

# BOUNTIFUL CITY COUNCIL MEETING

TUESDAY, December 13, 2022

**5:00 p.m. – Work Session**

**7:00 p.m. - Regular Session**

NOTICE IS HEREBY GIVEN that the City Council of Bountiful, Utah will hold its regular Council meeting at **City Hall, 795 South Main Street, Bountiful, Utah**, at the time and on the date given above. The public is invited to all meetings. Deliberations will occur in the meetings. Persons who are disabled as defined by the Americans With Disabilities Act may request an accommodation by contacting the Bountiful City Manager at 801.298.6140. Notification at least 24 hours prior to the meeting would be appreciated.

If you are not on the agenda, the Council will not be able to discuss your item of business until another meeting. For most items it is desirable for the Council to be informed of background information prior to consideration at a Council meeting. If you wish to have an item placed on the agenda, contact the Bountiful City Manager at 801.298.6140.

*Bountiful City Council meetings, including this meeting, are open to the public. The meeting is also available to view online, and the link will be available on the Bountiful City website homepage ([www.bountifulutah.gov](http://www.bountifulutah.gov)) approximately one hour prior to the start of the meeting.*

## AGENDA

### **5:00 p.m. – Work Session**

1. IPA Presentation – Mr. Allen Johnson
2. Discussion with State Legislators

### **7:00 p.m. – Regular Session**

1. Welcome, Pledge of Allegiance and Thought/Prayer
2. Public Comment - If you wish to make a comment to the Council, please use the podium and clearly state your name and address, keeping your comments to a maximum of two minutes. Public comment is limited to no more than ten minutes per meeting. Please do not repeat positions already stated. Public comment is a time for the Council to receive new information and perspectives.
3. Consider approval of minutes of previous meetings (two) held November 8, 2022 p. 3
4. Council Reports
5. BCYC report
6. Consider approval of:
  - a. Expenditures greater than \$1,000 paid October 31, November 7, 14, 21 & 28 p. 15
  - b. October 2022 Financial report p. 21
7. Consider approval of the appointment of Jamie Dester to the Bountiful Community Service Council for a four-year term ending December 31, 2026 – Mayor Kendalyn Harris p. 35
8. Consider approval of the Public Notice of Bountiful City Council Meetings in 2023 – Mr. Gary Hill p. 37
9. Consider approval of the proposed architectural and site plan review for 32 West 400 South – Ms. Amber Corbridge p. 39
10. Consider approval of Avid Trail’s bid to build trails for the Mueller Park A Project in the amount of \$122,336 – Mr. Todd Christensen p. 89
11. Consider approval of Avid Trail’s bid to build trails for the Mueller Park B Project in the amount of \$278,686 – Mr. Todd Christensen p. 93
12. Consider approval of extending the PUD Plat and the Site Plan approvals for Deseret First Credit Union to June 14, 2023 – Mr. Francisco Astorga p. 97
13. Consider approval of extending the final architectural and site plan approval to July 11, 2023 for the Renaissance Towne Center south apartment building – Mr. Francisco Astorga p. 101
14. Consider approval of a master license agreement between Bountiful City and Cellco (Verizon) – Mr. Clint Drake p. 105
15. Consider approval of an agreement with Ace Recycling and Disposal for the lease and purchase of recycling carts in the amount of \$529,600 – Mr. Clinton Drake p. 123
16. Consider approval of a lot line adjustment at 1532 East Vineyard Drive – Mr. Lloyd Cheney p. 129
17. Convene in a closed session to discuss the acquisition or sale of real property, pending litigation and/or to discuss the character and/or competency of an individual(s) (Utah Code §52-4-205).
18. Adjourn

  
City Recorder



Minutes of the  
BOUNTIFUL CITY FINANCE COMMITTEE

November 8, 2022 – 4:30 p.m.

Present:	Mayor	Kendalyn Harris
	Councilmember	Millie Segura Bahr
		Cecilee Price-Huish
		Jesse Bell
Department Directors/Staff:		
	City Manager	Gary Hill
	Assistant City Manager	Galen Rasmussen
	Finance Director	Tyson Beck
	Assistant Finance Director	David Burgoyne

Official notice of the City Council Meeting was given by posting an agenda at the City Hall locations (795 South Main Street) and on the Bountiful City Website and the Utah Public Notice Website.

**4:30 p.m.**

**City Hall Council Conference Room**

Mayor Kendalyn Harris chaired this committee and opened the meeting at 4:35 p.m.

**REVIEW OF THE FISCAL YEAR 2022 ANNUAL COMPREHENSIVE FINANCIAL REPORT (ACFR) – MR. TYSON BECK**

Tyson Beck, Finance Director, began by stating that the ACFR and independent financial audit for the fiscal year 2022 were complete.

Mr. Beck then reviewed with the committee the financial results for fiscal year 2022. This included a review of the sources of City revenues and the associated uses of those funds. Additionally, each of the City’s operating fund’s net income or loss as well as their equity positions. The cash and investment balances of the City were also reviewed.

It was noted that the General Fund, Redevelopment Agency, Light and Power, and Landfill & Sanitation funds had fairly significant net losses during the year. Reasons for each of those losses were discussed.

The financial review also covered some of the Management’s Discussion and Analysis section of the ACFR. That section compares and contrasts the statements of net position and revenues/expenses from fiscal year 2021 to fiscal year 2022.

The Mayor and various City Council members asked clarifying questions. There was a discussion had about fiscal year 2022 grants paid through redevelopment agreements for the Renaissance Town

1 Centre development and the development’s progress. Mr. Beck and Mr. Hill provided information to  
2 answer the questions raised by Council members.  
3  
4

5 Mr. Beck specifically addressed some financial concerns with the Golf Course fund operations. There  
6 are no easy answers to resolve the negative financial trends in these operations as this is believed to  
7 be due to decreasing demand throughout the golf industry. The operations will continue to be  
8 monitored closely.  
9

10 **REVIEW OF THE FISCAL YEAR 2022 INDEPENDENT FINANCIAL STATEMENT**  
11 **AUDIT**

12 Gary Keddington, audit partner with Keddington & Christensen, LLC, discussed the process  
13 and results of the fiscal year 2022 financial statement audit. He discussed that they are issuing an  
14 unmodified (clean) audit opinion on the financial statements prepared by the city. The audit did not  
15 identify any internal control related findings or recommendations.  
16

17 Mr. Keddington also explained that the fiscal year 2022 audit included a federal Single Audit which  
18 was required due to the City receiving federal funds exceeding \$750,000. The Single Audit also did  
19 not identify any violations of federal regulations regarding the grant award agreements.  
20

21 Mr. Keddington then discussed two findings related to the State Auditor’s State Compliance guide  
22 that independent auditors are required to use as part of the financial statement audit.  
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24 The Finance Committee meeting was adjourned at 5:58 p.m.  
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*Mayor Kendalyn Harris*

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*City Recorder*

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Minutes of the  
BOUNTIFUL CITY COUNCIL

November 8, 2022 – 6:00 p.m.

Official notice of the City Council Meeting was given by posting an Agenda at City Hall and on the Bountiful City Website and the Utah Public Notice Website and by providing copies to the following newspapers of general circulation: Davis County Journal and Standard Examiner.

**Work Session – 6:00 p.m.**  
**City Council Chambers**

Present:	Mayor	Kendalyn Harris
	Councilmembers	Millie Segura Bahr, Jesse Bell, Richard Higginson, Cecilee Price-Huish
	City Manager	Gary Hill
	City Engineer	Lloyd Cheney
	City Attorney	Clinton Drake
	Planning Director	Francisco Astorga
	Finance Director	Tyson Beck
	Streets Director	Charles Benson
	Police Chief	Ed Biehler
	Recording Secretary	Maranda Hilton

Mayor Harris called the meeting to order at 6:03 p.m. and welcomed those in attendance.

**SHORT TERM RENTALS FOLLOW UP DISCUSSION – MR. FRANCISCO ASTORGA**

Mr. Francisco Astorga explained that since the adoption of the short-term rental (STR) ordinance in April, there have been a total of four applications for STRs in Bountiful; three of which have been approved.

He reminded the Council that one of their main concerns regarding STRs was the issue of owner-occupancy. However, the code does not provide a definition of owner-occupancy, which is why staff first interpreted an LLC/Trust as being consistent with the owner occupancy requirement while reviewing the application for 211 North 800 East for Mr. Morataya. However, after City Attorney, Mr. Clinton Drake, researched the issue, it was concluded that LLCs and trusts are not included in the definition of owner occupancy. So, the current code does not allow homes owned by LLCs or trusts to have ADUs or STRs.

Mr. Drake explained that LLCs and trusts are considered separate legal entities under the law. If an LLC or a trust owns a property, it is the LLC or Trust that is the owner, not the person who may be a member or beneficiary.

Mr. Astorga asked the Council if they are comfortable with the code as it currently stands, not allowing LLCs or trusts to have STRs, or if they want to consider changing it.

Councilmember Price-Huish said she would like to allow people who put their homes in a trust to be able to apply for an STR, and that she feels trusts and LLCs are very different things. She suggested staff look at other cities who have dealt with this issue for guidance. In Provo they allow trusts if the trustor occupies the home or if the owner-occupier owns a 50% interest in the property.

Councilmember Bell agreed that if the City can find a way to allow people to have their home in a trust and also be eligible to apply for an STR, he would like to explore that.

1 Councilmember Higginson said he liked the language in the Provo code and felt that those  
2 who created a trust “for estate planning purposes” and who live in the home would fulfill the spirit of  
3 the code.

4 Mr. Drake noted a potential issue could be that anyone could create a trust and list any  
5 number of beneficiaries similar to an LLC or other entity.

6 Mr. Gary Hill said he felt the Provo code specified the persons who created the trust, not the  
7 listed beneficiaries, would be the qualifying owner-occupiers.

8 Councilmember Bahr said that she would like the code to be as simple as possible, stating that  
9 anyone with their name on the title who lives in the home would meet the owner-occupier  
10 requirement.

11 Councilmember Bell asked how many trusts exist in Bountiful right now. Mr. Drake said he  
12 did not know, but there are a substantial number.

13 Mr. Hill read comments on behalf of Councilmember Bradshaw, who was unable to  
14 participate in the work session. Councilmember Bradshaw wrote that she feels STRs are a  
15 commercial entity and should not be prevalent in single-family neighborhoods. She is not in favor of  
16 broadening the definition to include LLCs or trusts. She also asked that the Council address property  
17 ownership, code enforcement, City staff response expectations, existing STR permits and renewal  
18 policy when there is poor performance by the landlord.

19 Mayor Harris asked each Councilmember whether or not they wanted to pursue making  
20 changes to the current code. Councilmember Bahr said no. Councilmember Bradshaw’s remarks  
21 pointed to no. Councilmember Price-Huish said yes, she feels that giving more definition about  
22 ownership will help protect people, especially adding the 50% ownership language. Councilmember  
23 Bell said no, there are other issues he believes need to be corrected first. Councilmember Higginson  
24 said he would be comfortable adding the part of the Provo code that says, “a natural person who  
25 possesses fifty percent (50%) ownership or more in the dwelling and said dwelling is the primary  
26 residence of such person.” He would like to focus on making the permitting process transparent and  
27 creating a robust enforcement policy.

28 Mr. Drake said the only way to not have grey area is to either completely restrict or  
29 completely allow STRs and suggested the City should have more definitive language that meet the  
30 goals of the Council.

31 Councilmember Bell agreed and supported adding more definition and having more  
32 conversations about it. Councilmember Bahr said she was still not in favor of revisiting it.  
33 Councilmember Price-Huish said she would like to add both parts of Provo’s code and agrees that the  
34 bigger problem is the processes around permitting and enforcement.

35 Mr. Hill said that staff has already begun working on the code enforcement process, but they  
36 welcome any thoughts and ideas via email. He said they will draft potential changes to the code and  
37 bring it back for the council review for adoption, most likely in January.

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39 The meeting ended at 7:00 p.m.  
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**Regular Meeting – 7:00 p.m.**  
**City Council Chambers**

Present:	Mayor	Kendalyn Harris
	Councilmembers	Millie Segura Bahr, Jesse Bell, Kate Bradshaw (via Zoom), Richard Higginson, Cecilee Price-Huish
	City Manager	Gary Hill
	City Engineer	Lloyd Cheney
	City Attorney	Clinton Drake
	Planning Director	Francisco Astorga
	Finance Director	Tyson Beck
	Streets Director	Charles Benson
	Police Chief	Ed Biehler
	Asst Finance Director	David Burgoyne
	Power Superintendent	Alan Farnes
	Recording Secretary	Maranda Hilton

**WELCOME, PLEDGE OF ALLEGIANCE AND THOUGHT/PRAYER**

Mayor Harris called the meeting to order at 7:04 p.m. and welcomed those in attendance. Ms. Becky Ginos led the Pledge of Allegiance and Chaplain Deborah Milan-Niler, Lakeview Hospital, offered a prayer.

**CONSIDER APPROVAL OF RESOLUTION 2022-19 ALLOWING ELECTRONIC PARTICIPATION BY COUNCILMEMBER KATE BRADSHAW – MR. CLINTON DRAKE**

Councilmember Higginson made a motion to approve Resolution 2022-19 and Councilmember Bahr seconded the motion. The motion passed with Councilmembers Bahr, Bell, Higginson and Price-Huish voting “aye.”

Councilmember Kate Bradshaw joined the meeting via Zoom and participated in the remainder of the meeting.

**PUBLIC COMMENT**

The public comment section was opened at 7:08 p.m.

Mr. Edmund Richardson (231 North 800 East) suggested that the speed and transparency of the short-term rental enforcement policies could be improved. He explained some of the grievances he and his neighbors faced as a result of the City allowing Mr. Brady Price to operate an illegal short-term rental of six months.

1 Ms. Alison Smart (3413 South 100 West) proposed that Bountiful City allow their tennis  
2 courts to be open and playable year-round, and that they provide port-a-potties if restrooms  
3 must be locked.  
4

5 Mr. Kort Delost (310 South 750 East) asked the Council to rescind the short-term rental  
6 ordinance that they passed last spring, making it illegal to rent a home on a per-day basis in  
7 residential neighborhoods.  
8

9 Mr. Cacey Bowen (196 North 100 East) said he disagrees with Mr. Price’s short-term rental  
10 being called “legal.” He brought up questions about the definition of “rent” and about  
11 ownership.  
12

13 Mr. Eric Hattabaugh (3894 Bountiful Blvd) invited the Council, Mayor and all residents of  
14 the community to attend the Veteran’s Day ceremony at the Veterans Park on Friday at 11:00  
15 a.m.  
16

17 Ms. Bea Glover (191 North 800 East) said that she believes when a single-family home is  
18 turned into a hotel, it becomes a commercial enterprise. She does not feel the Prices are  
19 motivated by what is best for their community, but by money. She asked the Council to please  
20 help their neighborhood restore its sense of peace.  
21

22 Mr. David Glover (191 North 800 East) suggested the City make short-term rentals illegal in  
23 residential neighborhood zones. He said Provo, Kaysville, Salt Lake and Farmington do not  
24 allow them in residential zones either.  
25

26 The public comment section was closed at 7:22 p.m.  
27

28 Mayor Harris asked Mr. Astorga to share what he discovered about policies in other cities in  
29 Utah. He answered that about one-third of the forty-eight cities he spoke with do not allow short-term  
30 rentals in residential zones, and two-thirds do allow them in residential zones. Mayor Harris  
31 encouraged everyone to reach out to Mr. Astorga and the Councilmembers with further questions and  
32 comments and thanked everyone for coming to share their thoughts on this issue.  
33

34 **CONSIDER APPROVAL OF MINUTES OF PREVIOUS MEETINGS HELD OCTOBER 25,**  
35 **2022**

36 Councilmember Bell asked to make a revision to line 18-19 on page 20 of the packet, deleting  
37 the words “and large cobbles exceeding six inches in diameter” and Councilmember Higginson also  
38 asked to correct the location of the work session held on October 25 (it was held in the basement  
39 room at City Hall, not in the Council Chambers).  
40

41 Councilmember Bell made a motion to approve the minutes with those two corrections and  
42 Councilmember Higginson seconded the motion. The motion was approved with Councilmembers  
43 Bahr, Bell, Bradshaw, Higginson and Price-Huish voting “aye.”  
44

44 **COUNCIL REPORTS**

45 Councilmember Price-Huish encouraged everyone to get involved in the general plan update  
46 by filling out a questionnaire online, and by submitting questions and suggestions. She also reported



1 that the BDAC has a few upcoming events; The 6<sup>th</sup> Annual Gingerbread Festival, November 21<sup>st</sup> -  
2 December 3<sup>rd</sup>; new art exhibits starting on Friday; Winterfest Art Jubilee also starting on Friday and  
3 going through December 23<sup>rd</sup>; Musicfest “Winter Nocturn” concert on January 19<sup>th</sup>.

4 Councilmember Bell explained that the Christmas concert will feature Crescent Super Band  
5 this year, and that ticket sales fund our summer concert series, so he encouraged everyone to go  
6 purchase tickets for the concert which will be held December 3<sup>rd</sup> at 7:00 p.m. at Woods Cross High  
7 School.

8 Councilmember Bradshaw thanked her colleagues for allowing her to participate  
9 electronically this evening. She reported that the Recreation District met last night and worked  
10 through the district’s expenses. She shared her concerns that they are still struggling to make sure the  
11 expenses balance with the revenue, so there is more work to be done.

12 Councilmember Higginson did not have a report.

13 Councilmember Bahr reported that the Bountiful Museum will be open on Monday nights in  
14 December from 5:00-7:00 p.m. and Santa will be there.

15  
16 **BCYC REPORT**

17 No report was given.

18  
19 **CONSIDER APPROVAL OF:**

20 **A. EXPENDITURES GREATER THAN \$1,000 PAID OCTOBER 17 & 24, 2022**

21 **B. SEPTEMBER 2022 FINANCIAL REPORT**

22 Councilmember Price-Huish made a motion to approve the expenditures paid October  
23 17 & 24, 2022 and the September Financial Report. Councilmember Higginson seconded the  
24 motion. The motion was approved with Councilmembers Bahr, Bell, Bradshaw, Higginson  
25 and Price-Huish voting “aye.”

26  
27 **UDOT PRESENTATION – MR. JUSTIN SMART & MR. KEVIN KILPATRICK**

28 Mr. Justin Smart and Mr. Kevin Kilpatrick from Penna Powers (Utah Department of  
29 Transportation – UDOT’s public relations firm) presented the progress on the environmental impact  
30 study being done for UDOT along I-15 between Farmington and Salt Lake City.

31 Mr. Smart gave an overview of the process and explained that they have done a lot of  
32 listening in order to determine the needs along the corridor. They completed an extensive public  
33 outreach process and have begun drafting a “purpose and needs statement.” He said they have  
34 realized that potential solutions need to improve quality of life through better mobility, good health,  
35 connected communities and a strong economy and address the needs of all users including drivers,  
36 pedestrians, cyclists and public transit users. He said the suggested solutions will be on their website  
37 on Thursday and invited everyone to go and check it out. He explained that the next phase will  
38 include open houses and public comment meetings; the meetings for this area will be held November  
39 14 (virtual meeting at [i15eis.udot.utah.gov](https://i15eis.udot.utah.gov), 5:00-7:00 p.m.), November 15 (Rose Park Elementary,  
40 5:00-7:00 p.m.), and November 16 (South Davis Rec Center, 5:00-7:00 p.m.). The virtual meeting  
41 will be recorded and made available on the website afterward. He added that because they understand  
42 it can be difficult for people to attend these meetings, they are providing food, a children’s activity,  
43 and free transportation through UTA’s on-demand service.

44 Councilmember Bell thanked them for their presentation and asked what the timeline looks  
45 like for project completion. Mr. Smart answered that after the final Environmental Impact Statement

1 is released in 2024, the earliest a preferred alternative could be built is 2026, if everything goes  
2 perfectly.

3 Mayor Harris thanked them and added her excitement about the far-reaching impacts of this  
4 study on quality of life in this area.

5  
6 **FISCAL YEAR 2022 ANNUAL COMPREHENSIVE FINANCIAL REPORT (ACFR)**

7 **A. PRESENTATION OF THE FISCAL YEAR 2022 ACFR – MR. TYSON BECK**

8 Mr. Tyson Beck thanked Mr. David Burgoyne and Mr. Galen Rasmussen for their help  
9 creating the Annual Comprehensive Financial Report (ACFR) for FY2022. He explained that  
10 FY2022 had a positive net position thanks in part to increases in our staple revenue sources:  
11 sales tax, property tax, operating grants and transportation tax.

12 Mr. Beck explained that the City tries to save money in anticipation for years they need to  
13 spend it, which requires a significant amount of cash. He said that the City trended up for a  
14 number of years, but in FY's 2020 and 2021 the City saw dips in its cash balance as big capital  
15 projects were built. He said FY2022 showed the cash balances start to come up again, which is a  
16 great sign.

17 Mr. Beck presented the balances of each of the City's funds. The General Fund had a net  
18 loss of \$820k, but Mr. Beck explained that it was an "artificial loss" due to compliance with State  
19 laws, requiring the City to push money into its Capital Projects Fund to stay within the 35%  
20 maximum balance restriction. The Capital Projects Fund had a net income of \$6.5M, which was  
21 artificially high for the reason just stated. The Redevelopment Fund had a net loss of \$4.2M,  
22 which was a planned loss due to the creation of loans and grants for new developments. The  
23 Landfill Closure Fund had a net income of \$4k. The RAP Tax Fund had a net income of \$131k.  
24 The Cemetery Perpetual Care Fund had a net income of \$70k. The Debt Service Fund saw a very  
25 small net loss of \$320. The Light and Power Fund had a net loss of \$1.2M due to some of the  
26 highest power costs on record. The Water Fund had a net income of \$995k. The Landfill and  
27 Sanitation Funds had a net loss of \$372k, mostly due to a change in the landfill closure plan  
28 which will increase closing and capping costs but also increase the life expectancy of the City's  
29 landfill by 20 years. The Storm Water Fund had net income of \$564k. The Golf Course had a net  
30 income of \$8k. The Recycling Fund had a net income of \$95k. The Cemetery Fund had a net  
31 income of \$305k.

32 Mr. Beck next went over the results of the fund balance and reserve policy. All of the  
33 funds met and exceeded their minimum fund reserve balances except the Recycling Fund. He  
34 explained that the City has the ability to allow an exception in specific instances. In this case the  
35 Council decided against raising resident recycling fees while it waits for the market to return to  
36 normal.

37  
38 **B. INDEPENDENT FINANCIAL STATEMENT AUDIT PRESENTATION FOR FY2022**  
39 **– MR. GARY KEDDINGTON**

40 Mr. Gary Keddington, of Keddington and Christensen, explained their process of auditing  
41 the City in its compliance to State and Federal accounting laws. He said that they also look at all  
42 the controls in place over money going out and money coming in, ensuring that proper  
43 authorization and controls exist over those funds.

44 Mr. Keddington presented the auditor's supplemental report, stating that they did not have  
45 any findings regarding internal controls, that all financial statements were properly represented.  
46 He showed the list of all the areas they had to test this year including budgetary compliance, fund

1 balances, restricted taxes and related restricted revenue, fraud risk assessment, governmental fees,  
2 impact fees, Utah Retirement Systems and Public Treasurers' Bond.

3 He said that the auditors had two findings to report. First, regarding budgets, they found  
4 that the liability insurance fund overspent its budget. Mr. Beck explained that the City tried to  
5 estimate how many claims it would receive during the year, but they ended up having a few more  
6 settlements added after the fiscal year was over, which put them over their estimate.

7 The second finding is regarding governmental fees. Mr. Keddington explained that the  
8 State Compliance Audit Guide requires auditors to determine if "the revenues and expenses [are]  
9 tracked for each specific service or regulatory activity for which the fees are charged." However,  
10 there is no State legal requirement to account for governmental fees, nor are there any accounting  
11 guidelines that require such accounting. Mr. Keddington said that although they are required to  
12 report this finding, they also have no recommendations, since the City is not required to track the  
13 separate expenses.

14 Mr. Keddington lastly reported that the audit went very smoothly and all adjustments were  
15 done as requested.

16  
17 **CONSIDER ADOPTION OF ORDINANCE 2022-10 WHICH AMENDS THE LAND USE**  
18 **CODE TEXT FOR LANDSCAPING – MR. FRANCISCO ASTORGA**

19 Mr. Astorga said that staff made eight changes following the recommendations from Council  
20 during the October 25 Council meeting, as well as clarifying the language a little bit.

21 Councilmember Price-Huish had two suggested edits which were accepted by the Council. On  
22 page 60, lines 378-379 she proposed they leave the grouping of live vegetation up to the discretion of  
23 the landowner. Mr. Astorga said that she was right, it was supposed to be removed from the code and  
24 he accidentally left that in when he was editing the document. Councilmember Price-Huish also  
25 asked that clarifying language be added on page 60. She proposed adding the line "and are in addition  
26 to the tree requirements in section 14-16-109" after the words "setback areas."

27 Councilmember Bell suggested they change the two-inch caliper tree requirement to be one-  
28 inch caliper instead, explaining that a two-inch caliper tree is quite expensive and could be cost  
29 prohibitive for many residents. The Council accepted that change but asked that the amendment only  
30 apply to residential developments and that commercial developments still be required to plant two-  
31 inch caliper trees.

32 Councilmember Bell also suggested they change page 56, line 203 to be "one plant per fifty  
33 square feet." The Council decided against this suggestion.

34 Councilmember Bell made a motion to adopt Ordinance 2022-10 with the changes as outlined  
35 and Councilmember Price-Huish seconded the motion. The motion was approved with  
36 Councilmembers Bahr, Bell, Bradshaw, Higginson and Price-Huish voting "aye."

37 Councilmember Higginson suggested Councilmember Bahr be excused from the remainder of  
38 the meeting to attend to some family engagements. Councilmember Bahr thanked him and left the  
39 meeting at 8:53 p.m.

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41 **CONSIDER APPROVAL OF AN AGREEMENT WITH SOLAR TURBINES TO REPLACE**  
42 **TWO NATURAL GAS TURBINES IN THE AMOUNT OF \$2,163,327 – MR. ALLEN**  
43 **JOHNSON**

44 Mr. Alan Farnes, standing in for Mr. Allen Johnson, explained that the Power Department has  
45 three gas turbines they use for power generation during peak hours. Staff has discovered that turbine  
46 #2 has started leaking oil into the combustion chamber during shutdown, which is causing it to smoke

1 during startup. He said that they have tried some inexpensive repairs that have not been successful, so  
2 now Solar (the manufacturer) has recommended doing an engine exchange. This would typically cost  
3 about \$3.8M per unit, but Solar is interested in studying the City's turbines and are offering to do an  
4 exchange for both turbine #2 and turbine #3 for just over \$2M total. This item was not budgeted for,  
5 but staff feels it is too good of an opportunity to pass it up.

6 Councilmember Higginson added that the importance of these turbines is hard to overstate,  
7 they save the City a lot of money and could easily pay for themselves after only a couple of  
8 heatwaves.

9 Councilmember Higginson made a motion to approve the agreement with Solar Turbines and  
10 Councilmember Price-Huish seconded the motion. Councilmember Price-Huish asked where the  
11 funding for the agreement will come from. Mr. Gary Hill answered that the money will come from  
12 the Power Reserves Fund, not from taxpayer dollars. The motion was approved with  
13 Councilmembers Bell, Bradshaw, Higginson and Price-Huish voting "aye."  
14

15 **CONSIDER APPROVAL OF THE PURCHASE OF A POLICE VEHICLE IN THE**  
16 **AMOUNT OF \$34,426 – CHIEF ED BIEHLER**

17 Chief Ed Biehler explained that this vehicle will be a Ford Escape assigned to the Viewmont  
18 Highschool Student Resource Officer (SRO). They obtained two bids and Performance Ford had the  
19 lower bid. He said the Police Department will sell a 2017 Ford Mustang that has 43k miles on it.  
20 There are sufficient funds in the Police budget for this purchase.

21 Mayor Harris asked if the Mustang should be retained, since it has such low mileage. Chief  
22 Biehler explained that the Mustang is just not a good vehicle for a police officer and staff  
23 recommends selling it.

24 Councilmember Bell made a motion to approve the purchase of the police vehicle and  
25 Councilmember Price-Huish seconded the motion. The motion passed with Councilmembers Bell,  
26 Bradshaw, Higginson and Price-Huish voting "aye."  
27

28 **CONSIDER APPROVAL OF THE LOT LINE ADJUSTMENT AT 4317 SOUTH MONARCH**  
29 **DRIVE – MR. LLOYD CHENEY**

30 Mr. Lloyd Cheney explained that this lot line adjustment has been requested by the Murdock  
31 family, who own two adjacent lots and would like to build accessory structures on the second lot. To  
32 do this they must combine the lots. Staff has reviewed the request and has no issue with the  
33 adjustment to the lot line.

34 Councilmember Higginson made a motion to approve the lot line adjustment at 4317 South  
35 Monarch Drive and Councilmember Bradshaw seconded the motion. The motion passed with  
36 Councilmembers Bell, Bradshaw, Higginson and Price-Huish voting "aye."  
37

38 **CONSIDER APPROVAL OF THE LOT LINE ADJUSTMENT AT 153 SOUTH 300 EAST –**  
39 **MR. LLOYD CHENEY**

40 Mr. Cheney explained that this lot line adjustment is for a lot in the Hayward subdivision that  
41 is adjacent to a landlocked interior lot. Mr. Dupaix, the property owner, would like to combine the  
42 two lots in order to build a single-family dwelling and an accessory structure there. Mr. Cheney  
43 explained that staff is working through easement issues for the actual plat but see no issue with  
44 approving the lot line adjustment with the conditions outlined in the staff report.

1 Councilmember Bell made a motion to approve the lot line adjustment at 153 South 300 East  
2 and Councilmember Higginson seconded the motion. The motion passed with Councilmembers Bell,  
3 Bradshaw, Higginson and Price-Huish voting “aye.”  
4

5 **CONSIDER APPROVAL OF THE LOT LINE ADJUSTMENT AT 4396 SOUTH HIDDEN**  
6 **HOLLOW DRIVE – MR. LLOYD CHENEY**

7 Mr. Cheney explained that Mr. Crockett owns two lots in Hidden Hollow PUD in the  
8 Summerwood area and is requesting an amendment to the rear lot line between them. The  
9 realignment would not affect the area of lot 704 and has no impacts on what can be built on either lot,  
10 but any future building plans would be reviewed at the time they are submitted.

11 Councilmember Price-Huish made a motion to approve the lot line adjustment at 4396 South  
12 Hidden Hollow Drive and Councilmember Higginson seconded the motion. The motion passed with  
13 Councilmembers Bell, Bradshaw, Higginson and Price-Huish voting “aye.”  
14

15 **ADJOURN**

16 Councilmember Price-Huish made a motion to adjourn the meeting and Councilmember Bell  
17 seconded the motion. The motion passed with Councilmembers Bell, Bradshaw, Higginson and  
18 Price-Huish voting “aye.”  
19

20 The regular session was adjourned at 9:10 p.m.  
21

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*Mayor Kendalyn Harris*

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*City Recorder*



# City Council Staff Report

**Subject:** Expenditures for Invoices > \$1,000 paid  
October 31 and November 7, 14, 21 & 28, 2022

**Author:** Tyson Beck, Finance Director

**Department:** Finance

**Date:** December 13, 2022



## **Background**

This report is prepared following the weekly accounts payable run. It includes payments for invoices hitting expense accounts equaling or exceeding \$1,000.

Payments for invoices affecting only revenue or balance sheet accounts are not included. Such payments include: those to acquire additions to inventories, salaries and wages, the remittance of payroll withholdings and taxes, employee benefits, utility deposits, construction retention, customer credit balance refunds, and performance bond refunds. Credit memos or return amounts are also not included.

## **Analysis**

Unless otherwise noted and approved in advance, all expenditures are included in the current budget. Answers to questions or further research can be provided upon request.

## **Department Review**

This report was prepared and reviewed by the Finance Department.

## **Significant Impacts**

None

## **Recommendation**

Council should review the attached expenditures.

## **Attachments**

Weekly report of expenses/expenditures for invoices equaling or exceeding \$1,000, paid October 31 and November 7, 14, 21 & 28, 2022

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00  
Paid October 31, 2022**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
13972	3XL INC.	Trails	454550 473101	Improv. Other Than Bldg-Bond \$	60,079.75	230669	00000-02	Work on North Canyon Trailhead- Bountiful City
8127	ADVANCED PAVING & CO	Streets	454410 473500	Road Reconstruction	126,514.00	230670	3457	September Paving - Acct # BOUNT
1294	BASLER ELECTRIC CO	Light & Power	535300 448627	Echo Hydro Operating Costs	17,026.38	230673	2745610	Echo Control Equipment - Acct # 43834
1428	BOUNTIFUL IRRIGATION	Redevelopment Agency	737300 427000	Utilities	1,073.47	230675	03-2176	2022 Non-Taxable Assessment
1531	C.H. SPENCER & COMPA	Water	515100 474500	Machinery & Equipment	5,767.44	230681	401040746	Compressor - Customer ID 1253
11484	EAST PENN MANUFAC	Streets	104410 425000	Equip Supplies & Maint	1,420.07	230697	221095144	Misc. Parts and Supplies - Customer # 570600167
7212	ENTELLUS INC	RAP Tax	838300 426100	Special Projects	1,682.50	230698	54811	Project # 1190016 Canyon Creek Road
2164	FERGUSON ENTERPRISES	Water	515100 448400	Dist Systm Repair & Maint	1,586.23	230699	1200728	Misc. Parts and Supplies - Customer # 48108
14124	GEOLOGIC COMPUTER	Landfill	575700 474500	Machinery & Equipment	69,685.00	230702	11580	Compact GPS Systems,Approved by Council -ID #20229
2329	GORDON'S COPYPRINT	Legislative	104110 422000	Public Notices	1,339.00	230703	50025	70lbs Gloss Text Trifolds
14156	GREENLINE PRODUCTS	Water	515100 448000	Operating Supplies	1,197.00	230705	G4140	Grease - Acct # 8012986180
12942	HYDRO VAC EXCAVATION	Streets	104410 473400	Concrete Repairs	35,945.50	230713	1179	Excavation Work in Oct. 2022
12942	HYDRO VAC EXCAVATION	Storm Water	494900 441250	Storm Drain Maintenance	15,096.50	230713	1179	Excavation Work in Oct. 2022
12942	HYDRO VAC EXCAVATION	Water	515100 461300	Street Opening Expense	8,284.00	230713	1179	Excavation Work in Oct. 2022
12942	HYDRO VAC EXCAVATION	Light & Power	535300 448632	Distribution	2,776.00	230713	1179	Excavation Work in Oct. 2022
2564	I-D ELECTRIC INC	Water	515100 431000	Profess & Tech Services	6,189.00	230714	112310	T & M Upper Mueller - Customer # BOUCIT
13226	INTERNATIONAL MOUNTA	Trails	454550 473101	Improv. Other Than Bldg-Bond \$	1,207.00	230717	11405A	Remaining Balance of Deliverables Labor
2886	LAKEVIEW ROCK PRODUC	Water	515100 461300	Street Opening Expense	1,212.18	230725	408518	Road Base - Customer # BCTY07399
13969	LAUNCH CONSTRUCTION	Legislative	454110 473100	Improv Other Than Bldgs	387,193.30	230726	2202-5	Project Washington Park
13969	LAUNCH CONSTRUCTION	Storm Water	494900 473106	Storm Drain Construction	5,031.25	230726	2202-5	Project Washington Park
2932	LES SCHWAB TIRE CENT	Engineering	104450 425000	Equip Supplies & Maint	1,555.84	230729	50200281809	Tires and Service - Cust ID 502-15098
14127	LIFT-UP CONCRETE	Parks	104510 426000	Bldg & Grnd Suppl & Maint	2,000.00	230731	3399	Concrete Lifting for Zesiger Park
2987	M.C. GREEN & SONS IN	Storm Water	494900 473106	Storm Drain Construction	150,909.37	230736	4682	800 East Storm Drain Project - App #4
6330	MGB+A INC	Legislative	454110 473100	Improv Other Than Bldgs	23,104.00	230741	2022-403	Project # 21-138 Washington Park Bountiful
9721	OVERHEAD DOOR CO OF	Landfill	575700 426000	Bldg & Grnd Suppl & Maint	2,974.27	230745	5310542464	Door Repairs
10033	PINETOP ENGINEERING	Streets	104410 441300	Street Signs	1,415.13	230748	4499	Project Traffic Signal Maintenance and Support
5553	PURCELL TIRE AND SER	Streets	104410 425000	Equip Supplies & Maint	3,913.98	230752	280027687	Tires and Service - Acct # 2801867
3649	RASMUSSEN EQUIPMENT	Water	515100 448000	Operating Supplies	1,450.00	230756	10153026	Saw Blades - Account # 09503
11737	SPLASHTOP INC	Computer Maintenance	616100 429200	Computer Software	1,919.00	230769	stb221027-1	Remote Business Access Licensing
4064	STEVE REGAN CO	Parks	104510 425000	Equip Supplies & Maint	1,567.16	230771	1319000	Misc. Parts and Supplies - Customer # 51024
4229	TOM RANDALL DIST. CO	Golf Course	555500 425100	Special Equip Maintenance	2,419.32	230778	0351674	Fuel - Acct # 000276
4341	UTAH ASSOCIATED MUNI	Light & Power	53 213130	UAMPS Annualized Accrual	1,216,059.56	230781	10262022	Sept. 2022 payment for Power Resources
4450	VERIZON WIRELESS	Police	104210 428000	Telephone Expense	2,063.27	230783	9918842041	Account # 771440923-00001
4536	WEBER-BOX ELDER	Light & Power	535300 448628	Pineview Hydro Operating Costs	15,369.22	230786	10312022	4Q2022 Generation
7732	WINGFOOT CORP	Police	104210 426000	Bldg & Grnd Suppl & Maint	2,295.00	230789	110087	October 2022 Janitorial Cleaning for Bountiful PD
TOTAL:					<u>2,179,320.69</u>			



**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00  
Paid November 7, 2022**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
1140	AMERICAN WATER WORKS	Water	515100 423000	Travel & Training	4,380.00	230794	7002052967	2023 Dues AWWA - Member # 00033047
1744	COMMERCIAL LIGHTING	Police	104210 426000	Bldg & Grnd Suppl & Maint	1,227.84	230810	1037648	Misc. Parts and Supplies - Cust # 0019219
5281	DOMINION ENERGY UTAH	Police	104210 427000	Utilities	1,582.34	230819	11012022H	Account # 3401140000
5281	DOMINION ENERGY UTAH	Parks	104510 427000	Utilities	1,755.34	230819	11012022E	Account # 2493910000
5281	DOMINION ENERGY UTAH	Light & Power	53 213100	Accounts Payable	31,141.76	230819	11012022G	Natural Gas Account # 6056810000
2003	DUNCAN ELECTRIC SUPP	Redevelopment Agency	737300 426100	Special Projects	10,439.42	230821	191297-1	Decorative lights for Town Square
14161	EQUINOX ENGINEERING	Trails	454550 473101	Improv. Other Than Bldg-Bond \$	7,450.00	230825	105.01.01	Project #UT-105-01 North Canyon Trailheads Permit
13978	KELLER AND HECKMAN	Legislative	104110 461000	Miscellaneous Expense	1,668.75	230841	10137927	Bountiful Fiber Project- Client # C18831.00001
2876	L.W. MILLER TRUCK &	Sanitation	585800 448000	Operating Supplies	1,151.46	230842	02P50896	Misc. Parts and Supplies - Cust # 06800
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	1,386.90	230843	9173	Patching - Customer # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	2,274.70	230843	9187	Patching - Customer # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	3,221.38	230843	9201	Patching - Customer # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	6,661.72	230843	9166	Patching - Customer # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	7,168.64	230843	9215	Patching - Customer # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	9,438.28	230843	9149	Patching - Customer # BOUN02610
8635	LARSEN LARSEN NASH &	Legal	104120 431100	Legal And Auditing Fees	1,500.00	230846	10312022	Oct. 2022 Legal Fees
4764	MCNEILUS TRUCK & MAN	Sanitation	585800 425000	Equip Supplies & Maint	1,339.21	230850	5671894	Misc. Parts and Supplies - Customer # 378866
4764	MCNEILUS TRUCK & MAN	Sanitation	585800 425000	Equip Supplies & Maint	2,048.53	230850	5670134	Misc. Parts and Supplies - Customer # 378866
3271	NETWIZE	Water	515100 474500	Machinery & Equipment	2,060.80	230858	22362A	Wireless Access Points - Wtr Treatment Plant
3279	NEWMAN CONSTRUCTION,	Water	515100 473110	Water Mains	369,383.00	230860	22030D 5	2022 Water Line Projects - Application # 5
5553	PURCELL TIRE AND SER	Streets	104410 425000	Equip Supplies & Maint	5,520.42	230873	280028141	Tire Service - Acct # 2801867
13120	RECYCLE IT	Landfill	575700 448000	Operating Supplies	2,100.00	230877	10052	140 Mattresses Recycled for Bountiful Landfill
10586	ROCKY MOUNTAIN RECYC	Recycling	484800 431550	Recycling Processing Fees	9,055.10	230880	NP-96860	Recycling Fees
3968	SNOW, CHRISTENSEN &	Liability Insurance	636300 431000	Profess & Tech Services	15,412.20	230887	503454	Attorney 1 Deposition Fees - Jensen v Bountiful
4229	TOM RANDALL DIST. CO	Streets	104410 425000	Equip Supplies & Maint	39,921.27	230896	0352247	Fuel - Acct # 000275
4369	UTAH DEPT OF WORKFOR	Police	104210 413060	Unemployment Reimb	1,196.15	230901	11072022	10/22 UNEMPLOYMENT CLAIMS
4413	UTAH STATE TAX COMMI	Workers' Comp Insurance	646400 461200	State Tax On Premium	1,300.00	230905	11072022B	3RD QTR SELF INSURANCE PREMIUM PAYMENT
<b>TOTAL:</b>					<u>541,785.21</u>			

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00  
Paid November 14, 2022**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
1105	ALTEC INDUSTRIES, IN	Light & Power	535300 448635	Vehicles	2,650.94	230917	51100773	#5061 Repairs - Customer # 98370
1230	AUTOMATED ACCOUNTING	Light & Power	535300 431000	Profess & Tech Services	1,317.50	230921	17787	2022 Inventory for Accounting Services
1428	BOUNTIFUL IRRIGATION	Streets	104410 427000	Utilities	2,279.96	230925	03-2180	2022 Non-taxable assessment
1428	BOUNTIFUL IRRIGATION	Parks	104510 461400	Purchase Of Water	81,169.23	230925	03-2180	2022 Non-taxable assessment
1428	BOUNTIFUL IRRIGATION	Water	515100 426000	Bldg & Grnd Suppl & Maint	9,855.28	230925	03-2180	2022 Non-taxable assessment
1428	BOUNTIFUL IRRIGATION	Light & Power	535300 424002	Office & Warehouse	2,646.82	230925	03-2180	2022 Non-taxable assessment
1428	BOUNTIFUL IRRIGATION	Light & Power	535300 448639	Substation	1,834.22	230925	03-2180	2022 Non-taxable assessment
1428	BOUNTIFUL IRRIGATION	Golf Course	555500 426000	Bldg & Grnd Suppl & Maint	81,559.23	230925	03-2180	2022 Non-taxable assessment
1428	BOUNTIFUL IRRIGATION	Cemetery	595900 426000	Bldg & Grnd Suppl & Maint	32,646.79	230925	03-2180	2022 Non-taxable assessment
1428	BOUNTIFUL IRRIGATION	Redevelopment Agency	737300 455050	Btfl Subconservancy Fees	1,011.89	230925	03-2180	2022 Non-taxable assessment
1602	CDW GOVERNMENT, INC.	Finance	104140 429200	Computer Software	1,631.92	230927	CB00173159	Microsoft Office 365 Renewal - Cust # 6530022
1602	CDW GOVERNMENT, INC.	Police	104210 425500	Terminal Maint & Queries	9,791.51	230927	CB00173159	Microsoft Office 365 Renewal - Cust # 6530022
1602	CDW GOVERNMENT, INC.	Streets	104410 424000	Office Supplies	1,038.49	230927	CB00173159	Microsoft Office 365 Renewal - Cust # 6530022
1602	CDW GOVERNMENT, INC.	Engineering	104450 429300	Computer Hardware	1,038.49	230927	CB00173159	Microsoft Office 365 Renewal - Cust # 6530022
1602	CDW GOVERNMENT, INC.	Light & Power	535300 429300	Computer	3,263.84	230927	CB00173159	Microsoft Office 365 Renewal - Cust # 6530022
10341	CORE & MAIN LP	Water	515100 448400	Dist Systm Repair & Maint	2,993.48	230931	R858994	Copper Setter - Account # 035350
1889	DAVIS COUNTY GOVERNMENT	Police	104210 431600	Animal Control Services	11,722.69	230934	124723	Oct. 2022 Animal Control Services
9982	DIAMOND TREE EXPERTS	Light & Power	535300 448632	Distribution	11,474.40	230937	75901	Tree Trimming
9982	DIAMOND TREE EXPERTS	Light & Power	535300 448632	Distribution	11,669.60	230937	75902	Tree Trimming
7212	ENTELLUS INC	RAP Tax	838300 426100	Special Projects	4,022.50	230944	54944	Project # 1190016 - Canyon Creek Rd Trail Head
2350	GREEN SOURCE, L.L.C.	Golf Course	555500 426000	Bldg & Grnd Suppl & Maint	1,125.00	230949	23354	Fungicide for Bountiful Ridge Golf
2537	HOSE & RUBBER SUPPLY	Storm Water	494900 425000	Equip Supplies & Maint	2,464.50	230953	01726337	Misc. Parts and Supplies - Customer # B1580
14162	INSIGHT PUBLIC SECT	Information Technology	104136 429200	Computer Software	8,011.94	230955	1100997210	SQL Server License for Munis Upgrade-Acct 11064483
2627	INTERMOUNTAIN CONTRO	Water	515100 448400	Dist Systm Repair & Maint	3,590.69	230956	220/60027305	Butterfly Valves - Customer # 1460001188
13226	INTERNATIONAL MOUNTA	Trails	454550 473101	Improv. Other Than Bldg-Bond \$	25,995.72	230958	12311	Task 2-Design & Flagging 2023 Build Yr
6959	JANI-KING OF SALT LA	Light & Power	535300 424002	Office & Warehouse	1,775.00	230960	SLC11220056	November 2022 Janitorial Services - Cust # 065075
2765	JP ELECTRICAL, LC	Redevelopment Agency	737300 426100	Special Projects	5,290.00	230962	W22704	Town Square Festoon Lighting, Labor & Parts
4996	KEDDINGTON & CHRISTE	Finance	104140 431100	Legal And Auditing Fees	4,571.29	230963	4414	Final billing for audit services for yr end 6/2022
4996	KEDDINGTON & CHRISTE	Water	515100 431100	Legal And Auditing Fees	1,012.32	230963	4414	Final billing for audit services for yr end 6/2022
4996	KEDDINGTON & CHRISTE	Light & Power	535300 431100	Legal And Auditing Fees	5,058.28	230963	4414	Final billing for audit services for yr end 6/2022
4996	KEDDINGTON & CHRISTE	Redevelopment Agency	737300 431100	Legal And Auditing Fees	1,092.26	230963	4414	Final billing for audit services for yr end 6/2022
14165	MODERN OFFICE	Storm Water	494900 426000	Bldg & Grnd Suppl & Maint	1,382.40	230973	231429	Misc. Parts - Cust # STW2023020
14165	MODERN OFFICE	Landfill	575700 426000	Bldg & Grnd Suppl & Maint	1,382.40	230973	231429	Misc. Parts - Cust # STW2023020
3271	NETWIZE	Computer Maintenance	616100 429300	Computer Hardware	3,633.84	230976	23662	27" Monitors Replacement Fund
6148	PLANT, CHRISTENSEN &	Liability Insurance	636300 431000	Profess & Tech Services	1,316.00	230982	79408	Legal Fees
6148	PLANT, CHRISTENSEN &	Liability Insurance	636300 431000	Profess & Tech Services	3,202.50	230982	79409	Legal Fees
4791	POINT S TIRE & AUTO	Water	515100 425000	Equip Supplies & Maint	2,456.64	230983	0130767	Tires
5553	PURCELL TIRE AND SER	Sanitation	585800 425000	Equip Supplies & Maint	2,520.46	230985	280029016	Tires for Sanitation Trucks - Acct # 2801867
3938	SKM INC.	Water	515100 431000	Profess & Tech Services	2,918.62	230994	24019	Project # M187 August Engineering
4229	TOM RANDALL DIST. CO	Streets	104410 425000	Equip Supplies & Maint	2,796.55	231004	0352812	Bulk Oil - Account # 000275
5334	WEST COAST CODE CONS	Engineering	104450 431000	Profess & Tech Services	6,745.17	231012	UT22-545-012	Inspection Services for October 2022
					<b>TOTAL:</b>			<b><u>363,960.36</u></b>

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00  
Paid November 21, 2022**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
5368	ACE DISPOSAL INCORPO	Recycling	484800 431550	Recycling Processing Fees	36,976.78	231016	11012022	September 2022 Recycling Fees
14167	ART AROUND THE CORNE	Legislative	454110 473160	Improv-PublicArt-1%CapProject	16,527.50	231019	45	1st payment for 25% for Art Around the Corner
1211	ASPHALT MATERIALS IN	Streets	104410 441200	Road Matl Patch/ Class C	1,692.50	231020	217378	Patching Materials
1447	BP ENERGY COMPANY	Light & Power	53 213100	Accounts Payable	212,262.26	231027	21239722	Natural Gas - Contract # 23191
1473	BROKEN ARROW INC	Streets	104410 441100	Special Highway Supplies	22,994.79	231029	41705	Road Salt - Customer # BOUNTIFU
4806	CHEMTECH-FORD, INC	Water	515100 431000	Profess & Tech Services	1,422.00	231039	22K0554	Lab Fees
9982	DIAMOND TREE EXPERTS	Light & Power	535300 448632	Distribution	11,228.08	231048	75201	Tree Trimming
2510	HOLLAND EQUIPMENT CO	Streets	104410 425000	Equip Supplies & Maint	1,039.88	231064	20858	Misc. Parts and Supplies
2727	JOHNSON, ALLEN R	Light & Power	535300 423000	Travel & Training	3,774.05	231070	11172022	Reimbursed for Hotline School & Rooms
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	3,398.48	231073	9248	Patching - Customer # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	5,892.14	231073	9279	Patching - Customer # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	6,018.64	231073	9271	Patching - Customer # BOUN02610
8137	LAKEVIEW ASPHALT PRO	Streets	104410 441200	Road Matl Patch/ Class C	7,091.82	231073	9230	Patching - Customer # BOUN02610
3186	MOTOROLA	Liquor Control	104218 445100	Public Safety Supplies	9,950.00	231089	8281472624	Vista WIFI Wearable - Acct # 1000743551
3458	PETERBILT OF UTAH, I	Streets	104410 425000	Equip Supplies & Maint	1,708.49	231100	960948	Misc. Parts and Supplies - Acct # 457
13120	RECYCLE IT	Landfill	575700 448000	Operating Supplies	1,965.00	231109	10056	131 Mattress Recycling for November 2022
3875	SEMI SERVICE INC	Water	515100 425000	Equip Supplies & Maint	4,139.30	231117	S 181380	Misc. Parts and Supplies
4051	STATE OF UTAH	Light & Power	535300 448611	Natural Gas	8,082.23	231122	3037	Emissions Inventory Fees - Customer ID C000000044H
4229	TOM RANDALL DIST. CO	Streets	104410 425000	Equip Supplies & Maint	42,679.20	231130	0353041	Fuel - Account # 000275
4281	TWIN D INC.	Storm Water	494900 462400	Contract Equipment	63,966.31	231132	23431	Municipal Flushing & Vacuuming of Various
5000	U.S. BANK CORPORATE	Executive	104130 423000	Travel & Training	1,081.50	231133	11102022GH	Mgmt Retreat,WrkLunch-Acct # 4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Executive	104130 423000	Travel & Training	1,286.71	231133	11102022GR	GFOALunch,MgmtRetreat - Acct # 4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Executive	104130 423000	Travel & Training	1,864.75	231133	11102022CD	OfficeSup,MgmtRetreat-Acct # 4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Human Resources	104134 423000	Travel & Training	1,111.62	231133	11102022SC	Trvl&Train,Office Supp- Acct # 4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Police	104210 423000	Travel & Training	1,158.30	231133	11102022DG	Trv&Train/Chiefs Conf-Acct # 4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Police	104210 423000	Travel & Training	1,810.46	231133	11102022EB	Hotel for a Conf/Fuel- Acct # 4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Streets	104410 425000	Equip Supplies & Maint	1,715.99	231133	11102022JE	Misc. Supplies - Acct # 4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Parks	104510 423000	Travel & Training	1,005.64	231133	11102022BH	Misc.Parts&Supplies - Acct # 4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Light & Power	535300 423000	Travel & Training	2,325.23	231133	11102022AJ	UAMPS Retreat,Cable - Acct # 4246-0445-5571-8851
5000	U.S. BANK CORPORATE	Light & Power	535300 461000	Miscellaneous Expense	1,434.17	231133	11102022AJ	UAMPS Retreat,Cable - Acct # 4246-0445-5571-8851
4341	UTAH ASSOCIATED MUNI	Light & Power	53 213130	UAMPS Annualized Accrual	1,218,121.61	231136	11222022	Oct. 2022 payment for Power Resources
11794	UTAH WILBERT VAULT	Cemetery	595900 426000	Bldg & Grnd Suppl & Maint	4,512.00	231138	85701	Cremation Stones - Acct # BOUCEM
4450	VERIZON WIRELESS	Light & Power	535300 448641	Communication Equipment	2,207.77	231140	9919458531	Account # 371517689-00001
5361	WATTS STEAM STORE UT	Landfill	575700 426000	Bldg & Grnd Suppl & Maint	1,149.00	231145	32637	HeaterCleaning,BurnerTradeOut for Bountiful City
4535	WEBER RIVER WATER US	Light & Power	535300 448627	Echo Hydro Operating Costs	94,626.00	231146	12-4406	50% Safety pf Dams for Echo
TOTAL:					<u>1,798,220.20</u>			

**Expenditure Report for Invoices (limited to those outlined in staff report) >\$1,000.00  
Paid November 28, 2022**

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>DEPARTMENT</u>	<u>ACCOUNT</u>	<u>ACCOUNT DESC</u>	<u>AMOUNT</u>	<u>CHECK NO</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
1596	CATE RENTAL & SALES,	Golf Course	555500 426100	Special Projects	1,380.00	231157	L92601	Misc. Parts and Supplies - Cust # 02308
1992	DOWN UNDER CONSTRUCT	Light & Power	535300 474800	CIP 10 Dist Sub NE Substation	8,094.50	231162	20299	5% hold for restoration on 1800 S form Orchard Dr
2334	GRAINGER, INC	Water	515100 426000	Bldg & Grnd Suppl & Maint	1,373.46	231168	9518749024	Heater and Parts - Acct # 809681984
5458	HANSEN, ALLEN & LUCE	Water	515100 472130	Wells	1,010.00	231169	48122	Project 374.02.200 Bountiful Calder Well Rehab
2562	HYDRO SPECIALTIES CO	Water	515100 448650	Meters	19,443.22	231173	26341	ERTS Metering
8756	IRBY ELECTRICAL DIST	Light & Power	535300 448639	Substation	1,725.00	231174	S013215698.001	3.5" Grounding Clamps - Customer # 221694
2719	JMR CONSTRUCTION INC	Streets	104410 473210	Road Recondition & Repair	18,611.05	231175	11232022	Strom Water Project - Work Completed in Oct. 2022
2719	JMR CONSTRUCTION INC	Water	515100 461300	Street Opening Expense	7,281.25	231175	11232022	Strom Water Project - Work Completed in Oct. 2022
2987	M.C. GREEN & SONS IN	Storm Water	494900 473106	Storm Drain Construction	189,957.25	231179	4744	800 East Storm Drain Project - App # 6 & 7
3271	NETWIZE	Information Technology	104136 425000	Equip Supplies & Maint	5,412.85	231183	23697	Cisco SmartNet, AnyConnect & Firepower Support Ren
3271	NETWIZE	Information Technology	104136 425000	Equip Supplies & Maint	7,948.75	231183	23717	Ruckus - Support and Maintence
5429	PERFORMANCE FORD LIN	Police	454210 474500	Machinery & Equipment	33,200.00	231185	NGC27049F	Police Vehicle 22 Ford Explorer - Vin # NGC27049
5429	PERFORMANCE FORD LIN	Police	454210 474500	Machinery & Equipment	33,500.00	231185	NGC26706F	Police Vehicle 22 Ford Explorer - Vin # NGC26706
3832	SALT LAKE MAILING &	Treasury	104143 429050	Util Billing Supplies	50,000.00	231188	11282022	Mailing and Printing Utility Bills
4229	TOM RANDALL DIST. CO	Golf Course	555500 425100	Special Equip Maintenance	2,270.08	231191	0352811	Fuel - Acct # 000276
4273	TURF EQUIPMENT CO	Golf Course	555500 425000	Equip Supplies & Maint	1,253.84	231192	3011246-00	Turf Supplies - Customer # 2144
5322	UCS WIRELESS	Water	515100 474500	Machinery & Equipment	2,300.00	231193	80329	Solar Panel & Battery Install
4450	VERIZON WIRELESS	Water	515100 428000	Telephone Expense	1,617.34	231195	9920187981	Account # 242434136-00001
4533	WEBER BASIN WATER CO	Water	515100 461400	Purchase Of Water	122,580.00	231196	0071575	Annual Water Charges - Customer # 0090002
7732	WINGFOOT CORP	Police	104210 426000	Bldg & Grnd Suppl & Maint	2,295.00	231197	110279	Janitorial Services November 2022 for Bountiful PD
TOTAL:					<u>511,253.59</u>			

# City Council Staff Report

**Subject:** October 2022 Financial Reports  
**Author:** Tyson Beck, Finance Director  
**Department:** Finance  
**Date:** December 13, 2022



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## **Background**

These reports include summary revenue, expense, and budget information for all City funds. Both revenues and expenses, including capital outlay, have been included. These financials are presented to the City Council for review.

