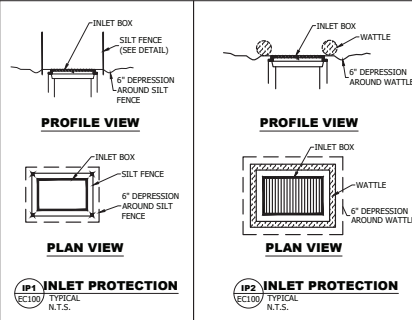
DRAWN: JBC
APPROVED: STA
PROJECT #: 1185019
SET 1185019.dwg

C921
CITY DETAILS



CONSTRUCTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL, STATE, AND FEDERAL PERMITS PRIOR TO COMMENCING CONSTRUCTION.
2. CONTRACTOR TO MAINTAIN A COPY OF THE SWPPP ON SITE.
3. CONTRACTOR TO INSPECT SITE TO ENSURE THE SWPPP IMPROVEMENTS ARE IN PLACE AND FUNCTIONAL.
4. CONTRACTOR TO MAINTAIN TEMPORARY EROSION AND SEDIMENT CONTROLS AND HOUSEKEEPING MEASURES.
5. ALL SOLID WASTE SHALL BE STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER SHALL MEET ALL STATE AND LOCAL WASTE MANAGEMENT REGULATIONS.
6. ALL HAZARDOUS WASTE SHALL BE DISPOSED OF IN THE MANNER AS SPECIFIED BY THE MANUFACTURER AND STATE AND LOCAL REGULATIONS.
7. A WASHOUT AREA SHALL BE CONSTRUCTED FOR THE TEMPORARY COLLECTION OF EXCESS CONCRETE AND NON-STORM WATER DISCHARGES FROM VEHICLE WASHING. THE CONCRETE WILL BE TAKEN TO THE CITY LANDFILL WITHIN 1 WEEK OF PLACING IN THE WASHOUT AREA.
8. A STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO REDUCE VEHICLE TRACKING OF SEDIMENTS ONTO PUBLIC RIGHT OF WAYS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED DAILY TO REMOVE EXCESS DIRT.
9. INSPECTION SHALL BE MADE MONTHLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. ALL NON-STORM WATER FLOWS SHALL BE DIRECTED TOWARD THE WASHOUT AREA OR SEDIMENT BASIN. THE SWPPP WILL BE REVISED AS SITE CONDITIONS AND PROJECT WARRANTS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND SWEEPING PUBLIC STREETS ON A DAILY BASIS, OR MORE IF NECESSARY.
11. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE DUST CONTROL THROUGHOUT THE COURSE OF THE PROJECT.



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Client: COOK BUILDERS
Contact: Scott Aryle
Phone #: (801) XXX-XXXX
Address: 1470 South 600 West Woods Cross, Utah
Email: S.Aryle@Entellus.com

KNOWLTON GENERAL - 4TH AND MAIN
406 SOUTH MAIN STREET & 33 WEST 400 SOUTH STREET
TAX PARCELS 002403-0001 - 0002 - 0003 - 0004 & 0013
LOCATED IN THE NORTHEAST 1/4 OF SECTION 36, T.23N., R.1E., S.14E., & M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DATE	REVISION	COMMENT

DRAWN: JBC
APPROVED: STA
PROJECT #: 1185019
SET: 1185019.002
EC100
EROSION CONTROL PLAN

10-9a-702 Variances.