## **Analysis**

Data within the reports and graphs presented provide detail of revenue, expense, and budget results for the associated period. Additional revenue and expense graphs are provided that give comparative data for FY2023 through October as compared to the past three fiscal year periods through that same timeframe.

The FY2023 budget portion of these reports is the originally adopted FY2023 budget approved by the City Council in June of 2022.

## **Department Review**

These reports were prepared and reviewed by the Finance Department.

## **Significant Impacts**

Financial information to aid in legislative and operational decision making.

## **Recommendation**

Council should review the attached revenue, expense, and budget reports.

## **Attachments**

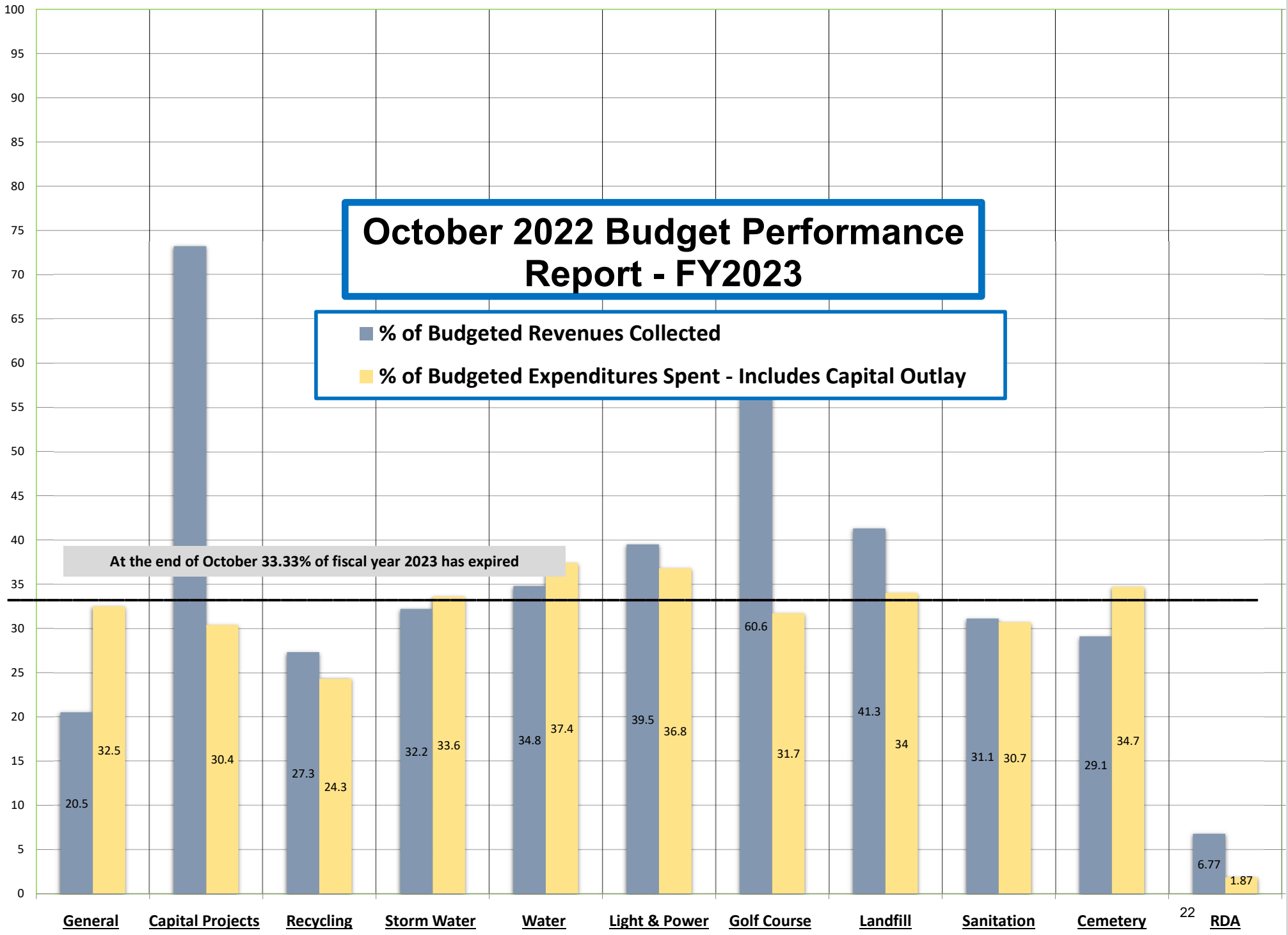
- October 2022 Revenue & Expense Reports – Fiscal 2023 YTD

# October 2022 Budget Performance Report - FY2023

■ % of Budgeted Revenues Collected

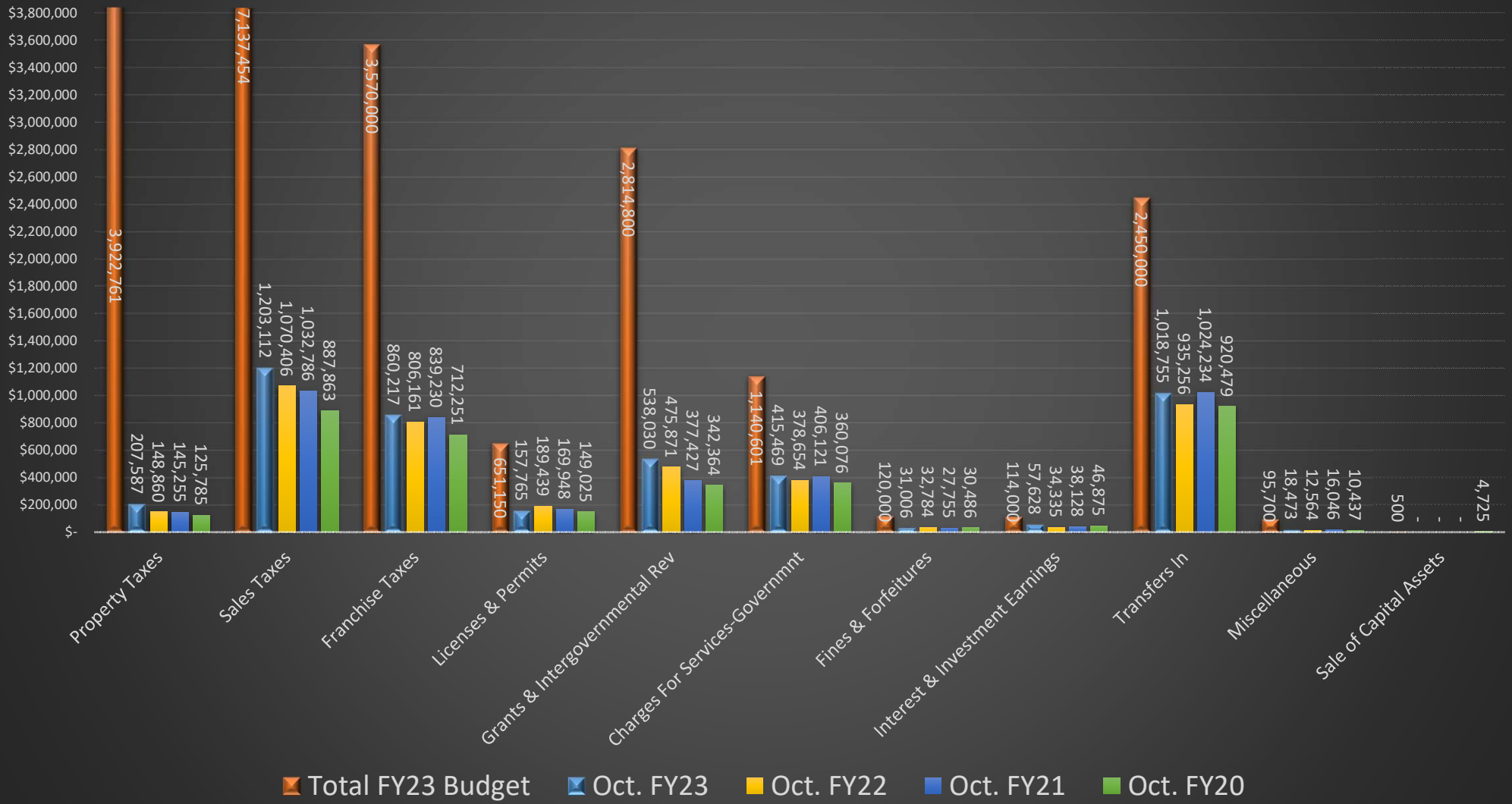
■ % of Budgeted Expenditures Spent - Includes Capital Outlay

At the end of October 33.33% of fiscal year 2023 has expired

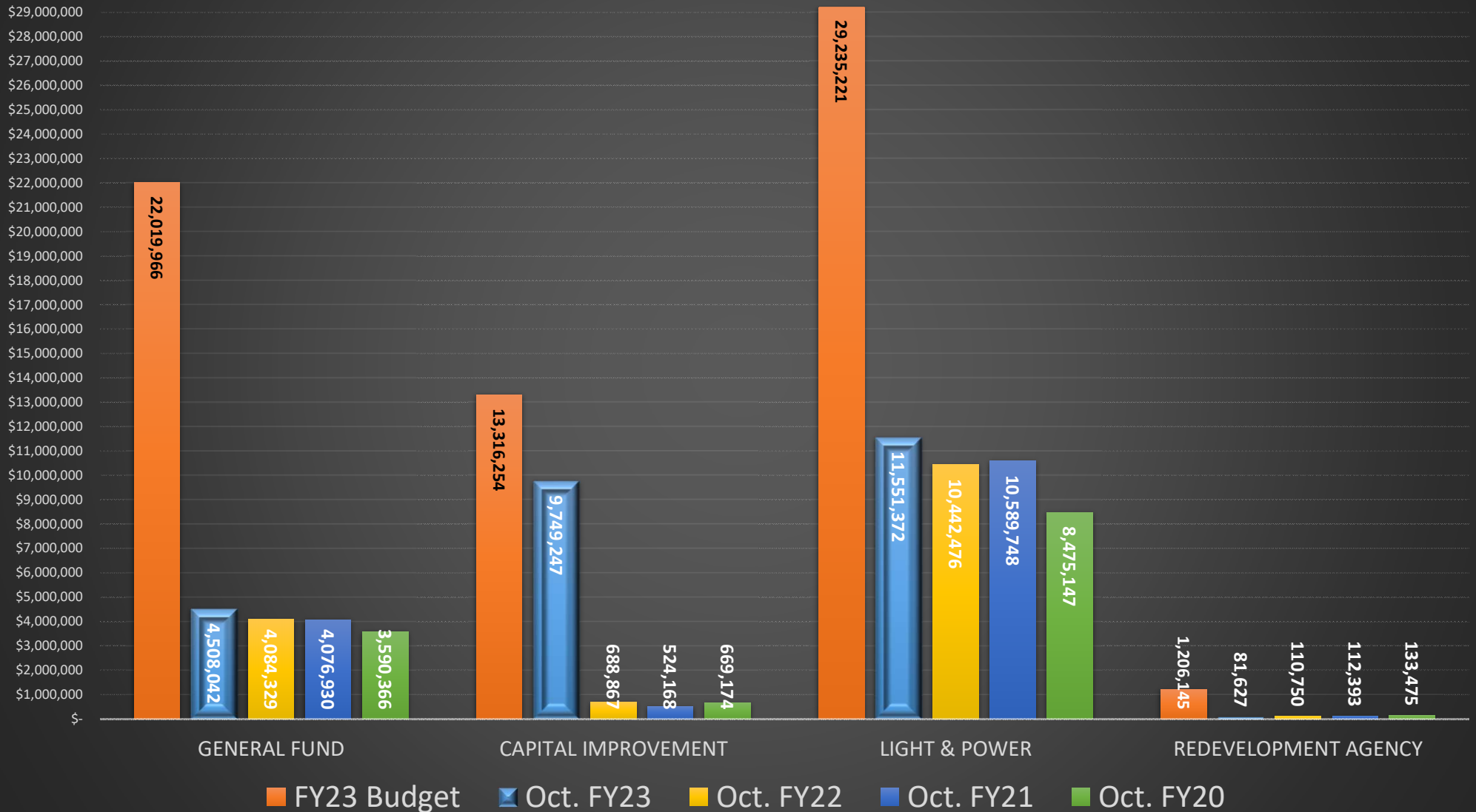


## General Fund Detailed Revenues - October 2022

### YTD Revenues (Fiscal Year 2023) Compared to Budget and also the Revenues of the Same Timeframe of the Past Three Fiscal Years

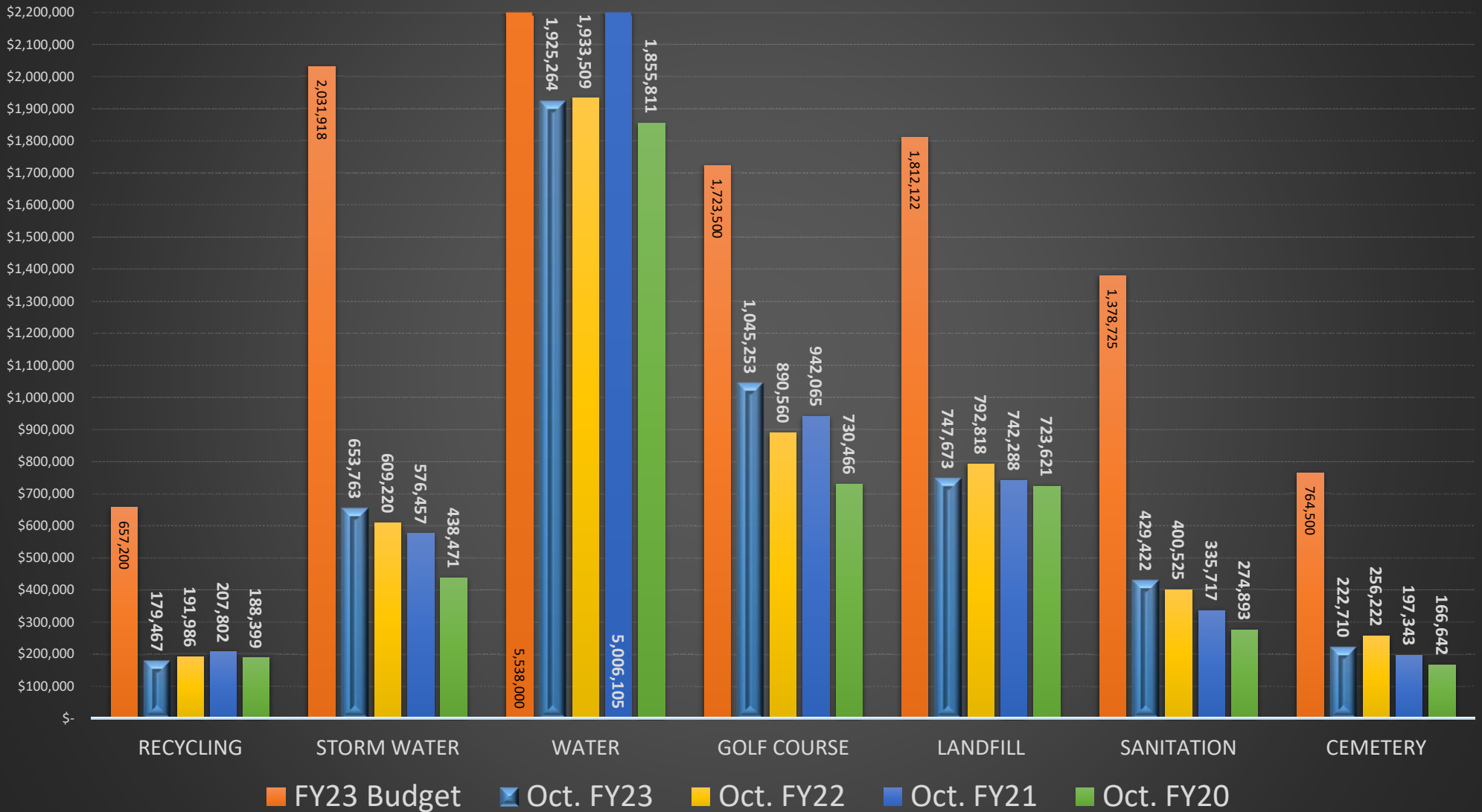


## October 2022 YTD Revenues (Fiscal 2023) Compared to Budget and also the Revenues of Same Timeframe of the Past Three Fiscal Years





## October 2022 (Fiscal 2023) YTD Revenues Compared to Budget and also the Revenues of Same Timeframe of the Past Three Fiscal Years



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Bountiful City Corporation  
OCTOBER 2022 - FY2023 YTD REVENUE

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FOR 2023 04

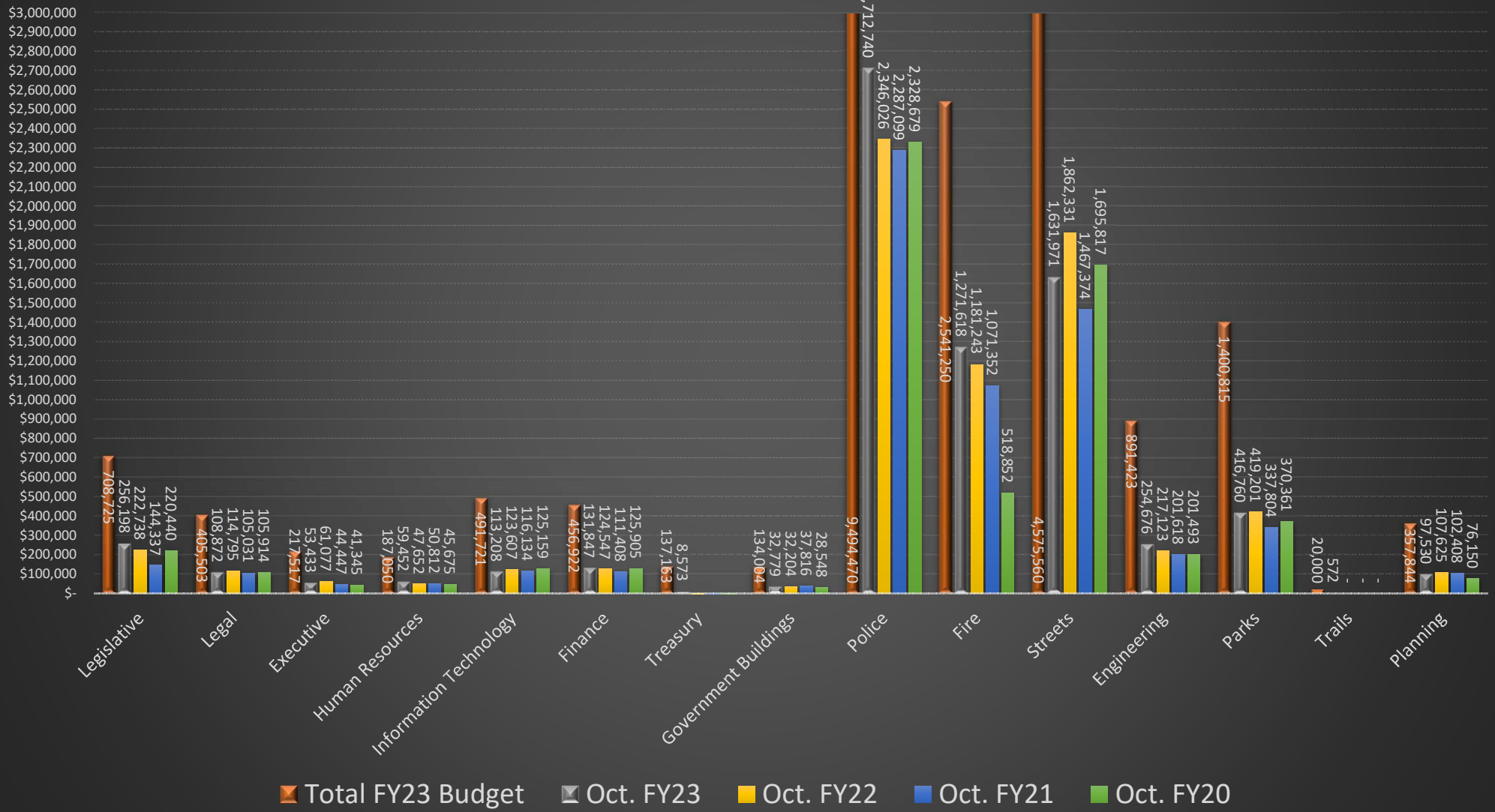
JOURNAL DETAIL 2022 1 TO 2022 6

	ORIGINAL APPROP	REVISED BUDGET	YTD EXPENDED	MTD EXPENDED	ENCUMBRANCES	AVAILABLE BUDGET	PCT USED
10 GENERAL FUND	-22,017,466	-22,019,966	-4,508,041.51	-1,691,276.42	.00	-17,511,924.49	20.5%
30 DEBT SERVICE	-679,904	-679,904	.00	.00	.00	-679,904.00	.0%
45 CAPITAL IMPROVEMENT	-13,318,754	-13,316,254	-9,749,247.36	-421,927.84	.00	-3,567,006.64	73.2%
48 RECYCLING	-657,200	-657,200	-179,466.68	-49,144.37	.00	-477,733.32	27.3%
49 STORM WATER	-2,031,918	-2,031,918	-653,762.97	-180,405.20	.00	-1,378,155.03	32.2%
51 WATER	-5,538,000	-5,538,000	-1,925,264.30	-475,124.37	.00	-3,612,735.70	34.8%
53 LIGHT & POWER	-29,235,221	-29,235,221	-11,551,371.63	-2,289,606.31	.00	-17,683,849.37	39.5%
55 GOLF COURSE	-1,723,500	-1,723,500	-1,045,253.22	-193,504.61	.00	-678,246.78	60.6%
57 LANDFILL	-1,812,122	-1,812,122	-747,673.17	-188,335.14	.00	-1,064,448.83	41.3%
58 SANITATION	-1,378,725	-1,378,725	-429,421.57	-118,943.75	.00	-949,303.43	31.1%
59 CEMETERY	-764,500	-764,500	-222,710.33	-58,069.87	.00	-541,789.67	29.1%
61 COMPUTER MAINTENANCE	-74,611	-74,611	-.26	1.05	.00	-74,610.74	.0%
63 LIABILITY INSURANCE	-488,307	-488,307	-597,767.64	-2,894.86	.00	109,460.64	122.4%
64 WORKERS' COMP INSURANCE	-176,377	-176,377	-95,960.10	-26,332.86	.00	-80,416.90	54.4%
72 RDA REVOLVING LOAN FUND	-201,145	-201,145	-79,512.40	-23,671.86	.00	-121,632.60	39.5%
73 REDEVELOPMENT AGENCY	-1,005,000	-1,005,000	-2,114.23	-988.93	.00	-1,002,885.77	.2%
74 CEMETERY PERPETUAL CARE	-122,000	-122,000	-34,370.23	-9,956.96	.00	-87,629.77	28.2%
78 LANDFILL CLOSURE	-4,800	-4,800	-6,932.79	-2,181.46	.00	2,132.79	144.4%
83 RAP TAX	-714,000	-714,000	-125,976.94	-65,795.26	.00	-588,023.06	17.6%
92 OPEB TRUST	0	0	-3,044.05	-1,111.72	.00	3,044.05	100.0%
99 INVESTMENT	0	0	1,653,002.41	205,804.06	.00	-1,653,002.41	100.0%
GRAND TOTAL	-81,943,550	-81,943,550	-30,304,888.97	-5,593,466.68	.00	-51,638,661.03	37.0%

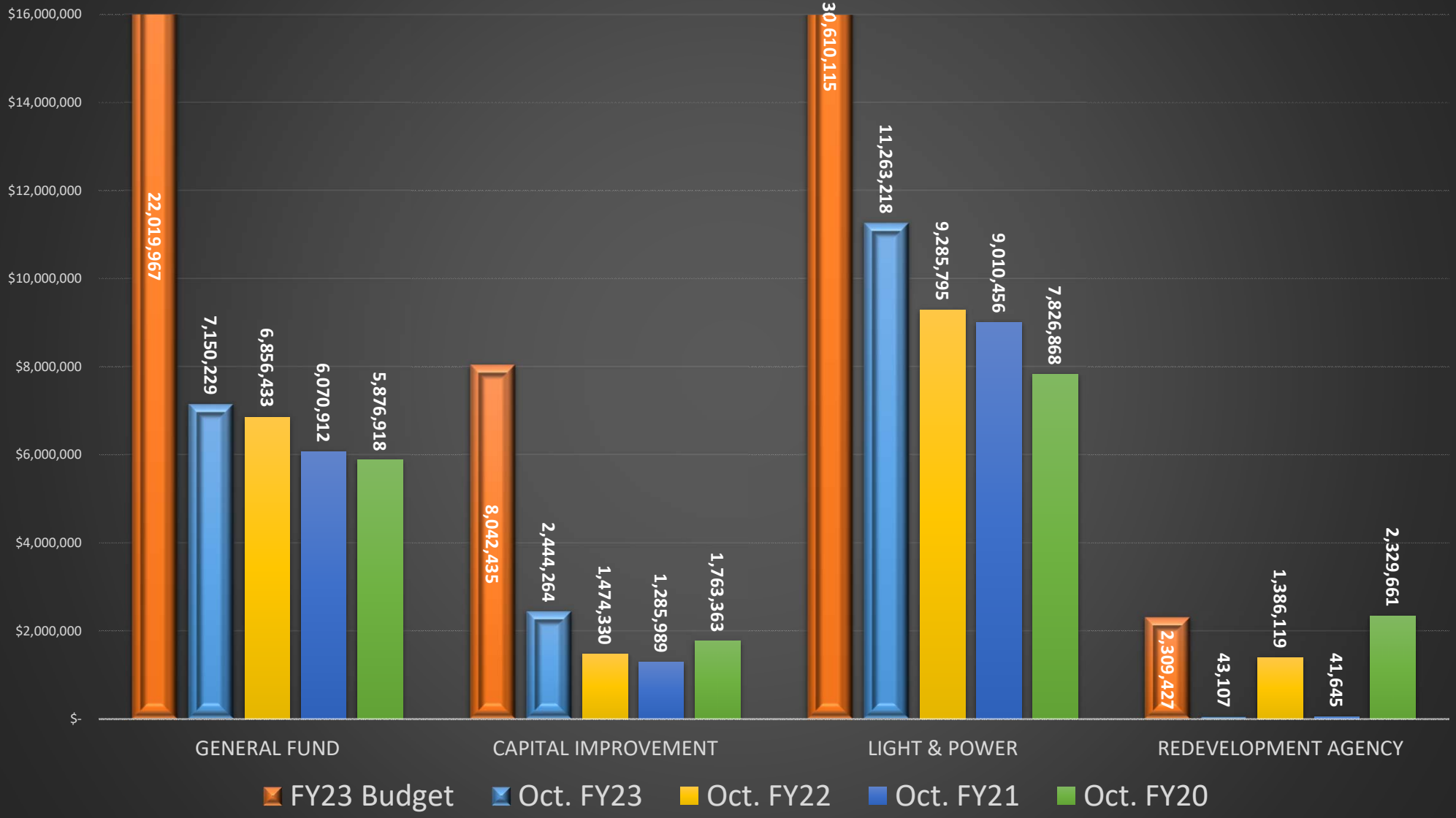
\*\* END OF REPORT - Generated by Tyson Beck \*\*

## General Fund Detailed Expenditures - October 2022

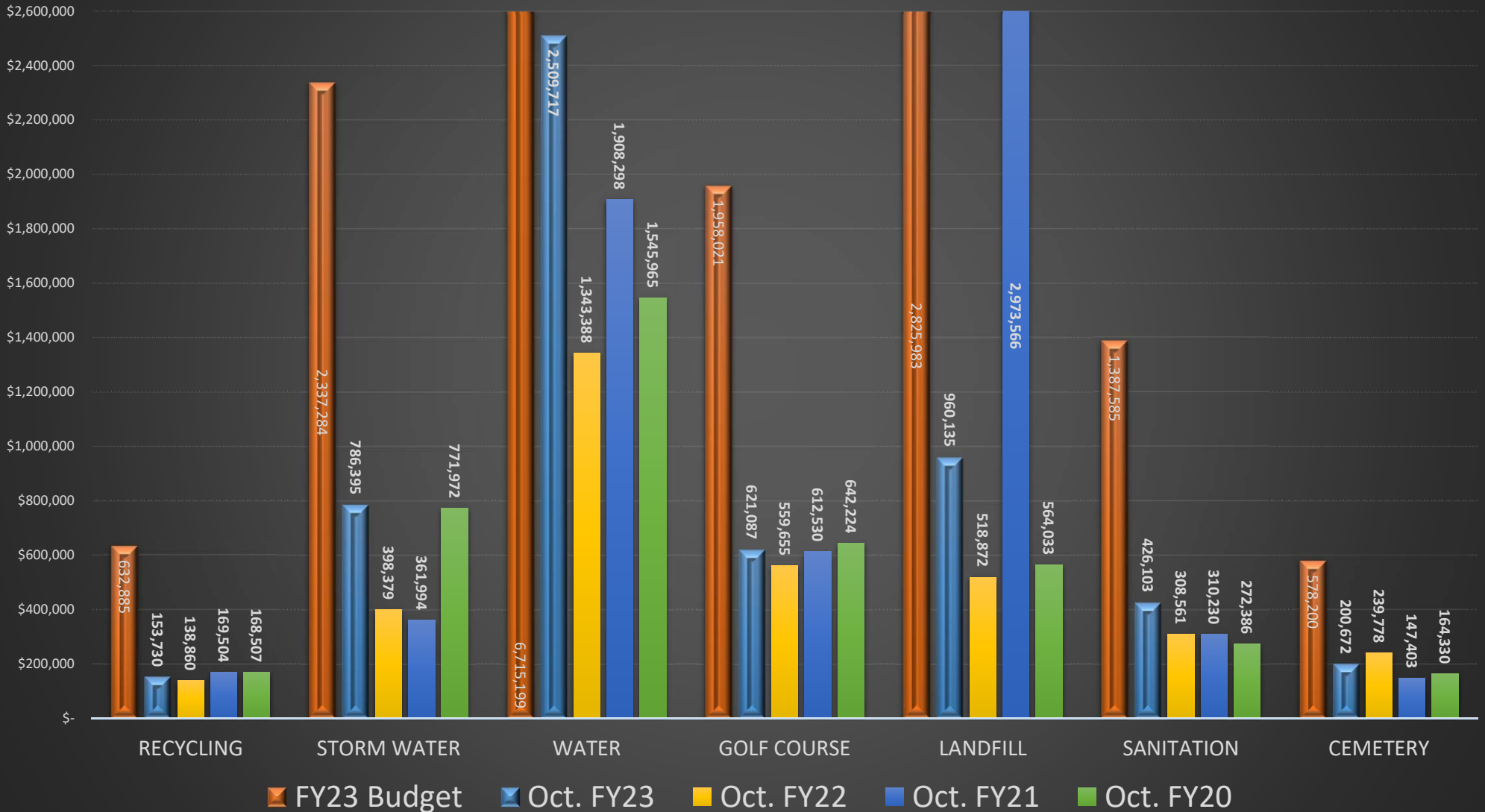
### Fiscal 2023 YTD Expenditures Compared to Budget and also the Expenditures of the Same Timeframe of the Past Three Fiscal Years



## October 2022 YTD (Fiscal 2023) Expenditures Compared to Budget and also the Expenditures of the Same Timeframe of the Past Three Fiscal Years



## October 2022 YTD (Fiscal 2023) Expenses Compared Budget and also the Expenses of the Same Timeframe of the Past Three Fiscal Years



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Bountiful City Corporation  
OCTOBER 2022 - FY2023 YTD EXPENSE

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FOR 2023 04

JOURNAL DETAIL 2022 1 TO 2022 6

	ORIGINAL APPROP	REVISED BUDGET	YTD EXPENDED	MTD EXPENDED	ENCUMBRANCES	AVAILABLE BUDGET	PCT USED
<b>10 GENERAL FUND</b>							
4110 Legislative	708,725	708,725	256,198.36	63,062.90	.00	452,526.64	36.1%
4120 Legal	405,503	405,503	108,872.24	27,170.59	.00	296,630.76	26.8%
4130 Executive	217,517	217,517	53,432.71	14,114.48	.00	164,084.29	24.6%
4134 Human Resources	187,050	187,050	59,451.71	11,402.19	.00	127,598.29	31.8%
4136 Information Technology	491,721	491,721	113,207.83	31,333.62	.00	378,513.17	23.0%
4140 Finance	456,922	456,922	131,847.00	35,583.75	.00	325,075.00	28.9%
4143 Treasury	137,163	137,163	8,573.15	-4,335.35	.00	128,589.85	6.3%
4160 Government Buildings	134,004	134,004	32,779.44	9,181.16	.00	101,224.56	24.5%
4210 Police	7,330,272	7,330,272	2,174,764.55	562,072.36	.00	5,155,507.45	29.7%
4215 Reserve Officers	10,000	10,000	.00	.00	.00	10,000.00	.0%
4216 Crossing Guards	155,710	155,710	29,552.24	13,875.68	.00	126,157.76	19.0%
4217 School Resource Officer	442,899	442,899	88,988.20	33,538.42	.00	353,910.80	20.1%
4218 Liquor Control	42,000	42,000	6,872.17	1,672.18	.00	35,127.83	16.4%
4219 PSAP - E911	1,513,589	1,513,589	412,562.70	99,220.29	.00	1,101,026.30	27.3%
4220 Fire	2,541,250	2,541,250	1,271,618.00	.00	.00	1,269,632.00	50.0%
4410 Streets	4,575,560	4,575,560	1,631,971.25	295,279.89	.00	2,943,588.75	35.7%
4450 Engineering	891,423	891,423	254,675.71	71,260.70	.00	636,747.29	28.6%
4510 Parks	1,400,815	1,400,815	416,759.79	74,646.55	.00	984,055.21	29.8%
4550 Trails	20,000	20,000	572.22	572.22	.00	19,427.78	2.9%
4610 Planning	357,844	357,844	97,529.85	28,204.05	.00	260,314.15	27.3%
TOTAL GENERAL FUND	22,019,967	22,019,967	7,150,229.12	1,367,855.68	.00	14,869,737.88	32.5%
<b>30 DEBT SERVICE</b>							
4710 Debt Sevice	787,629	787,629	21,019.60	.00	.00	766,609.40	2.7%
TOTAL DEBT SERVICE	787,629	787,629	21,019.60	.00	.00	766,609.40	2.7%
<b>45 CAPITAL IMPROVEMENT</b>							
4110 Legislative	3,317,800	3,317,800	1,865,830.74	941,509.33	.00	1,451,969.26	56.2%
4140 Finance	19,000	19,000	8,397.82	2,121.46	.00	10,602.18	44.2%
4160 Government Buildings	10,500	10,500	8,700.00	.00	.00	1,800.00	82.9%
4210 Police	877,635	877,635	.00	.00	.00	877,635.00	.0%
4410 Streets	2,992,500	2,992,500	350,513.89	126,689.00	.00	2,641,986.11	11.7%

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Bountiful City Corporation  
OCTOBER 2022 - FY2023 YTD EXPENSE

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FOR 2023 04		JOURNAL DETAIL 2022 1 TO 2022 6						
	ORIGINAL APPROP	REVISED BUDGET	YTD EXPENDED	MTD EXPENDED	ENCUMBRANCES	AVAILABLE BUDGET	PCT USED	
4510 Parks	95,000	95,000	64,132.00	.00	.00	30,868.00	67.5%	
4550 Trails	730,000	730,000	146,689.66	61,776.75	.00	583,310.34	20.1%	
TOTAL CAPITAL IMPROVEMENT	8,042,435	8,042,435	2,444,264.11	1,132,096.54	.00	5,598,170.89	30.4%	
<hr/> 48 RECYCLING <hr/>								
4800 Recycling	632,885	632,885	153,730.24	52,105.64	.00	479,154.76	24.3%	
TOTAL RECYCLING	632,885	632,885	153,730.24	52,105.64	.00	479,154.76	24.3%	
<hr/> 49 STORM WATER <hr/>								
4900 Storm Water	2,337,284	2,337,284	786,394.73	307,113.48	.00	1,550,889.27	33.6%	
TOTAL STORM WATER	2,337,284	2,337,284	786,394.73	307,113.48	.00	1,550,889.27	33.6%	
<hr/> 51 WATER <hr/>								
5100 Water	6,715,199	6,715,199	2,509,716.97	516,985.84	.00	4,205,482.03	37.4%	
TOTAL WATER	6,715,199	6,715,199	2,509,716.97	516,985.84	.00	4,205,482.03	37.4%	
<hr/> 53 LIGHT & POWER <hr/>								
5300 Light & Power	30,610,115	30,610,115	11,263,217.68	2,550,484.66	.00	19,346,897.32	36.8%	
TOTAL LIGHT & POWER	30,610,115	30,610,115	11,263,217.68	2,550,484.66	.00	19,346,897.32	36.8%	
<hr/> 55 GOLF COURSE <hr/>								
5500 Golf Course	1,958,021	1,958,021	621,086.78	172,878.75	.00	1,336,934.22	31.7%	
TOTAL GOLF COURSE	1,958,021	1,958,021	621,086.78	172,878.75	.00	1,336,934.22	31.7%	
<hr/> 57 LANDFILL <hr/>								

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Bountiful City Corporation  
OCTOBER 2022 - FY2023 YTD EXPENSE

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FOR 2023 04		JOURNAL DETAIL 2022 1 TO 2022 6						
57	LANDFILL	ORIGINAL APPROP	REVISED BUDGET	YTD EXPENDED	MTD EXPENDED	ENCUMBRANCES	AVAILABLE BUDGET	PCT USED
5700	Landfill	2,825,983	2,825,983	960,134.69	242,056.86	.00	1,865,848.31	34.0%
	TOTAL LANDFILL	2,825,983	2,825,983	960,134.69	242,056.86	.00	1,865,848.31	34.0%
<hr/>								
58	SANITATION							
5800	Sanitation	1,387,585	1,387,585	426,103.01	88,551.31	.00	961,481.99	30.7%
	TOTAL SANITATION	1,387,585	1,387,585	426,103.01	88,551.31	.00	961,481.99	30.7%
<hr/>								
59	CEMETERY							
5900	Cemetery	578,200	578,200	200,671.56	44,074.96	.00	377,528.44	34.7%
	TOTAL CEMETERY	578,200	578,200	200,671.56	44,074.96	.00	377,528.44	34.7%
<hr/>								
61	COMPUTER MAINTENANCE							
6100	Computer Maintenance	97,799	97,799	3,435.42	2,994.47	.00	94,363.58	3.5%
	TOTAL COMPUTER MAINTENANCE	97,799	97,799	3,435.42	2,994.47	.00	94,363.58	3.5%
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63	LIABILITY INSURANCE							
6300	Liability Insurance	696,701	696,701	641,512.61	15,210.54	.00	55,188.39	92.1%
	TOTAL LIABILITY INSURANCE	696,701	696,701	641,512.61	15,210.54	.00	55,188.39	92.1%
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64	WORKERS' COMP INSURANCE							
6400	Workers' Comp Insurance	325,110	325,110	157,155.79	16,236.74	.00	167,954.21	48.3%
	TOTAL WORKERS' COMP INSURANCE	325,110	325,110	157,155.79	16,236.74	.00	167,954.21	48.3%
<hr/>								
72	RDA REVOLVING LOAN FUND							



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Bountiful City Corporation  
OCTOBER 2022 - FY2023 YTD EXPENSE

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FOR 2023 04

JOURNAL DETAIL 2022 1 TO 2022 6

72	RDA REVOLVING LOAN FUND	ORIGINAL APPROP	REVISED BUDGET	YTD EXPENDED	MTD EXPENDED	ENCUMBRANCES	AVAILABLE BUDGET	PCT USED
7200	RDA Revolving Loans	502,000	502,000	879.56	212.31	.00	501,120.44	.2%
	TOTAL RDA REVOLVING LOAN FUND	502,000	502,000	879.56	212.31	.00	501,120.44	.2%
<hr/>								
73	REDEVELOPMENT AGENCY							
7300	Redevelopment Agency	1,807,427	1,807,427	42,227.54	12,280.99	.00	1,765,199.46	2.3%
	TOTAL REDEVELOPMENT AGENCY	1,807,427	1,807,427	42,227.54	12,280.99	.00	1,765,199.46	2.3%
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74	CEMETERY PERPETUAL CARE							
7400	Cemetery Perpetual Care	1,740	1,740	608.74	166.06	.00	1,131.26	35.0%
	TOTAL CEMETERY PERPETUAL CARE	1,740	1,740	608.74	166.06	.00	1,131.26	35.0%
<hr/>								
83	RAP TAX							
8300	RAP Tax	1,303,739	1,303,739	53,115.35	1,965.78	.00	1,250,623.65	4.1%
	TOTAL RAP TAX	1,303,739	1,303,739	53,115.35	1,965.78	.00	1,250,623.65	4.1%
<hr/>								
92	OPEB TRUST							
9200	OPEB Trust	0	0	2,650.29	237.79	.00	-2,650.29	100.0%
	TOTAL OPEB TRUST	0	0	2,650.29	237.79	.00	-2,650.29	100.0%
	GRAND TOTAL	82,629,819	82,629,819	27,438,153.79	6,523,508.40	.00	55,191,665.21	33.2%

\*\* END OF REPORT - Generated by Tyson Beck \*\*



# City Council Staff Report



**Subject:** Bountiful Community Service Council  
Appointment  
**Author:** Gary Hill, City Manager  
**Date:** 13 December 2022

---

## **Background**

Bountiful City Code §3-4-101 establishes The Bountiful Community Service Council (BCSC) and indicates the Council “shall be composed of no less than five (5) and no more than thirteen (13) members, all of whom shall be appointed by the Mayor with the approval of the City Council. The members of the Bountiful Community Service Council shall be residents of the City who shall be selected without regard to political and/or religious considerations.” The Community Service Council has proven to be a very active group of Bountiful residents who bring to the community summer concerts in the park, a Christmas concert, a bi-annual emergency preparedness fair, CERT training, interfaith relations, food pantry volunteers and other community educational and welfare opportunities.

## **Analysis**

As stipulated in the City Code, one member of the BCSC is to be a member of the Bountiful City Council. Councilman Jesse Bell is currently fulfilling that role. Mayor Harris would also like to appoint Jamie Dester, a Bountiful resident, to serve a four-year term expiring on December 31, 2026.

## **Department Review**

The review was completed by the City Manager.

## **Significant Impacts**

None

## **Recommendation**

Mayor Harris recommends the Council approve the appointment of Jamie Dester to serve on the Bountiful Community Service Council.

## **Attachments**

None



# City Council Staff Report



**Subject: Public Notice of City Council's Meeting Schedule**  
**Author: Gary Hill, City Manager**  
**Date: 13 December 2022**

---

## **Background**

Under Utah Code Section 52-4-202 (2) of the Utah Code (in the Open & Public Meetings Act), the City Council "shall give public notice at least once each year of its annual meeting schedule," and "shall specify the date, time, and place of the scheduled meetings."

## **Analysis**

The City Council can meet when it wants to. In the 1980s and 1990s it met every Wednesday. For the last 20 years or so it has met on the second and fourth Tuesdays, which can be changed at the Council's discretion.

The Public Notice given here announces that Bountiful City Council meetings "shall take place the second and fourth Tuesdays of each month." However, it notes that there will be no meeting on Tuesday, December 26.

## **Department Review**

This Public Notice has been reviewed by the City Manager and the City Attorney.

## **Significant Impacts**

There are no significant impacts from this action.

## **Recommendation**

It is recommended that the City Council approve the 2023 Meeting Schedule to meet on the second and fourth Tuesdays of each month, with the exception of Tuesday, December 26.

## **Attachments**

The Public Notice of Bountiful City Council Meetings in 2023.

## **PUBLIC NOTICE**

Pursuant to UCA 52-4-202(2), the City of Bountiful hereby gives public notice of its annual meeting schedule for 2023. Regular meetings of the City Council shall take place the second and fourth Tuesdays of each month, unless otherwise advertised. City Council meetings shall be held at the Bountiful City Hall, unless otherwise advertised. The meetings will begin promptly at 7:00 p.m.

Some meetings will have a work session that will proceed the regular meeting. The work session is also open to the public.

The City Council may meet as a Redevelopment Agency Board of Directors. These meetings shall take place in the City Council Chambers at City Hall, and shall begin after City Council meeting as needed, unless otherwise advertised.

The Council will not meet on Tuesday, December 26, 2023.

All meetings of the City Council shall be open to the public, and the public is invited to attend the meetings of the City Council and the Redevelopment Agency, except where the City Council or Redevelopment Agency Board meet in Closed Session upon proper public notice and for the purposes outlined in UCA 52-4-205.

In addition to the above scheduled regular meetings, the City Council may, from time to time, meet in special session as needed, and such meetings will be advertised by legal notice to the public in accordance with UCA 52-4-202.

Dated this 13<sup>th</sup> day of December, 2022.

---

Gary R. Hill  
City Manager

# City Council Staff Report

**Subject:** Architectural and Site Plan Review at  
32 West 400 South  
**Author:** Amber Corbridge, Senior Planner  
**Department:** Planning  
**Date:** December 13, 2022



## Background

Bob Murri, with City Creek Construction, is requesting both 1) Conditional Use Permit (CUP) and 2) Site Plan Approval to develop eight (8) multi-family townhouse units in the Downtown Zone. This project would be a separate parcel adjacent to the newly remodeled commercial building, known as the old Deseret First Credit Union. The project consists of two separate buildings. One building will include two (2) townhome units and the other six (6) townhomes units. The two-unit building is proposed to face 400 S and will accommodate a future commercial use. The materials and colors used for the new project will complement the style of the new adjacent office building (see rendering below), using brick, metal panel siding, synthetic wood paneling, and stucco.

The proposed townhomes consist of three (3) stories. The main level for each unit will accommodate two (2) tandem parked cars in an attached garage. The second and third level will include a living room, dining room, kitchen, two and a half (2 ½) bathrooms, two (2) bedrooms, and more. The total building height will be thirty-four feet six inches (34'-6"), where the maximum building height allowed is fifty-five feet (55').

The total lot area is 12,945.422 square feet, at 77.90 ft. wide and 166.18 ft. long. The total proposed landscaped area is 3,911 sf. or thirty (30) percent of the property, where a minimum of ten (10) percent is allowed. Three (3) parking spaces are provided for each unit. The attached letter states the owners of the property have entered into a parking agreement between the three (3) parcels at the corner of Main Street and 400 S.

During the December 6, 2022, Planning Commission meeting the Commission reviewed the application and forwarded a positive recommendation with the staff conditions noted below to the City Council with a unanimous vote (5-0).



## **Analysis**

### **Conditional Use Standards**

A multi-family residential use not facing Main Street is a conditional use in the downtown zone. The Planning Commission must consider how the proposed use 1) relates to the surrounding uses, 2) impacts the existing surrounding developments, and 3) appropriate buffering of uses and buildings, proper parking and traffic circulation, and the use of building materials and landscaping, which are in harmony with the area (see Code 14-2-506.C).

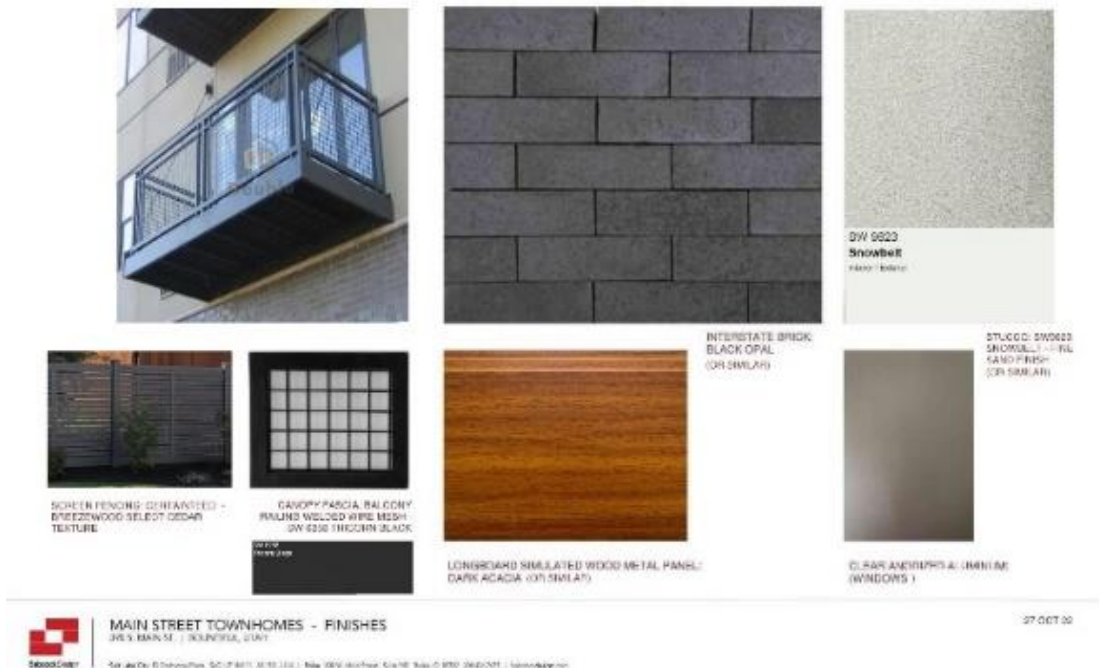
This multi-family townhouse project will support the surrounding uses and act as a buffer between the single-family properties to the west and the commercial businesses to the east. The proposed two car garages for each unit will minimize parking impacts to the neighborhood, when utilized. Staff recommends a condition to restrict the garage use to only vehicles, as there are concerns with using the garages for living/storage space. Exterior lighting plans are being reviewed for mitigation compliance, which includes fully shielded light fixture design, and placement. Staff recommends this item be a condition of approval, as the exterior lighting plans are still in review. The proposed exterior building materials are similar to and complement the adjacent building, as shown below. Staff finds with the conditions of approval the proposed use meets the Conditional Use Permit requirements.

Adjacent Existing Building:





## Proposed Building Materials:



## Code Compliance

The Site Plan is currently in review by development review staff, where setbacks, height, landscaping, parking, and other development standards are reviewed for compliance. The plans meet the site development standards. The following items include notable planning review comments and/or conditions:

### ***Parking and Access***

Regarding access and parking, the applicant submitted a shared parking agreement between the three (3) separate parcels (see attached). To ensure the parcels legally share parking and access the Applicant will need to record the shared parking agreement, including cross access, at the County and provide a copy of the recorded agreement to the City.

### ***Landscaping and Fencing***

The outdoor lighting plans will need to meet the code (14-16-111.H) for properly shielded light fixtures.

### ***Engineering, Building, Power, and Fire Comments***

All staff redlines and review comments are noted in the attached plans and will need to be satisfied as a condition of approval. The applicant shall enter into a development agreement.

### Design Standards

Design standards and regulations apply to multi-family development where architecture, site design, and parking are further reviewed. The proposal meets the design standards regarding landscaping, architectural elements, building materials, pedestrian circulation, and screening. The lighting plans are still in review and will need to comply with the design standards, as mentioned previously.

### Department Review

This staff report was written by the Senior Planner and reviewed by the Planning Director, City Attorney, and City Manager.

### Significant Impacts

The development would be in an area with existing urban infrastructure levels. Impacts from the development of this property have been anticipated in the design of the existing storm water, sewer, and water transportation systems. The conditions of approval are designed to mitigate other impacts anticipated by the development.

### Recommendations

Staff recommends that the City Council approve the proposed Architectural and Site Plan Review with the following conditions of approval:

- a. Submit a city-approved recorded copy of the shared cross access, parking, and dumpster agreement between the three (3) adjacent parcels (030320057, 030320055, and 030320056).
- b. The garages shall be used for parking, and not living/storage space.
- c. Satisfy and meet all department review comments.
- d. Sign a Development Agreement.

*Note: Final approval and building permits will be granted when all conditions are met and satisfied.*

### Attachments

1. Aerial photo
2. Parking Agreement
3. Latest Plan Set (Site, Civil, Elevations, Electrical, and Landscape)

# Aerial Photo



**Parking Agreement**

P.O. BOX 1785 BOUNTIFUL, UT 84011



**CITY CREEK**  
CONSTRUCTION & DEVELOPMENT

August 24, 2022

Francisco Astorga  
Director, Planning + Economic Development  
Bountiful City  
795 South Main Street  
Bountiful City, Utah 84010

RE: Shared Parking Agreement at 390 S. Main Street  
Francisco:

As owners of the property located at 390 S. Main Street, Bountiful, Utah 84010 representing 390 Main, LLC and B & P Properties, LLC, we send this letter to Bountiful City regarding a shared parking agreement. There are three parcels on this site. We agree and this letter certifies of our commitment to a shared parking agreement on this property. If you have any questions, please contact Steve Beyer at 801-205-7464.

Sincerely,

Robert L. Murri, Managing Member  
B & P Properties, LLC

Stephen R. Beyer, Managing Member  
390 Main, LLC

RECEIVED

AUG 24 2022  
BOUNTIFUL CITY  
PLANNING DEPT.

**DESIGN CRITERIA:**

PROJECT ADDRESS  
30 WEST 400 SOUTH  
BOUNTIFUL UTAH

LOT:  
SIZE: 0.2971 ACRES = 12,945 SQ.FT (10,000 SF MIN REQUIRED)  
FRONTAGE: 77.90' (50' REQUIRED)

CODE ANALYSIS  
2018 INTERNATIONAL RESIDENTIAL CODE

TOWNHOUSE PROJECT:  
EACH UNIT SEPARATED BY 2-HOUR WALL ASSEMBLY PER R302.2  
GARAGE SHEETED WITH ½" GYPSUM  
GARAGE ACCESS DOOR 20 MIN RATED

STRUCTURAL DESIGN CRITERIA:  
SNOW: USE USU SNOW STUDY  
WIND: 155 MPH VULT 120 MPH VASD  
EXPOSURE: B  
SEISMIC: ZONE D2

CHAPTER THREE (3): BUILDING PLANNING  
TOWNHOUSE: R302.2  
FIRE SEPARATION BETWEEN TOWNHOUSES: PER R302.2 (DOUBLE WALL)  
(2-HR RATED IN ACCORDANCE W/ASTM E 119 OR UL 263)  
ROOF: NO PENETRATIONS WITH IN 4" OF RATED WALL (UNLESS 30" PARAPET INSTALLED)

BUILDING HEIGHT AND AREA  
AREA: 5,600 SF (110' X 110' = 12,100SQ.FT. ALLOWABLE)  
HEIGHT: 36'-6" (55' ALLOWABLE)

SQUARE FOOTAGE PER UNIT:

LEVEL 1:  
CAR GARAGE 575 SQ. FT.  
ENTRY 125 SQ.FT.  
TOTAL LEVEL 1 700 SQ. FT.

LEVEL 2:  
LIVING 700 SQ. FT.  
TOTAL LEVEL 2 700 SQ. FT.

LEVEL 3:  
LIVING / BED 700 SQ. FT.  
TOTAL LEVEL 3 700 SQ. FT.

GRAND TOTAL  
USABLE 1,525 SQ. FT.  
CAR GARAGE 575 SQ. FT.  
GRAND TOTAL 2,100 SQ. FT.

BUILDING COVERAGE:

ZONING  
DOWNTOWN (DN) ZONING

MAXIMUM BUILDING HEIGHT:  
DN - DOWNTOWN ZONE: 14-7-107 STRUCTURE HEIGHT: 55'-0"

MINIMUM YARD REQUIREMENTS:  
SEE SHEET AS-101

FRONT YARD SET BACK:  
10'-0"

INTERIOR SIDE YARD:  
10'-0"

REAR YARD  
10'-0"

**DRAWING INDEX:**

GENERAL:

G100	.....	SITE PLAN / DRAWING INDEX
SURVEY	.....	SHEET 1 OF 1

CIVIL:

C001	.....	COVER AND LEGEND
C101	.....	DEMOLITION PLAN
C102	.....	SITE & DIMENSION PLAN
C201	.....	GRADING PLAN
C301	.....	STORM DRAIN & UTILITY PLAN
C501	.....	DETAILS
C502	.....	DETAILS
C503	.....	DETAILS

LANDSCAPE:

L101	.....	LANDSCAPE PLAN
L201	.....	DETAILS

ARCHITECTURAL:

AS100	.....	ARCHITECTURAL SITE PLAN
AS101	.....	ARCHITECTURAL DUMPSTER DETAILS
A101	.....	LEVEL 1 & 2 FLOOR PLANS
A102	.....	LEVEL 3 & ROOF PLANS
A103	.....	UNIT "A" ENLARGED PLAN
A104	.....	UNIT "B-H" ENLARGED PLAN
A201	.....	EXTERIOR ELEVATIONS
A202	.....	EXTERIOR ELEVATIONS
A203	.....	BUILDING SECTIONS
A204	.....	SECTIONS & DETAILS (FUTURE PKG)

STRUCTURAL (FUTURE PACKAGE):

S101	.....	FOOTING AND FOUNDATION PLAN
S102	.....	MAIN LEVEL FRAMING PLAN
S103	.....	UPPER LEVEL FRAMING PLAN
S104	.....	ROOF FRAMING PLAN
S105	.....	STRUCTURAL DETAILS

ELECTRICAL (FUTURE PACKAGE):

E101	.....	LOWER LEVEL POWER / LIGHTING PLAN
E102	.....	MAIN LEVEL POWER / LIGHTING PLAN
E103	.....	UPPER LEVEL POWER / LIGHTING PLAN

**SQUARE FOOTAGE:**

**UNIT "A-H":**

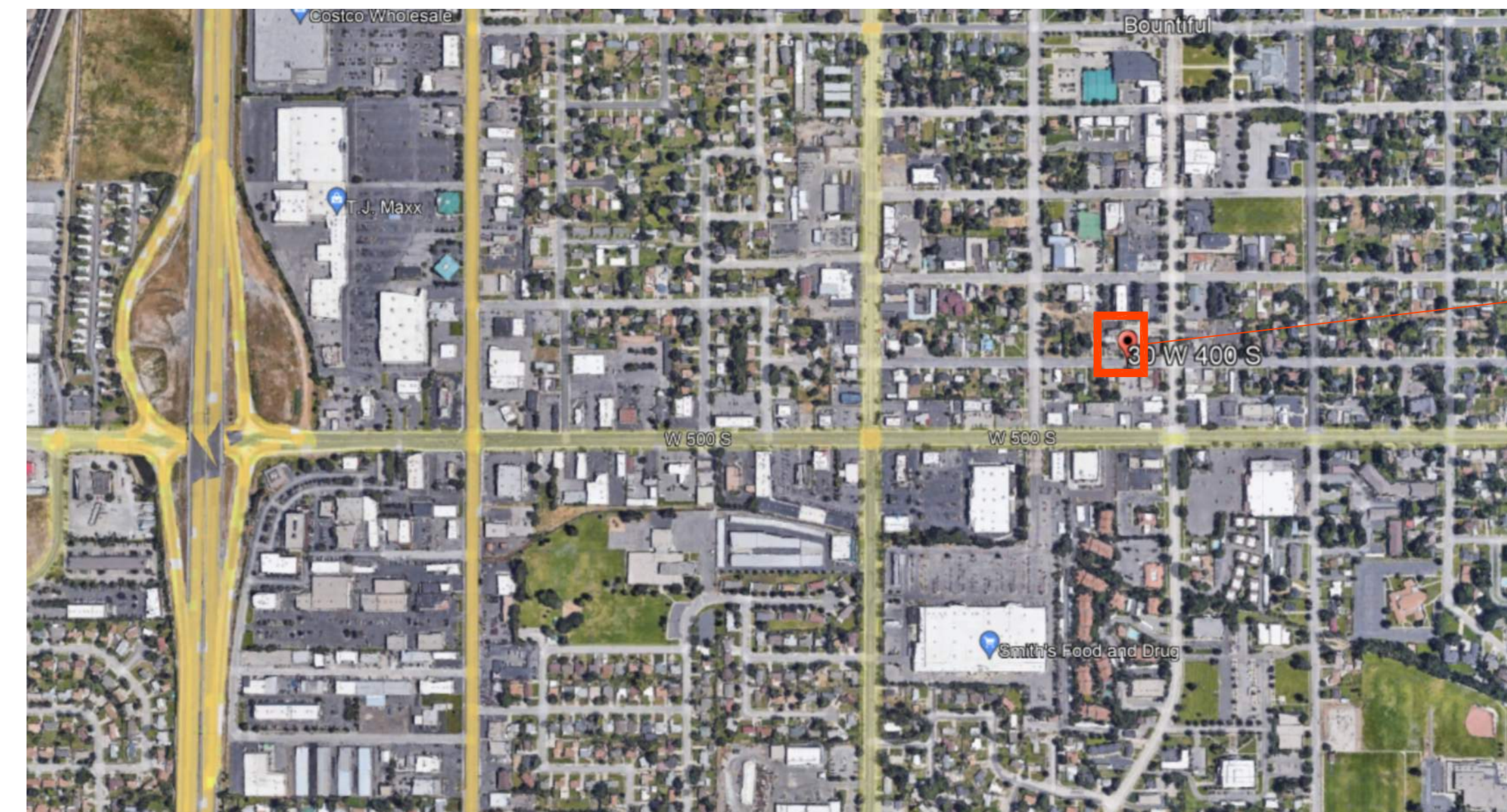
125 SF	.....	LEVEL 1 ENTRY (FINISHED)
700 SF	.....	LEVEL 2 LIVING (FINISHED)
700 SF	.....	LEVEL 3 BEDROOM (FINISHED)
1,525 SF	.....	(TOTAL LIVING)
575 SF	.....	LEVEL 1 GARAGE (FINISHED)
2,100 SF	.....	(GRAND TOTAL)

**BUILDINGS UNDER CONSTRUCTION**

- Buildings undergoing construction must comply with Chapter 33 of the IFC.
- Fire Department Access Roads: An all-weather fire department access road is required to be maintained at all times during construction. If the all-weather access is not maintained, SDMF reserves the right to stop work until the required roads are placed back in service.
- Water Supplies for Fire Protection: Water supplies required for fire protection are required to be maintained at all times during construction. If the fire protection water supply is not maintained, SDMF reserves the right to stop work until the required water supply for fire protection is placed back in service.
- Water supplies for fire protection must be clearly identified in a manner to prevent obstruction by parking and/or other obstructions.



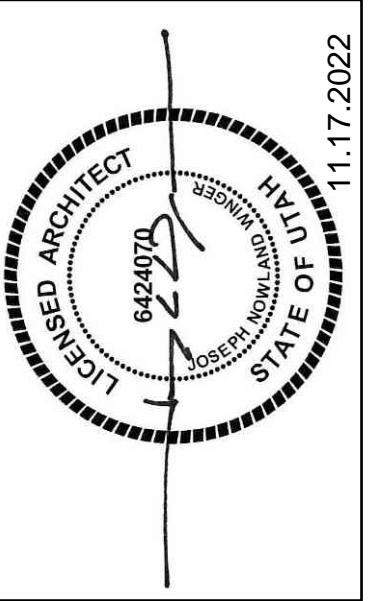
3 ENLARGED VICINITY MAP



2 VICINITY MAP



1 PERSPECTIVE



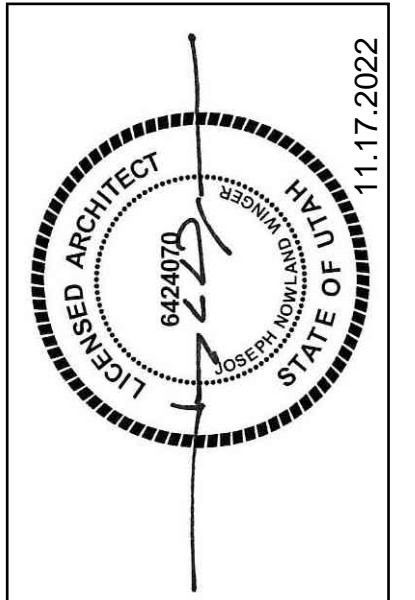
stamp:

**TOWNS at 400**  
30 West 400 South  
Bountiful Utah 84010

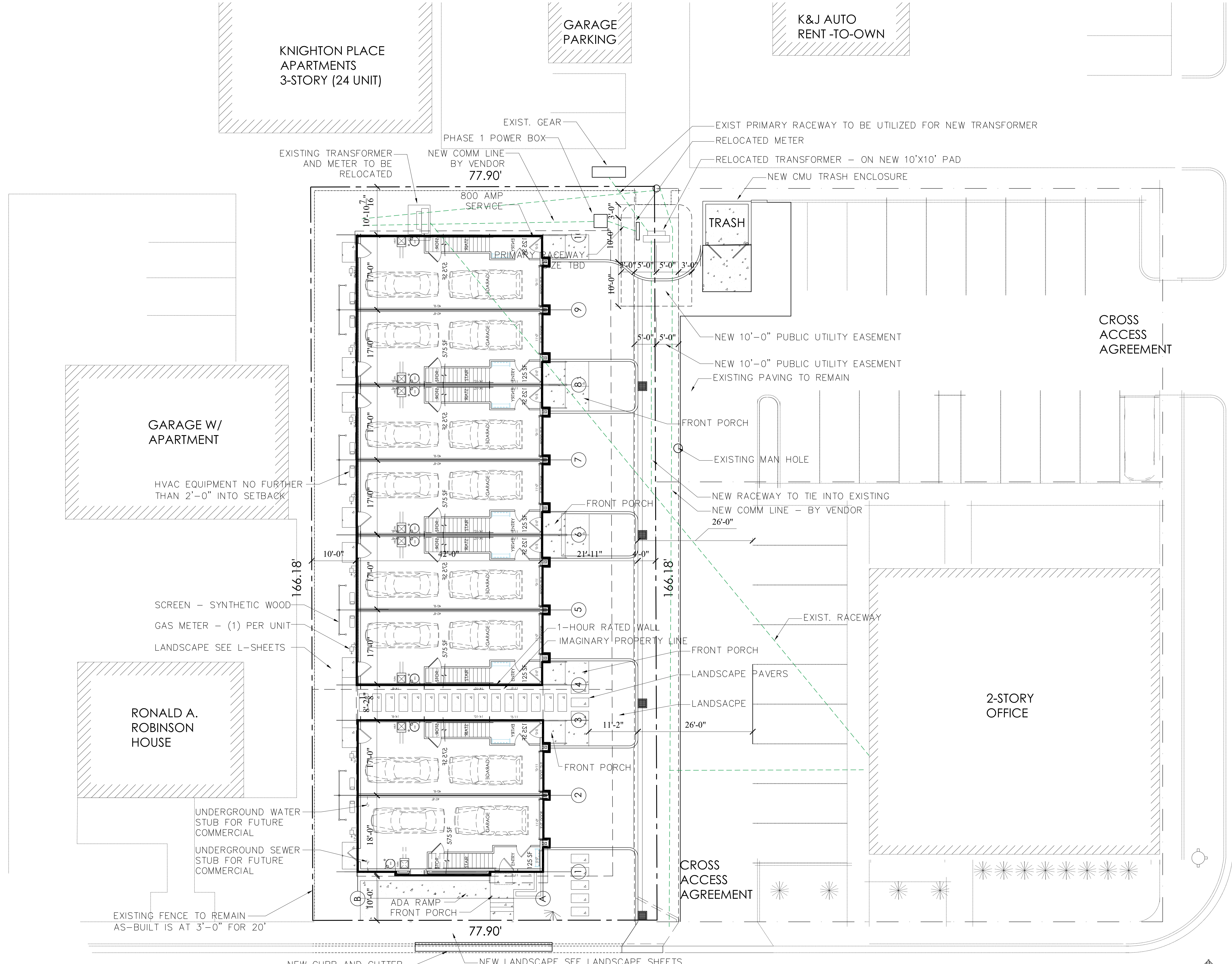
REVISION BLOCK

NO.	DATE:	DESCRIPTION:

**G100**  
COVER  
date:  
11.17.2022



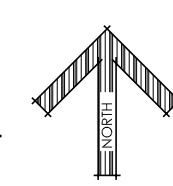
stamp:



MAIN

400 South

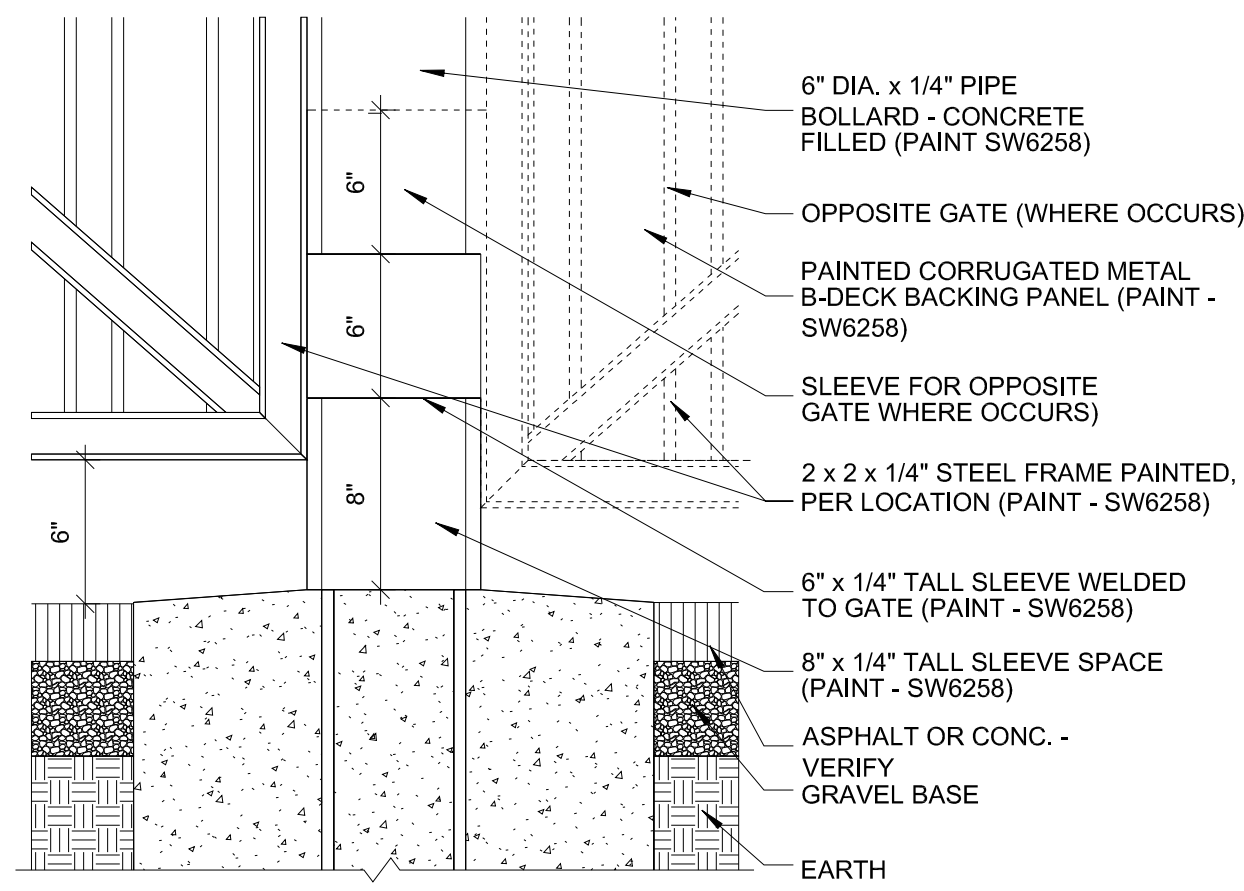
1 SITE PLAN  
SCALE: 1" = 10'-0"



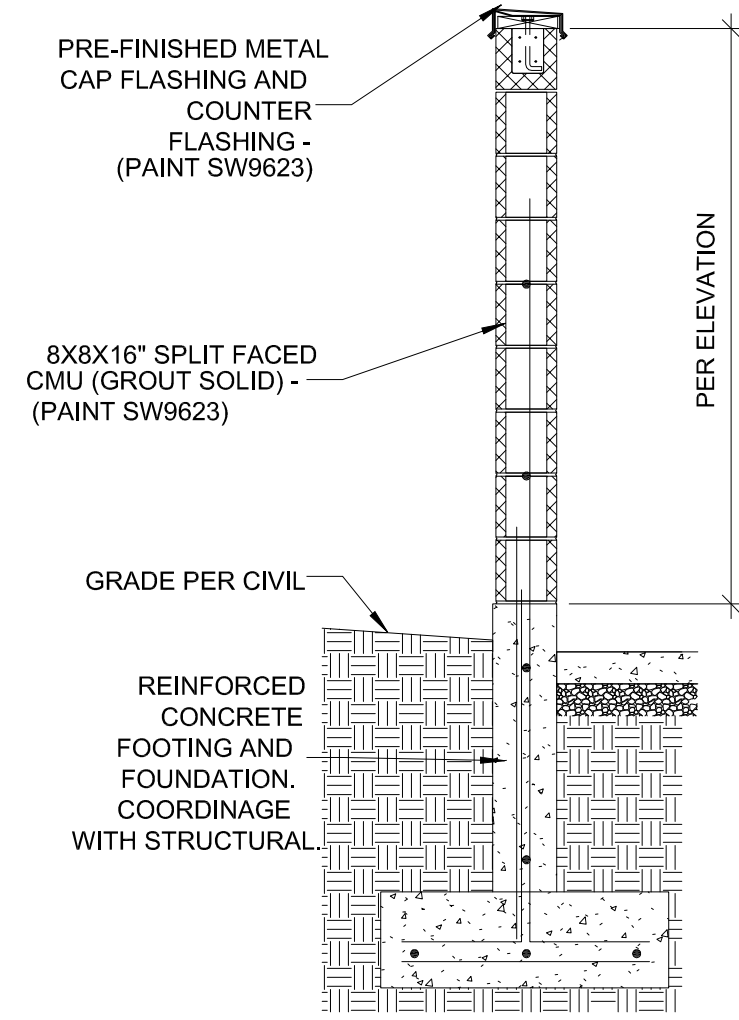
**TOWNS at 400**  
30 West 400 South  
Bountiful Utah 84010

REVISION BLOCK	
NO.	DATE: DESCRIPTION:

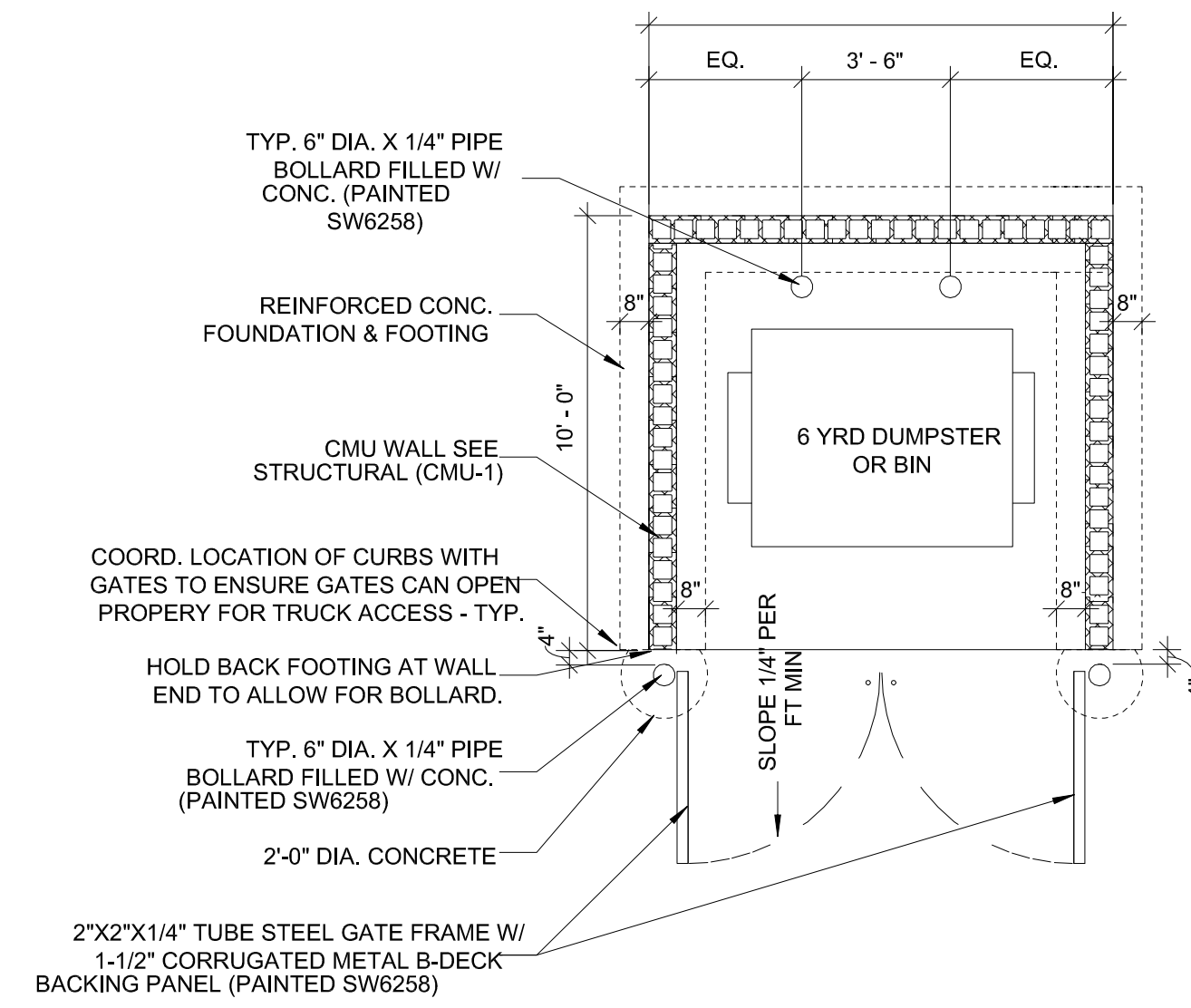
**AS100**  
SITE PLAN  
date:  
11.17.2022



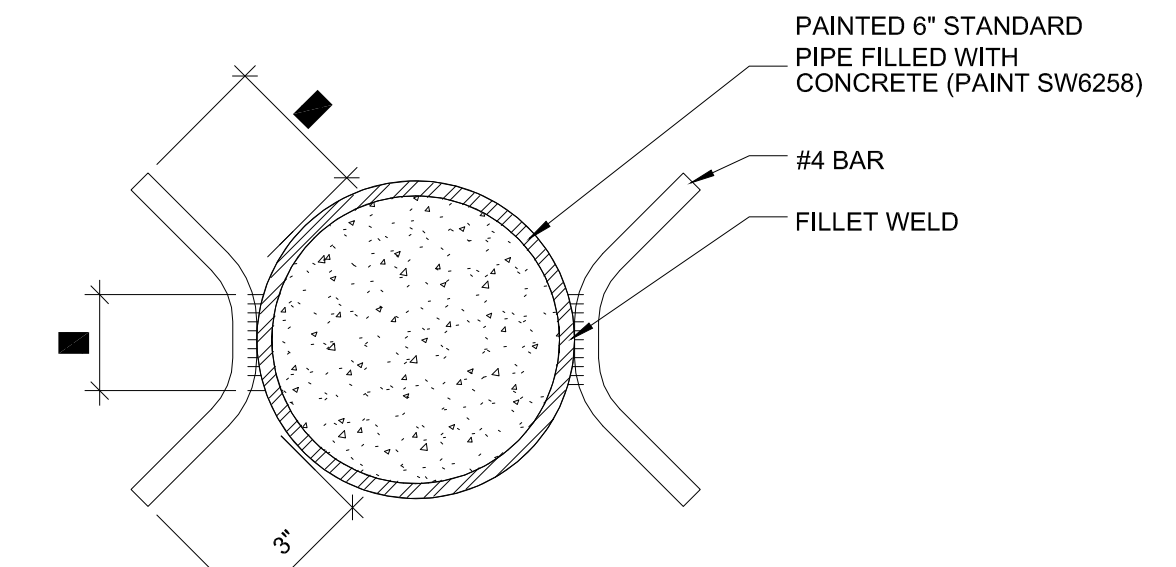
12 DUMPSTER GATE SLEEVE DETAIL  
1 1/2" = 1'-0"



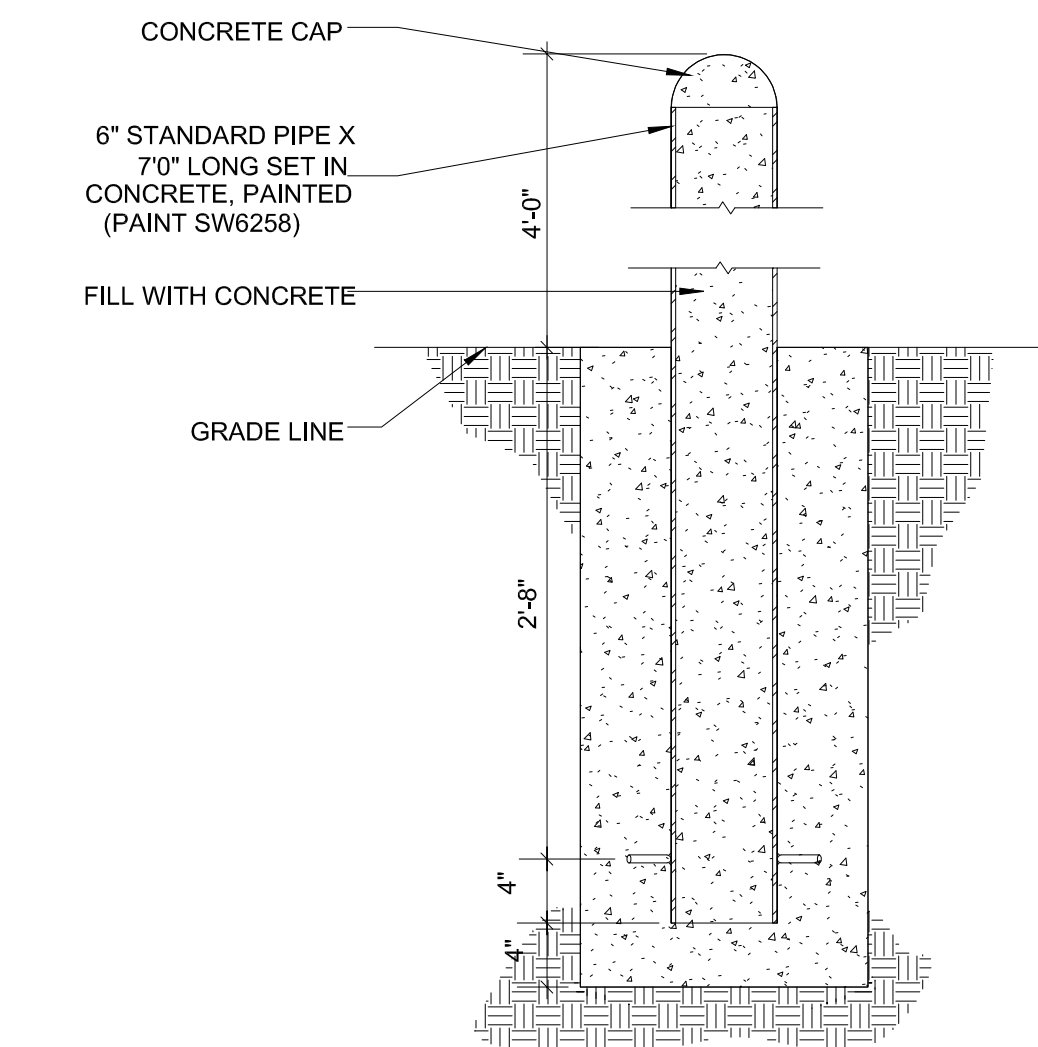
9 TRASH ENCLOSURE WALL SECTION  
1/2" = 1'-0"



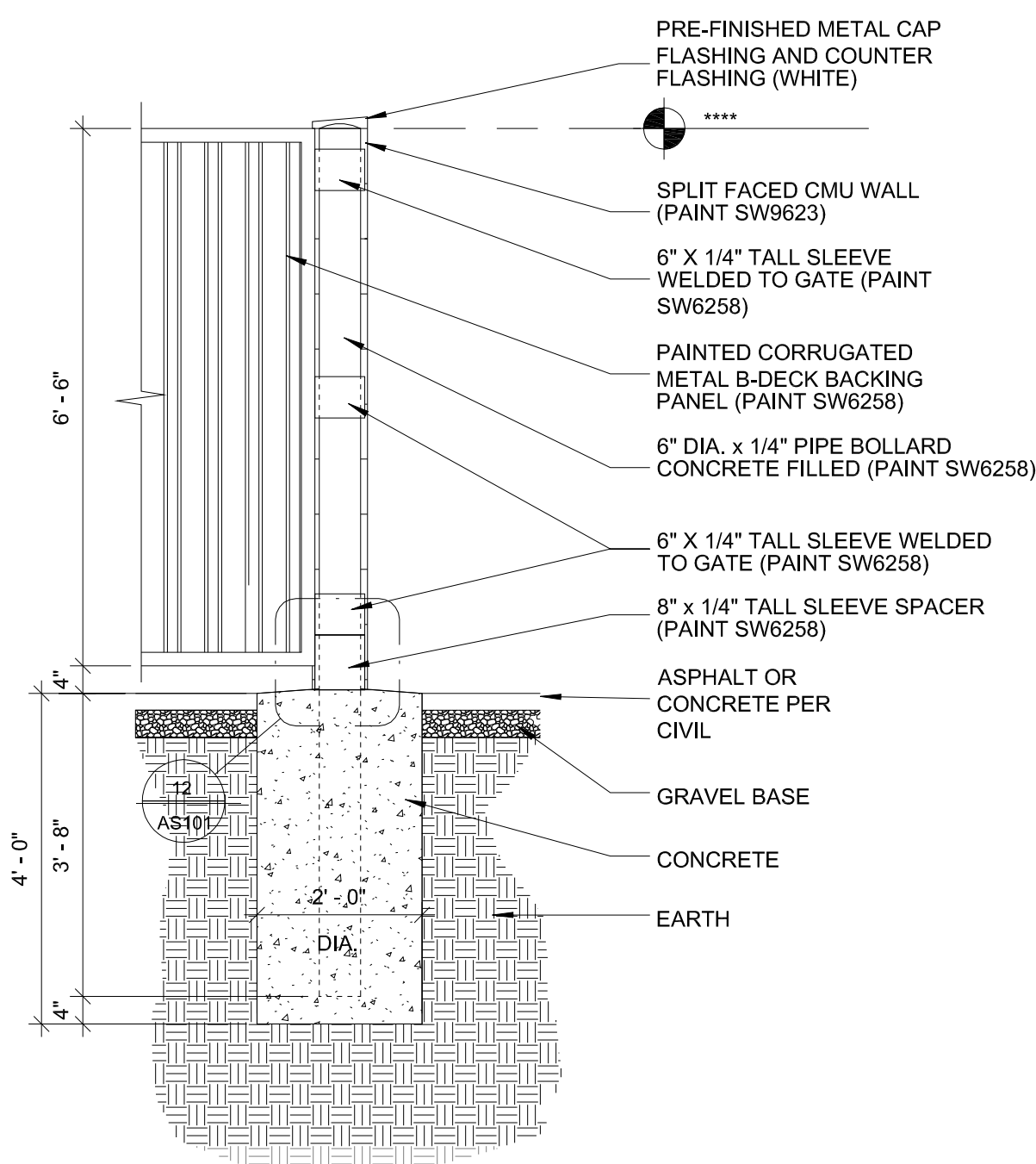
5 TRASH ENCLOSURE  
1/4" = 1'-0"



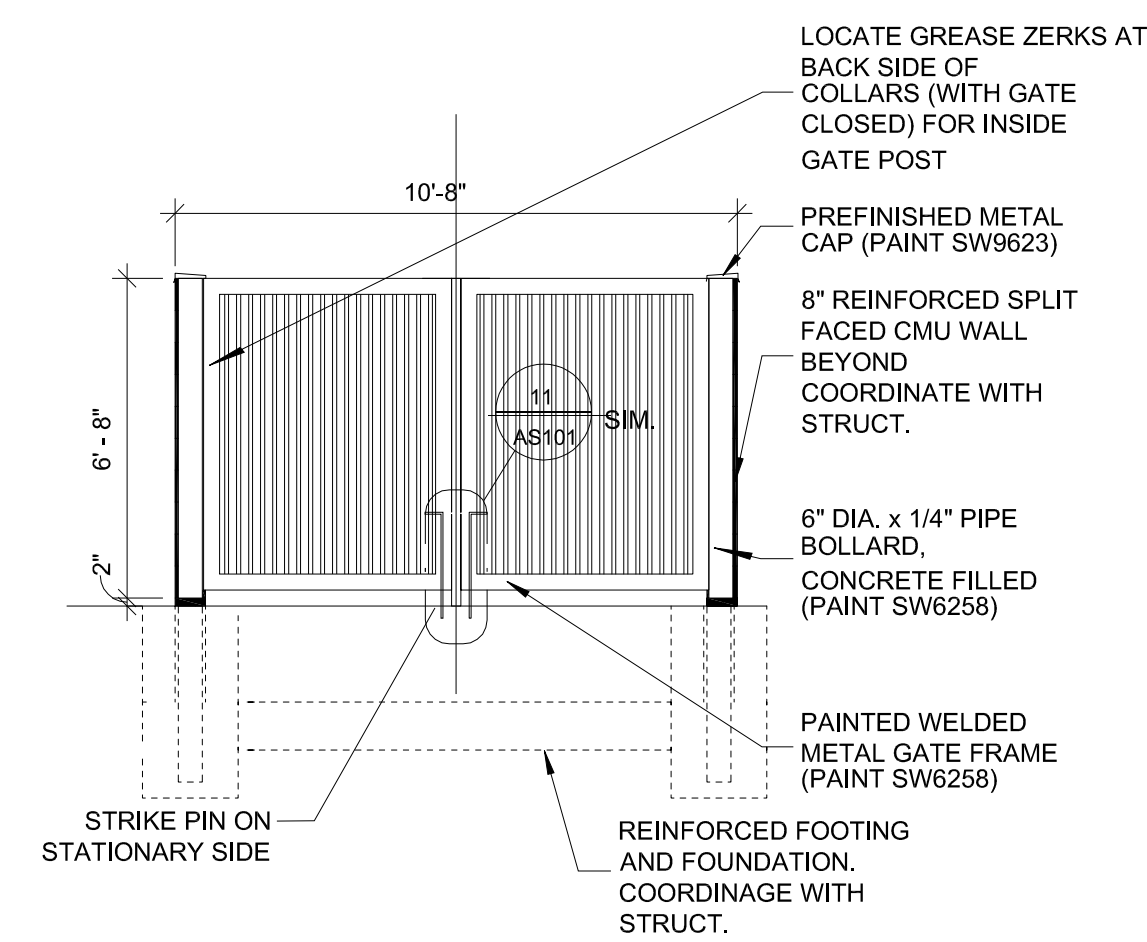
1 BOLLARD CROSS SECTION  
3" = 1'-0"



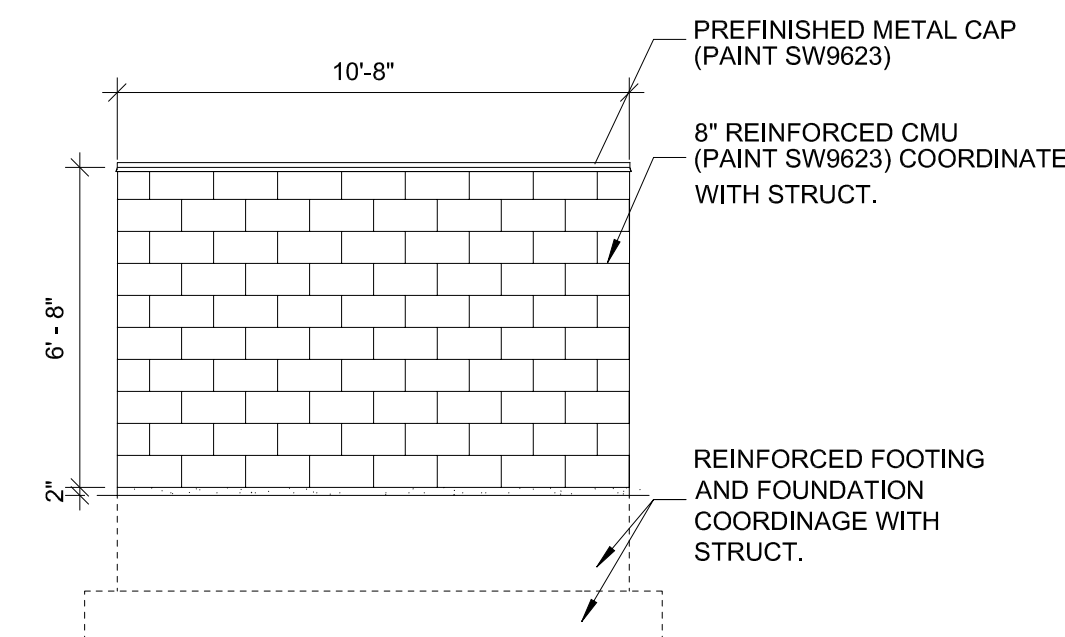
2 BOLLARD SECTION  
1/2" = 1'-0"



10 DUMPSTER GATE - END POST DETAIL  
1/2" = 1'-0"



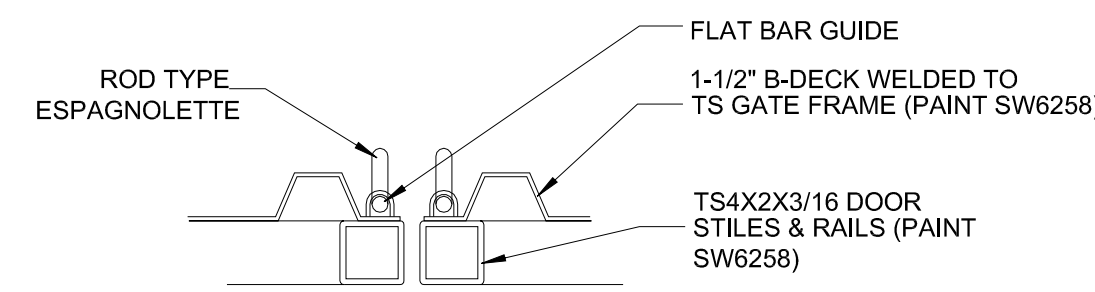
6 TRASH ENCLOSURE - FRONT ELEVATION  
1/4" = 1'-0"



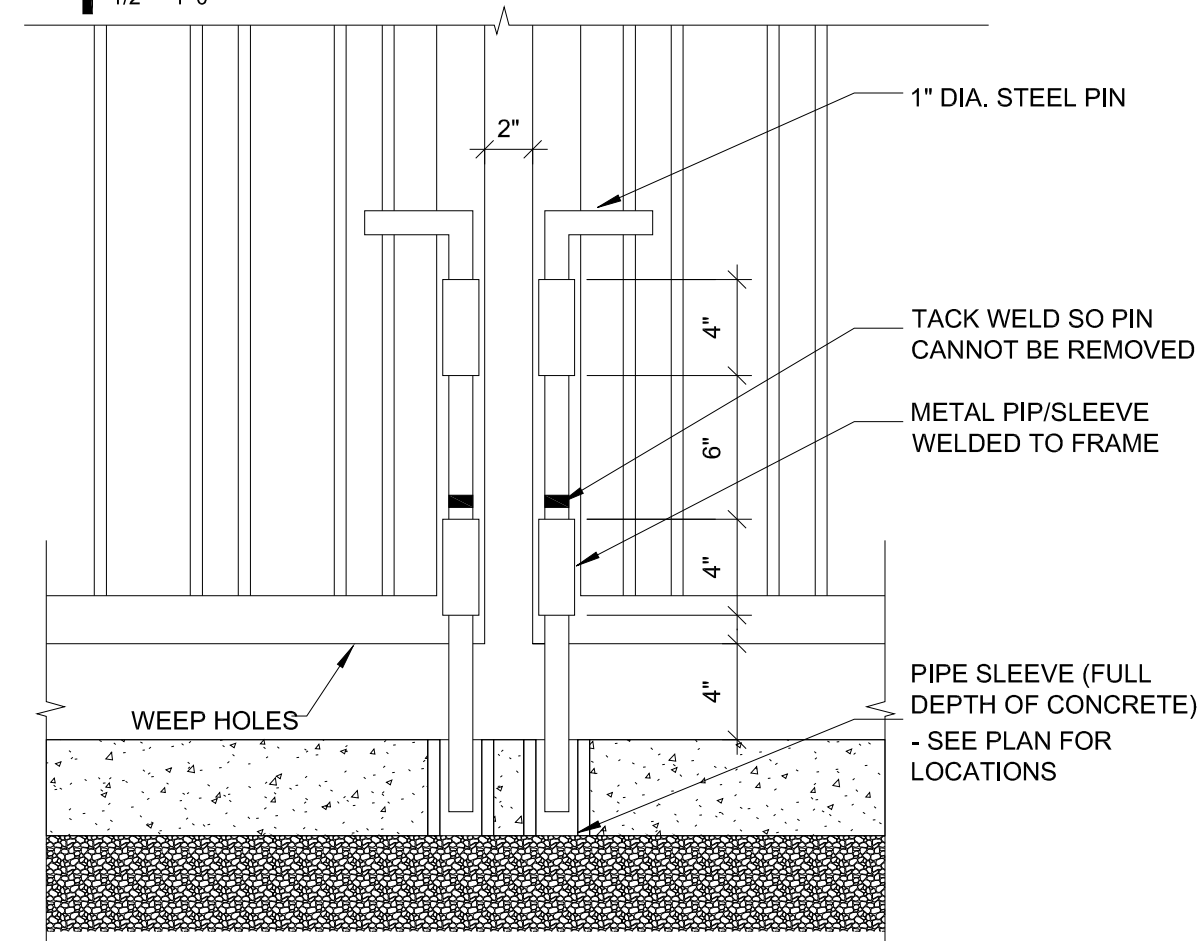
7 TRASH ENCLOSURE - BACK ELEVATION  
1/4" = 1'-0"

3 NOT USED  
1 1/2" = 1'-0"

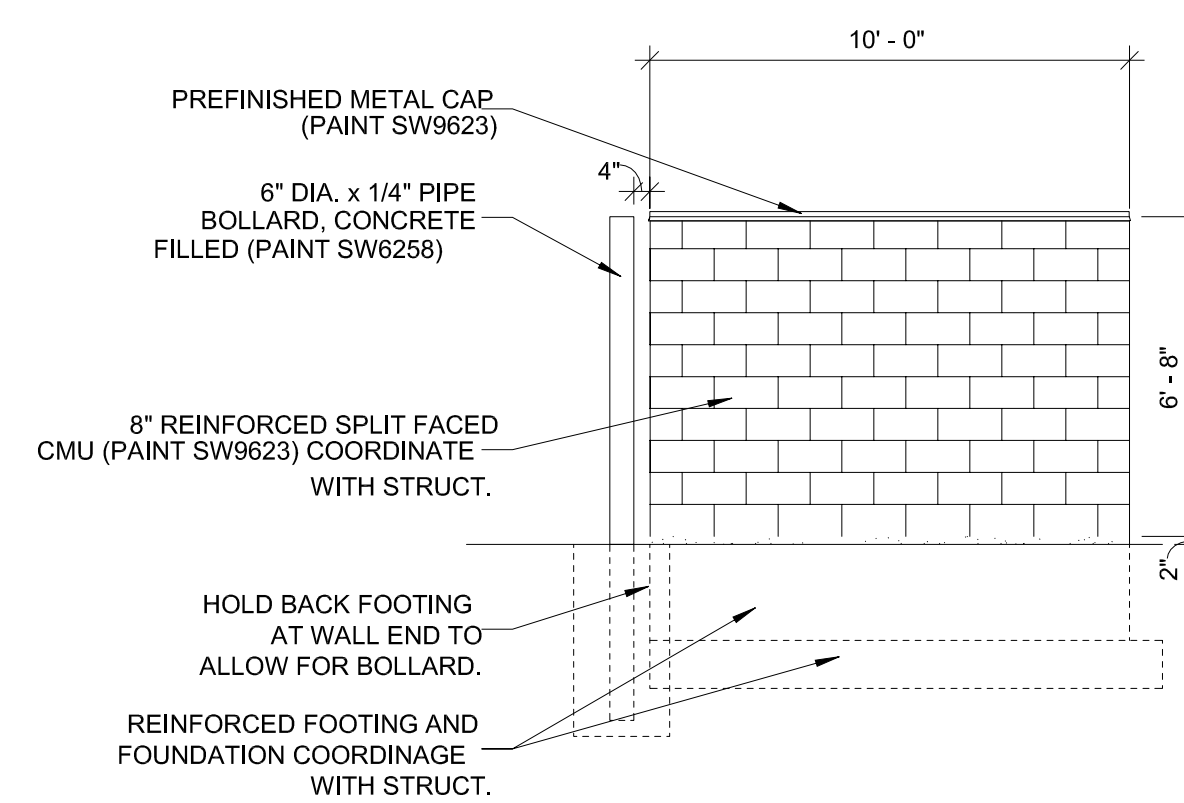
13 NOT USED  
1/2" = 1'-0"



14 GATE ESPAGOLETTE  
1" = 1'-0"

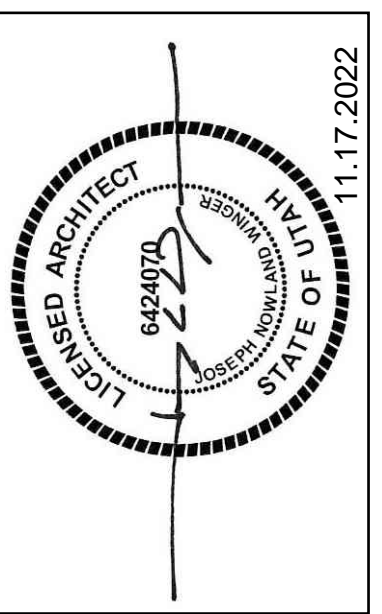


11 DUMPSTER GATE PIN  
1 1/2" = 1'-0"



8 TRASH ENCLOSURE - SIDE ELEVATION  
1/4" = 1'-0"

4 NOT USED  
1/2" = 1'-0"



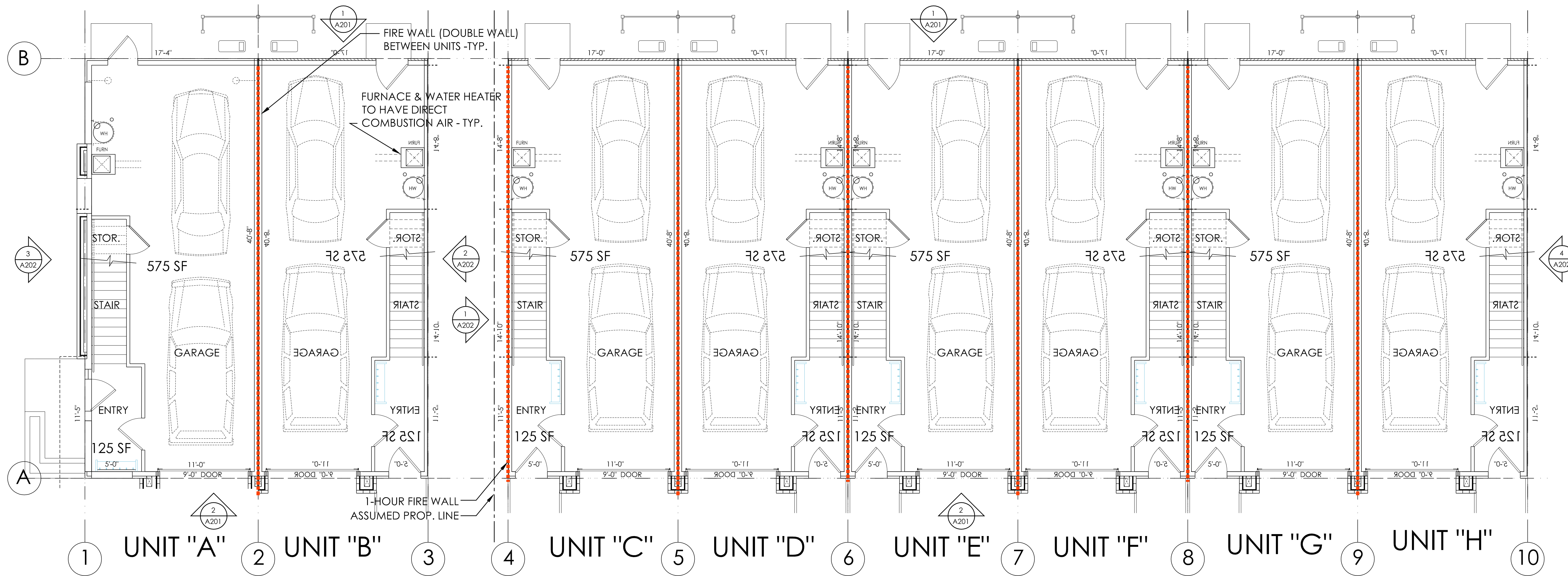
stamp:

**TOWNS at 400**  
30 West 400 South  
Bountiful Utah 84010

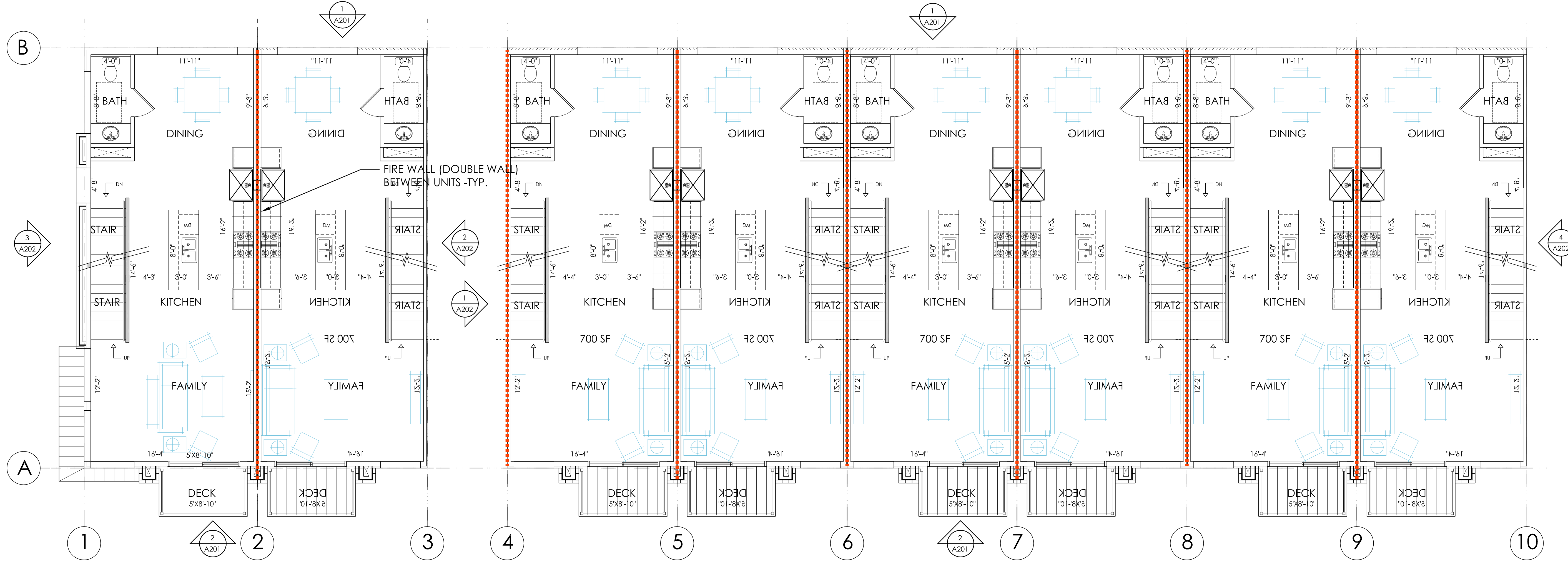
REVISION BLOCK	
NO.	DESCRIPTION:

**AS101**  
DUMPSTER  
DETAILS  
date:  
11.17.2022

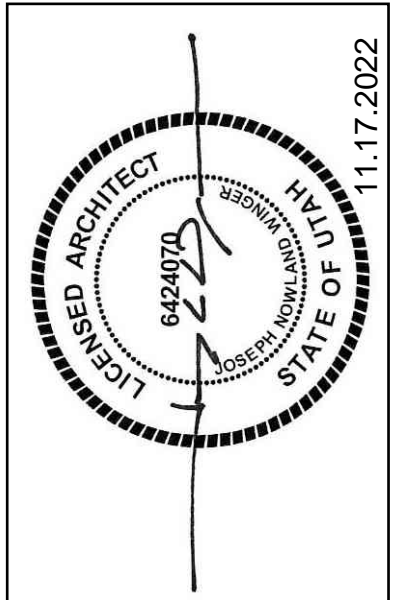




1 LEVEL 1 - OVERALL FLOOR PLAN  
SCALE: 3/32" = 1'-0"



2 LEVEL 2 - OVERALL FLOOR PLAN  
SCALE: 3/32" = 1'-0"

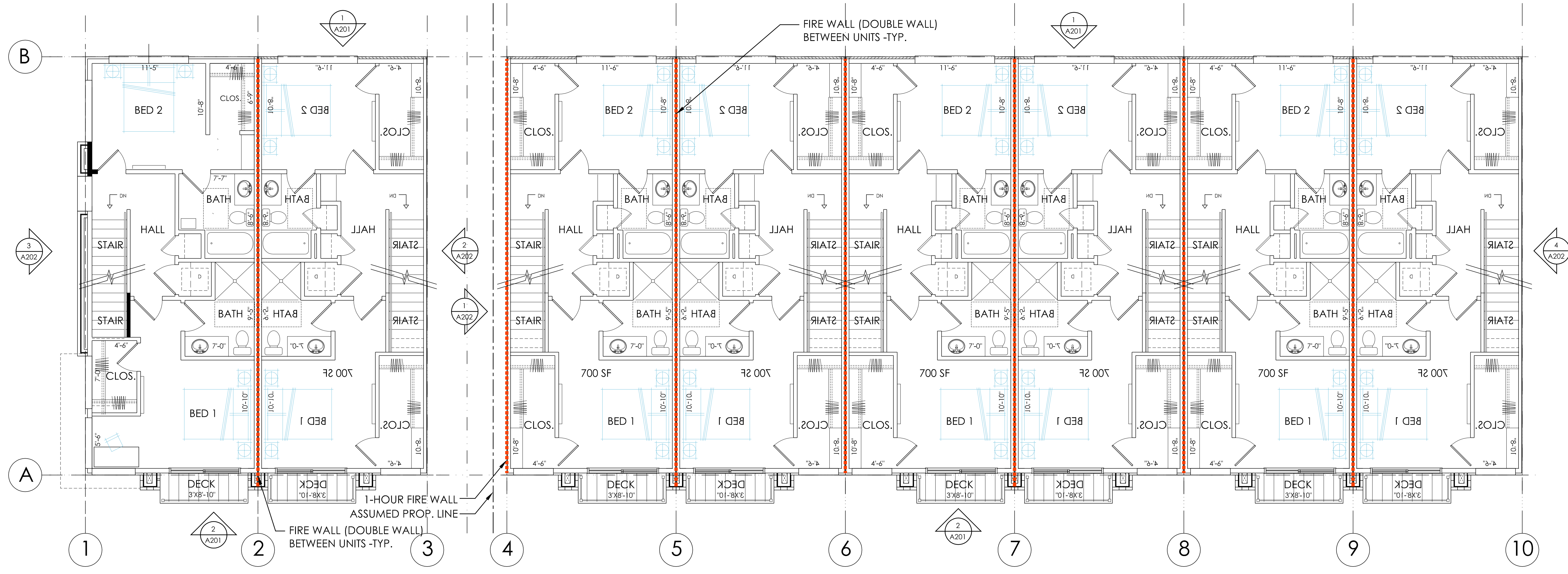


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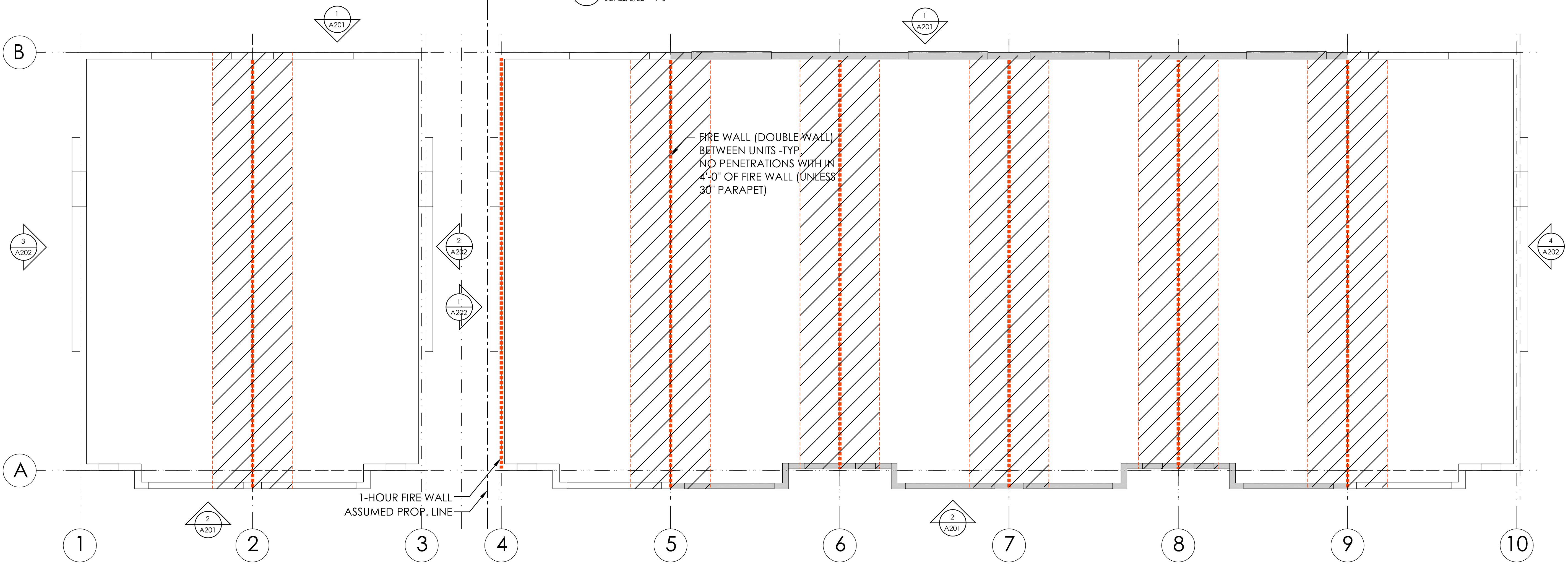
**TOWNS at 400**  
30 West 400 South  
Bountiful Utah 84010

REVISION BLOCK	
NO.	DATE: DESCRIPTION:

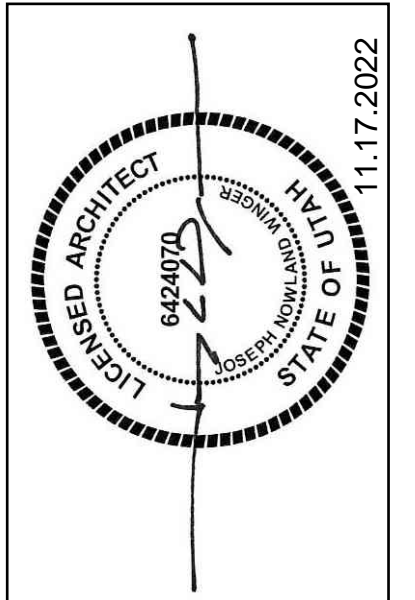
**A101**  
LEVEL 1&2  
date:  
11.17.2022



1 LEVEL 3 - OVERALL FLOOR PLAN  
SCALE: 3/32" = 1'-0"



2 ROOF - OVERALL ROOF PLAN  
SCALE: 3/32" = 1'-0"

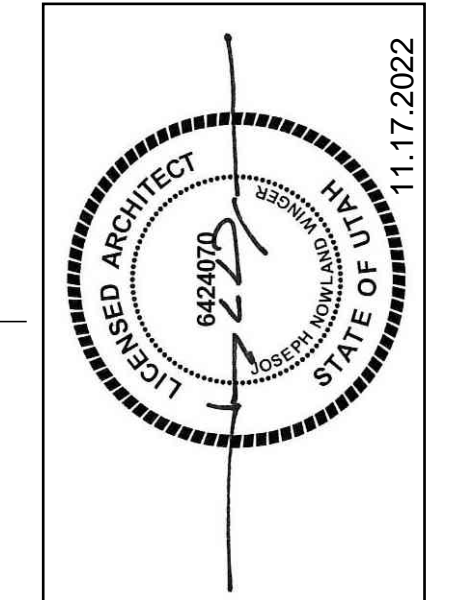


stamp:

**TOWNS at 400**  
30 West 400 South  
Bountiful Utah 84010

REVISION BLOCK	
NO.	DESCRIPTION:

**A102**  
LEVEL 3&ROOF  
date:  
11.17.2022



stamp:



1 LEVEL 1 - FLOOR PLAN (UNIT A)  
SCALE: 1/4" = 1'-0"

2 LEVEL 2 - FLOOR PLAN (UNIT A)  
SCALE: 1/4" = 1'-0"

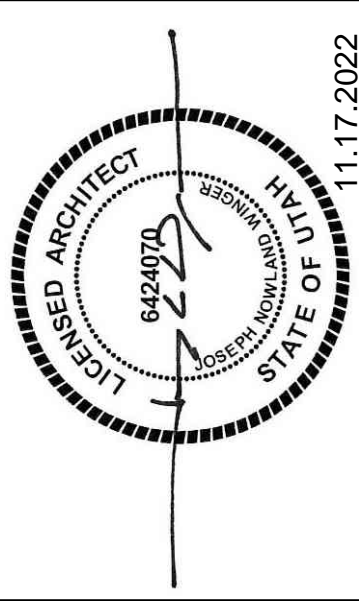
3 LEVEL 3 - FLOOR PLAN (UNIT A)  
SCALE: 1/4" = 1'-0"

4 ROOF PLAN (UNIT A)  
SCALE: 1/4" = 1'-0"

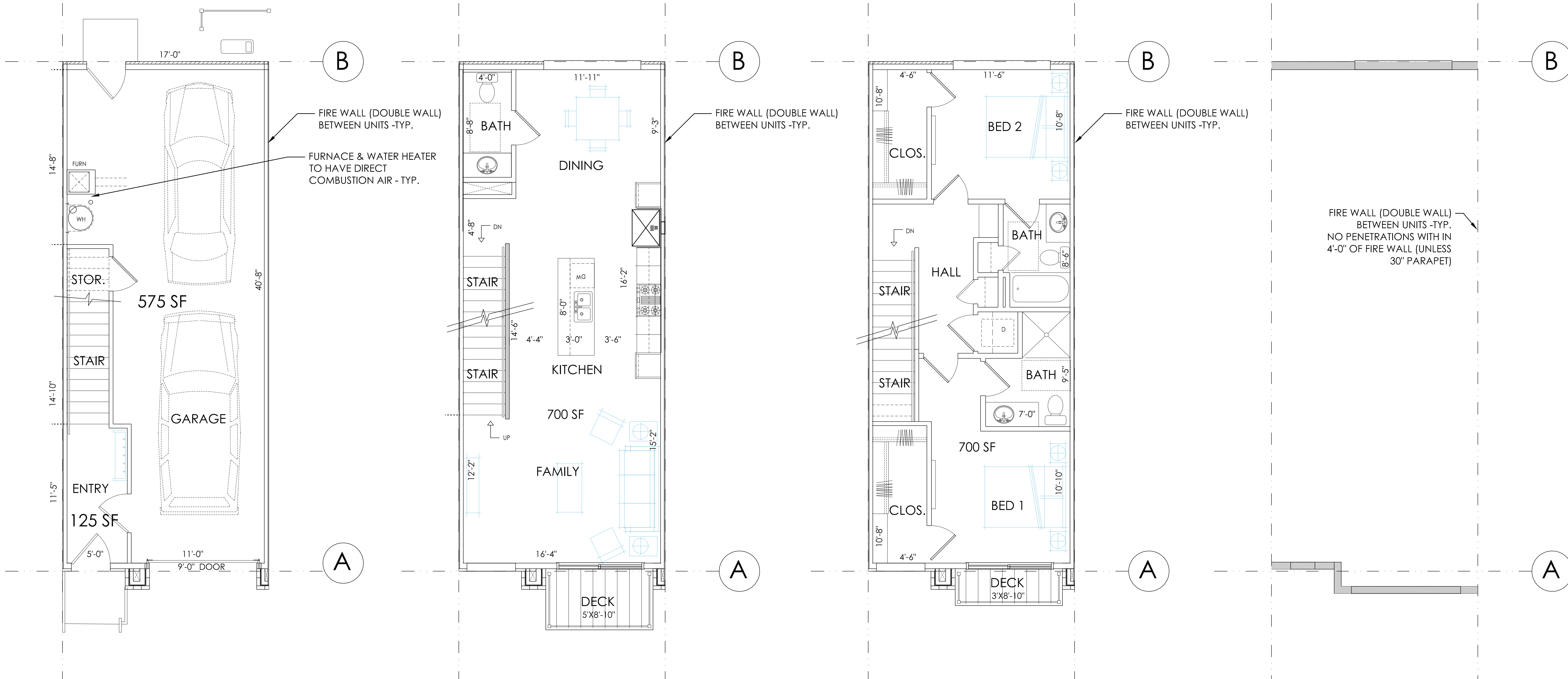
**TOWNS at 400**  
30 West 400 South  
Bountiful Utah 84010

REVISION BLOCK	
NO.	DESCRIPTION:

**A103**  
UNIT A PLANS  
date:  
11.17.2022



stamp:



1 LEVEL 1 - FLOOR PLAN (UNIT B-H)  
SCALE: 1/4" = 1'-0"

2 LEVEL 2 - FLOOR PLAN (UNIT B-H)  
SCALE: 1/4" = 1'-0"

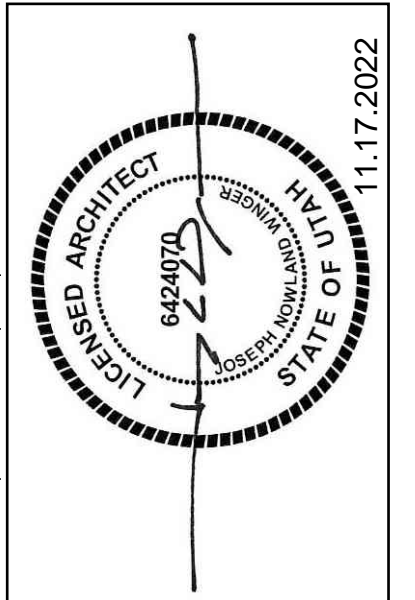
3 LEVEL 3 - FLOOR PLAN (UNIT B-H)  
SCALE: 1/4" = 1'-0"

4 ROOF PLAN (UNIT B-H)  
SCALE: 1/4" = 1'-0"

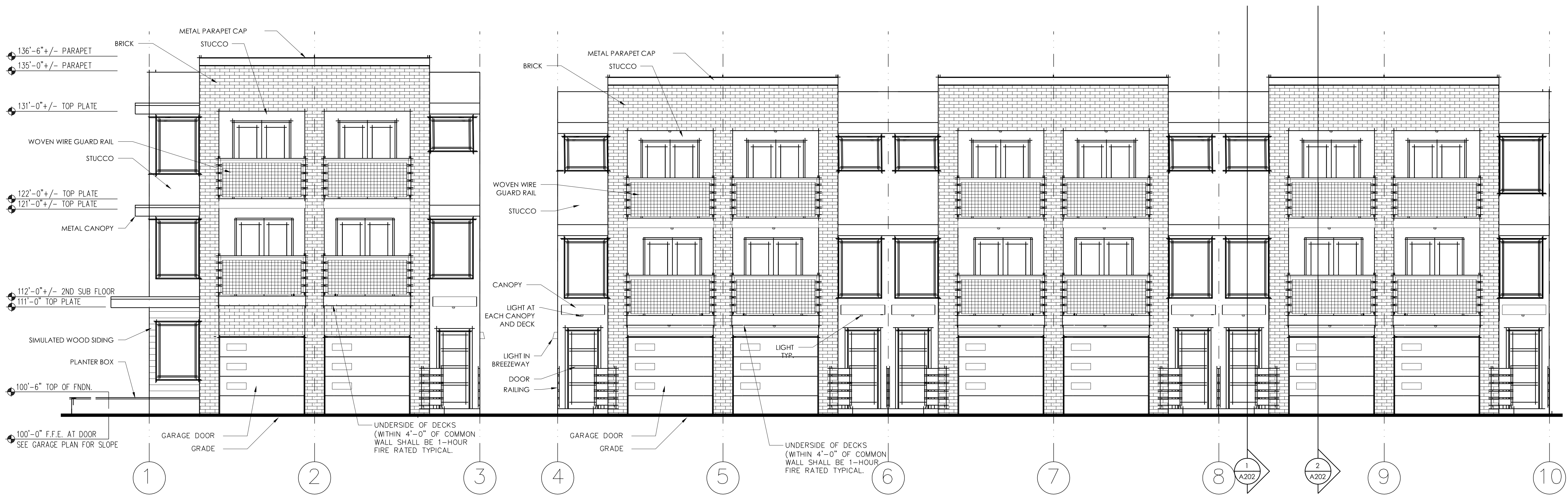
**TOWNS at 400**  
30 West 400 South  
Bountiful Utah 84010

REVISION BLOCK	NO.	DATE	DESCRIPTION

**A104**  
UNIT G-H  
PLANS  
date:  
11.17.2022



stamp:



134'-6" +/- TOP PLATE  
 133'-0" +/- TOP PLATE  
 129'-0" +/- TOP PLATE  
 120'-0" +/- TOP PLATE  
 119'-0" +/- TOP PLATE  
 110'-0" +/- 2ND SUB FLOOR  
 109'-0" TOP PLATE  
 100'-6" TOP OF FNDN.

**SOUTH BUILDING FINISHES (%):**  
 STUCCO: 44%  
 OTHER FINISHES: 56%

**2 WEST ELEVATION**  
 SCALE: 3/32" = 1'-0"

**NORTH BUILDING FINISHES (%):**  
 STUCCO: 48%  
 OTHER FINISHES: 52%

**TOWNS at 400**  
 30 West 400 South  
 Bountiful Utah 84010

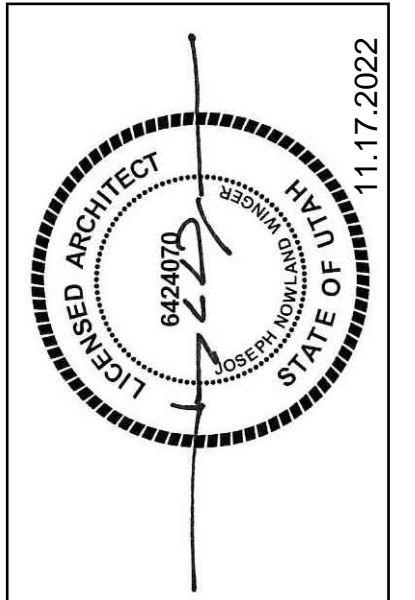


136'-6" +/- PARAPET  
 135'-0" +/- PARAPET  
 131'-0" +/- TOP PLATE  
 122'-0" +/- TOP PLATE  
 121'-0" +/- TOP PLATE  
 112'-0" +/- 2ND SUB FLOOR  
 111'-0" TOP PLATE  
 100'-6" TOP OF FNDN.  
 100'-0" F.F.E. AT DOOR  
 SEE GARAGE PLAN FOR SLOPE

**1 EAST ELEVATION**  
 SCALE: 3/32" = 1'-0"

REVISION BLOCK	
NO.	DATE: DESCRIPTION:

**A201**  
**ELEVATIONS**  
 date: 11.17.2022

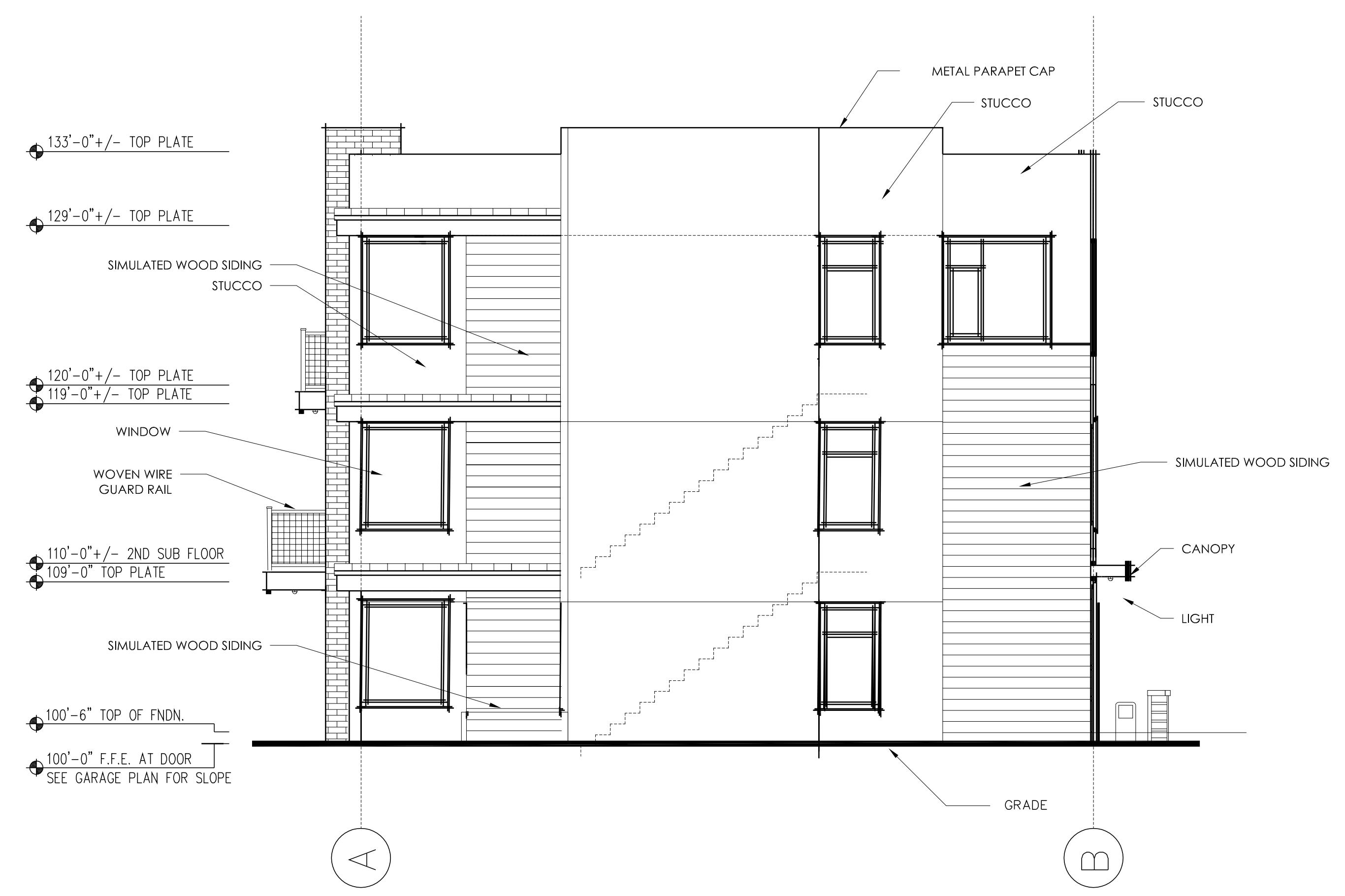


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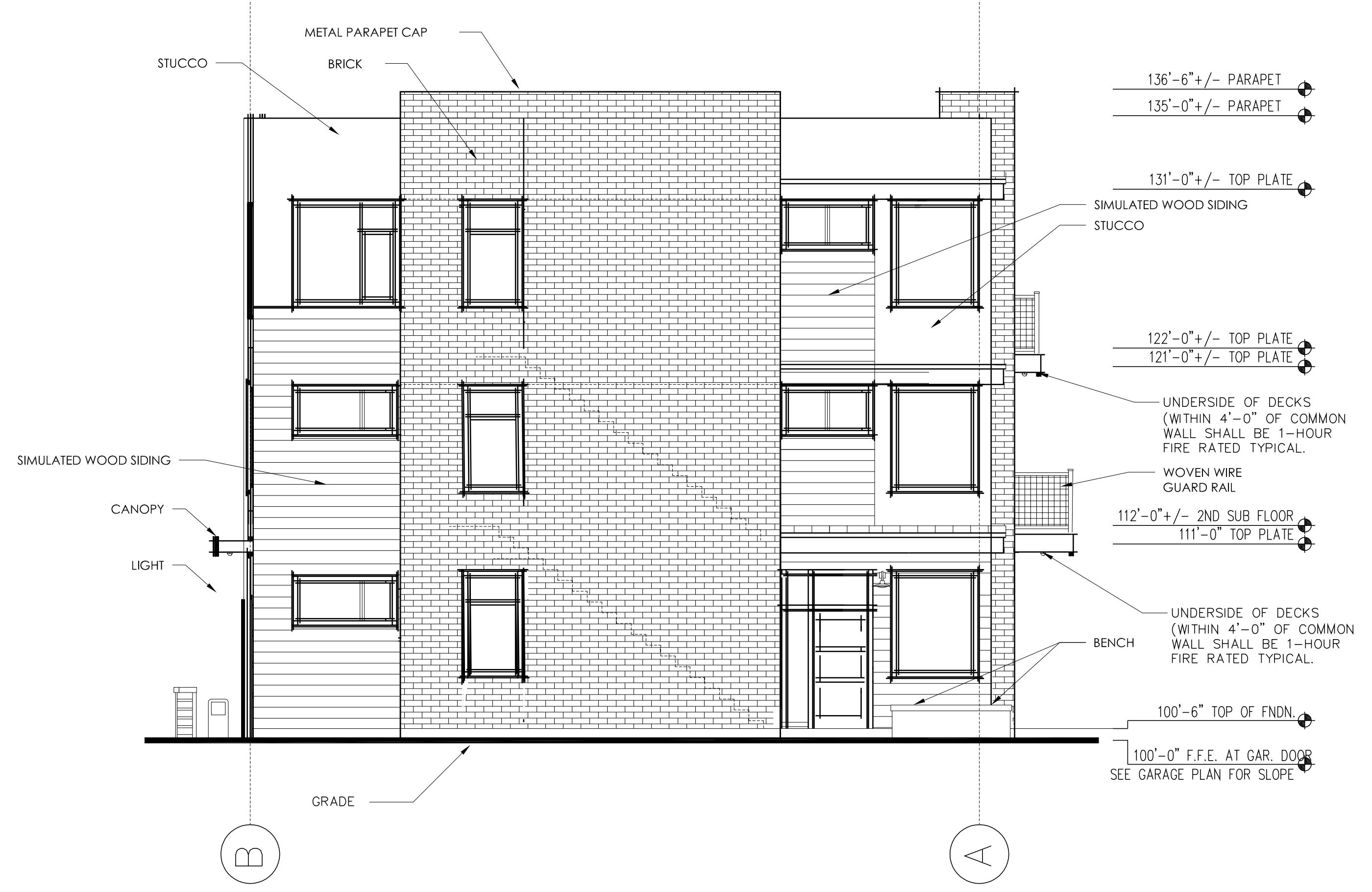
**TOWNS at 400**  
 30 West 400 South  
 Bountiful Utah 84010

REVISION BLOCK	
NO.	DATE: DESCRIPTION:

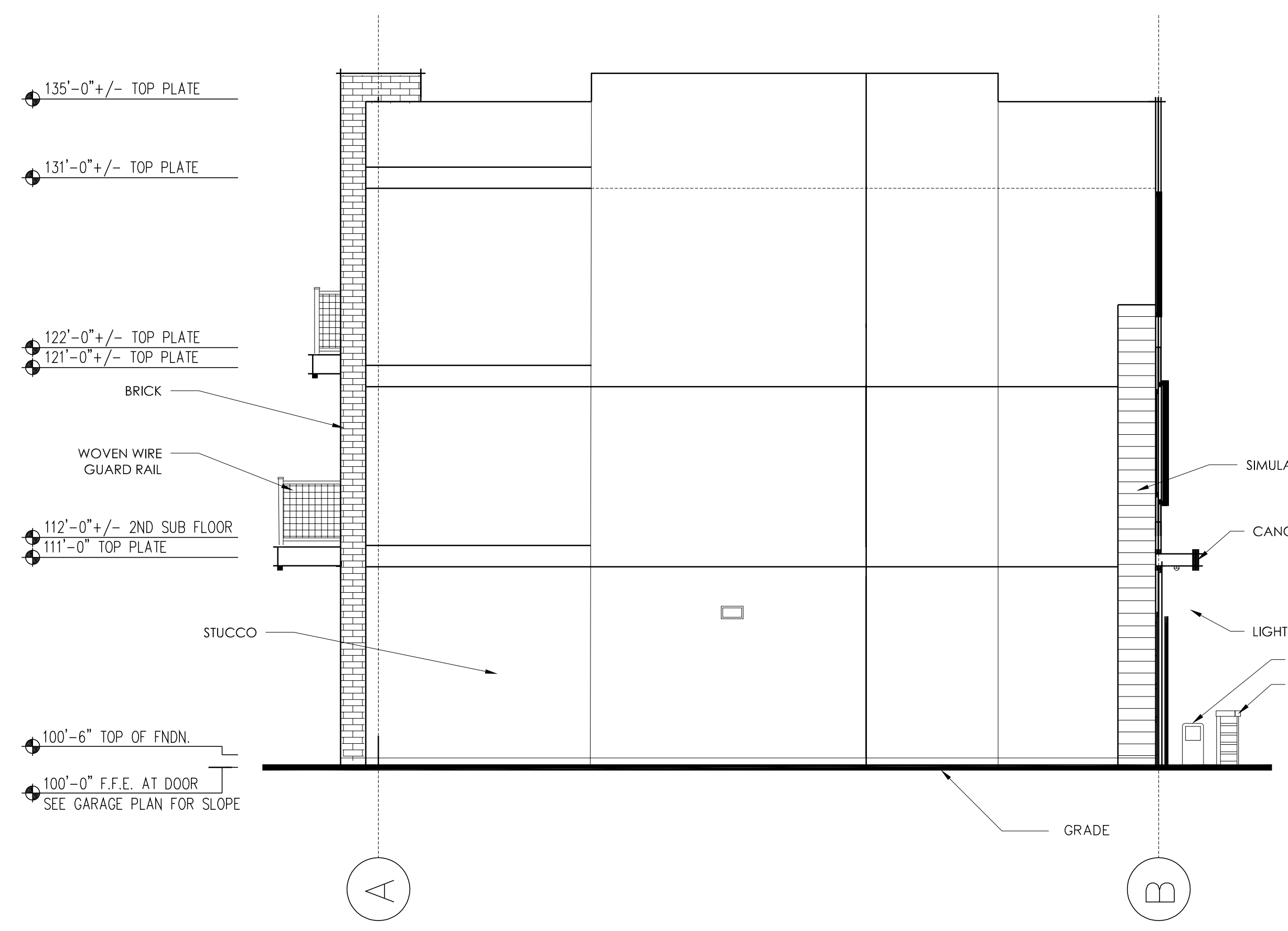
**A202**  
 ELEV & SECT  
 date:  
 11.17.2022



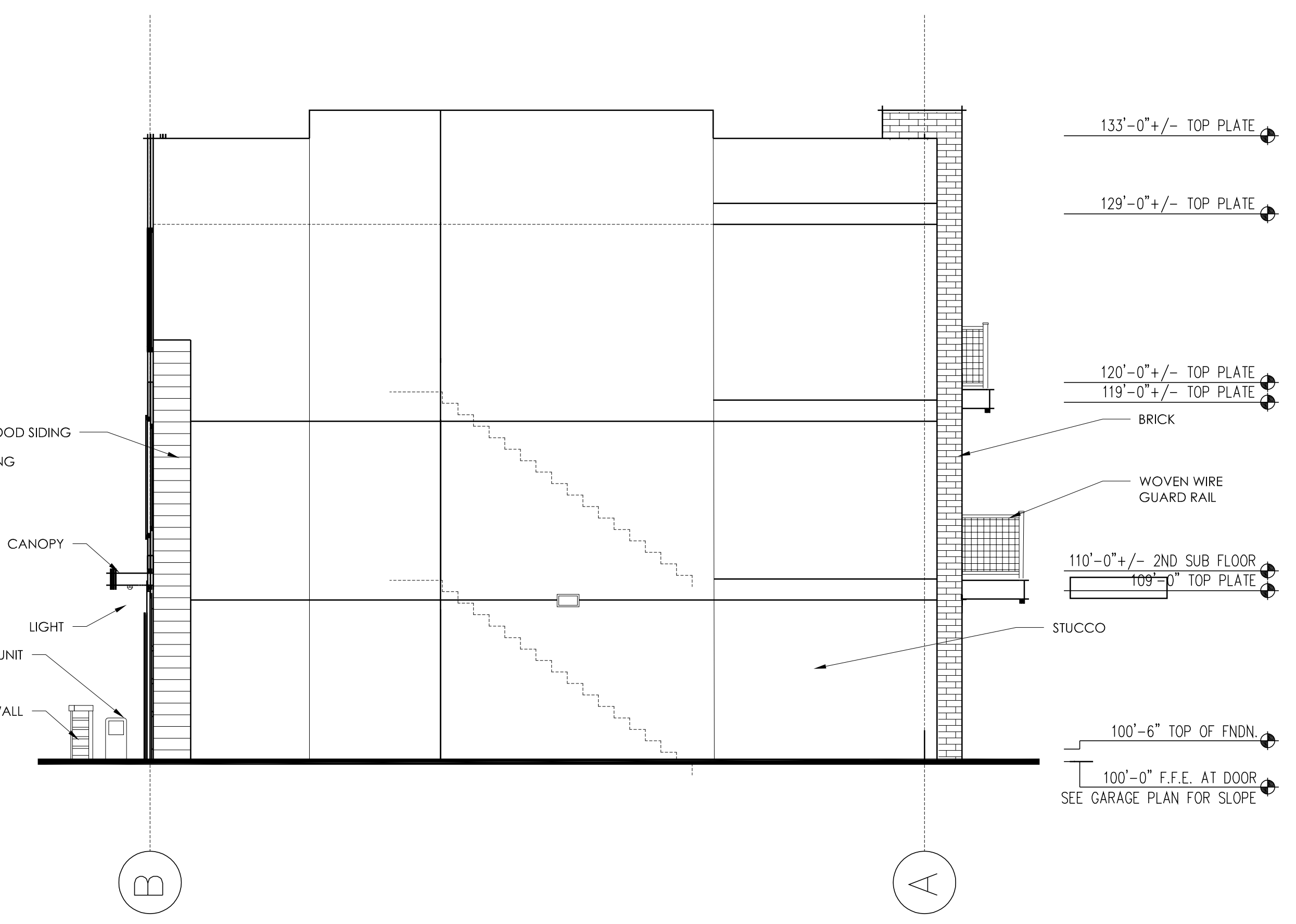
**4 BUILDING ELEVATION**  
 SCALE: 3/32" = 1'-0"



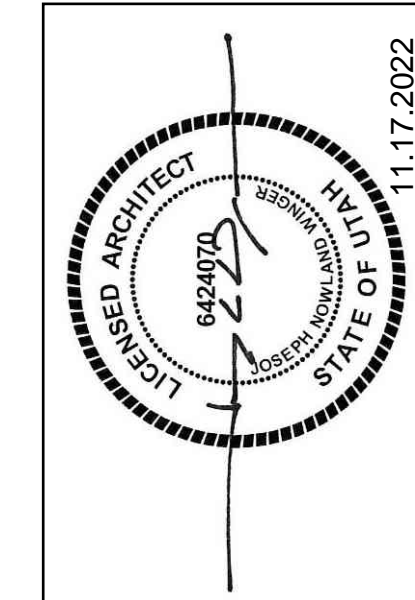
**3 BUILDING ELEVATION**  
 SCALE: 3/32" = 1'-0"



**2 BUILDING ELEVATION**  
 SCALE: 3/32" = 1'-0"

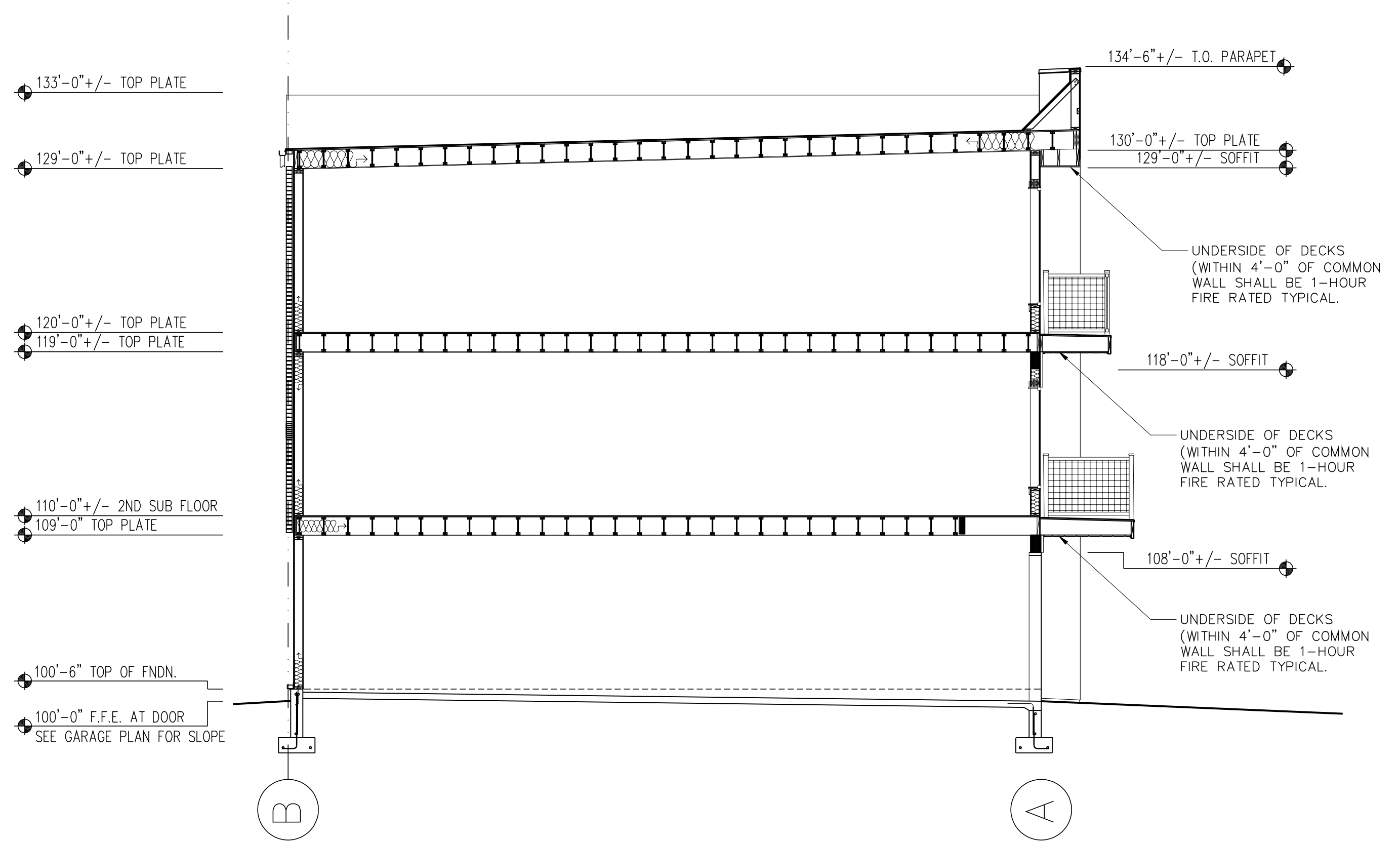


**1 BUILDING ELEVATION**  
 SCALE: 3/32" = 1'-0"

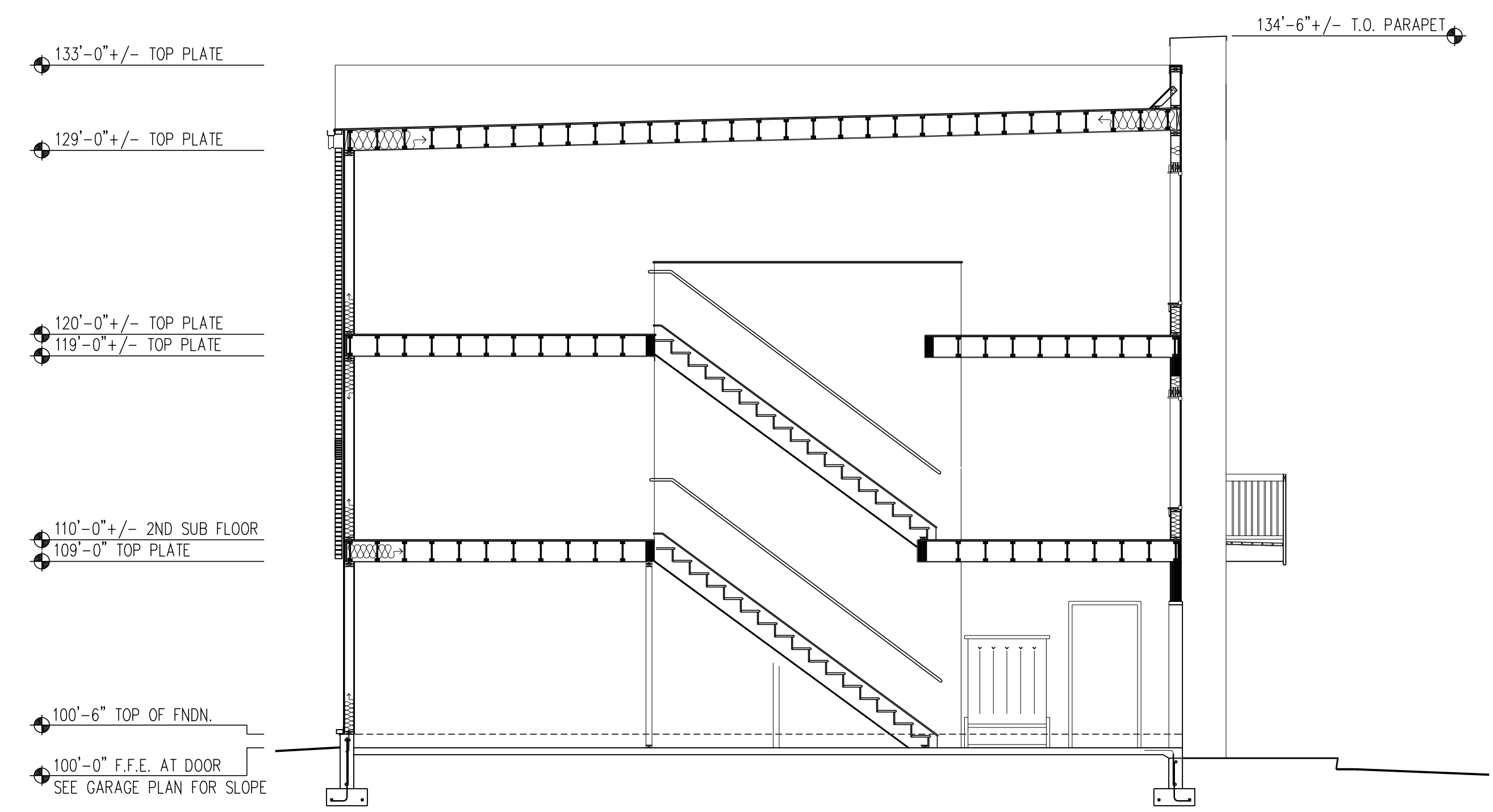


stamp:

**TOWNS at 400**  
 30 West 400 South  
 Bountiful Utah 84010



**2** BUILDING SECTION  
 SCALE: 3/32" = 1'-0"



**1** BUILDING SECTION  
 SCALE: 3/32" = 1'-0"

REVISION BLOCK	
NO.	DESCRIPTION:

**A203**  
 SECT & DETAIL  
 date:  
 11.17.2022

# BOUNTIFUL 390 APARTMENTS CONSTRUCTION DRAWINGS

11/17/2022



### LEGEND EXISTING

- - - - - ADJACENT PROPERTY BOUNDARY
- W CULINARY WATER LINE
- SS SANITARY SEWER LINE
- SD STORM DRAIN LINE
- IR IRRIGATION LINE
- G GAS LINE
- E UNDERGROUND POWER LINE
- e AERIAL POWER LINE
- c UNDERGROUND COMMUNICATION LINE
- #### CONTOUR MINOR
- #### CONTOUR MAJOR
- X X FENCE
- ASPHALT PAVEMENT
- CLOSED FACE CURB AND GUTTER
- OPEN FACE CURB AND GUTTER
- CONCRETE PAVEMENT
- X X X X EXISTING TO BE REMOVED
- W WATER VALVE
- O FIRE HYDRANT
- W WATER METER
- S SEWER MANHOLE
- S STORM DRAIN BOX
- STORM WATER CATCH BASIN
- ROAD SIGN
- POWER POLE
- DECIDUOUS TREE
- CONIFEROUS TREE

### LEGEND PROPOSED

- PROPERTY BOUNDARY
- W CULINARY WATER LINE (SIZE SHOWN ON PLAN)
- SS SANITARY SEWER LINE (SIZE SHOWN ON PLAN)
- SD STORM DRAIN LINE (SIZE SHOWN ON PLAN)
- IR IRRIGATION LINE (SIZE SHOWN ON PLAN)
- G GAS LINE
- E UNDERGROUND POWER LINE
- E AERIAL POWER LINE
- C UNDERGROUND COMMUNICATION LINE
- #### CONTOUR MAJOR
- #### CONTOUR MINOR
- X X FENCE
- ASPHALT PAVEMENT
- CLOSED FACE CURB & GUTTER
- OPEN FACE CURB & GUTTER
- CURB & GUTTER TRANSITION
- CONCRETE PAVEMENT
- W WATER VALVE
- O FIRE HYDRANT
- W WATER METER
- S SEWER MANHOLE
- S STORM DRAIN BOX
- STORM WATER CATCH BASIN
- ROAD SIGN

7. ALL MATERIALS, WORKMANSHIP, CONSTRUCTION AND PLACEMENT SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS AS DEFINED IN THE MANUAL OF STANDARD SPECIFICATIONS AND MANUAL OF STANDARD PLANS, UTAH CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS. WHERE THERE IS A CONFLICT BETWEEN THESE PLANS, SPECIFICATIONS OR ANY APPLICABLE STANDARD, THE MOST RESTRICTIVE STANDARD SHALL APPLY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL MEANS REQUIRED TO PROTECT EXISTING UTILITIES AND/OR TO WORK AROUND SUCH UTILITIES. THIS INCLUDES, BUT IS NOT LIMITED TO, SUPPORTING EXISTING UTILITIES, SHORING AROUND EXISTING UTILITIES, PHASING OF WORK AND TRAFFIC CONTROL.
16. MUD AND DEBRIS MUST BE REMOVED BY THE END OF EACH WORKING DAY BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, HAND SWEEPING, ETC.).
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-CONSTRUCTED INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE. THIS RECORD DRAWING SET SHALL BE AVAILABLE TO THE OWNERS/ENGINEERS DESIGNATED REPRESENTATIVE AT ALL TIMES.
18. WORK ACTIVITY AND SCHEDULES SHALL BE COORDINATED WITH THE OWNER AND THEIR ACTIVITIES ON-SITE.
19. UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS AND SPECIFICATIONS.
20. IMPROVEMENTS DEPICTED IN THESE PLANS AND CONSTRUCTED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR TO BE FREE FROM MATERIAL AND WORKMANSHIP DEFECTS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
21. THE APPROVED, DESIGNATED PROJECT SUPERVISOR SHALL BE ON-SITE WHILE WORK IS BEING CONDUCTED.
22. SOIL COMPACTION EFFORT SHALL BE PER GEOTECHNICAL REPORT BY CIVIL SOLUTIONS GROUP.