- (1) Any person or entity desiring a waiver or modification of the requirements of a land use ordinance as applied to a parcel of property that he owns, leases, or in which he holds some other beneficial interest may apply to the applicable appeal authority for a variance from the terms of the ordinance.
- (2)
 - (a) The appeal authority may grant a variance only if:
 - (i) literal enforcement of the ordinance would cause an unreasonable hardship for the applicant that is not necessary to carry out the general purpose of the land use ordinances;
 - (ii) there are special circumstances attached to the property that do not generally apply to other properties in the same zone;
 - (iii) granting the variance is essential to the enjoyment of a substantial property right possessed by other property in the same zone;
 - (iv) the variance will not substantially affect the general plan and will not be contrary to the public interest; and
 - (v) the spirit of the land use ordinance is observed and substantial justice done.
 - (b)
 - (i) In determining whether or not enforcement of the land use ordinance would cause unreasonable hardship under Subsection (2)(a), the appeal authority may not find an unreasonable hardship unless the alleged hardship:
 - (A) is located on or associated with the property for which the variance is sought; and
 - (B) comes from circumstances peculiar to the property, not from conditions that are general to the neighborhood.
 - (ii) In determining whether or not enforcement of the land use ordinance would cause unreasonable hardship under Subsection (2)(a), the appeal authority may not find an unreasonable hardship if the hardship is self-imposed or economic.
 - (c) In determining whether or not there are special circumstances attached to the property under Subsection (2)(a), the appeal authority may find that special circumstances exist only if the special circumstances:
 - (i) relate to the hardship complained of; and
 - (ii) deprive the property of privileges granted to other properties in the same zone.
- (3) The applicant shall bear the burden of proving that all of the conditions justifying a variance have been met.
- (4) Variances run with the land.
- (5) The appeal authority may not grant a use variance.
- (6) In granting a variance, the appeal authority may impose additional requirements on the applicant that will:
 - (a) mitigate any harmful affects of the variance; or
 - (b) serve the purpose of the standard or requirement that is waived or modified.

Renumbered and Amended by Chapter 254, 2005 General Session



Planning Commission Staff Report

Subject: Election of Planning Commission Chairperson and Vice-Chair
Authors: Francisco Astorga, AICP, Planning Director
Date: December 6, 2022

Background

Under Bountiful City Land Use Code [Section 14-2-102\(C\)\(1\)](#) below, the Planning Commission elects a chairperson and vice-chair that serves for one (1) year.

C. Organization and Procedure. The Planning Commission shall be organized and exercise its powers and duties as follows:

- 1. Members of the Planning Commission shall select one (1) of its members as chair to oversee the proceedings and activities of the Planning Commission.*
 - a. The chairperson shall serve for a term of one (1) year.*
 - b. Members of the Planning Commission shall select one (1) of its members as vice-chair to act in the absence of the chair. The chair and vice-chair may be re-elected for successive terms.*

Analysis

It is now time to select the 2023 Planning Commission chairperson and vice-chair as their appointment expired in 2022.

Significant Impacts

There are no significant impacts from this procedural action.

Recommendation

It is recommended that the Planning Commission select a chairperson and vice-chair via motion, second, and vote.

Attachment

1. None

Planning Commission Staff Report



Subject: Public Notice of Planning Commission's 2023 Meeting Schedule
Authors: Francisco Astorga, AICP, Planning Director
Date: December 6, 2022

Background

Under Utah Code [Section 52-4-202](#) (Chapter 4 Open and Public Meetings Act), *"a public body which holds regular meetings that are scheduled in advance over the course of a year shall give public notice at least once each year of its annual meeting schedule as provided in this section."* This section applies to Planning commission meetings.

Analysis

The Planning Commission is to meet on a regular basis, as determined by a vote of the members, and at such other times as Commission members may determine. Staff recommends maintaining the current schedule of meeting on the first (1st) and third (3rd) Tuesday of every month reflected on the drafted notice.

The Planning Department is unsure if a meeting will take place on December 19, 2023, which would be the last meeting of the year, where this public notice is reviewed by the Commission as required by Utah Code.

Department Review

This staff report and the Public Notice were written by the Planning Director and reviewed by the City Attorney.

Significant Impacts

There are no significant impacts from this procedural action.

Recommendation

Staff recommends that the Planning Commission approve the Public Notice of Bountiful City Planning Commission 2023 meetings schedule to meet on the first (1st) and third (3rd) Tuesdays of month.

Attachment

1. Public Notice of Bountiful City Planning Commission 2023 Meetings

PUBLIC NOTICE

Pursuant to UCA 52-4-202(2), the City of Bountiful Planning Commission hereby gives public notice of its annual meeting schedule for 2023. Regular meetings of the Planning Commission shall take place the first (1st) and third (3rd) Tuesdays of each month, unless otherwise advertised by legal notice. All Planning Commission meetings shall be held at the Bountiful City Hall located at 795 South Main Street, Bountiful, Utah 84010 until further notice or unless otherwise advertised. The meetings will begin promptly at 6:30 p.m.

All meetings of the Planning Commission shall be open to the public.

In addition to the above scheduled regular meetings, the Planning Commission may, from time to time, meet in special sessions as needed, and such meetings will be advertised by legal notice to the public in accordance with UCA 52-4-202.

Dated this 30th day of December 2022.

Francisco Astorga
Bountiful City Planning Director