Sheet Number	Sheet Title
C001	COVER & LEGEND
C101	DEMOLITION PLAN
C102	SITE & DIMENSION PLAN
C201	GRADING PLAN
C301	STORM DRAIN & UTILITY PLAN
C501	DETAILS
C502	DETAILS
C503	DETAILS

TOWNS AT 400  
30 WEST 400 SOUTH  
BOUNTIFUL, UTAH

MARK	DATE	DESCRIPTION

PROJECT #: 22-009  
DRAWN BY: A. OCHSENBEIN  
PROJECT MANAGER: W. SOUTHWICK  
ISSUED: 11/17/2022

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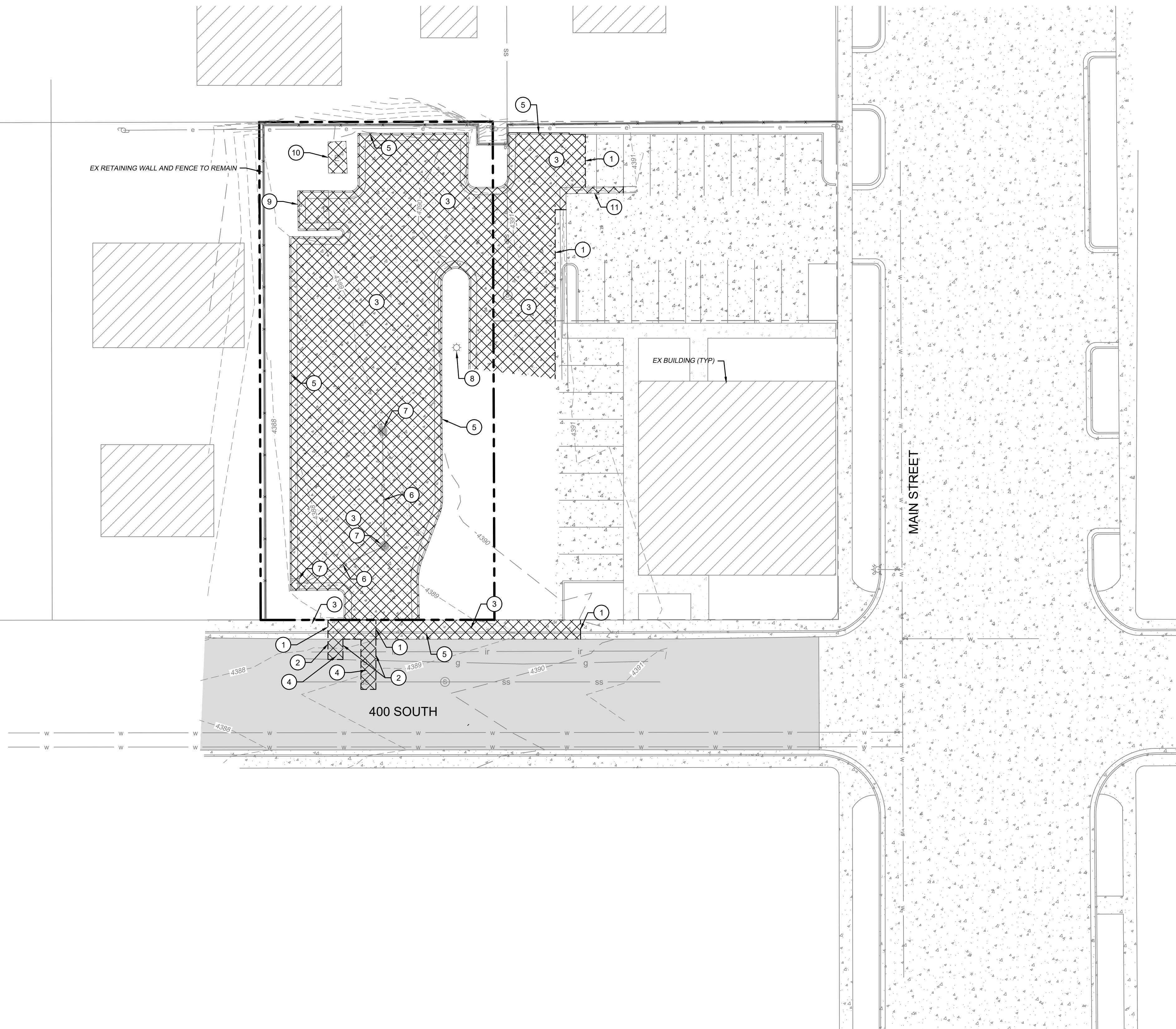
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COVER &  
LEGEND  
C001

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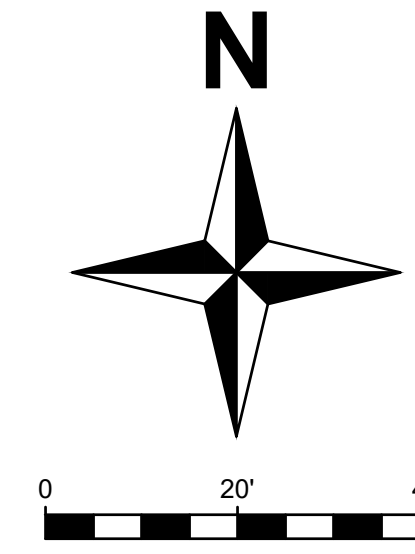




- ① DEMOLITION PLAN SHEET KEY NOTES:**  
 ALL ITEMS CALLED OUT TO BE REMOVED SHALL BE DISPOSED OF IN AN APPROPRIATE MANNER AND LOCATION:
1. SAWCUT CONCRETE PAVEMENT
  2. SAWCUT ASPHALT PAVEMENT
  3. REMOVE CONCRETE PAVEMENT
  4. REMOVE ASPHALT PAVEMENT
  5. REMOVE CURB & GUTTER
  6. REMOVE STORM WATER LINE
  7. REMOVE STORM WATER STRUCTURE (SUMP)
  8. REMOVE LIGHT POLE
  9. REMOVE TRASH ENCLOSURE
  10. REMOVE CONCRETE PAD AND RELOCATE ELECTRICAL EQUIPMENT. SEE UTILITY PLAN FOR PROPOSED LOCATIONS.
  11. REMOVE CONCRETE WATERWAY

**GENERAL NOTES:**

1. ALL ITEMS NOT CALLED OUT FOR REMOVAL ARE TO REMAIN



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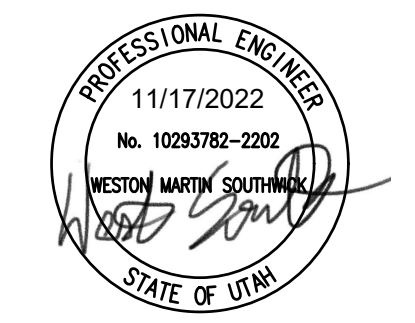
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**TOWNS AT 400**  
 30 WEST 400 SOUTH  
 BOUNTIFUL, UTAH

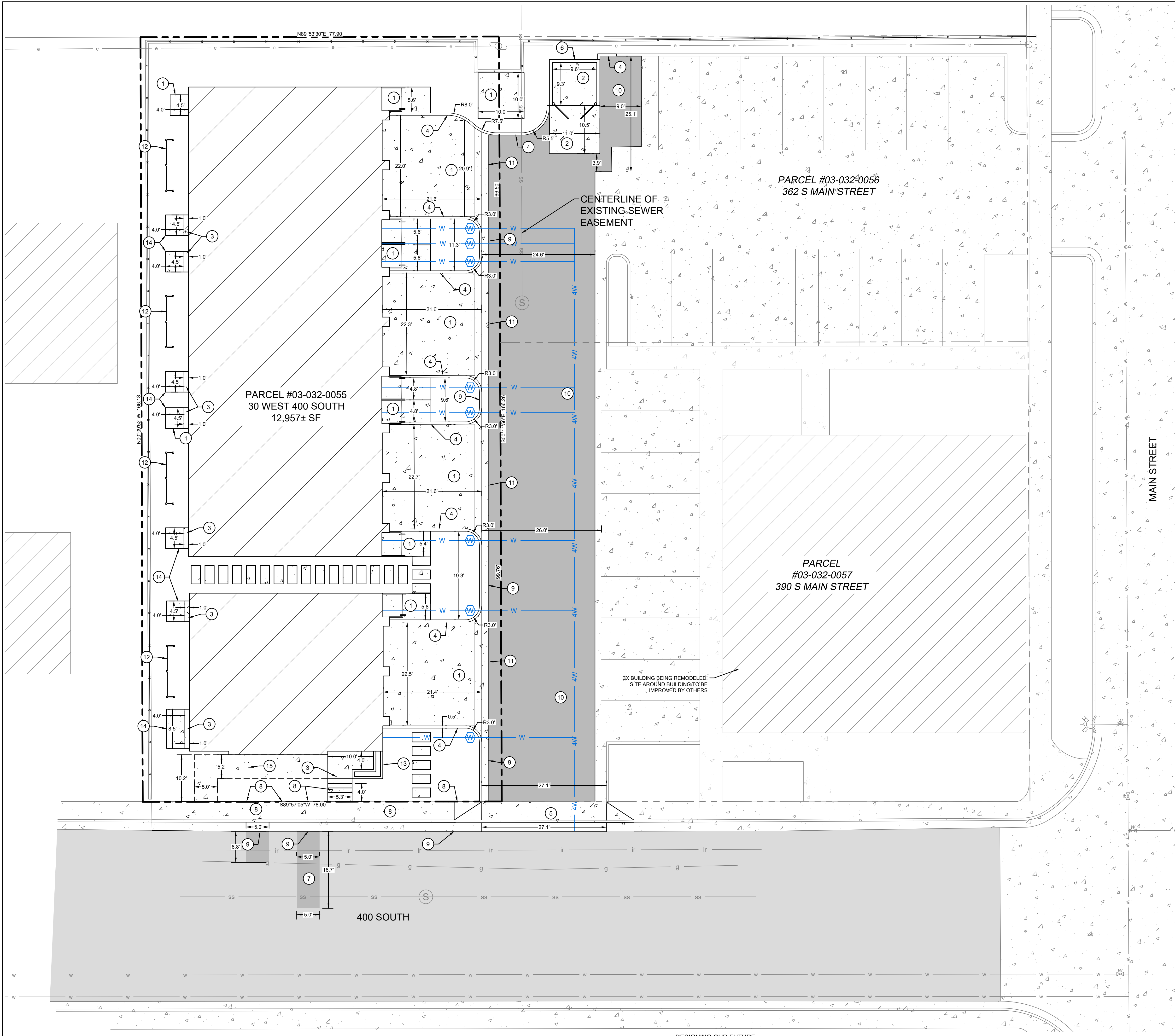
MARK	DATE	DESCRIPTION

PROJECT #: 22-009  
 DRAWN BY: A. OCHSENBEIN  
 PROJECT MANAGER: W. SOUTHWICK  
 ISSUED: 11/17/2022



**DEMOLITION PLAN**

**C101**




- ① SITE SHEET KEY NOTES:**  
 PROVIDE, INSTALL, AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
1. STANDARD DUTY CONCRETE PAVEMENT (1/C501)
  2. HEAVY DUTY CONCRETE PAVEMENT (2/C501)
  3. CONCRETE STAIRS. SEE ARCHITECTURAL PLANS FOR DETAILS.
  4. CURB (10/C501)
  5. DRIVEWAY APPROACH (5/C501)
  6. DUMPSTER ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
  7. ASPHALT PAVEMENT PATCH (1/C502)
  8. SIDEWALK (4/C501)
  9. APWA TYPE E CURB AND GUTTER (6/C501)
  10. ASPHALT PAVEMENT (3/C501)
  11. 3" CONCRETE WATERWAY (8/C501)
  12. FENCE. SEE ARCHITECTURAL PLANS FOR DETAILS.
  13. RAISED PLANTER. SEE ARCHITECTURAL PLANS FOR DETAILS.
  14. THICKENED EDGE CONCRETE (6/C501)
  15. OPTIONAL ADA RAMP (1/C501)
- GENERAL NOTES:**
1. ALL DRIVE AISLES ARE TWO-WAY
- PARKING TABULATION:**
1. PARKING REQUIREMENTS FOR TOWNHOMES:
    - 1.1. 2 STALLS PER 2 BEDROOM UNIT
    - 1.2. 0.25 STALLS PER UNIT FOR VISITOR SPACE
    - 1.3. TOTAL PARKING REQUIRED: 18 STALLS
    - 1.4. PARKING PROVIDED WITHIN TOWNHOME UNIT: 2 STALLS PER UNIT
    - 1.5. TOTAL PARKING WITHIN TOWNHOMES: 16 STALLS
    - 1.6. TOTAL PARKING PROVIDED: 18 STALLS\*
  2. \*\*PARKING REQUIREMENTS FOR THE ADJACENT OFFICE BUILDING ARE AS FOLLOWS:
    - 2.1. BUILDING SQUARE FOOTAGE: 7,251 SF
    - 2.2. PARKING REQUIREMENTS FOR OFFICE BUILDING: 1 STALL PER 300 SF
    - 2.3. PARKING STALLS REQUIRED FOR OFFICE BUILDING: 25 STALLS
    - 2.4. TOTAL STALLS ON OFFICE BUILDING LOT: 27 STALLS
- \*2 STALLS WILL BE UTILIZED FROM THE OFFICE BUILDING PARKING TO PROVIDE THE REQUIRED 2 GUEST PARKING STALLS  
 \*\*OFFICE BUILDING CALCULATIONS ARE SHOWN FOR THE PURPOSE OF INDICATING THERE IS SUFFICIENT STALLS TO PROVIDE 2 GUEST PARKING STALLS FOR THE TOWNHOME UNITS

MARK	DATE	DESCRIPTION

PROJECT #: 22-009  
 DRAWN BY: A. OCHSENBEIN  
 PROJECT MANAGER: W. SOUTHWICK  
 ISSUED: 11/17/2022

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**SITE & DIMENSION PLAN**  
**C102**

**TOWNS AT 400**  
 30 WEST 400 SOUTH  
 BOUNTIFUL, UTAH

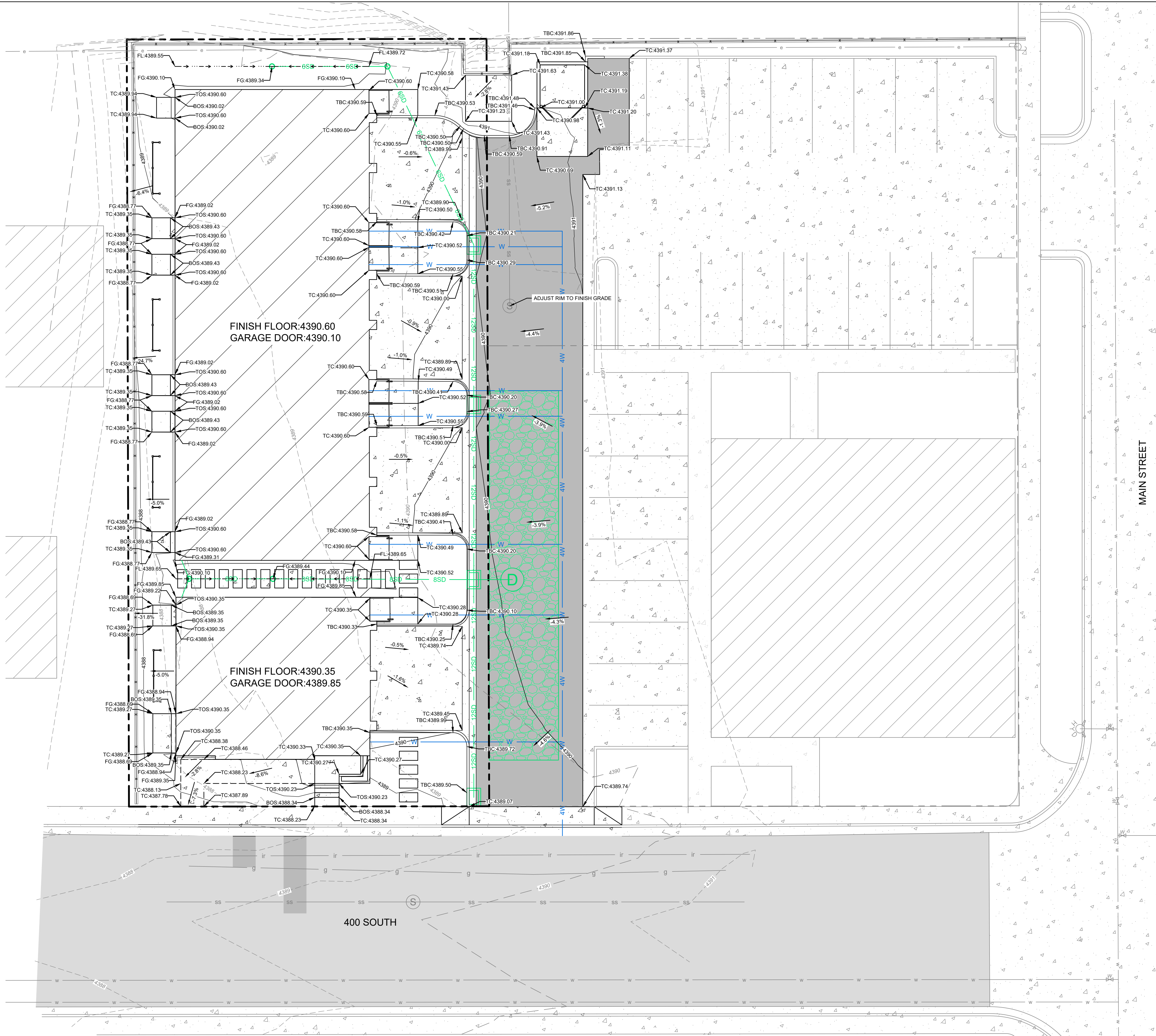
MARK	DATE	DESCRIPTION

PROJECT #: 22-009  
 DRAWN BY: A. OCHSENBEIN  
 PROJECT MANAGER: W. SOUTHWICK  
 ISSUED: 11/17/2022



**SITE & DIMENSION PLAN**  
**C102**

P:\2022\22-009 Bountiful 390 Apartments\AutoCAD\Civil\Sheet Set\22-009 GRADING



**GRADING ABBREVIATIONS:**

- 1. TC = TOP OF CONCRETE
- 2. TOS = TOP OF STAIR
- 3. BOS = BOTTOM OF STAIR
- 4. TBC = TOP BACK OF CURB
- 5. FL = FLOWLINE
- 6. FG = FINISH GRADE

**GENERAL NOTES:**

- 1. VERTICAL DATA (CONTOUR LINES AND/OR SPOT ELEVATIONS, ETC.) SHOWN HEREON IS BASED ON THE NGVD09 ELEVATION OF 4457.84 PUBLISHED BY THE DAVIS COUNTY SURVEYOR ON THE WEST WITNESS CORNER (1.5" BRASS PLUG IN CURB) FOR THE SOUTHEAST CORNER OF SECTION 19, T2N, R1E, S1.B & M. A GPS-DERIVED LOCAL ELEVATION OF 4392.90 ON THE RING & LID MONUMENT LOCATED AT 400 SOUTH MAIN STREET HAS BEEN HELD AS THE PROJECT BENCHMARK.
- 2. MAINTAIN A MINIMUM OF 0.5% LONGITUDINAL SLOPE IN ALL GUTTERS AND WATERWAYS.
- 3. MAINTAIN A MAXIMUM CROSS-SLOPE OF 2.0% ON ALL SIDEWALKS AND AT ALL BUILDING DOORWAY EXITS AND ENTRANCES.
- 4. ALL TOP BACK OF CURB CALL OUTS ARE SHOWN TO FULL HEIGHT.

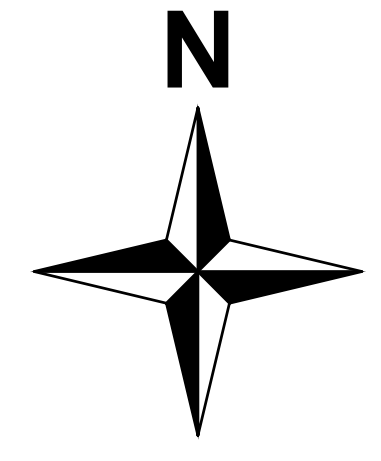
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**TOWNS AT 400**  
 30 WEST 400 SOUTH  
 BOUNTIFUL, UTAH

MARK	DATE	DESCRIPTION

PROJECT #: 22-009  
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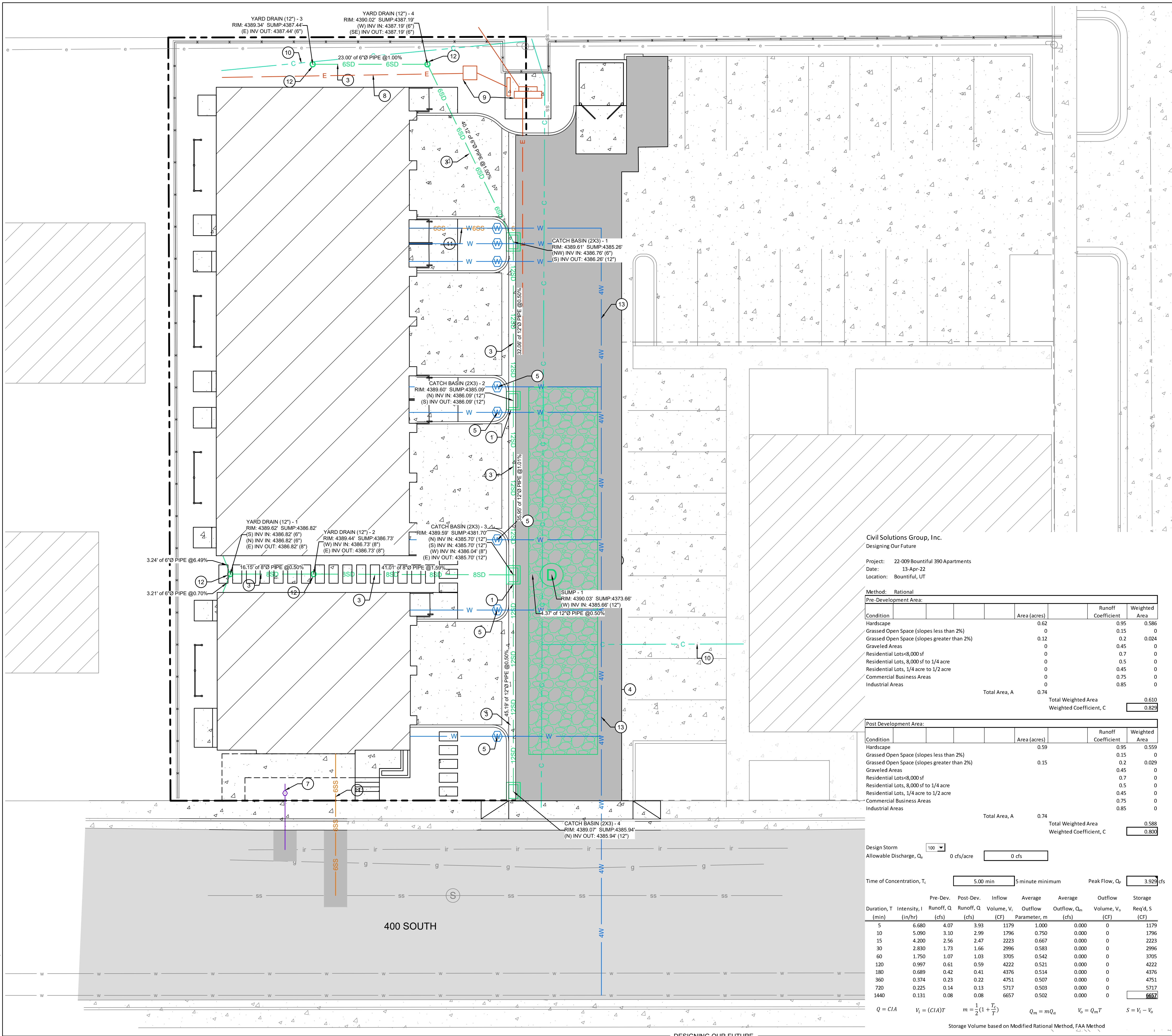
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**GRADING PLAN**

**C201**

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- UTILITY SHEET KEY NOTES:**
- 2' X 3' CATCH BASIN (1/C503)
  - 50' STORM DRAIN MANHOLE (3/C503)
  - STORM DRAIN LINE (1/C502)
  - STORM DRAIN SUMP (4/C503)
  - 1" WATER SERVICE WITH 1" WATER METER (4/C502)
  - FIRE HYDRANT (2/C502)
  - IRRIGATION SERVICE (3/C502)
  - UNDERGROUND POWER LINE. SEE ELECTRICAL PLANS FOR MORE INFORMATION.
  - POWER EQUIPMENT. SEE ELECTRICAL PLANS FOR MORE INFORMATION.
  - COMMUNICATION LINE. SEE ELECTRICAL PLANS FOR MORE INFORMATION.
  - 6" SEWER LATERAL (7/C501)
  - 12" NYLOPLAST YARD DRAIN OR APPROVED EQUAL (2/C503)
  - 4" WATER LINE (4/C502)

- GENERAL NOTES:**
- CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND CONTACT ENGINEER IF DIFFERENT FROM LOCATIONS DISPLAYED ON THESE PLANS.
  - MINIMUM 18" OF VERTICAL SEPARATION REQUIRED BETWEEN WATER MAIN AND SEWER MAIN WHERE LINES INTERSECT.
  - MINIMUM OF 10" FROM OUTSIDE-OF-PIPE TO OUTSIDE-OF-PIPE REQUIRED BETWEEN CULINARY WATER LINE AND ALL OTHER WET UTILITIES.
  - ALL SEWER LINES SHALL BE CONSTRUCTED OF PVC SDR-35 MATERIAL.
  - ALL STORM DRAIN LINES SHALL BE CORRUGATED HDPE.
  - ALL IRRIGATION MAIN PIPE SHALL BE "PURPLE PIPE" FOR USE WITH RECLAIMED WATER SYSTEMS AS IS REQUIRED BY STATE REGULATIONS.
  - CONTRACTOR SHALL PLACE CONCRETE THRUST BLOCKS ON ALL TEES, WYES, BENDS, ANGLES, ETC ON ALL WATER AND IRRIGATION LINES AS SHOWN IN DETAIL 6 ON SHEET C502.
  - POWER - CONTRACTOR SHALL COORDINATE WITH OWNER AND BOUNTIFUL LIGHT & POWER TO DETERMINE PRECISE LOCATION AND LAYOUT OF POWER LINES THROUGH DEVELOPMENT. CONTRACTOR SHALL BE RESPONSIBLE TO TRENCH, BED, INSTALL AND FILL IN THE POWER TRENCH AND PROVIDE THE REQUIRED PVC SCHEDULE 40 CONDUIT.
  - TELEPHONE AND CABLE - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR LOCATION OF CONDUIT CROSSINGS AND SHALL INSTALL ALL CONDUITS.
  - GAS - CONTRACTOR SHALL COORDINATE INSTALLATION OF GAS WITH QUESTAR GAS.

- STORMWATER NOTES:**
- THE RATIONAL METHOD WAS USED TO CALCULATE THE REQUIRED STORAGE VOLUME FOR THE SITE. THE 100-YEAR, 24-HOUR STORM WAS USED FOR THE CALCULATIONS.
  - TOTAL REQUIRED VOLUME IS 6,657 CF.
  - TOTAL VOLUME PROVIDED IS 6,720 CF.
  - STORAGE VOLUME FOR THE SITE IS PROVIDED IN THE PROPOSED SUMP. THE STORAGE VOLUME INCLUDES STORMWATER FROM ALL THREE PARCELS.
  - SUMP INFORMATION:
    - 5.1. HIGH WATER ELEVATION: 4384.67
    - 5.2. BOTTOM OF MANHOLE: 4374.67
    - 5.3. BOTTOM OF GRAVEL: 4372.67
    - 5.4. WIDTH: 15'
    - 5.5. LENGTH: 80'
    - 5.6. HEIGHT: 14'
  - THERE IS NO INCREASE IN IMPERVIOUS SURFACE AREA FROM PRE-REDEVELOPMENT OF THE SITE.
  - AN INFILTRATION TEST WAS COMPLETED BY A LICENSED GEOTECHNICAL ENGINEER. THE MEASURED INFILTRATION RATE WAS 1 in/minch.

Civil Solutions Group, Inc.  
Designing Our Future

Project: 22-009 Bountiful 390 Apartments  
Date: 13-Apr-22  
Location: Bountiful, UT

Method: Rational

Pre-Development Area:

Condition	Area (acres)	Runoff Coefficient	Weighted Area
Hardscape	0.62	0.95	0.586
Grassed Open Space (slopes less than 2%)	0	0.15	0
Grassed Open Space (slopes greater than 2%)	0.12	0.2	0.024
Graveled Areas	0	0.45	0
Residential Lots < 8,000 sf	0	0.7	0
Residential Lots, 8,000 sf to 1/4 acre	0	0.5	0
Residential Lots, 1/4 acre to 1/2 acre	0	0.45	0
Commercial Business Areas	0	0.75	0
Industrial Areas	0	0.85	0
<b>Total Area, A</b>	<b>0.74</b>		
		<b>Total Weighted Area</b>	<b>0.610</b>
		<b>Weighted Coefficient, C</b>	<b>0.825</b>

Post Development Area:

Condition	Area (acres)	Runoff Coefficient	Weighted Area
Hardscape	0.59	0.95	0.559
Grassed Open Space (slopes less than 2%)	0	0.15	0
Grassed Open Space (slopes greater than 2%)	0.15	0.2	0.029
Graveled Areas	0	0.45	0
Residential Lots < 8,000 sf	0	0.7	0
Residential Lots, 8,000 sf to 1/4 acre	0	0.5	0
Residential Lots, 1/4 acre to 1/2 acre	0	0.45	0
Commercial Business Areas	0	0.75	0
Industrial Areas	0	0.85	0
<b>Total Area, A</b>	<b>0.74</b>		
		<b>Total Weighted Area</b>	<b>0.588</b>
		<b>Weighted Coefficient, C</b>	<b>0.800</b>

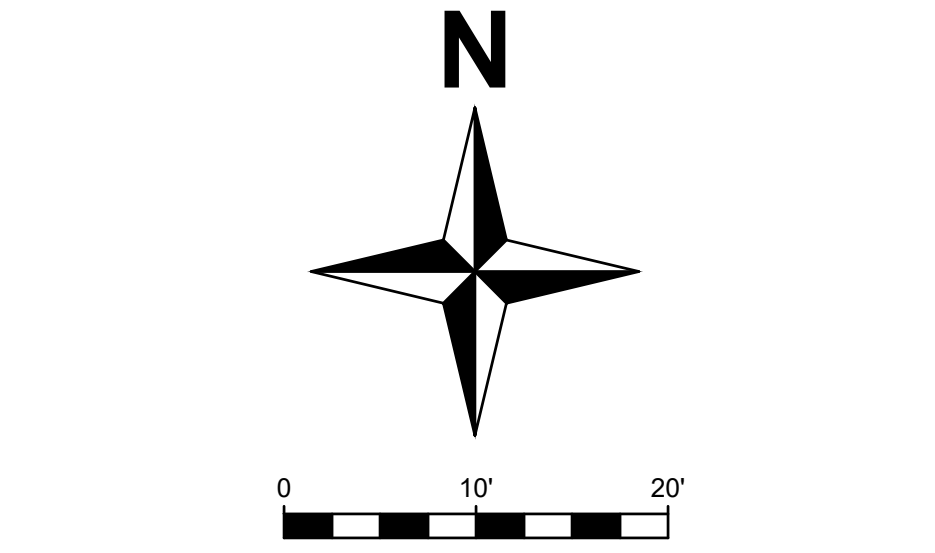
Design Storm: 100 yr  
Allowable Discharge, Q<sub>a</sub>: 0 cfs/acre, 0 cfs

Time of Concentration, T<sub>c</sub>: 5.00 min (5 minute minimum), Peak Flow, Q<sub>p</sub>: 3.929 cfs

Duration, T (min)	Intensity, I (in/hr)	Runoff, Q (cfs)	Pre-Dev. Runoff, Q (cfs)	Post-Dev. Runoff, Q (cfs)	Inflow Volume, V <sub>i</sub> (CF)	Average Outflow, Q <sub>o</sub> (cfs)	Outflow Volume, V <sub>o</sub> (CF)	Storage Req'd, S (CF)
5	6.680	4.07	3.93	1179	1000	0.000	0	1179
10	5.090	3.10	2.99	1796	0.750	0.000	0	1796
15	4.200	2.56	2.47	2223	0.667	0.000	0	2223
30	2.830	1.73	1.66	2996	0.583	0.000	0	2996
60	1.750	1.07	1.03	3705	0.542	0.000	0	3705
120	0.997	0.61	0.59	4222	0.521	0.000	0	4222
180	0.689	0.42	0.41	4376	0.514	0.000	0	4376
360	0.374	0.23	0.22	4751	0.507	0.000	0	4751
720	0.225	0.14	0.13	5717	0.503	0.000	0	5717
1440	0.131	0.08	0.08	6657	0.502	0.000	0	6657

Q = CIA, V<sub>i</sub> = (CIA)T, m = 1/2 \* (1 + T/T<sub>c</sub>), Q<sub>o</sub> = mQ<sub>i</sub>, V<sub>o</sub> = Q<sub>o</sub>T, S = V<sub>i</sub> - V<sub>o</sub>

Storage Volume based on Modified Rational Method, FAA Method



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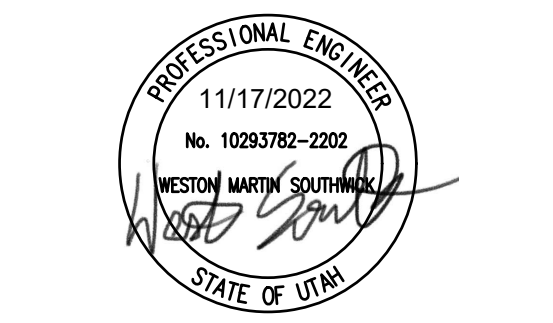
**civilsolutionsgroup inc.**

CACHE VALLEY | P: 435.213.3762  
SALT LAKE | P: 801.216.3192  
UTAH VALLEY | P: 801.874.1432  
info@civilsolutionsgroup.net  
www.civilsolutionsgroup.net

**TOWNS AT 400**  
30 WEST 400 SOUTH  
BOUNTIFUL, UTAH

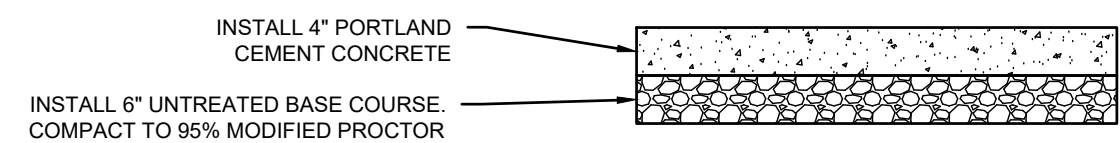
MARK	DATE	DESCRIPTION

PROJECT #: 22-009  
DRAWN BY: A. OCHSENBEIN  
PROJECT MANAGER: W. SOUTHWICK  
ISSUED: 11/17/2022



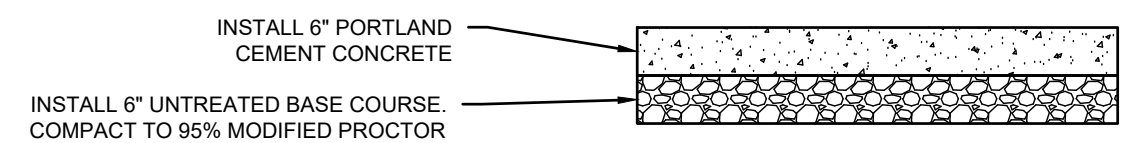
**STORM DRAIN & UTILITY PLAN**

**C301**



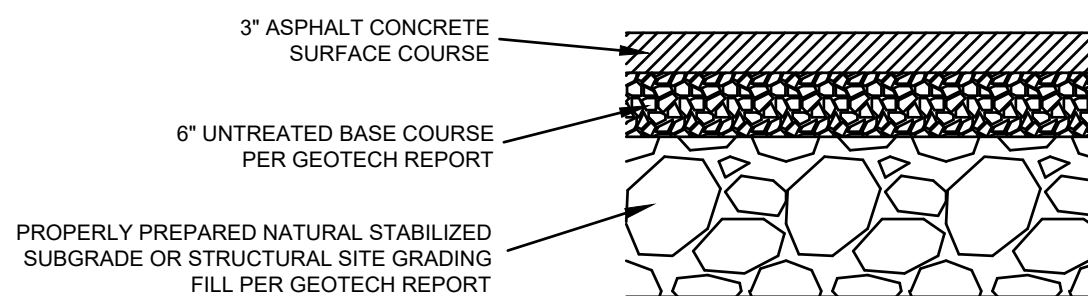
NOTES:  
1. PAVEMENT SECTION SHALL CONFORM TO THE SITE GEOTECHNICAL STUDY PERFORMED BY CIVIL SOLUTIONS GROUP.

**1 STANDARD DUTY CONCRETE**  
C501  
NOT TO SCALE



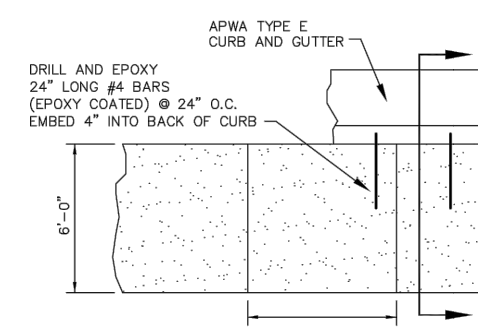
NOTES:  
1. PAVEMENT SECTION SHALL CONFORM TO THE SITE GEOTECHNICAL STUDY PERFORMED BY CIVIL SOLUTIONS GROUP.

**2 HEAVY DUTY CONCRETE**  
C501  
NOT TO SCALE

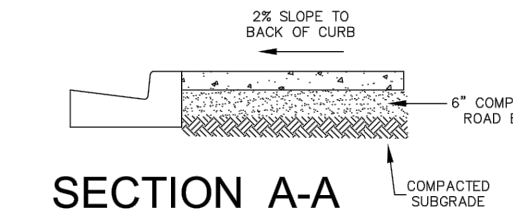


**3 ASPHALT PAVEMENT**  
C501  
NOT TO SCALE

**PLAN VIEW**



**CONCRETE SIDEWALK ADJACENT TO CURB**  
SEE APWA PLAN 231 FOR ADDITIONAL INFORMATION

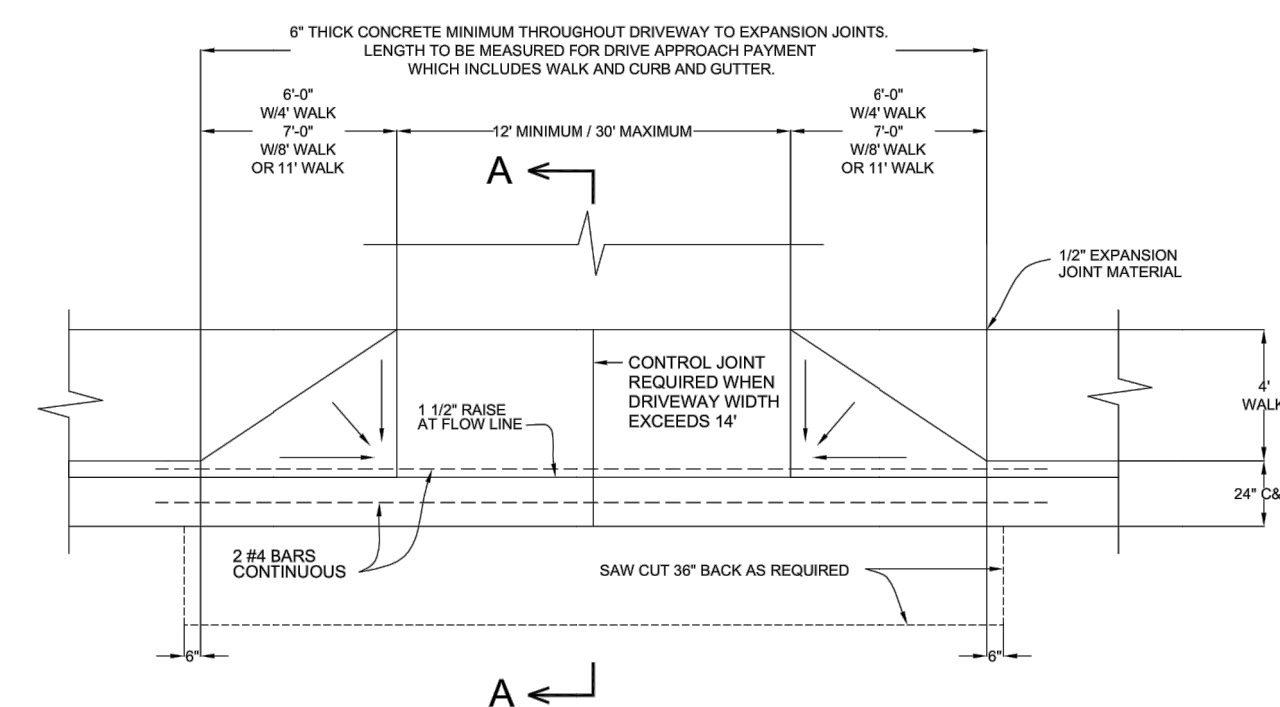


NOTES:  
1. SEE DRIVE APPROACH DETAILS FOR SIDEWALK THICKNESS THROUGH DRIVE APPROACHES.  
2. EXPANSION JOINT SPACING: 100 FT OR AT DRIVE APPROACHES LESS THAN 100 FT.  
3. JOINT SPACING WIDTH (MIN), 1.5 WIDTH (MAX). MATCH CURB JOINT SPACING.  
4. APWA MATERIAL SPECIFICATIONS APPLY.  
5. TREAT FRESH CUT EDGES OF EPXY COATED REINFORCING PRIOR TO PLACING CONCRETE FOR SIDEWALK.

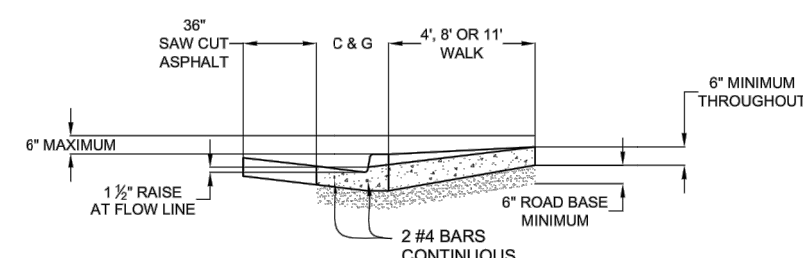
**4 SIDEWALK**  
C501  
NOT TO SCALE

BOUNTFUL STANDARD  
**TYPE B DRIVE APPROACH**  
TO BE USED WHEN WALK IS AGAINST CURB

**PLAN VIEW**



**SECTION A-A**

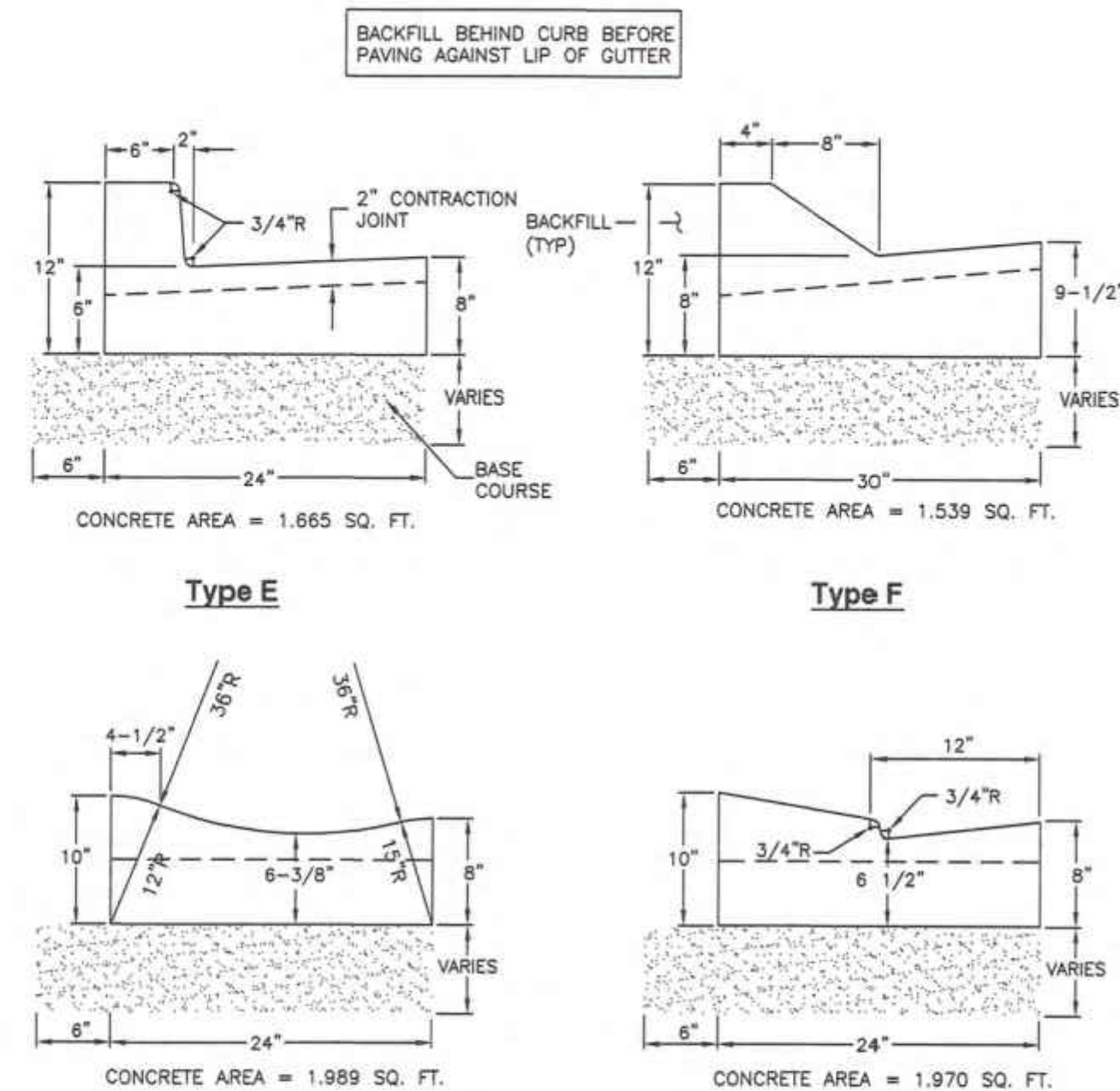


NOTES

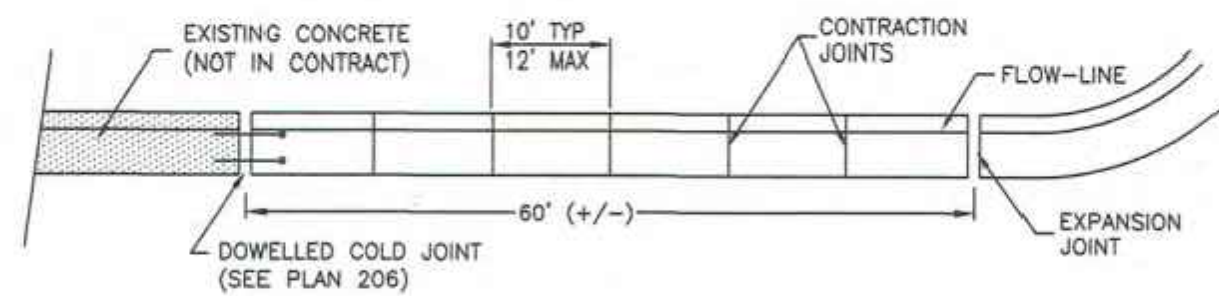
1. CONCRETE: CLASS 4000 PER APWA SECTION 03304. PLACE PER APWA SECTION 02770. CURE PER APWA SECTION 03390
2. COMPACT EXISTING SUBGRADE 95% MINIMUM (MODIFIED PROCTOR).
3. CURING BY APPLICATION OF CURING COMPOUND PER CURRENT APWA SPECIFICATIONS.
4. WHERE CONCRETE OR ASPHALT IS TO BE REMOVED, THE MATERIAL MUST BE SAW CUT TO FULL DEPTH WITH STRAIGHT LINES.
5. MINIMUM WIDTH OF ASPHALT REMOVAL IN FRONT OF A DRIVE APPROACH IS 3 FT. 0 INCHES.
6. 6" ROAD BASE MINIMUM UNDER ALL NEW CONCRETE.
7. EPXY COATED REBAR REQUIRED.
8. STRAIGHT METAL FORMS REQUIRED FOR ALL TANGENT SECTIONS OR WHERE THE CURB RADIUS IS NOT LESS THAN 150 FT.

REVISED 8/2017

**5 DRIVE APPROACH**  
C501  
NOT TO SCALE



**Type G**      **Type H**



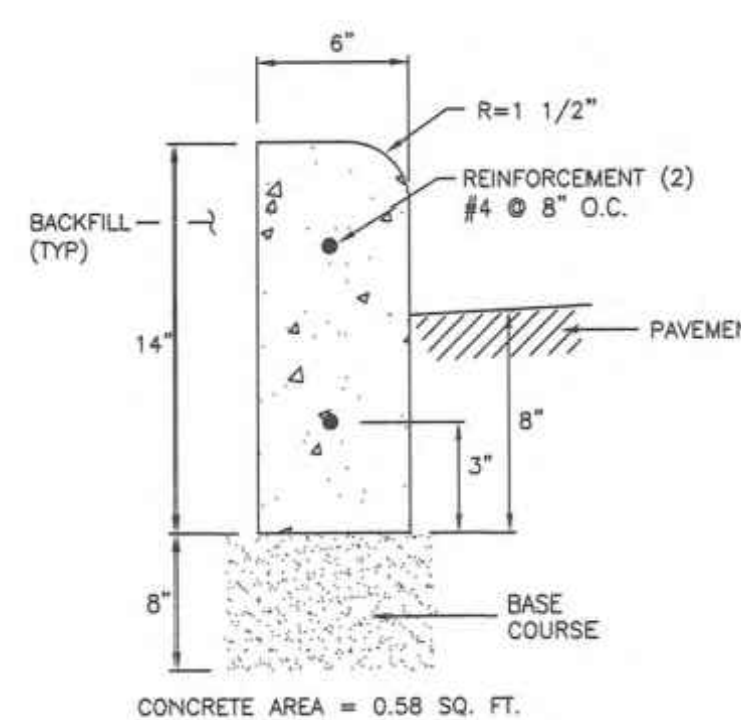
**JOINT DETAIL**

**6 Curb and gutter**  
C501  
APWA Utah Chapter

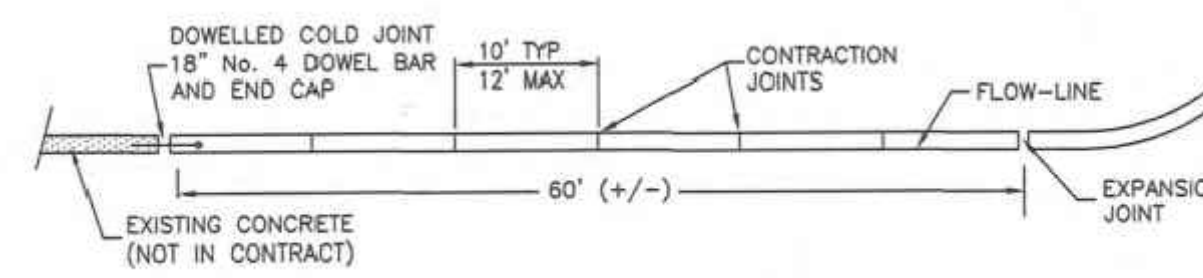
Plan **205.2**  
April 2011

**7 Sewer lateral connection**  
C501  
ADWA Utah Chapter

Plan **431**  
January 2011

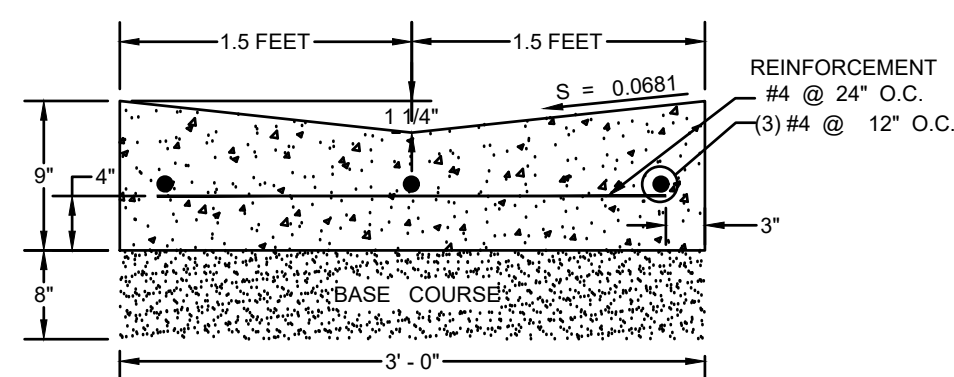


**Type P**

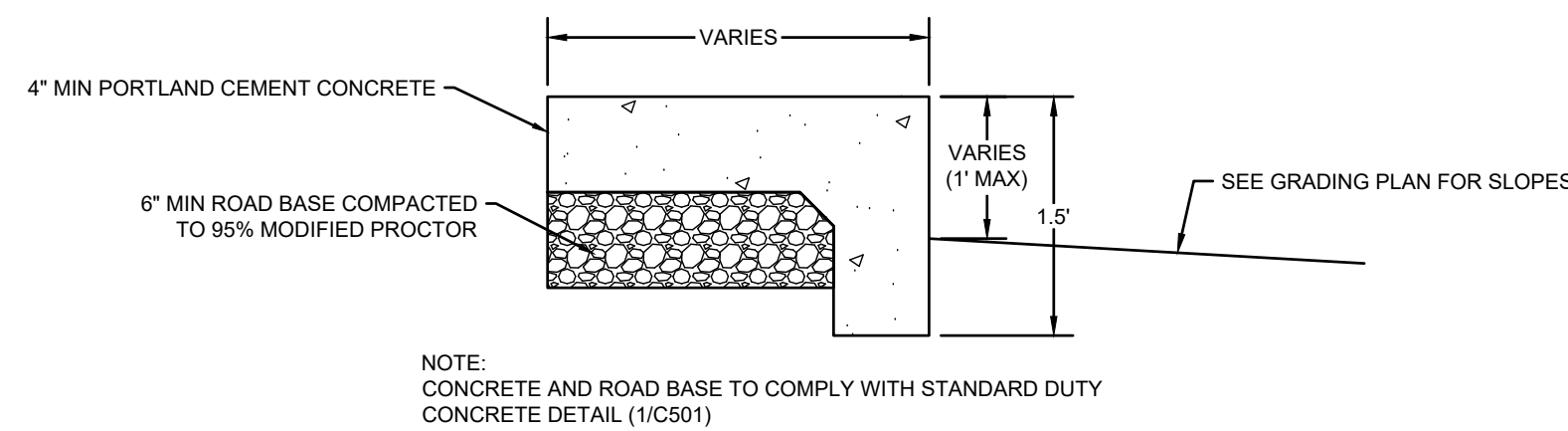


**JOINT SPACING DETAIL**

**10 APWA TYPE P CURB**  
C501  
NOT TO SCALE



**8 3' CONCRETE WATERWAY**  
C501  
NOT TO SCALE



**9 THICKENED EDGE CONCRETE**  
C501  
NOT TO SCALE

MARK	DATE	DESCRIPTION

PROJECT #: 22-009  
DRAWN BY: A. OCHSENBEIN  
PROJECT MANAGER: W. SOUTHWICK  
ISSUED: 11/17/2022

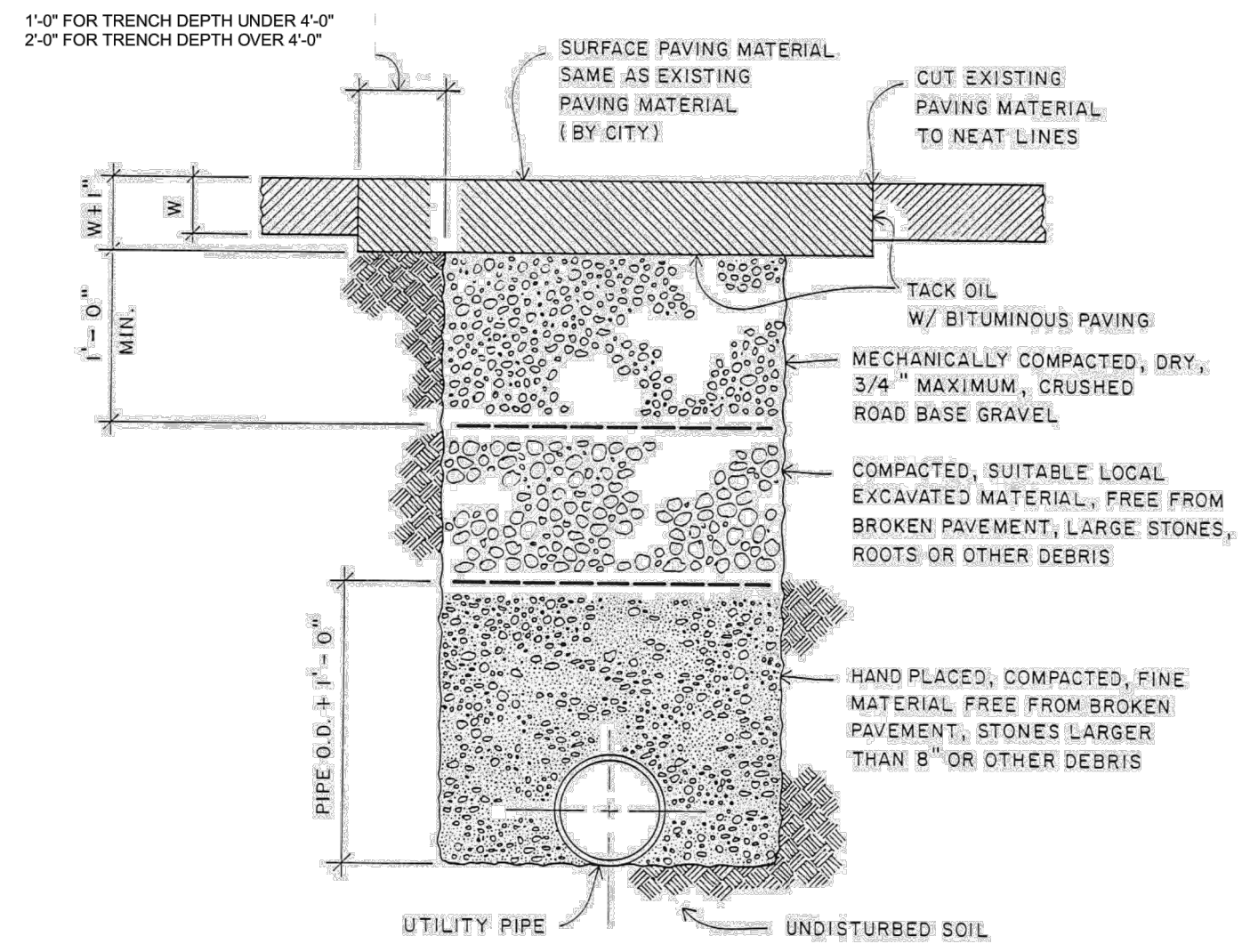


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**DETAILS**

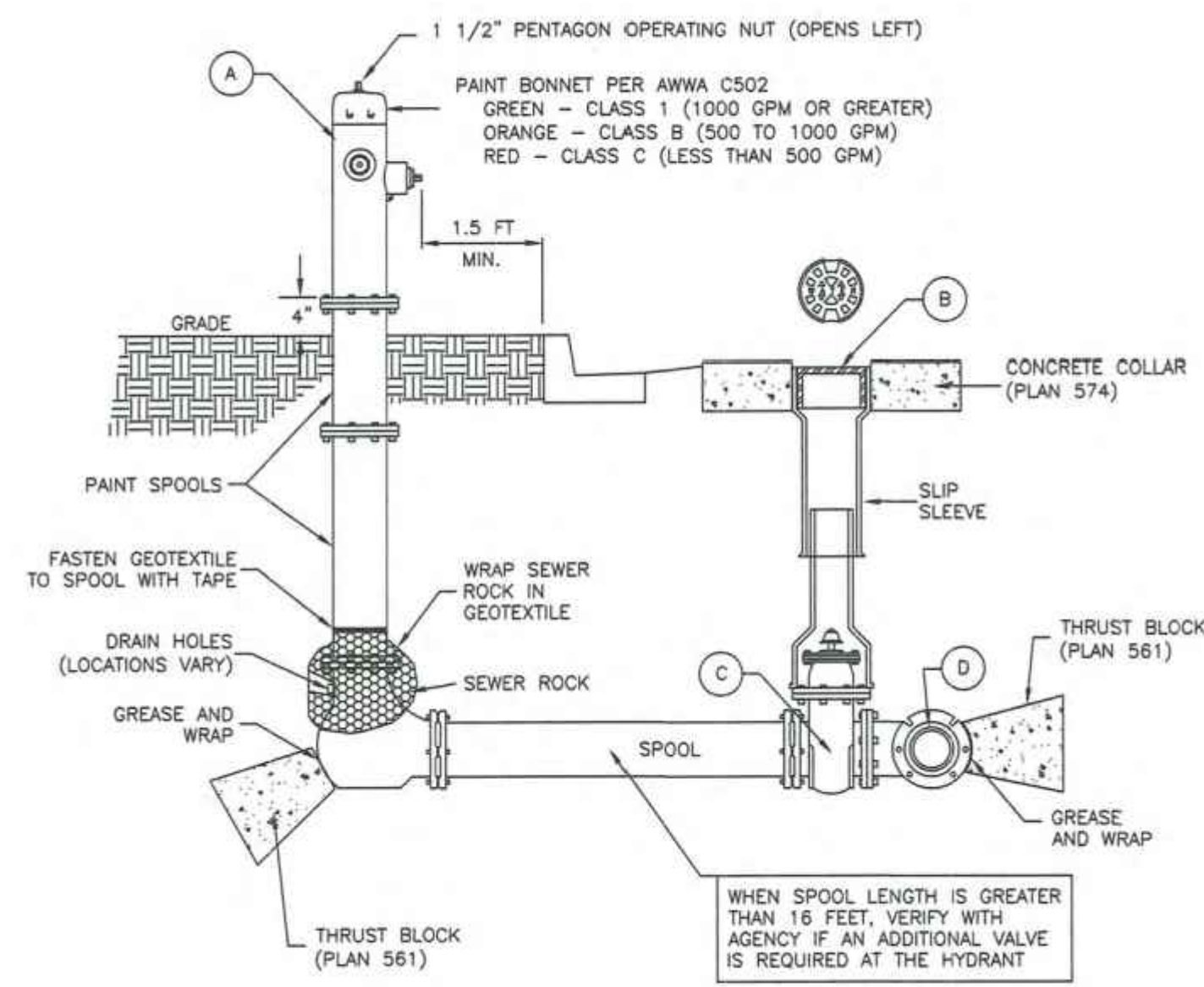
**C501**



- NOTES:
- MATERIAL MUST BE REPLACED AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
  - CONTRACTOR TO IMMEDIATELY REMOVE EXCESS MATERIAL.

BOUNTIFUL STANDARD STREET EXCAVATION DETAIL

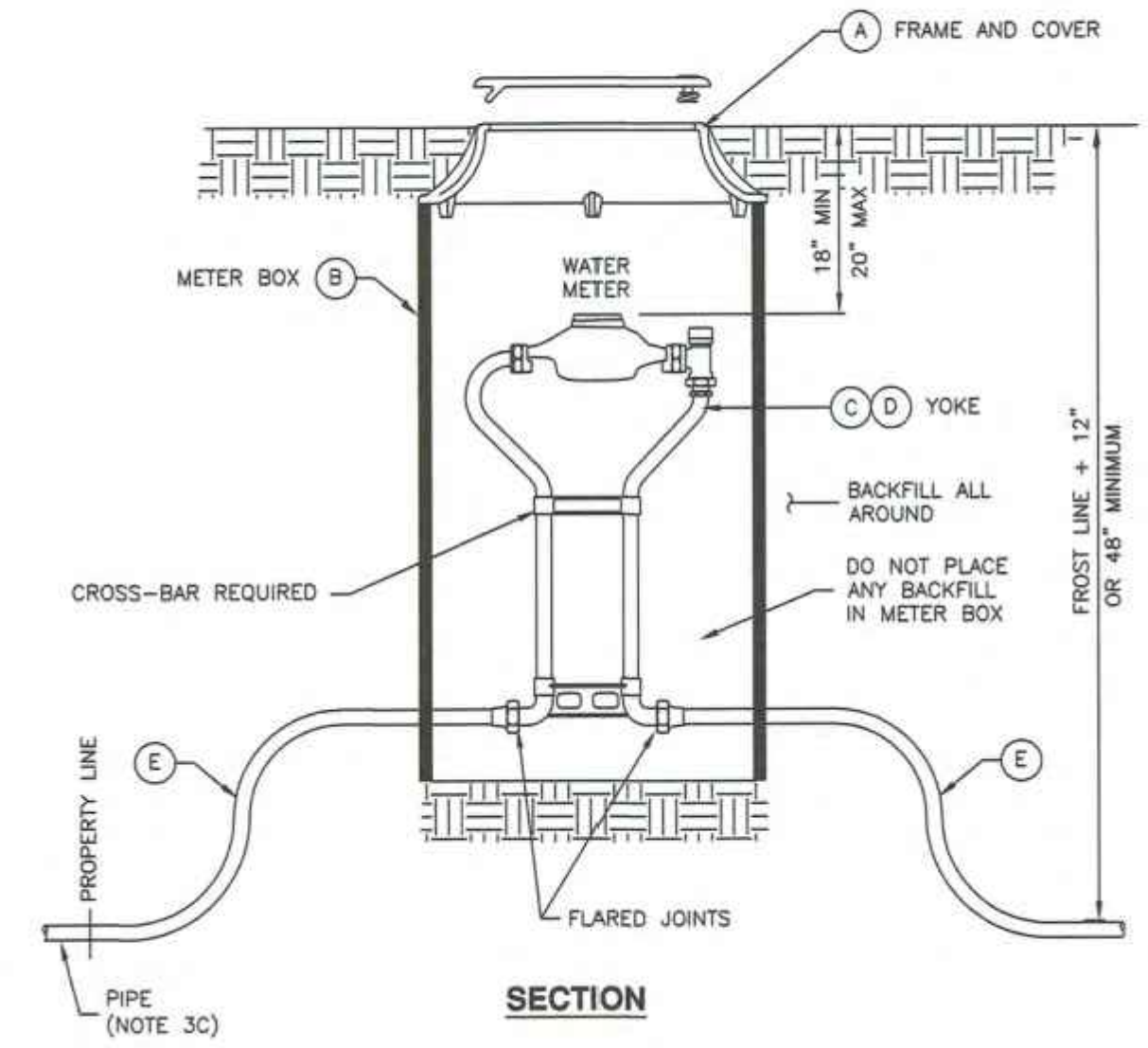
1 TRENCHING DETAIL NOT TO SCALE C502



LEGEND			
No.	*	ITEM	DESCRIPTION
(A)		FIRE HYDRANT	AWWA C502
(B)		VALVE BOX WITH LID	2-PIECE CAST IRON
(C)		GATE VALVE WITH 2" X 2" NUT	AWWA C509
(D)		TEE WITH 125 # FLANGE	AWWA C110

\* FURNISHED BY UTILITY AGENCY

SECTION



LEGEND			
No.	*	ITEM	DESCRIPTION
(A)		FRAME AND COVER	CAST IRON COVER
(B)		METER BOX (18" TO 21" DIAMETER) (30" TO 36" DEEP)	CORRUGATED PE, PVC, CMP OR MATERIAL ACCEPTABLE TO AGENCY
(C)		3/4" METER YOKE	OPTIONAL BACKFLOW PROTECTION PER AGENCY REQUIREMENTS
(D)		1" METER YOKE	OPTIONAL BACKFLOW PROTECTION PER AGENCY REQUIREMENTS
(E)		COPPER PIPE	TYPE K (SOFT)

\* FURNISHED BY UTILITY AGENCY

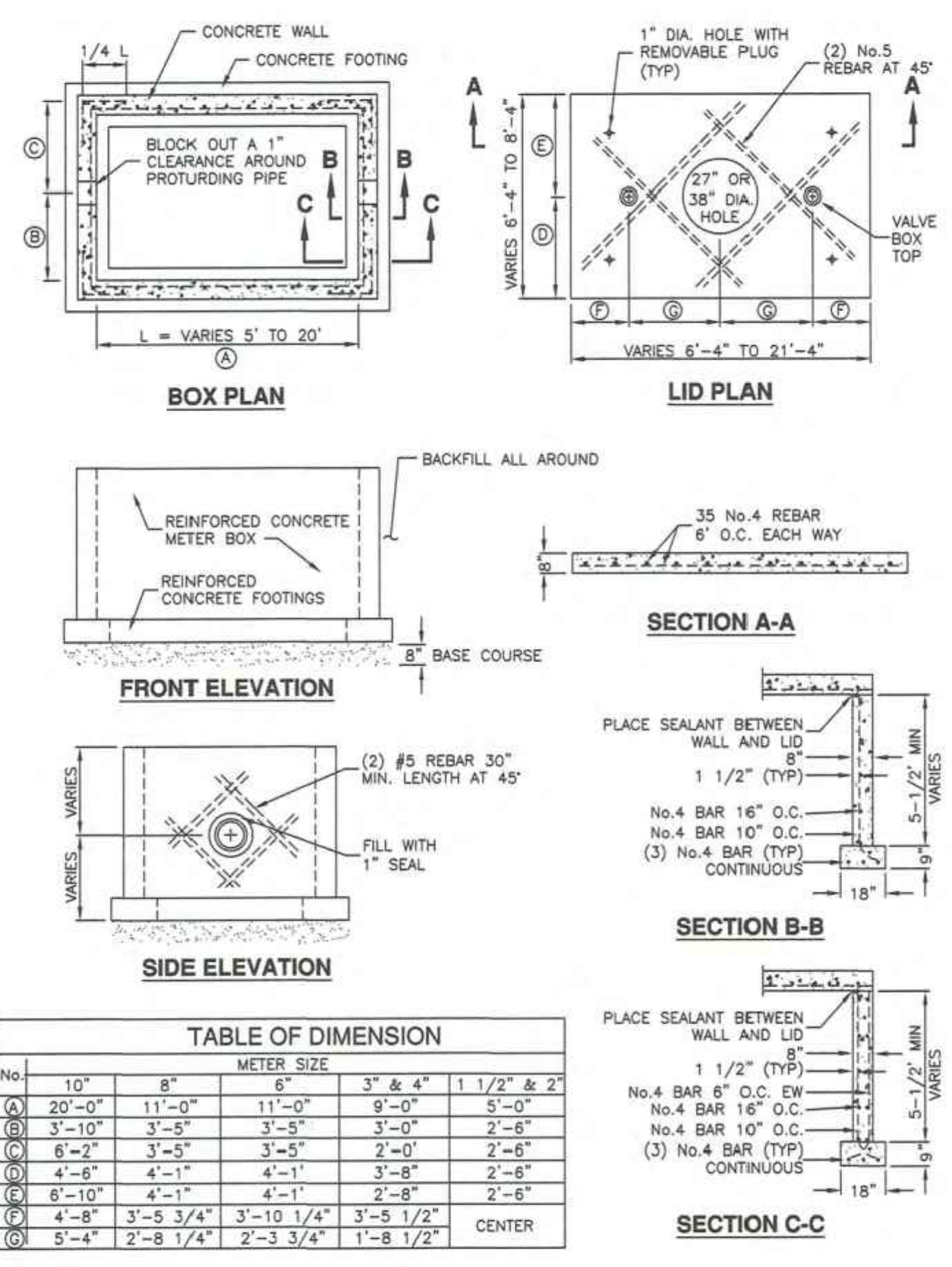
SECTION

2 Fire hydrant with valve SEE NOTE #1 C502

Plan 511 February 2011

3 3/4" and 1" meter SEE NOTE #1 C502

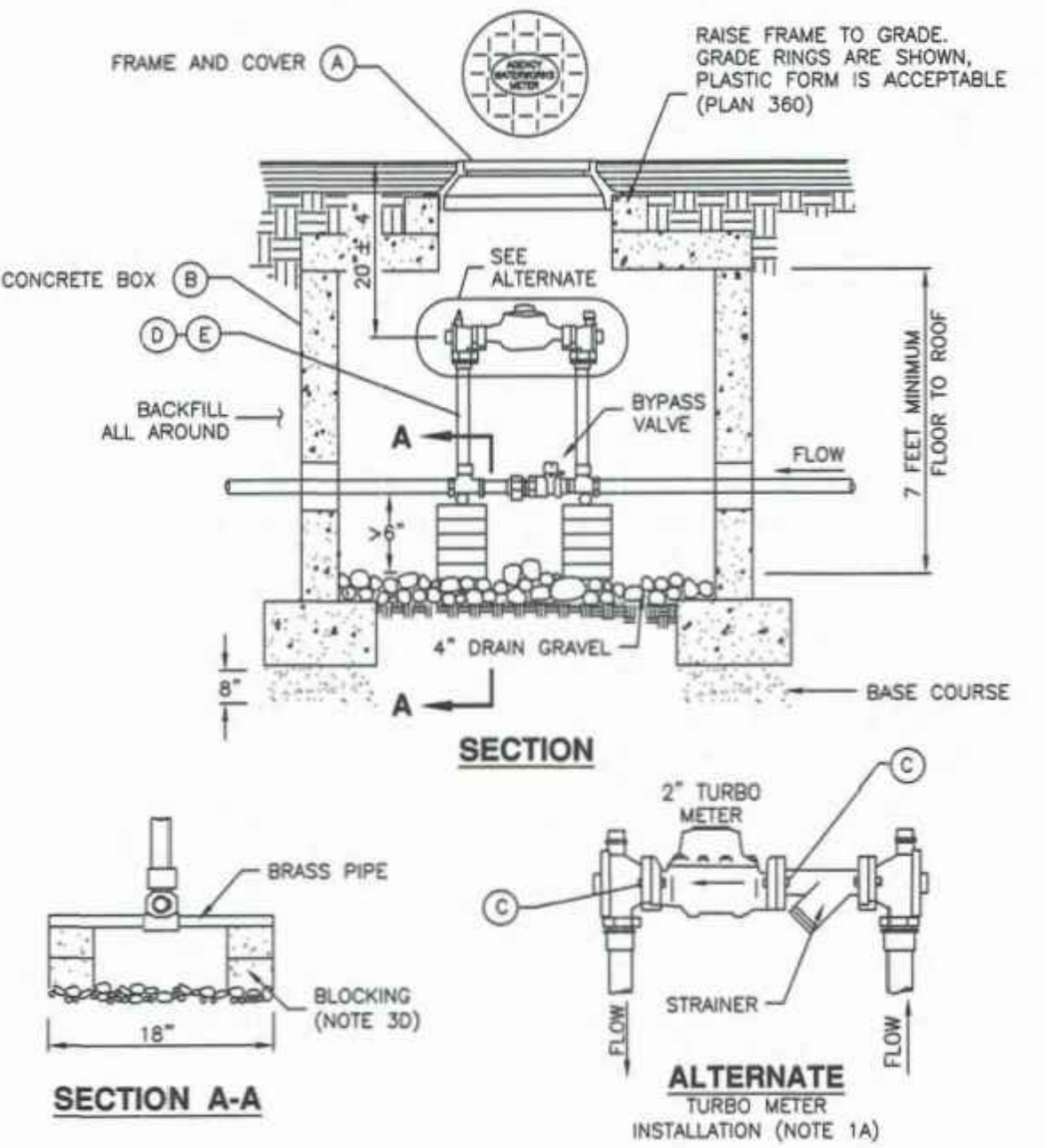
Plan 521 August 2001



No.	METER SIZE				
	10"	8"	3" & 4"	1 1/2" & 2"	
(A)	20'-0"	11'-0"	11'-0"	9'-0"	5'-0"
(B)	3'-10"	3'-5"	3'-5"	3'-0"	2'-6"
(C)	6'-2"	3'-5"	3'-5"	2'-0"	2'-6"
(D)	4'-8"	4'-1"	4'-1"	3'-8"	2'-6"
(E)	6'-10"	4'-1"	4'-1"	2'-8"	2'-6"
(F)	4'-8"	3'-5 3/4"	3'-10 1/4"	3'-5 1/2"	CENTER
(G)	5'-4"	2'-8 1/4"	2'-3 3/4"	1'-8 1/2"	

4 Concrete meter boxes SEE NOTE #1 C502

Plan 505 August 2001



LEGEND			
No.	*	ITEM	DESCRIPTION
(A)		27" FRAME AND COVER	PLAN 502
(B)		CONCRETE BOX	PLAN 505
(C)		STAINLESS STEEL METER BOLTS	5/8" x 2 3/4" BRASS
(D)		1 1/2" CUSTOM SETTER WITH BYPASS	
(E)		2" CUSTOM SETTER WITH BYPASS	

\* FURNISHED BY UTILITY AGENCY

SECTION

SIZE OF PIPE	MINIMUM BEARING AREA IN SQ. FT.				
	TEES, VALVES DEAD ENDS	90° BENDS	45° BENDS	22 1/2° BENDS	11 1/4° BENDS
4"	2	3	2	2	2
6"	4	5.5	3	2.5	2
8"	6.5	9.5	5	2.75	2.5
12"	14	20	11	5.5	3
14"	19	26.5	14.5	7.5	4
16"	24	34	18.5	9.5	6
20"	27	52	28.5	14.5	9
24"	53	74	41	21	12
30"	81	114	62	32	16

6 Direct bearing thrust block SEE NOTE #1 C502

Plan 561 August 2010

MARK	DATE	DESCRIPTION

PROJECT #: 22-009  
 DRAWN BY: A. OCHSENBEIN  
 PROJECT MANAGER: W. SOUTHWICK  
 ISSUED: 11/17/2022

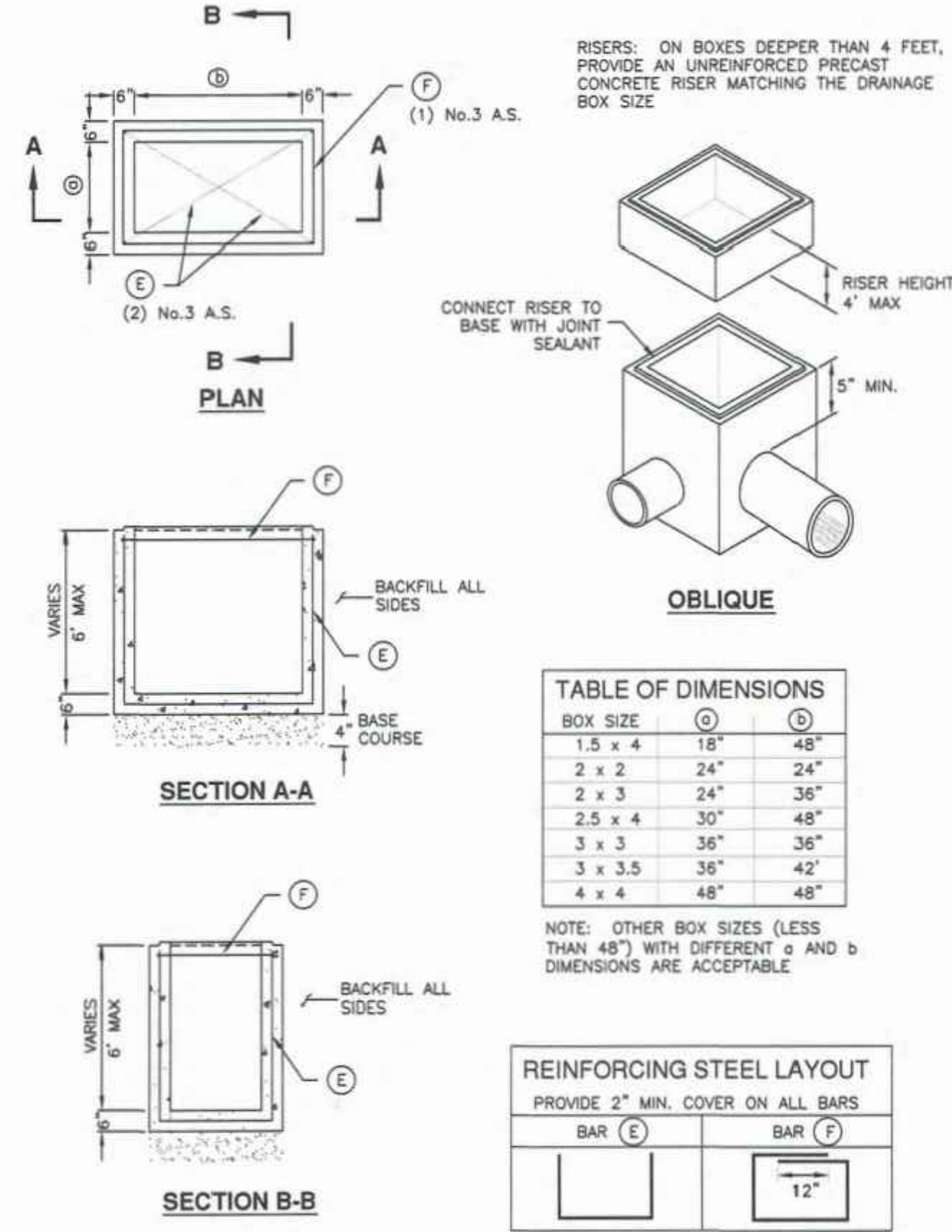
NOTES:  
 1. TO BE FURNISHED AND INSTALLED BY BOUNTIFUL CITY WATER DEPARTMENT. COORDINATE WITH BOUNTIFUL CITY WATER DEPARTMENT.

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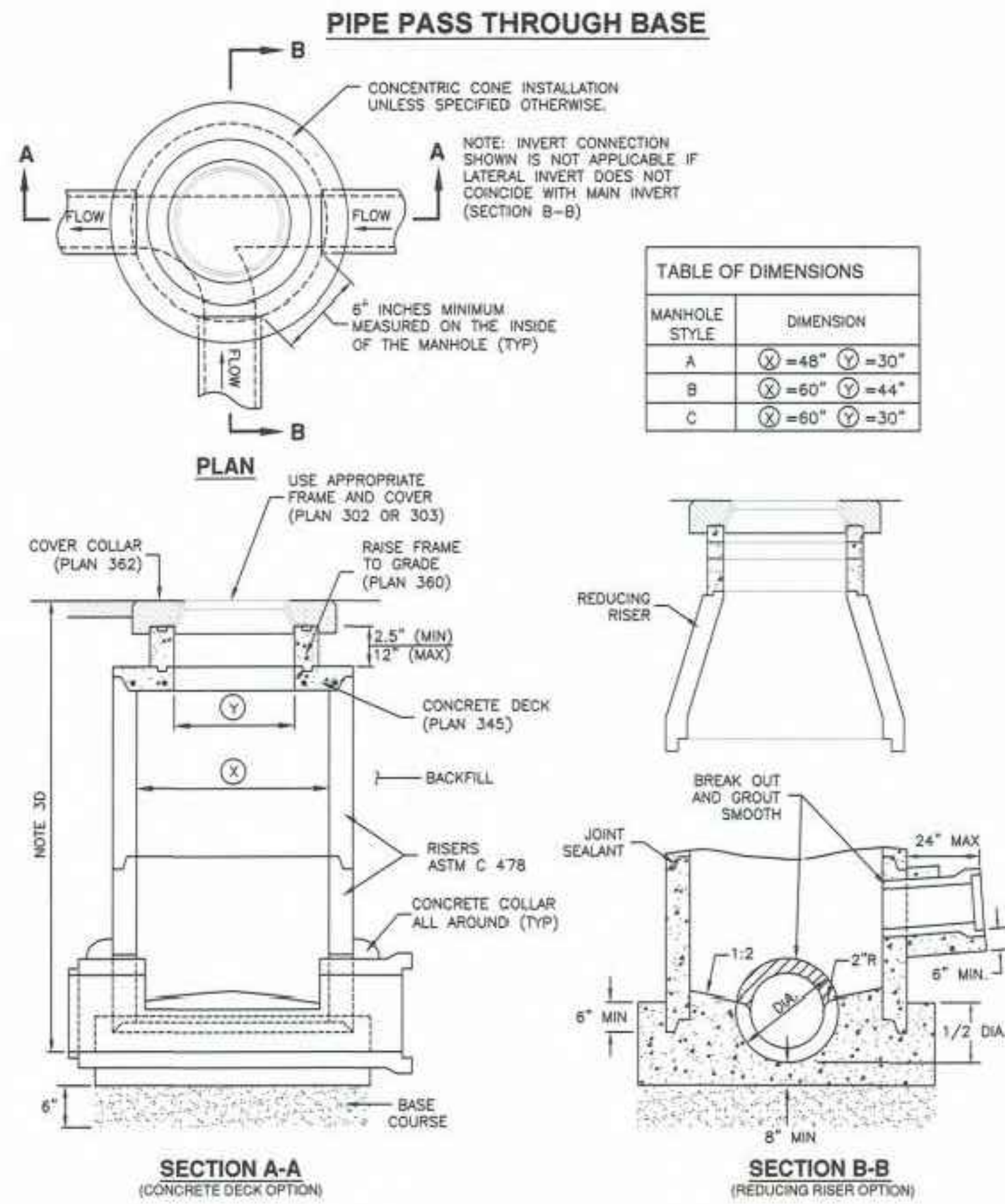


DETAILS  
 C502

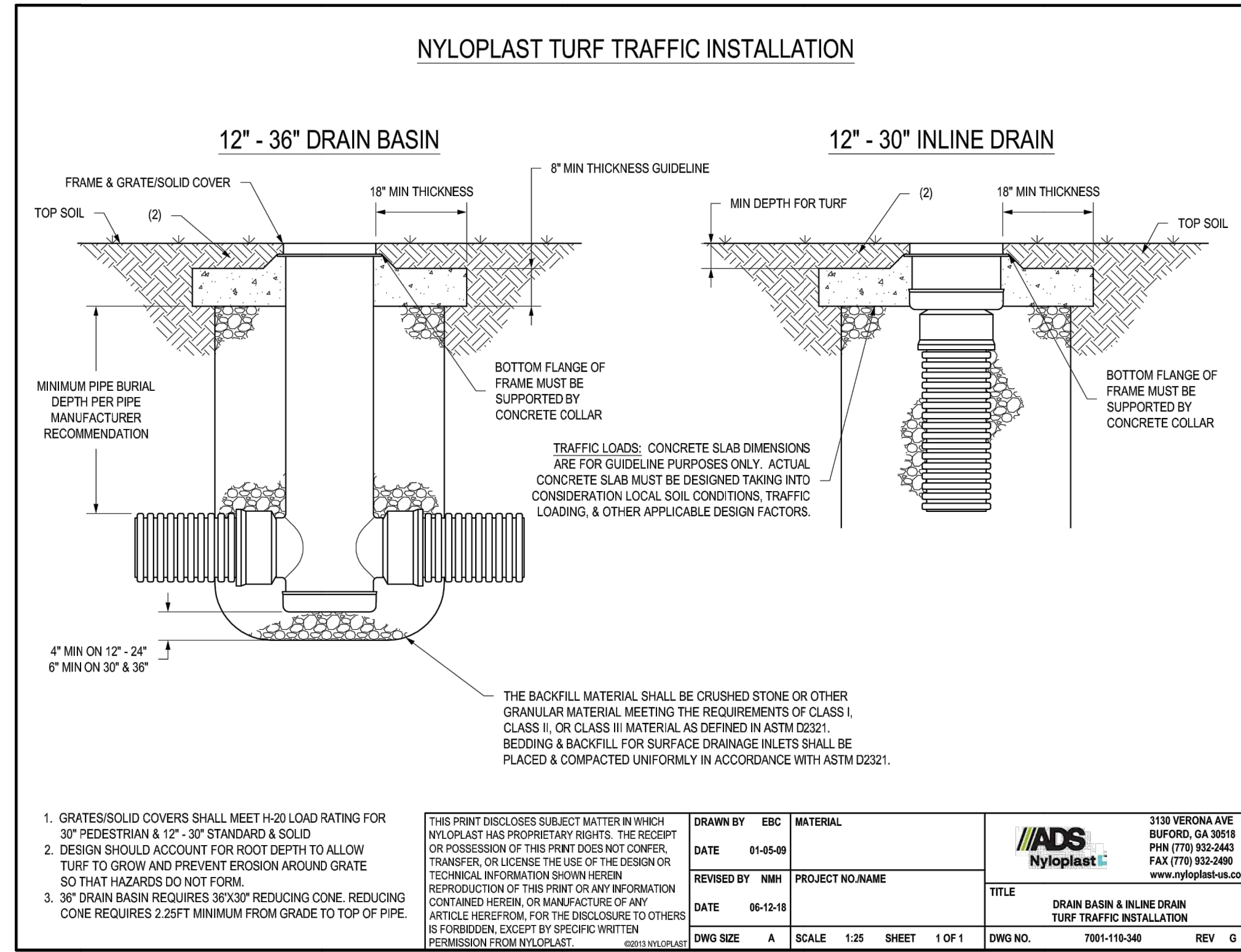
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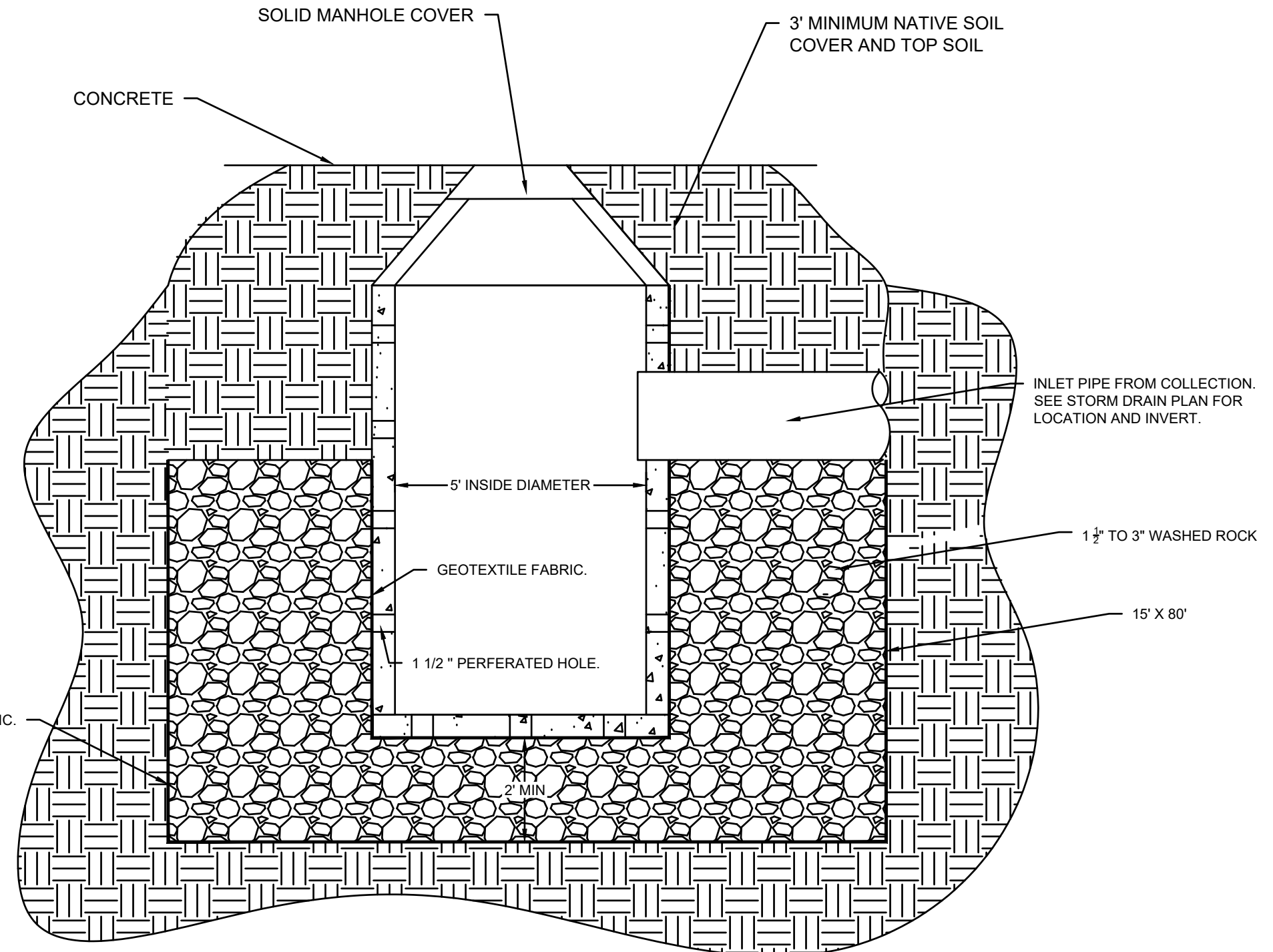
**APWA Utah Chapter** 1 C503 Precast box Plan 332 June 2010



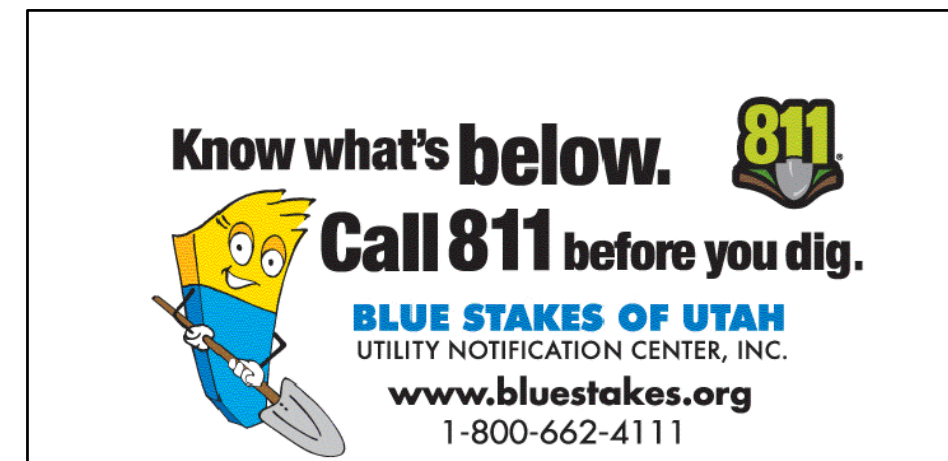
**APWA Utah Chapter** 3 C503 Precast manhole Plan 341.2 November 2010



2 C503 YARD DRAIN NOT TO SCALE



4 C503 STORM DRAIN SUMP NOT TO SCALE

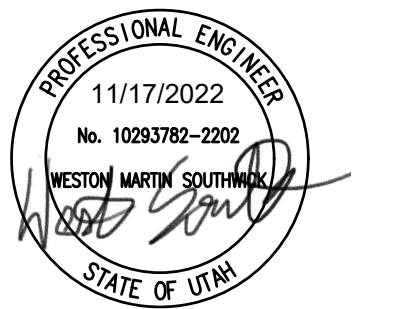


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TOWNS AT 400  
 30 WEST 400 SOUTH  
 BOUNTIFUL, UTAH

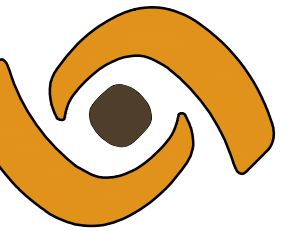
MARK	DATE	DESCRIPTION

PROJECT #: 22-009  
 DRAWN BY: A. OCHSENBEIN  
 PROJECT MANAGER: W. SOUTHWICK  
 ISSUED: 11/17/2022



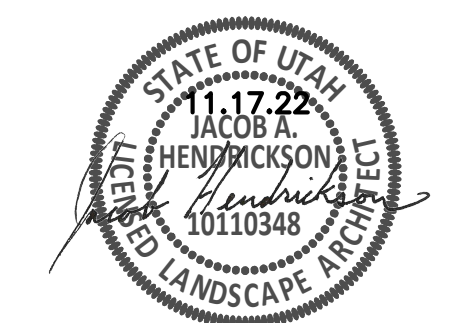
DETAILS

C503



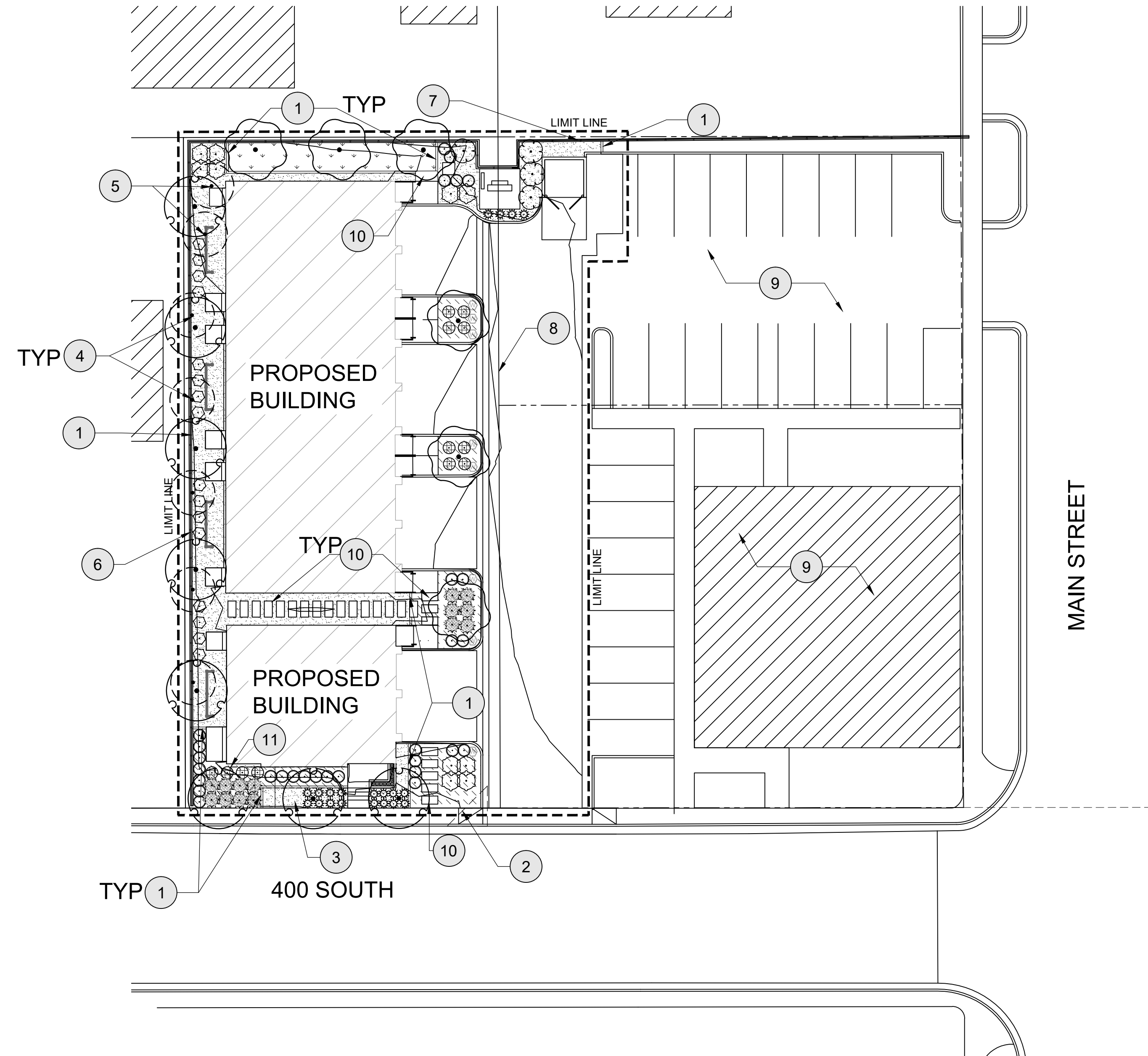
MARK	DATE	DESCRIPTION

PROJECT #: 22-009  
DRAWN BY: KJ  
REVIEWED BY: JH  
ISSUED: 11.17.2022



**LANDSCAPE PLAN**

**L101**



BOUNTIFUL CITY - DOWNTOWN ZONE			
* LANDSCAPE REQUIREMENTS			
PLANT TYPE	REQUIREMENT	NUMBER REQUIRED	NUMBER PLANNED
SITE TREES	1 screening tree / 750 SF required landscape area	2	5
SITE TREES	1 ornamental tree / 750 SF required landscape area	2	6
SITE SHRUBS	1 shrub / 200 SF landscape area	8	62
STREET TREES - 400 SOUTH	1 tree / 35 ft	3	3
LANDSCAPE AREA	10% plus 50 SF per unit	1,294 + 50 SF X 8 UNITS = 1,695 SF	3167.2 SF

\*LANDSCAPE QUANTITIES ARE WITHIN PARCEL 030320055. REPAIRED LANDSCAPE AT ELECTRICAL TRANSFORMER AND DUMPSTER ENCLOSURE ARE NOT PART OF THESE NUMBERS.

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	GAL
	AC2	8	ACER PLATANOIDES 'CRIMSON SENTRY' / CRIMSON SENTRY MAPLE	B&B	2" CAL
	MR	6	MALUS X 'ROYALTY' / ROYALTY CRABAPPLE	B&B	2" CAL
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT
	BG	29	BUXUS MICROPHYLLA 'WINTER GEM' / GLOBE WINTER GEM BOXWOOD	5 GAL.	
	CH	4	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD	5 GAL.	
	JA	14	JUNIPERUS COMMUNIS 'ALPINE CARPET' / JUNIPER	5 GAL.	
	RR	16	RHAMNUS FRANGULA 'FINE LINE' / FINE LINE BUCKTHORN	5 GAL.	
	RW	10	ROSA X 'MEICOUBLAN' / WHITE MEIDLAND	5 GAL.	
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT
	CK	12	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL.	
	DW	11	DIANTHUS GRATIANOPOLITANUS 'FIREWITCH' / FIREWITCH CHEDDAR PINK	1 GAL.	
	PH	20	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS	1 GAL.	

**REFERENCE NOTES SCHEDULE**

SYMBOL	DESCRIPTION	QTY	DETAIL
	CONCRETE MOWSTRIP: 6" WIDE- SEE DETAIL		5/L201
	10' X 10' SIGHT TRIANGLE AT DRIVEWAY INTERSECTION		
	METER FOR IRRIGATION SYSTEM. SEE CIVIL PLANS FOR EXACT SIZE AND LOCATION. IRRIGATION PLAN BY OTHERS.		
	EXISTING LARGE SHRUBS AND OTHER VEGETATION TO BE REMOVED ALONG WEST SIDE OF PROPERTY.		
	EXISTING FLOWERING PEAR TREE TO BE REMOVED.		
	EXISTING 6" VINYL FENCE TO REMAIN.		
	EXISTING 6' CHAIN LINK FENCE WITH SLATS TO REMAIN.		
	PARCEL LINE		
	OUT OF SCOPE FOR THIS PROJECT		
	4" CONCRETE OVER 4" COMPACTED BASE COURSE		
	FUTURE RAMP. SEE CIVIL PLANS		

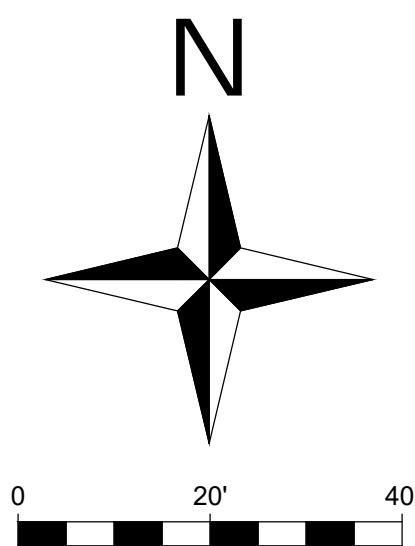
SYMBOL	DESCRIPTION	QTY	DETAIL
	TURF GRASS: SOD (IMPERIAL BLUE FROM CHANSHARE SOD OR APPROVED EQUAL) INSTALLED OVER 5" TOPSOIL LAYER.	363 SF	5/L201
	BARK MULCH (SMALL BARK MULCH FROM MILLER COMPANIES LC OR APPROVED EQUAL) INSTALLED AT DEPTH OF 3" WITHOUT WEED BARRIER FABRIC. PLANTINGS WITHIN THIS AREA WILL INCLUDE TREES, SHRUBS, GRASSES AND PERENNIALS.	1,022 SF	5/L201
	ROCK MULCH, 1" (WASATCH TAN CRUSHED ROCK FROM STAKER PARSON OR APPROVED EQUAL) INSTALLED AT DEPTH OF 3" INSTALLED OVER DEWITT PRO 5 BARRIER FABRIC.	1,924 SF	5/L201

**GENERAL NOTES:**

- CONTRACTOR TO VERIFY ALL QUANTITIES.
- SEE L201 FOR PLANTING NOTES AND DETAILS.

**IRRIGATION NOTES:**

- LANDSCAPE TO BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM.
- IRRIGATION PLAN BY OTHERS. PROVIDE SLEEVES UNDER DRIVEWAYS TO PLANTING ISLANDS AS NEEDED.



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**LANDSCAPE NOTES & SPECIFICATIONS:**

**GENERAL NOTES:**

- 1. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO ANY SITE WORK. IRRIGATION AND LANDSCAPE WORK. CONTRACTOR SHALL REPORT ANY CONFLICTS TO THE OWNERS REPRESENTATIVE.
- 2. THE CONTRACTOR(S) AND SUBCONTRACTORS ARE 100% RESPONSIBLE FOR ANY DAMAGE OCCURRED BY CONTRACTOR/SUBCONTRACTORS TO BUILDINGS, VEHICLES, TREES, SIDEWALKS, CURBS, DRIVES, UTILITIES AND ALL PROPERTY OF THE OWNER. IF ANY DAMAGE OCCURS TO THE OWNER'S BUILDINGS, SITE, LANDSCAPE, AND PROPERTY THE CONTRACTOR MUST REPORT IT IMMEDIATELY AND WORK OUT A SOLUTION WITH OWNERS REP.
- 3. TIME IS OF THE ESSENCE AND THE OWNER IS RELYING ON THE LANDSCAPING TO BE COMPLETED IN A PROFESSIONAL AND TIMELY MANNER.
- 4. CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATION FROM THE PLANS OR SPECIFICATIONS MUST HAVE WRITTEN APPROVAL FROM THE OWNERS REPRESENTATIVE.

**PLANTING NOTES:**

- 5. THE PLANTING PLAN IS DIAGRAMMATIC, AND PLANT LOCATIONS ARE APPROXIMATE. IF NECESSARY ADJUST PLANTING LOCATION TO ACCOMMODATE UTILITIES AND OTHER UN-FORESEEN OBSTACLES.
- 6. PLANT SYMBOLS TAKE PRECEDENCE OVER PLANT QUANTITIES SPECIFIED ON PLANT SCHEDULE.
- 7. THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN QUANTITIES AND SYMBOLS SHOWN.
- 8. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT, SOLAR NEEDS, WATER NEEDS, AND CULTURE ONLY AS APPROVED BY THE OWNERS REP.
- 9. PRIOR TO PLANTING, THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND ALL PLANTING AREAS SHALL BE MOISTENED BEFORE PLANTINGS.
- 10. ALL GRASS SEED AREAS SHALL RECEIVE A MINIMUM OF SIX (6) INCHES OF IMPORTED TOPSOIL AND TEN (10) INCHES IN PLANTING BEDS. ALL TOPSOIL USED ON THIS PROJECT SHALL MEET THE FOLLOWING CRITERIA:
  - 10.1. pH: 5.5 - 8.0
  - 10.2. MINIMUM 1% PERCENT ORGANIC MATTER
  - 10.3. TEXTURE (PARTICLE SIZE PER USDA SOIL CLASSIFICATION): SAND: <70%, CLAY: <30%
  - 10.4. SILT: = BALANCE
  - 10.5. STONE FRAGMENTS (GRAVELS OR ANY SOIL PARTICLE GREATER THAN 2 MM IN SIZE): <5% (BY VOLUME)
- 11. IN ADDITION, THE SOIL SHALL BE FERTILE, FRIABLE, NATURAL LOAM AND SHALL BE CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL BE FREE OF STONES, LUMPS, CLOUDS OF HARD EARTH, PLANTS OR THEIR ROOTS, STICKS AND OTHER EXTRANEOUS MATTER. THE SOIL SHALL CONTAIN NO NOXIOUS WEEDS NOR THEIR SEEDS. IT SHALL NOT BE USED FOR PLANTING OPERATIONS WHILE IN A FROZEN OR MUDDY CONDITION.
- 12. THE FOLLOWING PROCEDURES SHALL BE FOLLOWED IN PLACING ALL TOPSOIL:
  - 12.1. SUB-GRADE MATERIAL SHALL BE ROUGH GRADED TO PLUS OR MINUS 0.1 FEET OF A FINAL ROUGH GRADE WHICH WILL ALLOW THE CONTRACTOR TO ACHIEVE FINAL FINISH GRADE THROUGH THE INSTALLATION OF IMPORTED TOPSOIL.
  - 12.2. SCARIFY SURFACE OF SUB-GRADE TO A TWO (2) INCH DEPTH TO PROVIDE TRANSITION ZONE BETWEEN SUB-GRADE AND TOPSOIL. PLACE TOPSOIL ON SUB-GRADE AND FINE GRADE TO FINAL FINISH GRADE AND TOPSOIL DEPTHS AS INDICATED ON THE DRAWINGS AND IN THESE NOTES.
  - 12.3. FINISH GRADE TO BE 1" BELOW TOP OF CURB OR WALK FOR TURF AREAS, 2" FOR PLANTER BEDS.
  - 12.4. LANDSCAPE CONTRACTOR SHALL MAINTAIN A MINIMUM 3% DRAINAGE AWAY FROM ALL BUILDINGS, STRUCTURES, AND WALLS. FINISHED GRADES SHALL BE SMOOTHED TO ELIMINATE STANDING WATER, UNLESS SPECIFIED ON GRADING PLAN (SEE CIVIL SET).
  - 12.5. ALL FINISHED GRADES SHALL BE APPROVED BY THE OWNER/OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION OF ANY PLANT MATERIALS.
- 13. CONTRACTOR SHALL HAVE THE OWNERS REP. APPROVE PLANT MATERIAL SIZE AND QUALITY PRIOR TO INSTALLATION. ANY PLANTS WHICH ARE NOT TRUE TO FORM, APPEAR STRESSED OR UNHEALTHY, INFESTED WITH PESTS, OR UNDESIRABLE FOR THEIR CONTAINERS SHALL BE REJECTED.
- 14. PLANT MATERIAL SHALL NOT BE ROOT BOUND. THREE (3) GALLON PLANTS AND LARGER SHALL HAVE BEEN GROWN IN CONTAINERS FOR A MINIMUM OF SIX (6) MONTHS UP TO A MAXIMUM OF TWO (2) YEARS. PLANTS SHALL EXHIBIT HEALTHY GROWTH AND BE FREE OF DISEASES AND PESTS. BARE ROOT MAY BE USED WHEN APPROVED BY OWNERS REP.
- 15. ALL TREES SHALL BE 2" CALIPER SIZE MEASURED 12" ABOVE THE GROUND.
- 16. PLANTS SHALL NOT BE PLACED WITHIN TWELVE (12) INCHES OF SPRINKLER HEADS.
- 17. PLANTING PROCEDURES FOR ALL PLANT MATERIALS, ESPECIALLY TREES, SHALL BE AS FOLLOWS:
  - 17.1. DIG PLANTING HOLE THREE (3) TIMES THE WIDTH OF THE ROOT BALL, AND SAME DEPTH AS THE ROOT BALL. DEPTH, SIDES OF HOLE SHOULD BE ROUGHENED AND NOT SMOOTH OR SCULPTED.
  - 17.2. FOR CONTAINER PLANTS, REMOVE CONTAINER AND PLACE ROOT BALL IN CENTER OF HOLE, WITH ROOT BALL RESTING ON UNDISTURBED SOIL. ROOT CROWN OR COLLAR SHALL BE AT OR JUST ABOVE FINISHED GRADE.
  - 17.3. FOR BURLAP AND BURLAP PLANTS, PLACE ROOT BALL IN CENTER OF HOLE AND RESTING ON UNDISTURBED GROUND, CUT AND REMOVE WIRE BASKET AND BURLAP OR OTHER WRAPPING MATERIAL FROM ROOT BALL THIS MAY BE DONE WITH ROOT BALL IN HOLE. BURLAP OR WIRE PIECES UNDERNEATH THE ROOT BALL MAY BE LEFT IF THEY CANNOT BE REMOVED. DO NOT FOLD BURLAP OVER, BUT CUT AWAY AS MUCH AS POSSIBLE WITHOUT DISTURBING ROOT BALL. BACKFILL BOTTOM THIRD (1/3) OF HOLE AS WIRE AND BURLAP ARE REMOVED.
  - 17.4. PLACE PLANT IN THE HOLE AND BACKFILL TO HALFWAY POINT AND PLACE AGRIFORM PLANTING TABLETS IN THE HOLE ABOUT 1-2 INCHES AWAY FROM THE ROOT TIPS. DO NOT PLACE TABLETS IN THE BOTTOM OF THE PLANTING HOLE. SEE DETAIL AND CHART FOR SUGGESTED APPLICATION RATES.
  - 17.5. FINISH FILLING THE HOLE AROUND THE PLANT TO GRADE LEVEL.
  - 17.6. THOROUGHLY WATER PLANT, THEN COMPLETE BACKFILLING THE HOLE. FORM A WATERING BASIN AROUND THE PLANT AND THOROUGHLY WATER AGAIN.
- 18. MONITOR ALL PLANTS TO INSURE THAT NO SETTLING OCCURS.
- 19. THE LANDSCAPE CONTRACTOR SHALL LEAVE SITE IN A CLEAN CONDITION, REMOVING ALL UNUSED MATERIAL, TRASH AND TOOLS.
- 20. AT SUBSTANTIAL COMPLETION OF ALL WORK OUTLINED IN THESE PLANS, THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNER AND ARRANGE FOR A WALK THROUGH. SUBSTANTIAL COMPLETION SHALL BE DEFINED AS COMPLETION OF ALL WORK OUTLINED IN THE PLANS AND SPECIFICATIONS WITH THE EXCEPTION OF FINAL CLEAN UP AND DEMOBILIZATION. WORK MUST BE FULLY COMPLETED ACCORDING TO ALL PLANS, NOTES, AND SPECIFICATIONS AND EXHIBIT PROFESSIONAL OPINION. A MAINTENANCE PERIOD WILL BEGIN ON THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION BY OWNER.
- 21. LANDSCAPE CONTRACTOR TO PROVIDE DETAILED AS-BUILT DRAWINGS TO OWNERS REPRESENTATIVE UPON COMPLETION OF LANDSCAPE PLANTING. THE DRAWING TO SHOW LOCATION OF: BUILDING, HARDSCAPES, AND ALL PLANT MATERIAL (TREES, SHRUBS, GRASSES, PERENNIALS AND OTHERS). THE AS-BUILT DRAWINGS MUST USE THE BOTANICAL NAMES OF SPECIES INSTALLED. THE CONTRACTOR MUST REVIEW THE AS-BUILT DRAWINGS WITH OWNERS REPRESENTATIVE PRIOR TO COMPLETION OF PROJECT.
- 22. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS UNTIL PROJECT COMPLETION AS DETERMINED BY THE OWNERS REP. TURF SHALL BE CONSIDERED FULLY ESTABLISHED WHEN GRASS STANDS COME IN UNIFORM AND THICK, WITH NO BARE OR THIN SPOTS, AND ROOTS HAVE BEGUN TO SPREAD AND KNOT TOGETHER. NO WEEDS SHALL BE ALLOWED IN THE GRASS. THE MAINTENANCE WORK REQUIRED SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - 22.1. DAILY WATERING OF ALL PLANT MATERIAL.
  - 22.2. WEEDING AND REMOVAL OF ALL WEEDS FROM GROUND COVER AND PLANTING AREAS.
  - 22.3. REPLACEMENT OF ANY DEAD, DYING, OR DAMAGED TREES, SHRUBS OR GROUND COVER.
  - 22.4. FILLING AND REPLANTING OF ANY LOW AREAS WHICH MAY CAUSE STANDING WATER.
  - 22.5. ADJUSTING OF SPRINKLER HEAD HEIGHTS AND WATERING PATTERNS.
  - 22.6. FILLING AND RE-COMPACTING OF ERODED AREAS, ALONG WITH ANY REQUIRED RE-SEEDING AND/OR RE-PLANTING.
  - 22.7. GRASS SHALL BE MOVED WHEN BLADES REACH THREE (3) INCHES TALL, NO MORE THAN ONE THIRD (1/3) OF THE BLADE SHALL BE REMOVED PER CUTTING. CUTTING FREQUENCY SHALL BE ONCE EVERY FIVE (5) TO SEVEN (7) DAYS.
  - 22.8. WEEKLY REMOVAL OF ALL TRASH, LITTER, CLIPPINGS AND ALL FOREIGN DEBRIS.

- 23. CONTRACTOR TO FERTILIZE TREES, SHRUBS, PERENNIALS AND GRASSES WITH MILLERS A TO Z MIX ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- 24. PLANT QUALITY AT OR BELOW THE SOIL LINE:
  - 24.1. A MINIMUM OF THREE STRUCTURAL ROOTS REASONABLY DISTRIBUTED AROUND THE TRUNK SHALL BE FOUND IN EACH PLANT. PLANTS WITH STRUCTURAL ROOTS ON ONLY ONE SIDE OF THE TRUNK (J ROOTS) SHALL BE REJECTED.
  - 24.2. THE ROOT CROWN MUST NOT BE MORE THAN TWO INCHES BELOW THE SOIL LINE. THE TOP TWO STRUCTURAL ROOTS SHALL BE NO MORE THAN TREE INCHES BELOW THE SOIL LINE WHEN MEASURED FOUR INCHES RADIAL TO THE TRUNK. THE TOP OF THE OTHER STRUCTURAL ROOT SHALL BE NO GREATER THAN FIVE INCHES BELOW THE SOIL LINE WHEN MEASURED FOUR INCHES RADIAL TO THE TRUNK. THE GROWER MAY REQUEST A MODIFICATION TO THIS REQUIREMENT FOR SPECIES WITH ROOTS THAT RAPIDLY DESCEND, PROVIDED THAT THE GROWER REMOVES ALL CIRCLING ROOTS ABOVE THE STRUCTURAL ROOTS ACROSS THE TOP OF THE STRUCTURAL ROOTS.
  - 24.3. THE ROOT SYSTEM SHALL BE REASONABLY FREE OF ROOT DEFECTS INCLUDING POTENTIALLY STEM-GIRDLING ROOTS ABOVE THE ROOT COLLAR AND MAIN STRUCTURAL ROOTS, VERTICAL ROOTS, AND/OR KINKED ROOTS FROM NURSERY PRODUCTION PRACTICES, INCLUDING ROOTS ON THE INTERIOR OF THE ROOT BALL.
  - 24.3.1. REASONABLE AND REASONABLY - WHEN USED IN THIS SPECIFICATION RELATIVE TO PLANT QUALITY - ARE INTENDED TO MEAN THAT THE CONDITIONS CITED WILL NOT AFFECT THE ESTABLISHMENT OR LONG-TERM STABILITY, HEALTH, OR GROWTH OF THE PLANT. THIS SPECIFICATION RECOGNIZES THAT IT IS NOT POSSIBLE TO PRODUCE PLANTS FREE OF ALL DEFECTS AND THAT SOME DECISIONS CANNOT BE TOTALLY BASED ON MEASURED FINDINGS, SO PROFESSIONAL JUDGEMENT IS REQUIRED. IN CASES OF DIFFERING OPINION, THE LANDSCAPE ARCHITECT SHALL DETERMINE WHEN CONDITIONS WITHIN THE PLANT ARE JUDGED AS REASONABLE.
  - 24.3.2. THE FINAL PLANT GROWER SHALL BE RESPONSIBLE FOR CERTIFYING THAT THE PLANTS HAVE BEEN ROOT PRUNED AT EACH STEP IN THE PLANT PRODUCTION PROCESS TO REMOVE STEM-GIRDLING ROOTS AND KINKED ROOTS, OR SHALL ENSURE THAT THE PREVIOUS LIGNER PRODUCTION SYSTEM USED OTHER PRACTICES THAT PRODUCE A ROOT SYSTEM THROUGHOUT THE ROOT BALL THAT MEETS THESE SPECIFICATIONS, REGARDLESS OF THE WORK OF PREVIOUS GROWERS. THE PLANTS ROOT SYSTEM SHALL BE MODIFIED AT THE FINAL PRODUCTIONS STAGE TO PRODUCE THE REQUIRED PLANT ROOT QUALITY. THE FINAL GROWER SHALL CERTIFY IN WRITING THAT ALL PLANTS ARE REASONABLY FREE OF ROOT DEFECTS AS DEFINED IN THIS SPECIFICATION AND THAT THE TREE HAS BEEN GROWN AND HARVESTED TO PRODUCE A PLANT THAT MEETS THESE SPECIFICATIONS.
- 24.4. ALL PLANTS MAY BE INSPECTED AT THE SUPPLIER'S NURSERY. THE LANDSCAPE ARCHITECT MAY MAKE INVASIVE INSPECTION OF THE ROOT BALL AS NEEDED TO VERIFY THAT PLANTS MEET THE REQUIREMENTS. INSPECTIONS OF CONTAINER TREES MAY REQUIRE RANDOM CUTTING INTO THE INTERIOR ROOT BALL OF UP TO 2 PERCENT BUT NOT FEWER THAN TWO TREES OF EACH TYPE OF TREE IN A CONTAINER AT EACH SOURCE NURSERY. SUCH CUTTING AND INSPECTION MAY RENDER THE CONTAINER TREE UNSUITABLE FOR PLANTING. FINDINGS OF THE ROOT INSPECTIONS SHALL BE CONSIDERED AS REPRESENTATIVE OF ALL TREES OF THAT TYPE FROM THAT SOURCE.
- 24.5. CONTAINER-GROWN PLANTS, IN ADDITION TO THE ABOVE REQUIREMENTS, SHOULD COMPLY WITH THE FOLLOWING:
  - 24.5.1. CONTAINER-GROWN PLANTS MAY BE PERMITTED ONLY WHEN INDICATED ON THE DRAWING OR THIS SPECIFICATION.
  - 24.5.2. CONTAINER-GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED.
- 24.6. SUFFICIENTLY TO HOLD ITS POTTING MEDIUM TOGETHER BUT NOT SO LONG AS TO HAVE DEVELOPED ROOTS THAT ARE MATTED OR CIRCLING AROUND THE EDGE OR INTERIOR OF THE ROOT MASS. PLANTS SHALL HAVE BEEN ROOT PRUNED AT EACH CHANGE IN CONTAINER SIZE.
  - 24.6.1. PLANTS THAT FAIL TO MEET ANY OF THE ABOVE REQUIREMENTS SHALL BE MODIFIED TO CORRECT DEFICIENCIES IF APPROVED BY THE LANDSCAPE ARCHITECT. MODIFICATION SHALL INCLUDE THE FOLLOWING:
    - 24.6.1.1. SHAVING ALL CIRCLING ROOTS ON THE EXTERIOR OF THE ROOT MASS DEEP ENOUGH SO THAT ALL CUT ROOTS ENDS ARE ROUGHLY RADIAL TO THE TRUNK.
    - 24.6.1.2. REMOVAL OF ALL ROOTS ABOVE THE TOP OF THE MAIN STRUCTURAL ROOTS AND TRUNK FLARE INCLUDE ANY ROOTS THAT ARE IMPRINTS FROM PREVIOUS SMALLER CONTAINERS. (THE ABOVE MODIFICATIONS SHALL NOT BE CAUSE TO ALTER THE WARRANTY PROVISIONS OF THIS SPECIFICATION.)

- 24.6.1. PLANTS THAT FAIL TO MEET ANY OF THE ABOVE REQUIREMENTS SHALL BE MODIFIED TO CORRECT DEFICIENCIES IF APPROVED BY THE LANDSCAPE ARCHITECT. MODIFICATION SHALL INCLUDE THE FOLLOWING:
  - 24.6.1.1. SHAVING ALL CIRCLING ROOTS ON THE EXTERIOR OF THE ROOT MASS DEEP ENOUGH SO THAT ALL CUT ROOTS ENDS ARE ROUGHLY RADIAL TO THE TRUNK.
  - 24.6.1.2. REMOVAL OF ALL ROOTS ABOVE THE TOP OF THE MAIN STRUCTURAL ROOTS AND TRUNK FLARE INCLUDE ANY ROOTS THAT ARE IMPRINTS FROM PREVIOUS SMALLER CONTAINERS. (THE ABOVE MODIFICATIONS SHALL NOT BE CAUSE TO ALTER THE WARRANTY PROVISIONS OF THIS SPECIFICATION.)

**TREE STAKING:**

- 31. LANDSCAPE CONTRACTOR TO PROVIDE BID TO STAKE UP TO 50% OF TREES.
- 32. THE OWNER/OWNERS REPRESENTATIVE SHALL HAVE THE AUTHORITY TO REQUIRE THAT TREES ARE STAKED OR TO REJECT STAKING AS AN ALTERNATIVE WAY TO STABILIZE THE TREE.
- 33. TREES THAT REQUIRE HEAVILY MODIFIED ROOT BALLS TO MEET THE ROOT QUALITY STANDARDS MAY BECOME UNSTABLE. THE OWNER/OWNERS REP MAY CHOOSE TO REJECT THESE TREES RATHER THAN UTILIZE STAKING TO TEMPORARILY SUPPORT THE TREE.
- 34. STAKES SHALL BE LODGE POLE STAKES FREE OF KNOTS AND OF DIAMETERS AND LENGTHS APPROPRIATE TO THE SIZE OF PLANT AS REQUIRED TO ADEQUATELY SUPPORT THE PLANT.
- 35. PLANTS SHALL STAND PLUMB AFTER STAKING REMOVE TREE STAKING AFTER THE FIRST FULL GROWING SEASON UNLESS DIRECTED BY THE OWNER/OWNERS REP.

**MULCH:**

- 36. ALL PLANTER BEDS ARE TO RECEIVE ROCK MULCH AS SPECIFIED ON PLANS OR APPROVED EQUAL BY OWNERS REP.
- 37. PRIOR TO PLACEMENT OF WEED FABRIC, TREAT AREAS WITH PRE-EMERGENT HERBICIDE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

**WEED FABRIC:**

- 39. AREAS TO RECEIVE WEED BARRIER FABRIC INCLUDE PLANTER BEDS WITH ROCK MULCH. CONTRACTOR TO INSTALL DEWITT PRO 5 WEED FABRIC. CONTRACTOR TO INSTALL WEED BARRIER PER MANUFACTURER'S RECOMMENDATIONS INCLUDING THE USE OF STAPLES AS OFTEN AS RECOMMENDED.

**MAINTENANCE & WARRANTIES:**

- 40. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF THE TREES, PLANTER BEDS (INCLUDING WEEDING), SHRUB PRUNING, WATERING THE PLANTS AND IRRIGATION SYSTEM FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- 41. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF LANDSCAPE FOR 90 DAYS PAST THE FINAL INSPECTION. THE MAINTENANCE IS TO INCLUDE: WEEDING PLANTER BED AREAS, SPRAYING THE SOD AREAS FOR WEEDS AND FERTILIZATION (1 APPLICATION AFTER INITIAL APPLICATION), MOWING, TRIMMING, AND IRRIGATION REPAIRS.
- 42. ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED BY THE CONTRACTOR AS TO GROWTH AND HEALTH FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION OF THE MAINTENANCE PERIOD AND FINAL ACCEPTANCE. ALL TREES SHALL BE GUARANTEED BY THE CONTRACTOR TO LIVE AND GROW IN AN ACCEPTABLE UPRIGHT POSITION FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION OF THE SPECIFIED MAINTENANCE PERIOD AND FINAL ACCEPTANCE.
- 43. THE ONLY CONDITIONS WHICH RELIEVE THE CONTRACTOR FROM THE GUARANTEE OF PLANT MATERIALS AS DESCRIBED ABOVE ARE THOSE WHICH CAN BE SHOWN ARE A DIRECT RESULT OF IMPROPER CARE OR WATERING BY THE OWNER AFTER THE MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD.
- 44. THE CONTRACTOR, WITHIN FIFTEEN (15) DAYS AFTER RECEIVING WRITTEN NOTIFICATION BY THE OWNERS REP, SHALL REMOVE AND REPLACE ALL GUARANTEED PLANT MATERIALS WHICH FAIL TO MEET THE REQUIREMENTS OF THE GUARANTEE. REPLACEMENT SHALL BE MADE WITH PLANT MATERIALS AS INDICATED OR SPECIFIED ON THE ORIGINAL PLANS, AND ALL SUCH REPLACEMENT MATERIALS SHALL BE GUARANTEED AS SPECIFIED FOR THE ORIGINAL MATERIALS.

**AGRIFORM® 20-10-5 PLANTING TABLETS PLUS MINORS**

SUGGESTED APPLICATION RATES							
Agriform® 21-gm Tablets (SKU# E90026, G90026) (Available in Canada SKU# E98355)							
Tree / Shrub Container Size							
1 gal	2 gal	3 gal	5 gal	7 gal	15 gal	24" box	
Installation	1 to 2	2 to 3	2 to 3	3 to 5	7 to 10	15 to 24	
Maintenance Rates for Established Plantings (Plant Height or Spread)							
18" or less							
	18-30"	36-54"	4.5-6 ft.	6-7.5 ft.	7.5-9 ft.	Each additional 18"	
Slow Growing	1	1 to 2	2 to 3	3 to 4	4 to 5	5 to 6	add 1
Fast Growing	2	2 to 4	4 to 6	6 to 8	8 to 10	10 to 12	add 1

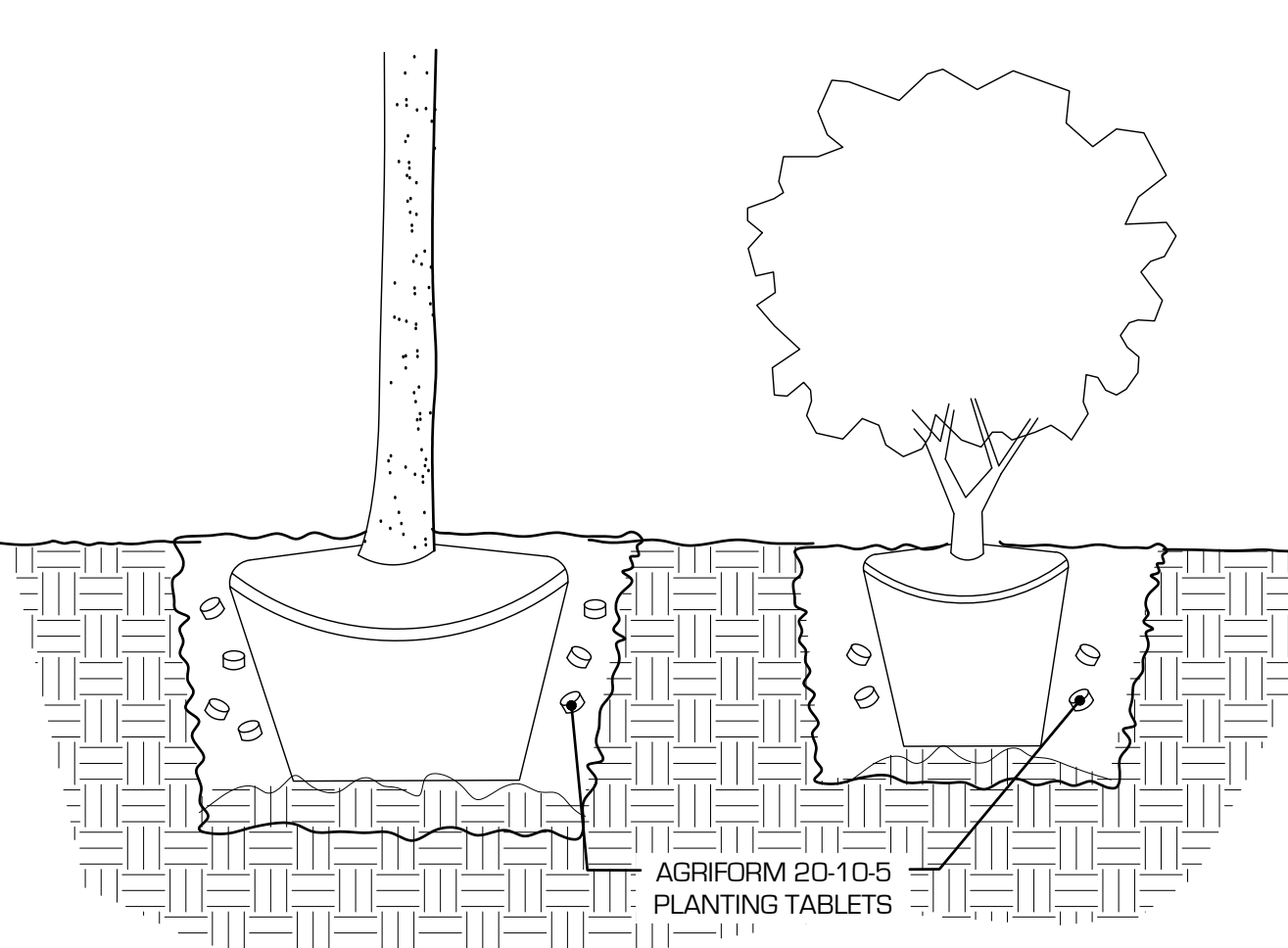
**Agriform® 10-gm Tablets (SKU# E90805, G90805)**  
Application Rate for Well-Rooted Liners (Quart to gallon size)  
1 to 2 tablets for each plant

**Agriform® 5-gm Tablets (SKU# E90915, G90915)**  
Application Rate for Small Ground Cover/Perennials (Quart size or smaller)  
1 tablet for each plant

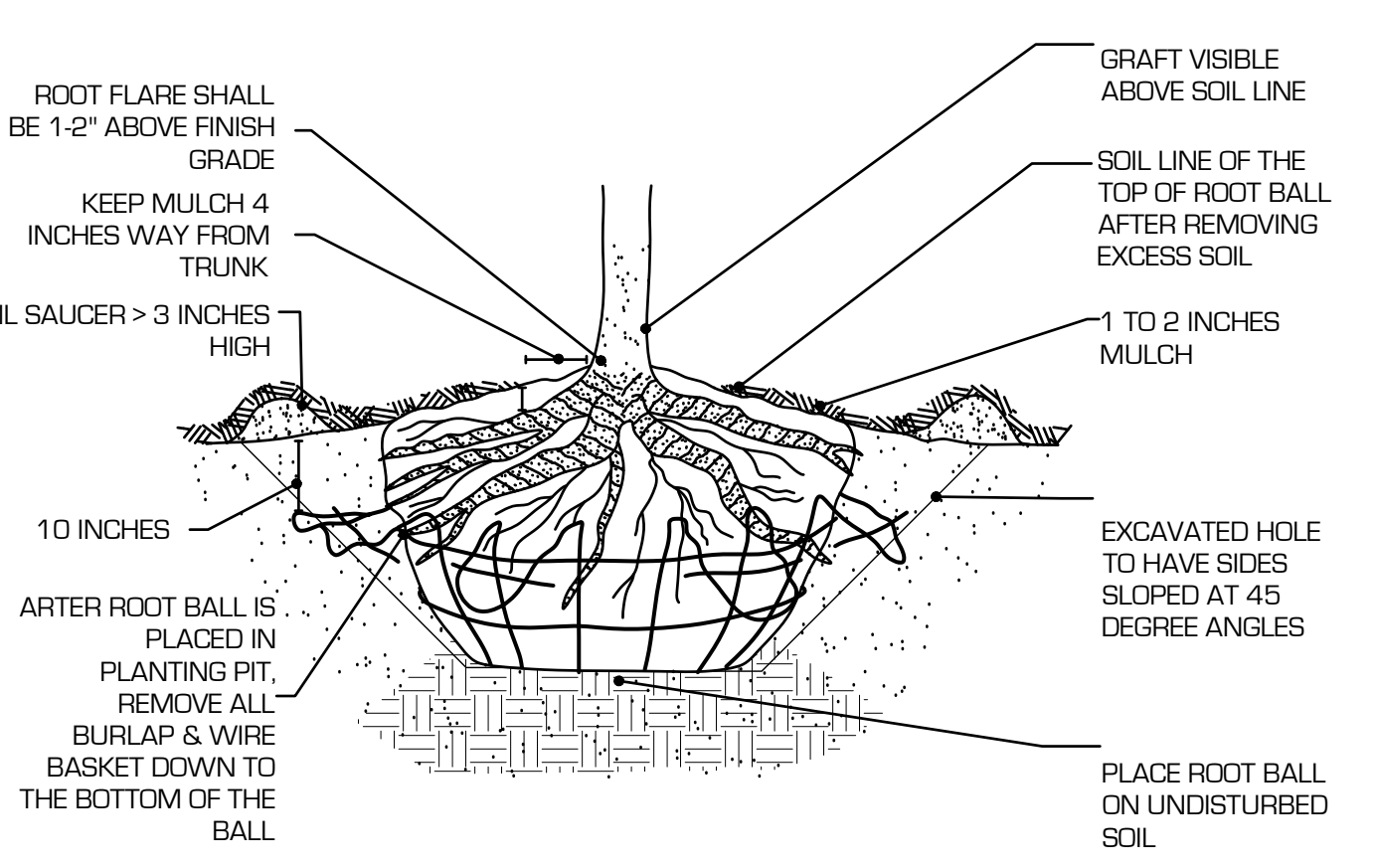
Always refer to label instructions before application

**BID SPECIFICATIONS:**

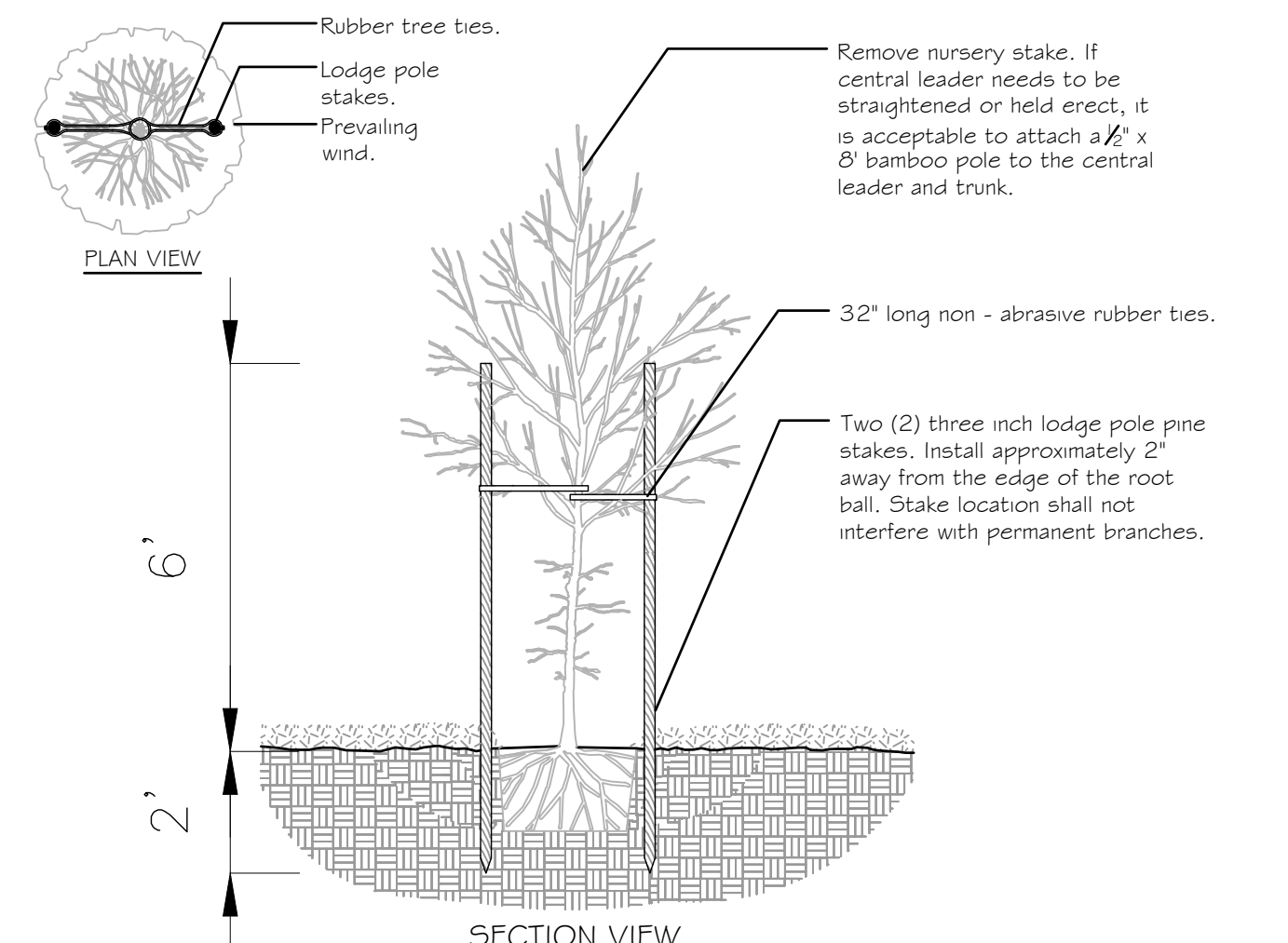
PLANTING TABLET SHALL BE TIGHTLY COMPRESSED, LONG LASTING AND SLOW RELEASE. WEIGHTS OF 5, 10, AND 21 GRAMS WITH A NITROGEN (N), PHOSPHORUS (P), AND POTASSIUM (K) ANALYSIS OF 20-10-5 AND TRACE ELEMENTS DERIVED FROM THE SOURCES LISTED IN THE GUARANTEED ANALYSIS.



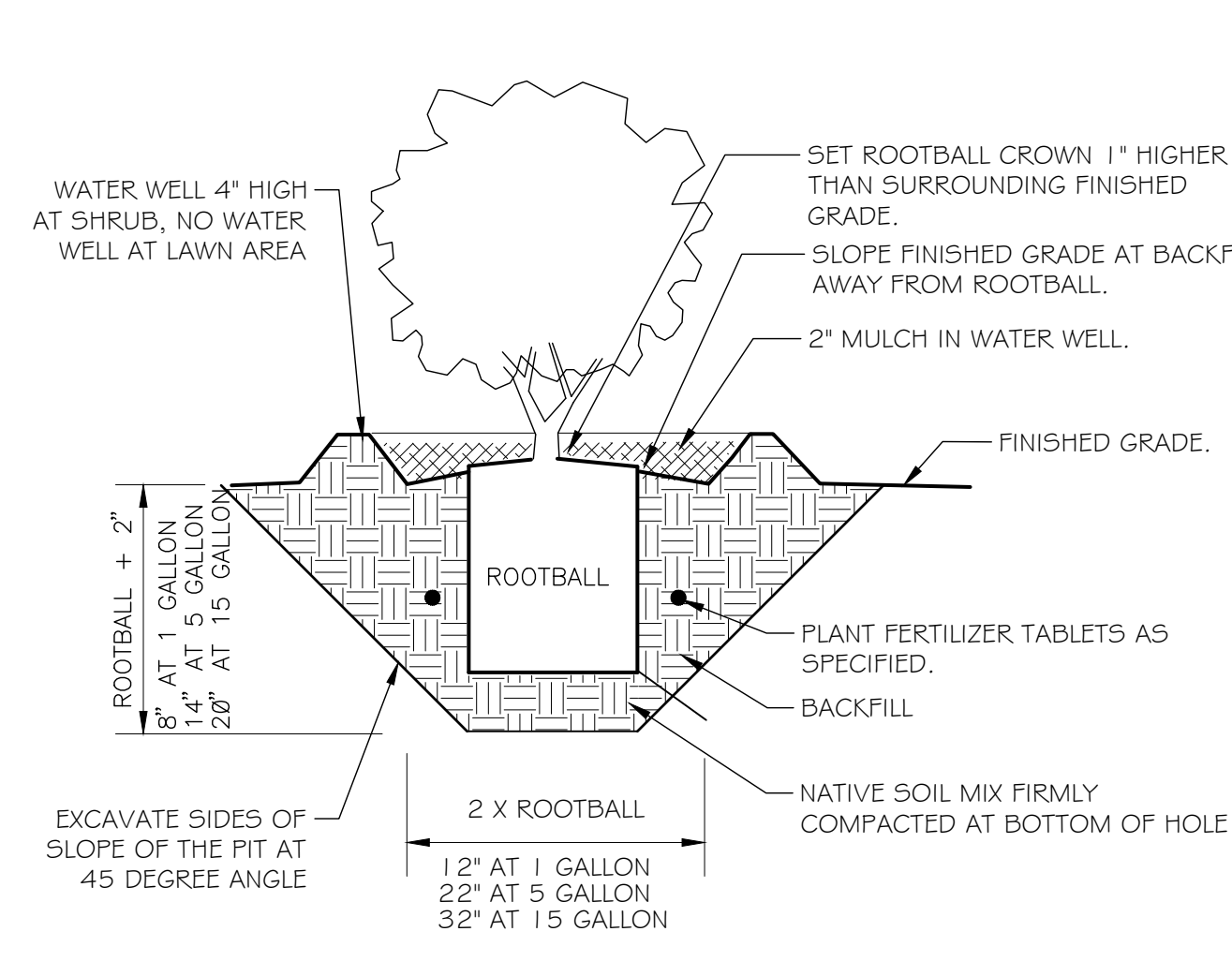
**1 AGRIFORM 20-10-5 PLANTING TABLETS**  
NOT TO SCALE 3293-01



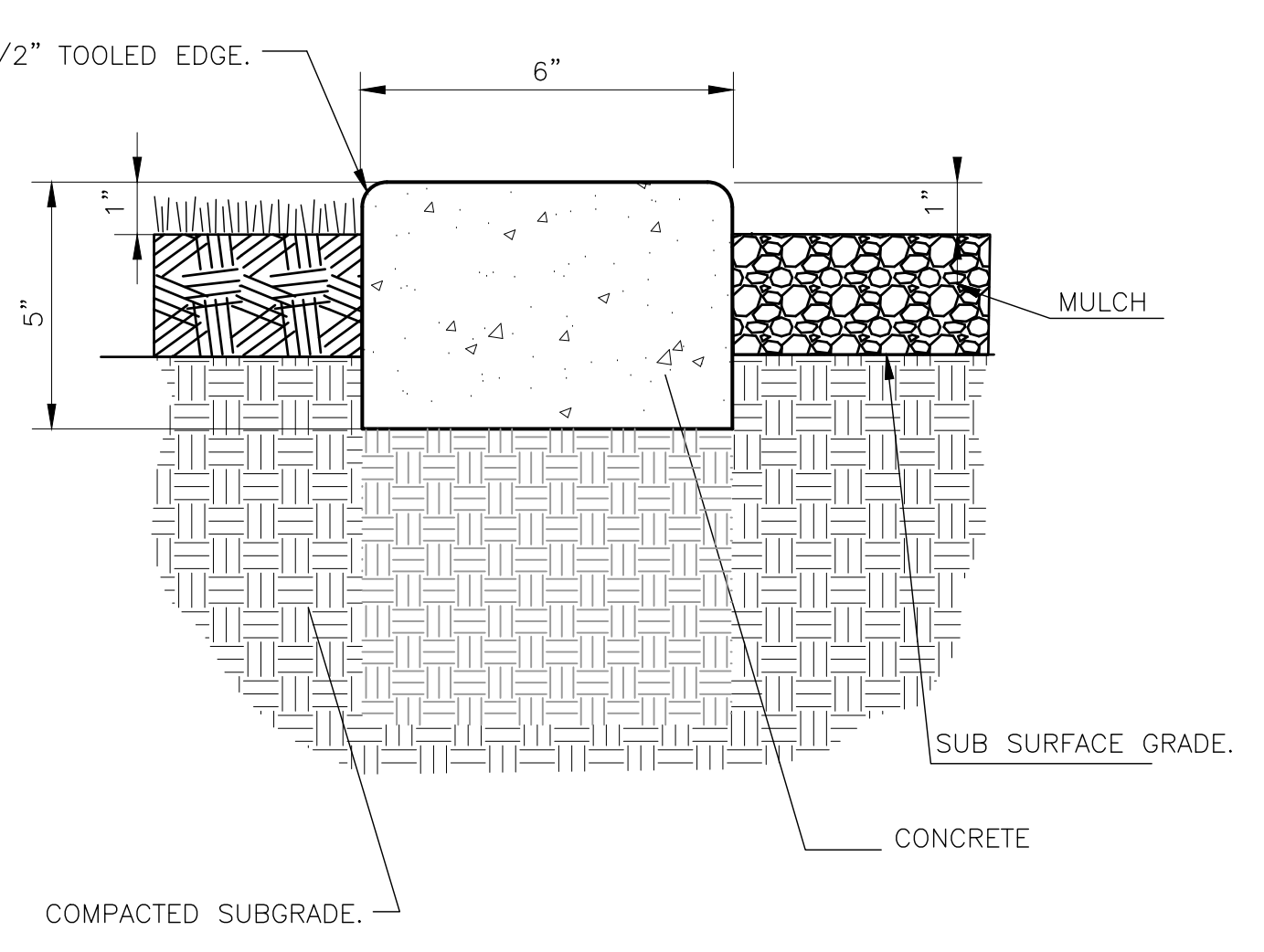
**2 TYPICAL TREE B&B PLANTING DETAIL**  
329343-03



**3 TREE DOUBLE STAKING**  
NOT TO SCALE 329343-06



**4 SHRUB PLANTING**  
NOT TO SCALE 329333-13-01

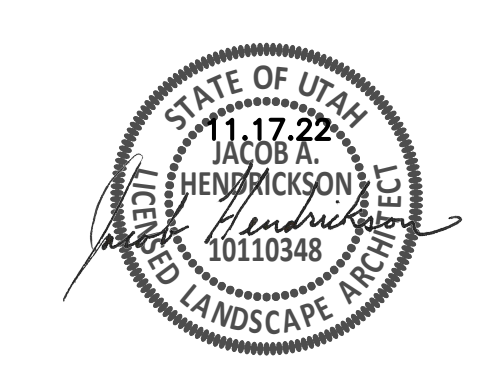


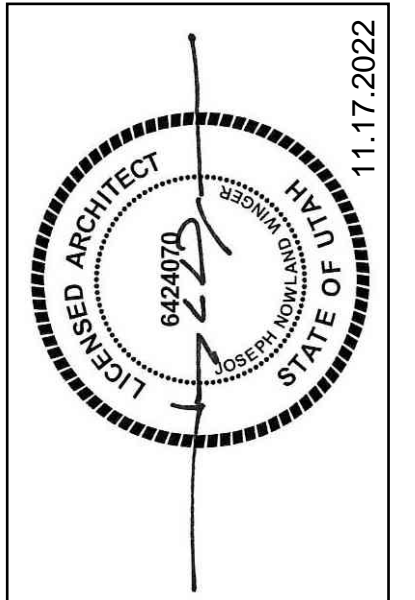
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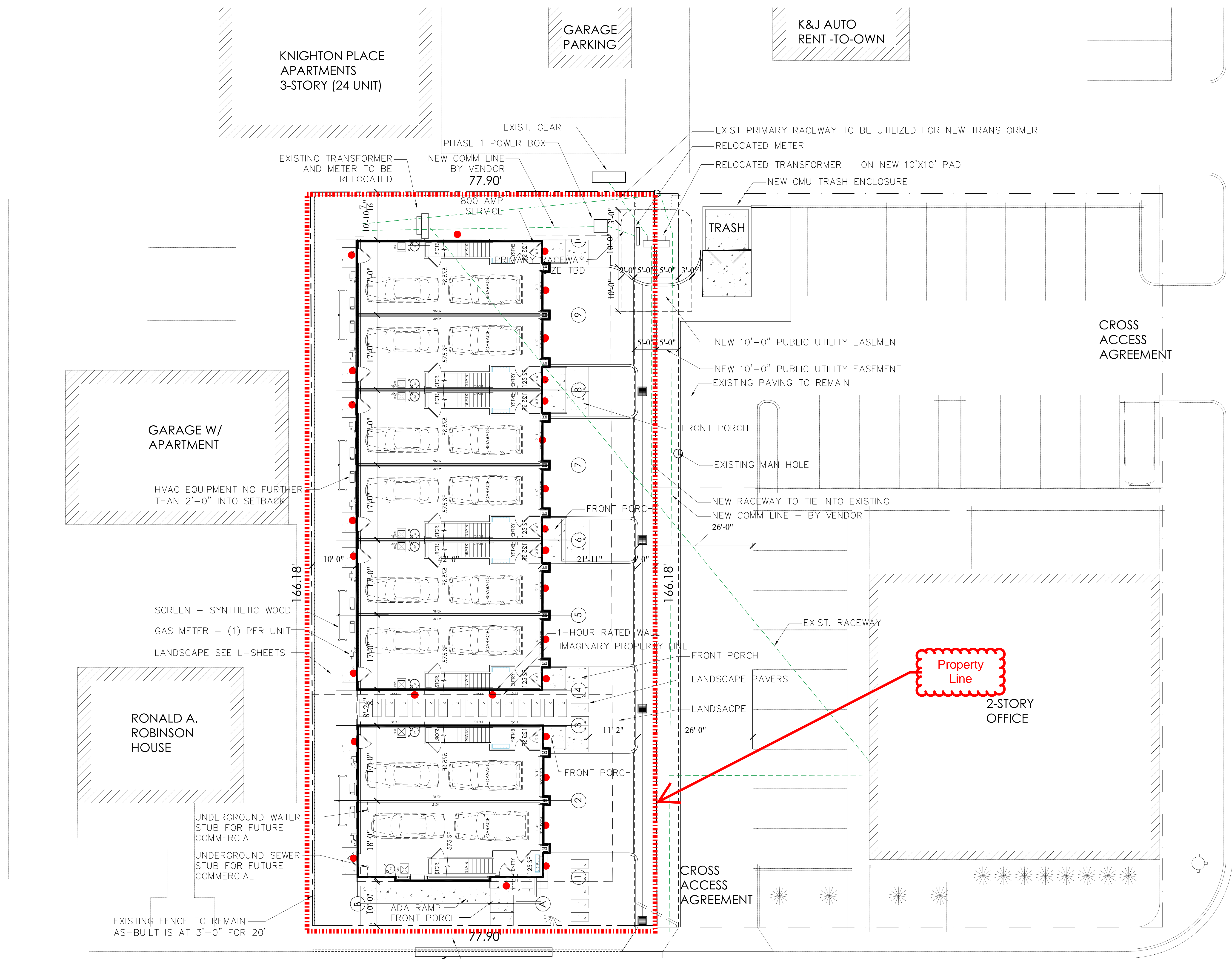
MARK:	DATE:	DESCRIPTION:

PROJECT #: 22-009  
DRAWN BY: KJ  
REVIEWED BY: JH  
ISSUED: 11.17.2022





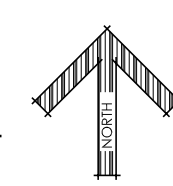
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MAIN

400 South

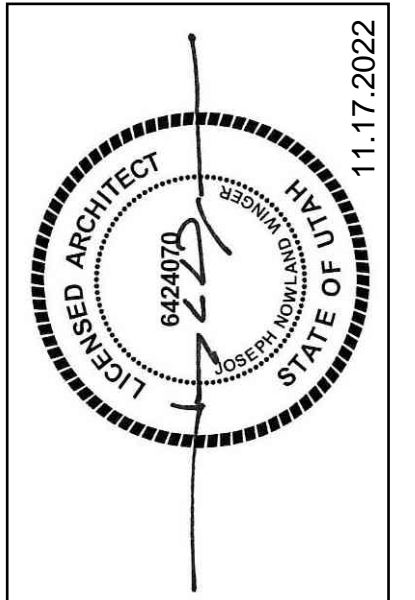
1 SITE PLAN  
SCALE: 1" = 10'-0"



**TOWNS at 400**  
30 West 400 South  
Bountiful Utah 84010

REVISION BLOCK	
NO.	DATE: DESCRIPTION:

**E100**  
LIGHTING PLAN  
date: 11.17.2022

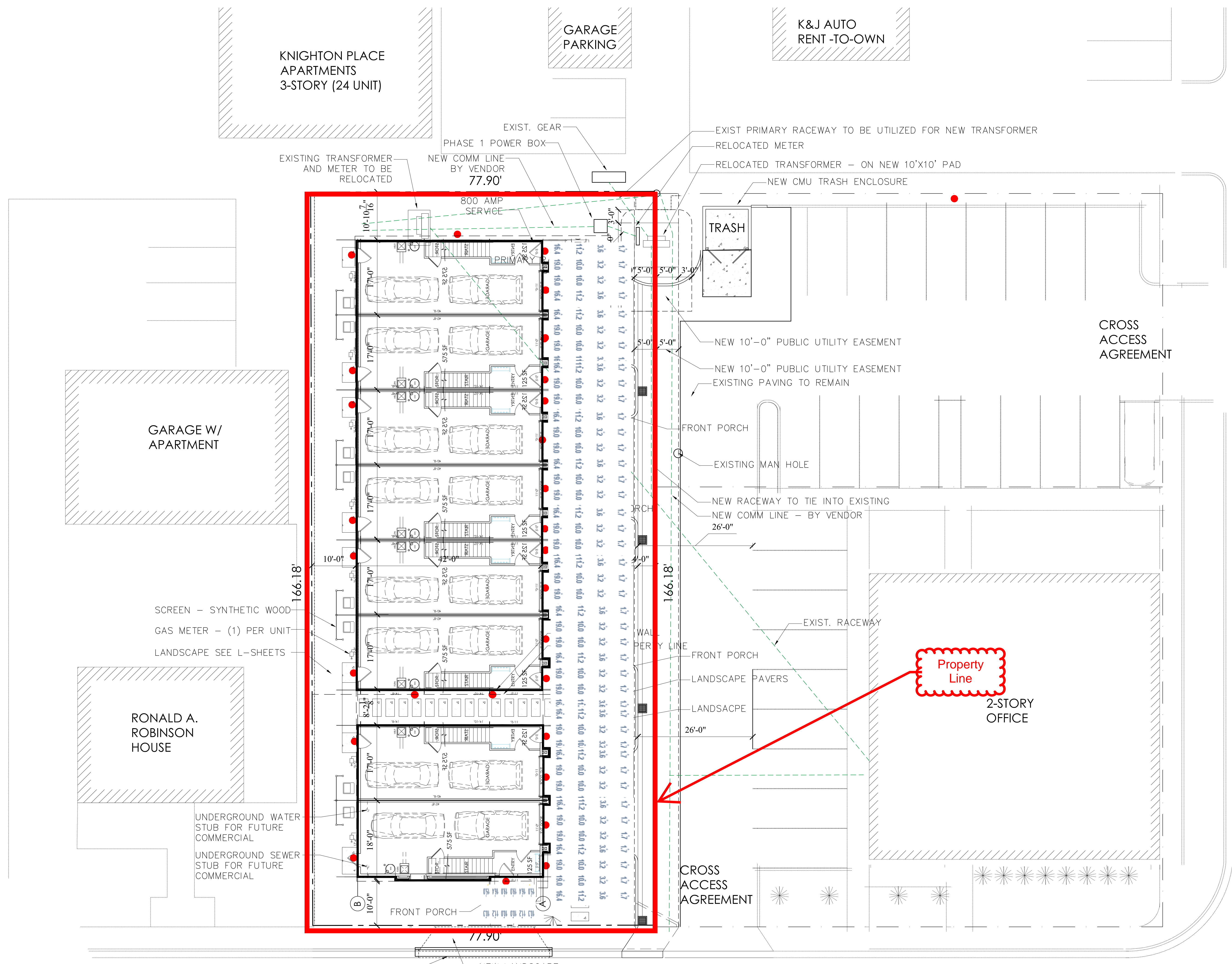


stamp:

**TOWNS at 400**  
 30 West 400 South  
 Bountiful Utah 84010

REVISION BLOCK	
NO.	DATE: DESCRIPTION:

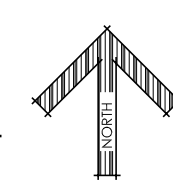
**E101**  
 PHOTOMETRIC  
 PLAN  
 date:  
 11.17.2022



MAIN

400 South

1 SITE PLAN  
 SCALE: 1" = 10'-0"



# BOUNTIFUL 390 APARTMENTS CONSTRUCTION DRAWINGS

11/1/2022

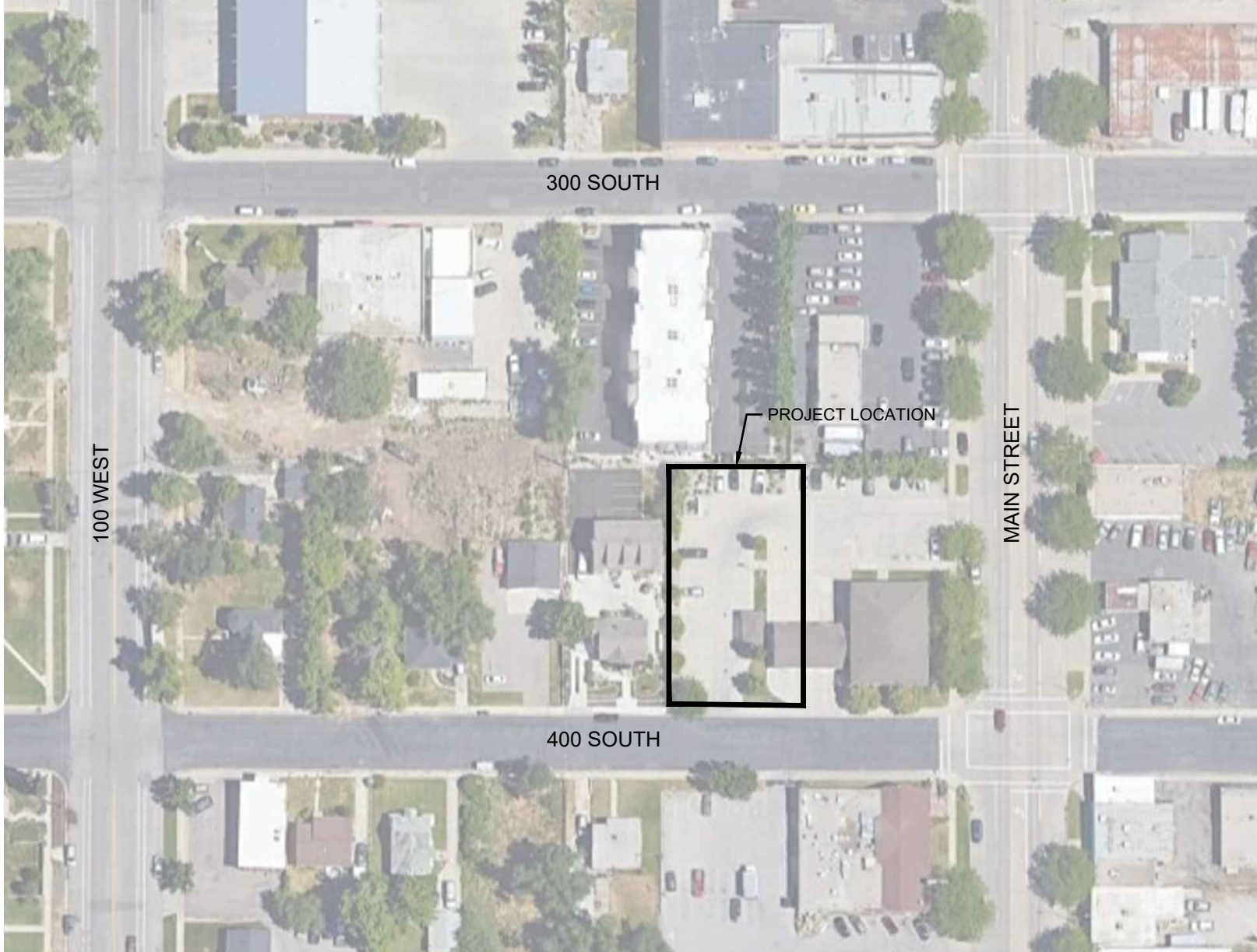
**civilsolutionsgroup inc.**  
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SALT LAKE | P: 801.216.3192  
UTAH VALLEY | P: 801.874.1432  
info@civilsolutionsgroup.net  
www.civilsolutionsgroup.net

### LEGEND EXISTING

- ADJACENT PROPERTY BOUNDARY
- w CULINARY WATER LINE
- ss SANITARY SEWER LINE
- sd STORM DRAIN LINE
- ir IRRIGATION LINE
- g GAS LINE
- e UNDERGROUND POWER LINE
- e AERIAL POWER LINE
- c UNDERGROUND COMMUNICATION LINE
- #### CONTOUR MINOR
- #### CONTOUR MAJOR
- x x FENCE
- ASPHALT PAVEMENT
- CLOSED FACE CURB AND GUTTER
- OPEN FACE CURB AND GUTTER
- CONCRETE PAVEMENT
- EXISTING TO BE REMOVED
- W WATER VALVE
- FIRE HYDRANT
- W WATER METER
- S SEWER MANHOLE
- STORM DRAIN BOX
- STORM WATER CATCH BASIN
- ROAD SIGN
- POWER POLE
- DECIDUOUS TREE
- CONIFEROUS TREE

### LEGEND PROPOSED

- PROPERTY BOUNDARY
- W CULINARY WATER LINE (SIZE SHOWN ON PLAN)
- SS SANITARY SEWER LINE (SIZE SHOWN ON PLAN)
- SD STORM DRAIN LINE (SIZE SHOWN ON PLAN)
- IR IRRIGATION LINE (SIZE SHOWN ON PLAN)
- G GAS LINE
- E UNDERGROUND POWER LINE
- E AERIAL POWER LINE
- C UNDERGROUND COMMUNICATION LINE
- #### CONTOUR MAJOR
- #### CONTOUR MINOR
- x x FENCE
- ASPHALT PAVEMENT
- CLOSED FACE CURB & GUTTER
- OPEN FACE CURB & GUTTER
- CURB & GUTTER TRANSITION
- CONCRETE PAVEMENT
- W WATER VALVE
- FIRE HYDRANT
- W WATER METER
- S SEWER MANHOLE
- STORM DRAIN BOX
- STORM WATER CATCH BASIN
- ROAD SIGN



7. ALL MATERIALS, WORKMANSHIP, CONSTRUCTION AND PLACEMENT SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS AS DEFINED IN THE MANUAL OF STANDARD SPECIFICATIONS AND MANUAL OF STANDARD PLANS, UTAH CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS. WHERE THERE IS A CONFLICT BETWEEN THESE PLANS, SPECIFICATIONS OR ANY APPLICABLE STANDARD, THE MOST RESTRICTIVE STANDARD SHALL APPLY.
8. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
9. WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE UTAH CHAPTER OF AMERICAN PUBLIC WORKS ASSOCIATION (APWA) STANDARD PLANS AND SPECIFICATIONS, 2017 EDITION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD LOCATING AND VERIFYING ELEVATIONS OF ALL EXISTING SEWER MAINS, WATER MAINS, CURBS, GUTTERS AND OTHER UTILITIES AT THE POINTS OF CONNECTION SHOWN ON THE PLANS AND AT ANY UTILITY CROSSINGS PRIOR TO INSTALLING ANY OF THE SITE ELEMENTS INDICATED IN THESE PLANS. IF A CONFLICT EXISTS AND/OR A DESIGN MODIFICATION IS REQUIRED, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
11. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES, AS INDICATED ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT BLUE STAKES (BY DIALING 811) AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION, TRENCHING OR GRADING TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. ALL OTHER UN-REGISTERED UTILITIES (I.E. DITCH, IRRIGATION COMPANY, OTHER SITE-SPECIFIC UTILITIES, ETC.) ARE TO BE LOCATED BY CONTACTING, IN ADVANCE, THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS SHOULD ALSO BE LOCATED PRIOR TO BEGINNING EXCAVATION, TRENCHING OR GRADING ACTIVITIES.
12. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE PROJECT OWNER, LOCAL JURISDICTION AND ALL UTILITY COMPANIES INVOLVED REGARDING RELOCATIONS, ADJUSTMENTS, EXTENSIONS AND REARRANGEMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH MINIMAL DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL MEANS REQUIRED TO PROTECT EXISTING UTILITIES AND/OR TO WORK AROUND SUCH UTILITIES. THIS INCLUDES, BUT IS NOT LIMITED TO, SUPPORTING EXISTING UTILITIES, SHORING AROUND EXISTING UTILITIES, PHASING OF WORK AND TRAFFIC CONTROL.
8. THE CONTRACTOR SHALL NOTIFY THE LOCAL JURISDICTION AND AFFECTED UTILITY COMPANY, AND ALL AFFECTED PARTIES A MINIMUM OF 24 HOURS PRIOR TO ANY EXISTING UTILITIES, SHORING AROUND EXISTING UTILITIES, PHASING OF WORK AND TRAFFIC CONTROL.
9. THE CONTRACTOR IS NOT TO OPERATE ANY VALVES, FIRE HYDRANTS AND OTHER APPURTENANCES. COORDINATE WITH THE UTILITY SUPPLIER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY, INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, SECURITY AND OTHER SITE RELATED SAFETY PRACTICES. REFER TO OSHA PUBLICATION 2226, EXCAVATING AND TRENCHING.
11. IF DURING CONSTRUCTION CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
12. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN TO THE REVIEWING AGENCY (LOCAL GOVERNMENT, UDOT OR OTHERS AS REQUIRED BY PERMIT) FOR REVIEW AND ACCEPTANCE, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY. ALL TRAFFIC CONTROL PLANS SHALL BE IN ACCORDANCE WITH MUTCD OR UDOT STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TRAFFIC CONTROL DEVICES, PERSONNEL AND OTHER FACILITIES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
13. THE CONTRACTOR SHALL HAVE ONSITE AT ALL TIMES AN UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), A BMP MAINTENANCE FOLDER, ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND AGREEMENTS NEEDED FOR THE JOB.
14. THE CONTRACTOR SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE UTAH PERMIT FOR STORM WATER DISCHARGE, THE SWPPP AND THE EROSION CONTROL PLAN.
15. ALL BMPs SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION AND AT AREAS WITH DISTURBED SOIL (ON OR OFF SITE) PRIOR TO ANY OTHER GROUND DISTURBING ACTIVITY. ALL BMPs SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR.

16. MUD AND DEBRIS MUST BE REMOVED BY THE END OF EACH WORKING DAY BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, HAND SWEEPING, ETC.).
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-CONSTRUCTED INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE. THIS RECORD DRAWING SET SHALL BE AVAILABLE TO THE OWNERS/ENGINEERS DESIGNATED REPRESENTATIVE AT ALL TIMES.
18. WORK ACTIVITY AND SCHEDULES SHALL BE COORDINATED WITH THE OWNER AND THEIR ACTIVITIES ON-SITE.
19. UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS AND SPECIFICATIONS.
20. IMPROVEMENTS DEPICTED IN THESE PLANS AND CONSTRUCTED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR TO BE FREE FROM MATERIAL AND WORKMANSHIP DEFECTS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
21. THE APPROVED, DESIGNATED PROJECT SUPERVISOR SHALL BE ON-SITE WHILE WORK IS BEING CONDUCTED.
22. SOIL COMPACTION EFFORT SHALL BE PER GEOTECHNICAL REPORT BY CIVIL SOLUTIONS GROUP.

**Reviewed by Planning Department**  
Amber Corbridge Senior Planner  
11/07/2022

**PLAN REVIEW updated**  
11/03/2022 11/10/22  
LLOYD CHENEY  
BOUNTIFUL CITY ENGINEER

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390 APARTMENTS  
390 SOUTH MAIN STREET  
BOUNTIFUL, UTAH

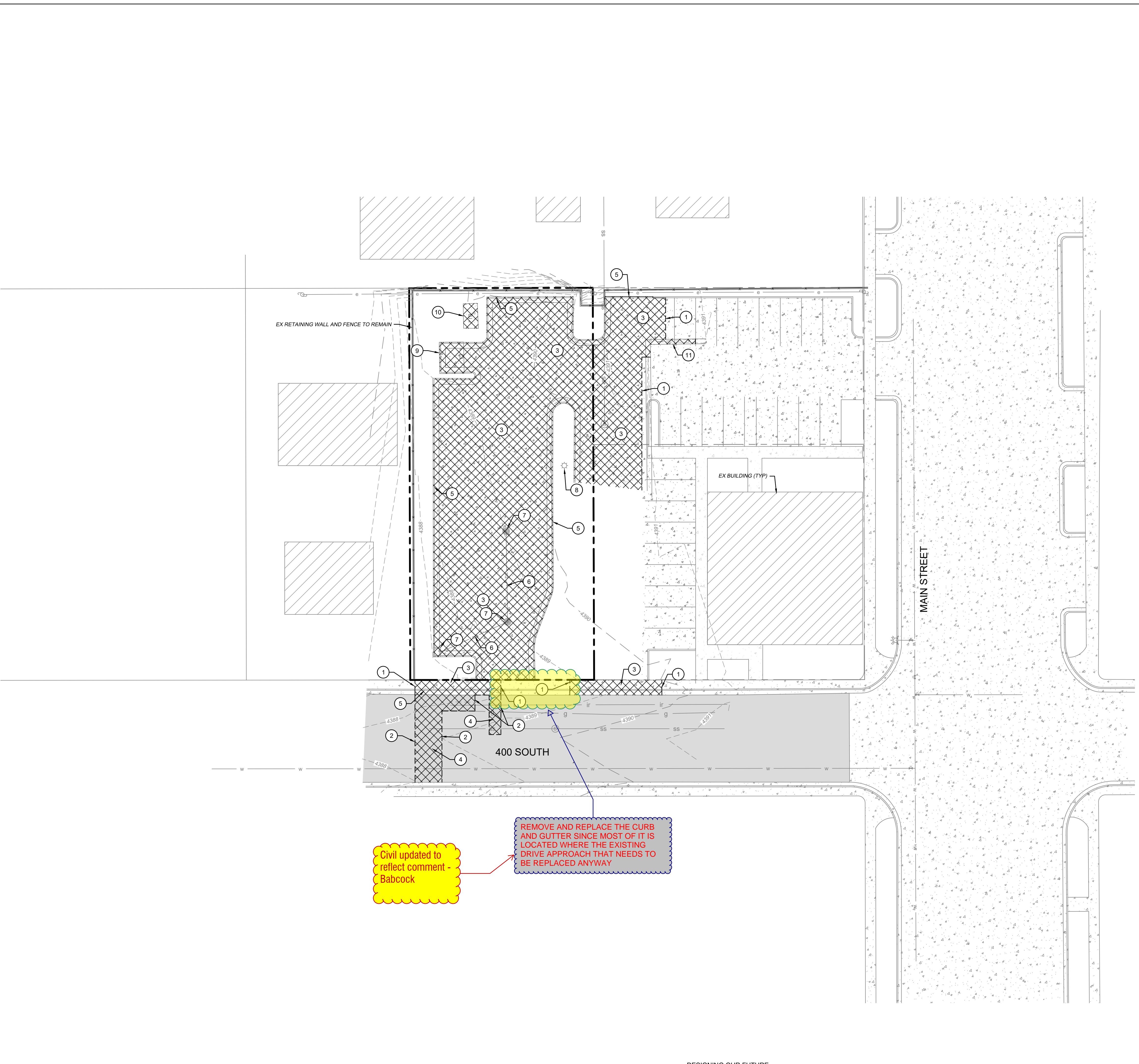
MARK	DATE	DESCRIPTION

PROJECT #: 22-009  
DRAWN BY: A. OCHSENBEIN  
PROJECT MANAGER: W. SOUTHWICK  
ISSUED: 11/1/2022



**COVER & LEGEND**

C001



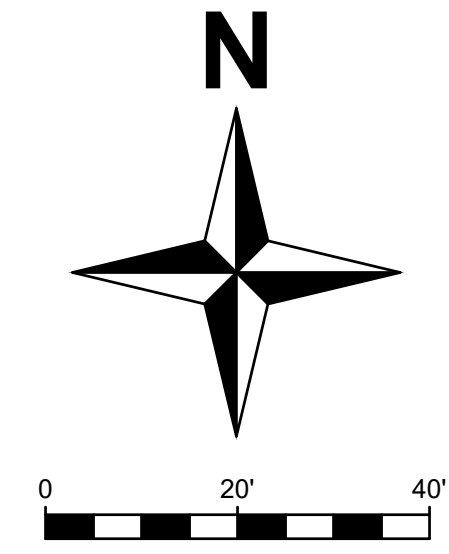
- ① DEMOLITION PLAN SHEET KEY NOTES:**  
ALL ITEMS CALLED OUT TO BE REMOVED SHALL BE DISPOSED OF IN AN APPROPRIATE MANNER AND LOCATION:
1. SAWCUT CONCRETE PAVEMENT
  2. SAWCUT ASPHALT PAVEMENT
  3. REMOVE CONCRETE PAVEMENT
  4. REMOVE ASPHALT PAVEMENT
  5. REMOVE CURB & GUTTER
  6. REMOVE STORM WATER LINE
  7. REMOVE STORM WATER STRUCTURE (SUMP)
  8. REMOVE LIGHT POLE
  9. REMOVE TRASH ENCLOSURE
  10. REMOVE CONCRETE PAD AND RELOCATE ELECTRICAL EQUIPMENT. SEE UTILITY PLAN FOR PROPOSED LOCATIONS.
  11. REMOVE CONCRETE WATERWAY

- GENERAL NOTES:**
1. ALL ITEMS NOT CALLED OUT FOR REMOVAL ARE TO REMAIN

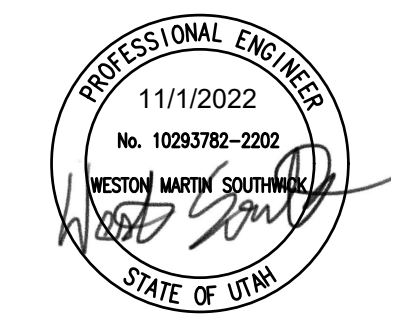
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 ISSUED: 11/1/2022



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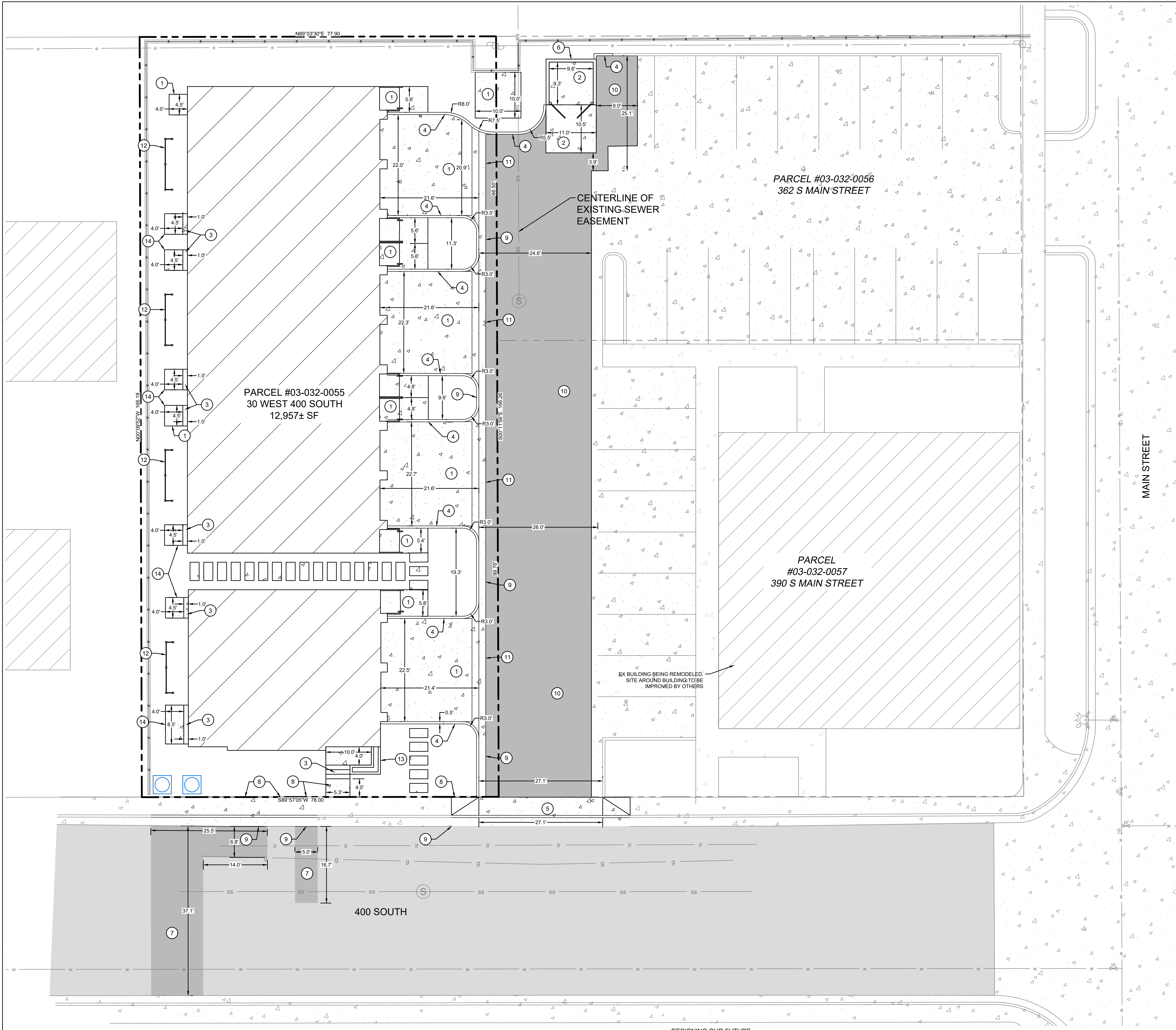


**DEMOLITION PLAN**

**C101**

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P:\2022\22-009 Bountiful 390 Apartments\AutoCAD\CivilSheet Set\22-009 SITE & DIMENSION



**① SITE SHEET KEY NOTES:**  
 PROVIDE, INSTALL, AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. STANDARD DUTY CONCRETE PAVEMENT (1/C501)
2. HEAVY DUTY CONCRETE PAVEMENT (2/C501)
3. CONCRETE STAIRS. SEE ARCHITECTURAL PLANS FOR DETAILS.
4. CURB (10/C501)
5. DRIVEWAY APPROACH (5/C501)
6. DUMPSTER ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
7. ASPHALT PAVEMENT PATCH (1/C502)
8. SIDEWALK (4/C501)
9. APWA TYPE E CURB AND GUTTER (6/C501)
10. ASPHALT PAVEMENT (3/C501)
11. 3" CONCRETE WATERWAY (8/C501)
12. FENCE. SEE ARCHITECTURAL PLANS FOR DETAILS.
13. RAISED PLANTER. SEE ARCHITECTURAL PLANS FOR DETAILS.
14. THICKENED EDGE CONCRETE (6/C501)

**GENERAL NOTES:**  
 1. ALL DRIVE AISLES ARE TWO-WAY

- PARKING TABULATION:**
1. PARKING REQUIREMENTS FOR TOWNHOMES:
    - 1.1. 2 STALLS PER 2 BEDROOM UNIT
    - 1.2. 0.25 STALLS PER UNIT FOR VISITOR SPACE
    - 1.3. TOTAL PARKING REQUIRED: 18 STALLS
    - 1.4. PARKING PROVIDED WITHIN TOWNHOME UNIT: 2 STALLS PER UNIT
    - 1.5. TOTAL PARKING WITHIN TOWNHOMES: 16 STALLS
    - 1.6. TOTAL PARKING PROVIDED: 18 STALLS\*
  2. \*\*PARKING REQUIREMENTS FOR THE ADJACENT OFFICE BUILDING ARE AS FOLLOWS:
    - 2.1. BUILDING SQUARE FOOTAGE: 7,251 SF
    - 2.2. PARKING REQUIREMENTS FOR OFFICE BUILDING: 1 STALL PER 300 SF
    - 2.3. PARKING STALLS REQUIRED FOR OFFICE BUILDING: 25 STALLS
    - 2.4. TOTAL STALLS ON OFFICE BUILDING LOT: 27 STALLS
- \*2 STALLS WILL BE UTILIZED FROM THE OFFICE BUILDING PARKING TO PROVIDE THE REQUIRED 2 GUEST PARKING STALLS  
 \*\*OFFICE BUILDING CALCULATIONS ARE SHOWN FOR THE PURPOSE OF INDICATING THERE IS SUFFICIENT STALLS TO PROVIDE 2 GUEST PARKING STALLS FOR THE TOWNHOME UNITS

**civilsolutionsgroup inc.**

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 SALT LAKE | P: 801.216.3192  
 UTAH VALLEY | P: 801.874.1432  
 info@civilsolutionsgroup.net  
 www.civilsolutionsgroup.net

**390 APARTMENTS**  
 390 SOUTH MAIN STREET  
 BOUNTIFUL, UTAH

MARK	DATE	DESCRIPTION

PROJECT #: 22-009  
 DRAWN BY: A. OCHSENBEIN  
 PROJECT MANAGER: W. SOUTHWICK  
 ISSUED: 11/1/2022

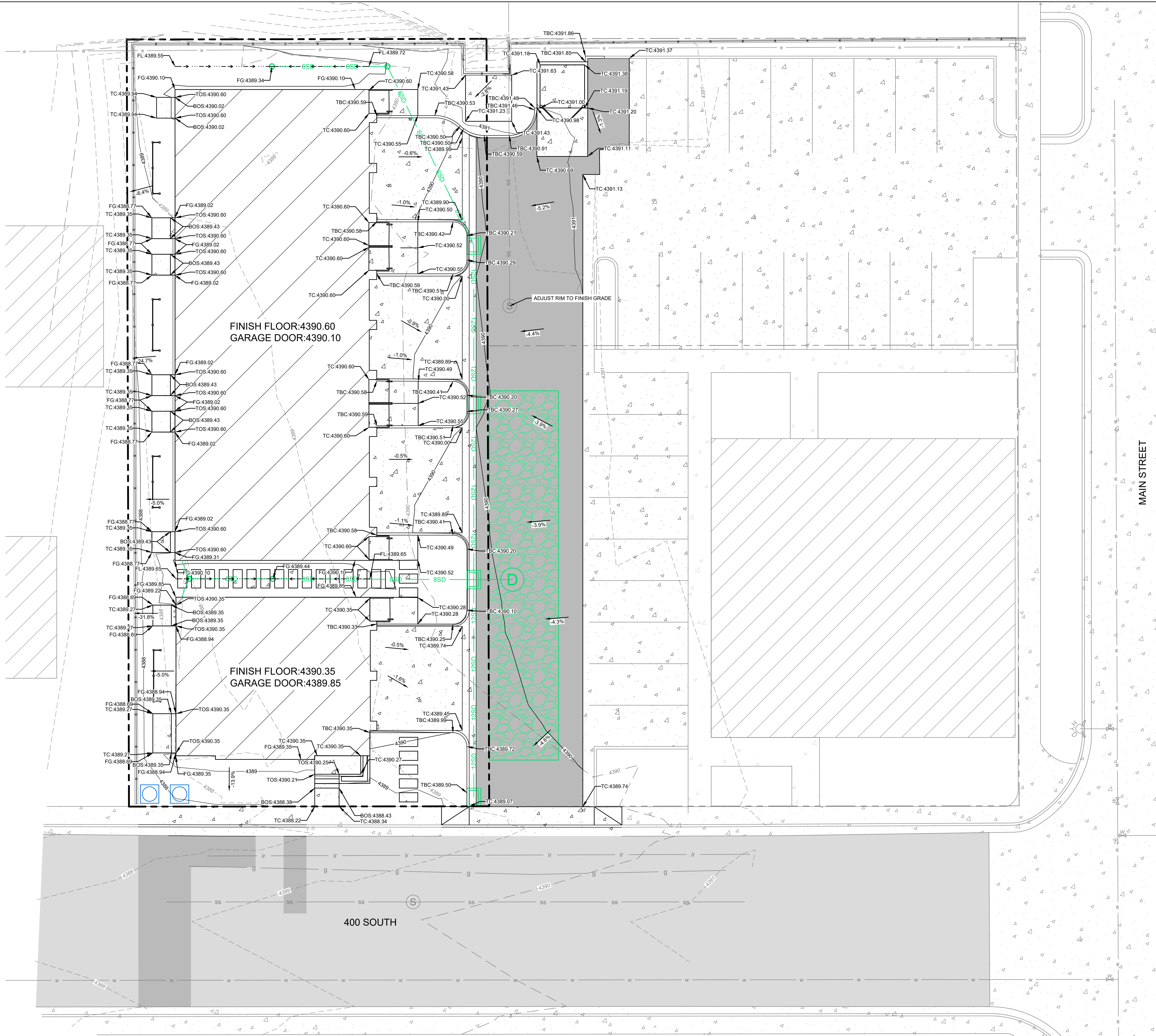
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PROFESSIONAL ENGINEER  
 11/1/2022  
 No. 10293782-2202  
 WESTON MARTIN SOUTHWICK  
 STATE OF UTAH

**SITE & DIMENSION PLAN**  
**C102**

P:\0222-009 Bountiful 390 Apartments\AutoCAD\CivilSheet Set\22-009 GRADING



**GRADING ABBREVIATIONS:**

1. TC = TOP OF CONCRETE
2. TOS = TOP OF STAIR
3. BOS = BOTTOM OF STAIR
4. TBC = TOP BACK OF CURB
5. FL = FLOWLINE
6. FG = FINISH GRADE

**GENERAL NOTES:**

1. VERTICAL DATA (CONTOUR LINES AND/OR SPOT ELEVATIONS, ETC.) SHOWN HEREON IS BASED ON THE NAVD83 ELEVATION OF 4457.64 PUBLISHED BY THE DAVIS COUNTY SURVEYOR ON THE WEST WITNESS CORNER (1.5" BRASS PLUG IN CURB) FOR THE SOUTHWEST CORNER OF SECTION 19, T2N, R1E, S1B & N. A GPS-DERIVED LOCAL ELEVATION OF 4392.99 ON THE RING & LID MONUMENT LOCATED AT 400 SOUTH MAIN STREET HAS BEEN HELD AS THE PROJECT BENCHMARK.
2. MAINTAIN A MINIMUM OF 0.5% LONGITUDINAL SLOPE IN ALL GUTTERS AND WATERWAYS.
3. MAINTAIN A MAXIMUM CROSS-SLOPE OF 2.0% ON ALL SIDEWALKS AND AT ALL BUILDING DOORWAY EXITS AND ENTRANCES.
4. ALL TOP BACK OF CURB CALL OUTS ARE SHOWN TO FULL HEIGHT.

FINISH FLOOR:4390.60  
GARAGE DOOR:4390.10

FINISH FLOOR:4390.35  
GARAGE DOOR:4389.85

MAIN STREET

400 SOUTH

**civilsolutionsgroup inc.**

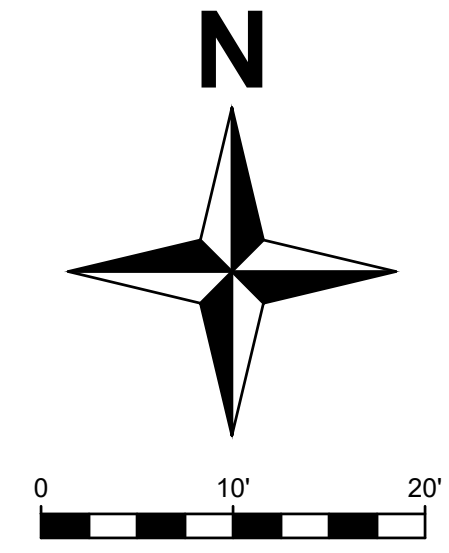
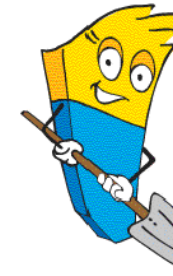


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**390 APARTMENTS**  
390 SOUTH MAIN STREET  
BOUNTIFUL, UTAH

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DRAWN BY: A. OCHSENBEIN  
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ISSUED: 11/1/2022

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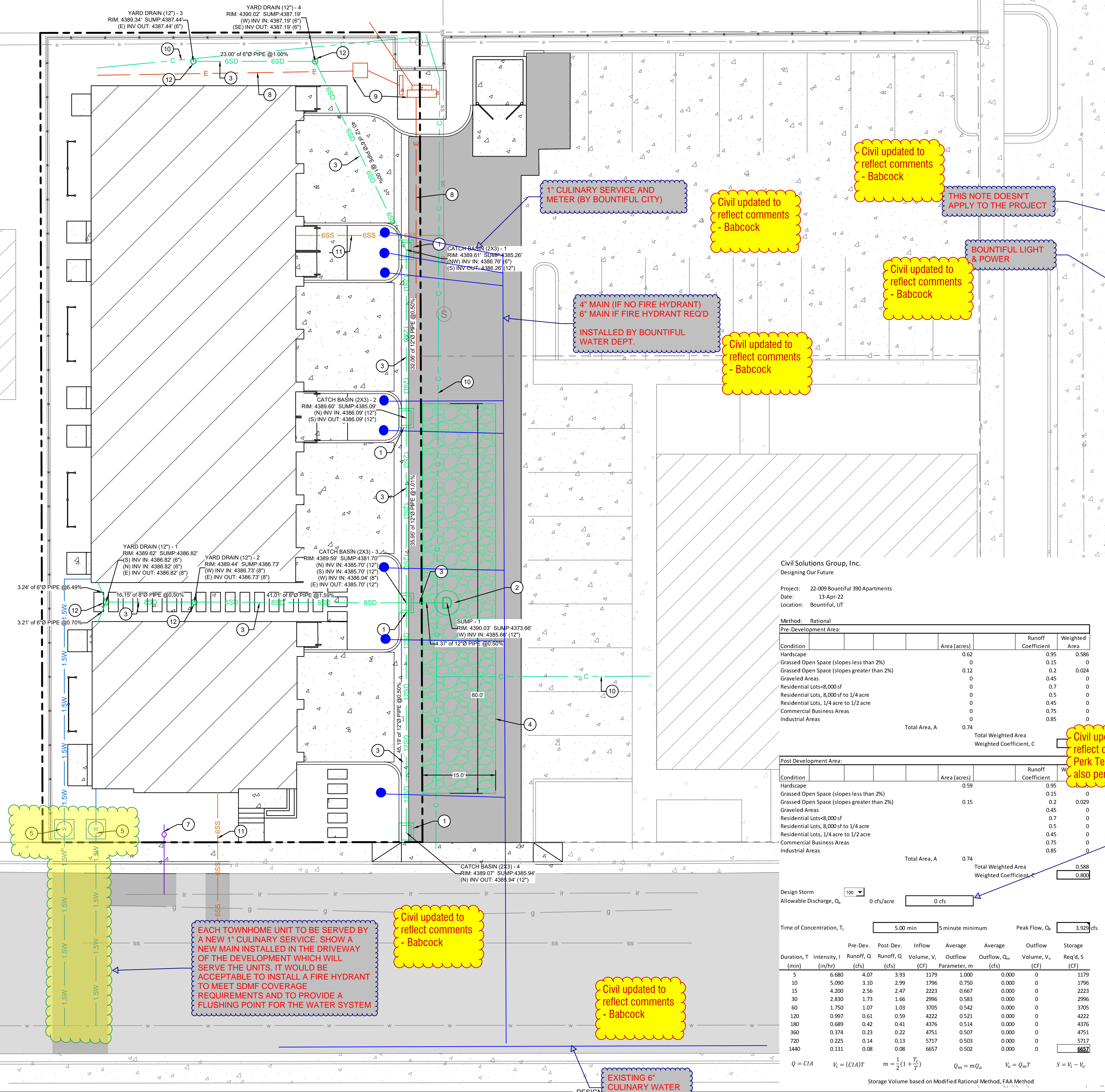
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**GRADING PLAN**

**C201**

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- UTILITY SHEET KEY NOTES:**  
 PROVIDE, INSTALL, AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 2' X 3' CATCH BASIN (1/C503)
  - 50 STORM DRAIN MANHOLE (3/C503)
  - STORM DRAIN LINE (1/C502)
  - STORM DRAIN SUMP (4/C503)
  - 1.5" WATER SERVICE WITH 1.5" WATER METER (4 & 5/C502)
  - FIRE HYDRANT (2/C502)
  - IRRIGATION SERVICE (3/C502)
  - UNDERGROUND POWER LINE. SEE ELECTRICAL PLANS FOR MORE INFORMATION.
  - POWER EQUIPMENT. SEE ELECTRICAL PLANS FOR MORE INFORMATION.
  - COMMUNICATION LINE. SEE ELECTRICAL PLANS FOR MORE INFORMATION.
  - 6" SEWER LATERAL (1/C501)
  - 12" NYLOPLAST YARD DRAIN OR APPROVED EQUAL (2/C503)

- GENERAL NOTES:**
- CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND CONTACT ENGINEER IF DIFFERENT FROM LOCATIONS DISPLAYED ON THESE PLANS.
  - MINIMUM 18" OF VERTICAL SEPARATION REQUIRED BETWEEN WATER MAIN AND SEWER MAIN WHERE LINES INTERSECT.
  - MINIMUM OF 10" FROM OUTSIDE-OF-PIPE TO OUTSIDE-OF-PIPE REQUIRED BETWEEN ALL WATER MAINS AND ALL OTHER MET UTILITIES.
  - ALL CULINARY WATER AND IRRIGATION LINES SHALL BE AWWA C500 D18. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5" OF COVER AND IRRIGATION LINES WITH A MINIMUM OF 3" OF COVER.
  - ALL SEWER LINES SHALL BE CONSTRUCTED OF PVC SDR-35 MATERIAL.
  - ALL STORM DRAIN LINES SHALL BE CORRUGATED HDPE.
  - ALL IRRIGATION MAIN PIPE SHALL BE "PURPLE PIPE" FOR USE WITH RECLAIMED WATER SYSTEMS AS IS REQUIRED BY STATE REGULATIONS. CONTRACTOR SHALL PLACE CONCRETE THRUST BLOCKS ON ALL TEES, WYES, BENDS, ANGLES, ETC ON ALL WATER AND IRRIGATION LINES AS SHOWN IN DETAIL 5 ON SHEET C303.
  - POWER CONTRACTOR SHALL COORDINATE WITH OWNER AND ROCK MOUNTAIN POWER TO DETERMINE PRECISE LOCATION AND LAYOUT OF POWER LINES THROUGH DEVELOPMENT. CONTRACTOR SHALL BE RESPONSIBLE TO TRENCH, BED, INSTALL AND FILL IN THE POWER TRENCH AND PROVIDE THE REQUIRED PVC SCHEDULE 40 CONDUIT.
  - TELEPHONE AND CABLE - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR LOCATION OF CONDUIT CROSSINGS AND SHALL INSTALL ALL CONDUITS.
  - GAS - CONTRACTOR SHALL COORDINATE INSTALLATION OF GAS WITH QUESTAR GAS.

- STORMWATER NOTES:**
- THE RATIONAL METHOD WAS USED TO CALCULATE THE REQUIRED STORAGE VOLUME FOR THE SITE. THE 100-YEAR, 24-HOUR STORM WAS USED FOR THE CALCULATIONS.
  - TOTAL REQUIRED VOLUME IS 6,657 CF.
  - TOTAL VOLUME PROVIDED IS 6,720 CF.
  - STORAGE VOLUME FOR THE SITE IS PROVIDED IN THE PROPOSED SUMP. THE STORAGE VOLUME INCLUDES STORMWATER FROM ALL THREE PARCELS.
  - SUMP INFORMATION:
    - 5.1. HIGH WATER ELEVATION: 4384.67
    - 5.2. BOTTOM OF MANHOLE: 4374.67
    - 5.3. BOTTOM OF GRAVEL: 4372.67
    - 5.4. WIDTH: 15'
    - 5.5. LENGTH: 80'
    - 5.6. HEIGHT: 14'

storm water runoff discharges from the site in accordance with the standards of this ordinance.  
 (b) Failure of the 4-15-16, Long-Term Storm Water Management Requirements

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Method: Rational	Area (acres)	Runoff Coefficient	Weighted Area
Hardscap	0.62	0.95	0.586
Grassed Open Space (slopes less than 2%)	0	0.15	0
Grassed Open Space (slopes greater than 2%)	0.12	0.2	0.024
Graveled Areas	0	0.45	0
Residential Lots < 8,000 sf	0	0.7	0
Residential Lots, 8,000 sf to 1/4 acre	0	0.5	0
Residential Lots, 1/4 acre to 1/2 acre	0	0.45	0
Commercial Business Areas	0	0.75	0
Industrial Areas	0	0.85	0
<b>Total Area, A</b>	<b>0.74</b>		
		<b>Total Weighted Area</b>	<b>0.586</b>
		<b>Weighted Coefficient, C</b>	<b>0.800</b>

Method: Rational	Area (acres)	Runoff Coefficient	Weighted Area
Hardscap	0.59	0.95	0.558
Grassed Open Space (slopes less than 2%)	0	0.15	0
Grassed Open Space (slopes greater than 2%)	0.15	0.2	0.029
Graveled Areas	0	0.45	0
Residential Lots < 8,000 sf	0	0.7	0
Residential Lots, 8,000 sf to 1/4 acre	0	0.5	0
Residential Lots, 1/4 acre to 1/2 acre	0	0.45	0
Commercial Business Areas	0	0.75	0
Industrial Areas	0	0.85	0
<b>Total Area, A</b>	<b>0.74</b>		
		<b>Total Weighted Area</b>	<b>0.588</b>
		<b>Weighted Coefficient, C</b>	<b>0.800</b>

Design Storm  
 Allowable Discharge,  $Q_a = 0$  cfs/acre

Time of Concentration,  $T_c = 5.00$  min 5 minute minimum Peak Flow,  $Q_p = 3.929$  cfs

Duration, T (min)	Intensity, i (in/hr)	Runoff, Q (cfs)	Inflow, Runoff, Q (cfs)	Volume, V <sub>i</sub> (CF)	Average Outflow, Outflow, Q <sub>m</sub> (cfs)	Average Outflow, Outflow, Q <sub>m</sub> (cfs)	Outflow, Volume, V <sub>o</sub> (CF)	Storage Req'd, S (CF)
5	6.680	4.07	3.93	1179	1.000	0.000	0	1179
10	5.090	3.10	2.99	1796	0.750	0.000	0	1796
15	4.200	2.56	2.47	2223	0.667	0.000	0	2223
30	2.830	1.73	1.66	2996	0.583	0.000	0	2996
60	1.750	1.07	1.03	3705	0.542	0.000	0	3705
120	0.997	0.61	0.59	4222	0.521	0.000	0	4222
180	0.689	0.42	0.41	4376	0.514	0.000	0	4376
360	0.374	0.23	0.22	4751	0.507	0.000	0	4751
720	0.225	0.14	0.13	5717	0.503	0.000	0	5717
1440	0.131	0.08	0.08	6657	0.502	0.000	0	6657

$Q = CIA$   $V_i = (CIA)T$   $m = \frac{1}{2}(1 + \frac{T_c}{T})$   $Q_m = mQ_a$   $V_o = Q_m T$   $S = V_i - V_o$   
 Storage Volume based on Modified Rational Method, FAA Method

- Controlling Peak Runoff from Sites. All site designs shall establish storm water management practices to control the peak flow rates of storm water discharge associated with specified design storms having a 10-year return frequency or a 25-year return frequency if located in the Residential Floodplain Subzone. These practices shall reduce pre-development peak runoff from the site.
- Owners and operators of development and re-development sites within the jurisdictional limits of the City which disturb one acre or more of surface area, or are part of a common plan of development that disturbs one acre or more and have not passed a final storm water inspection for notice of termination, are required to meet the following requirements:**
- Controlling Runoff Volume from New Development Sites. New development projects must manage on-site and prevent the off-site discharge of the precipitation from all rainfall events less than or equal to the 80<sup>th</sup> percentile rainfall event by the use of practices that infiltrate, evaporate, and/or harvest rainwater.
  - Controlling Runoff Volume from Redevelopment Sites. Redevelopment projects must be developed such that either:
    - There is no more than 10% increase in impervious surface area at project completion; or
    - At project completion the net increase in volume associated with precipitation from all rainfall events less than or equal to the 80<sup>th</sup> percentile rainfall event is managed on site by the use of practices that infiltrate, evaporate, and/or harvest rainwater.
  - Additional Storm Water Design Requirements. Storm water discharges from land uses or activities with higher potential pollutant loadings, as determined by the City Engineer, may require the use of specific structural best management practices and pollution prevention practices based on policy established by the City Engineer. Prior to design, applicants are required to consult with the Engineering Department to determine if they are subject to additional storm water design requirements.

**PROVIDE A SITE ANALYSIS WHICH SHOWS HOW COMPLIANCE WILL BE ACHIEVED**

**A SUMP THAT HAS NO INFILTRATION IS ONLY USEFUL FOR ONE STORM. INFILTRATION RATE IS REQUIRED BY ORDINANCE**

**EACH TOWNHOME UNIT TO BE SERVED BY A NEW 1" CULINARY SERVICE. SHOW A NEW MAIN INSTALLED IN THE DRIVEWAY OF THE DEVELOPMENT WHICH WILL SERVE THE UNITS. IT WOULD BE ACCEPTABLE TO INSTALL A FIRE HYDRANT TO MEET SDMF COVERAGE REQUIREMENTS AND TO PROVIDE A FLUSHING POINT FOR THE WATER SYSTEM**

**Civil updated to reflect comments - Babcock**

**Civil updated to reflect comments - Babcock**

**Civil updated to reflect comments - Babcock**

**EXISTING 6" CULINARY WATER AT LIP OF CURB**

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MARK	DATE	DESCRIPTION

PROJECT #: 22-009  
 DRAWN BY: A. OCHSENBEIN  
 PROJECT MANAGER: W. SOUTHWICK  
 ISSUED: 11/1/2022

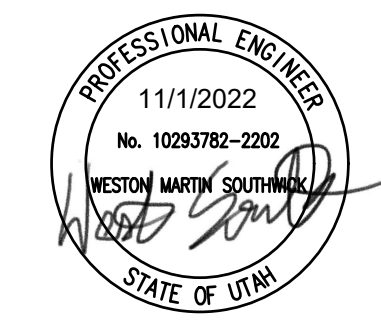
**PROFESSIONAL ENGINEER**  
 11/1/2022  
 No. 10283782-2202  
 WESTON MARTIN SOUTHWICK  
 STATE OF UTAH



**390 APARTMENTS**  
 390 SOUTH MAIN STREET  
 BOUNTIFUL, UTAH

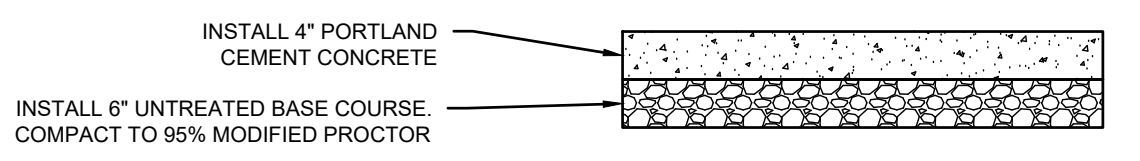
MARK:	DATE:	DESCRIPTION:

PROJECT #: 22-009  
 DRAWN BY: A. OCHSENBEIN  
 PROJECT MANAGER: W. SOUTHWICK  
 ISSUED: 11/1/2022



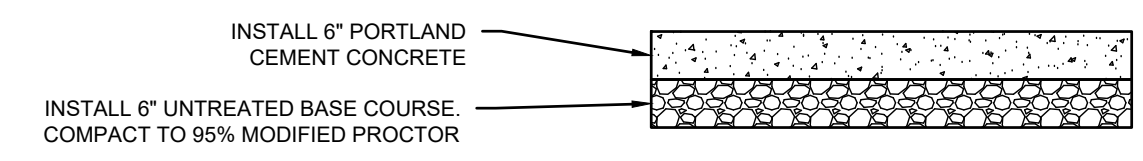
**DETAILS**

**C501**



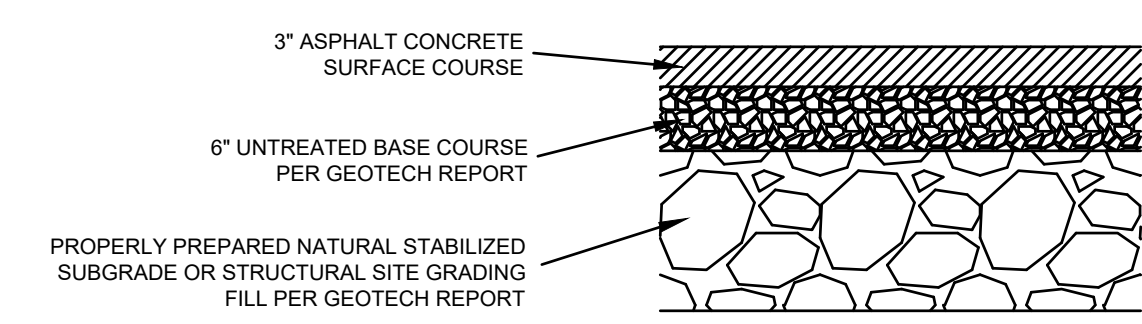
NOTES:  
 1. PAVEMENT SECTION SHALL CONFORM TO THE SITE GEOTECHNICAL STUDY PERFORMED BY CIVIL SOLUTIONS GROUP.

**1 STANDARD DUTY CONCRETE**  
 C501  
 NOT TO SCALE



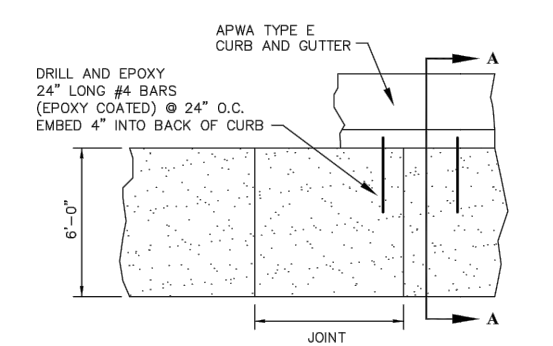
NOTES:  
 1. PAVEMENT SECTION SHALL CONFORM TO THE SITE GEOTECHNICAL STUDY PERFORMED BY CIVIL SOLUTIONS GROUP.

**2 HEAVY DUTY CONCRETE**  
 C501  
 NOT TO SCALE

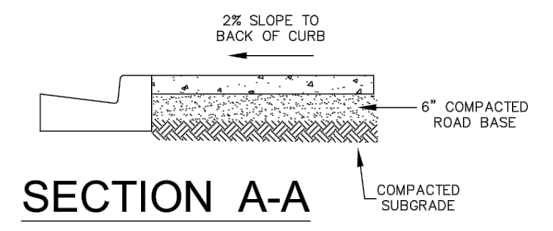


**3 ASPHALT PAVEMENT**  
 C501  
 NOT TO SCALE

**PLAN VIEW**



CONCRETE SIDEWALK ADJACENT TO CURB  
 SEE APWA PLAN 231 FOR ADDITIONAL INFORMATION

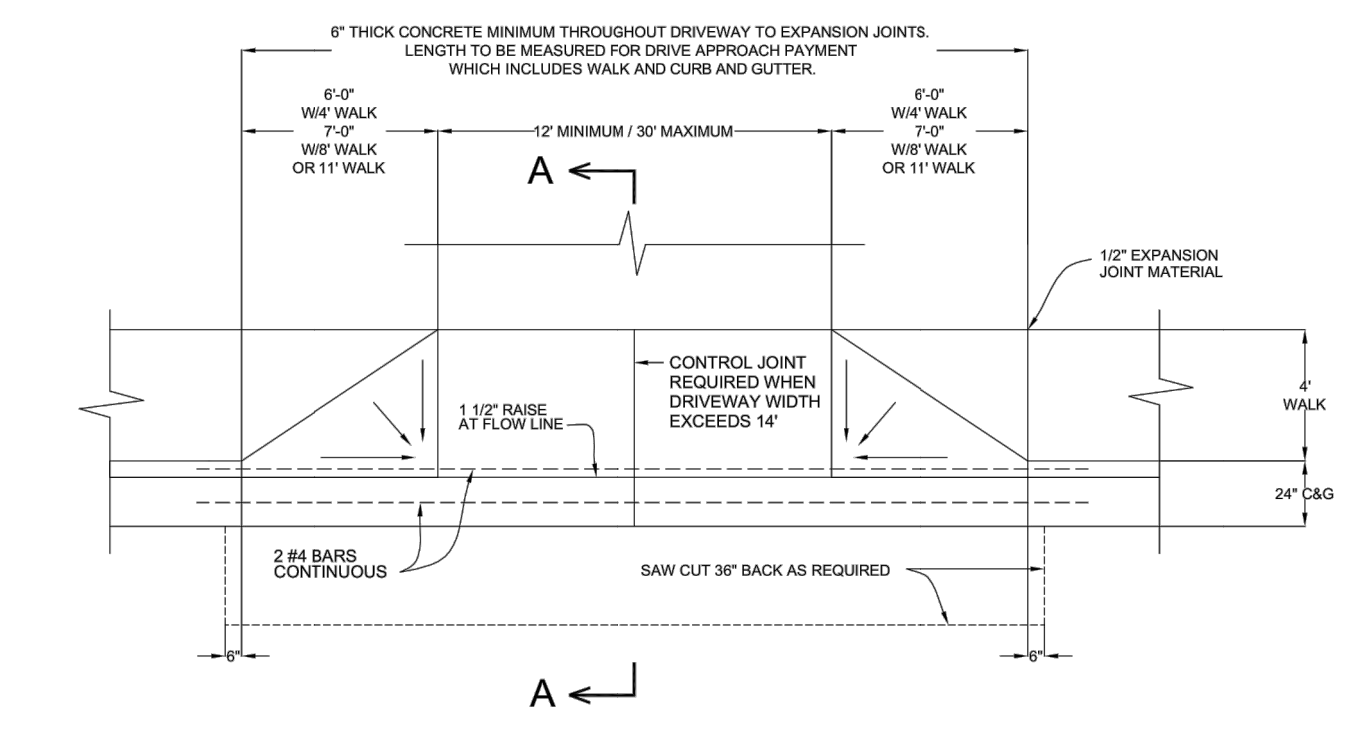


NOTES:  
 1. SEE DRIVE APPROACH DETAILS FOR SIDEWALK THICKNESS THROUGH DRIVE APPROACHES.  
 2. EXPANSION JOINT SPACING: 100 FT OR AT DRIVE APPROACHES LESS THAN 100 FT.  
 3. JOINT SPACING: WIDTH (MIN), 1.5 WIDTH (MAX). MATCH CURB JOINT SPACING.  
 4. APWA MATERIAL SPECIFICATIONS APPLY.  
 5. TREAT FIELD JOINT ENDS OF EPOXY COATED REINFORCING PRIOR TO PLACING CONCRETE FOR SIDEWALK.

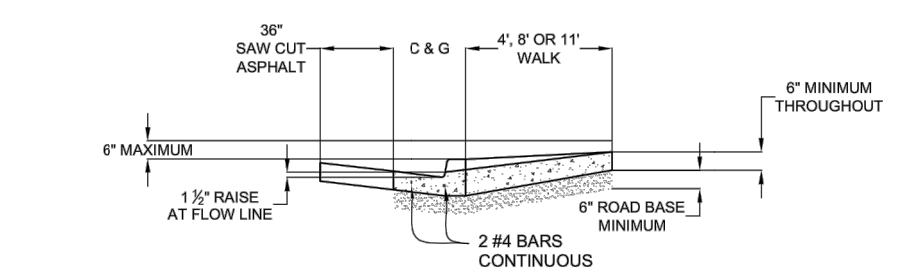
**4 SIDEWALK**  
 C501  
 NOT TO SCALE

**BOUNTIFUL STANDARD TYPE B DRIVE APPROACH**  
 TO BE USED WHEN WALK IS AGAINST CURB

**PLAN VIEW**



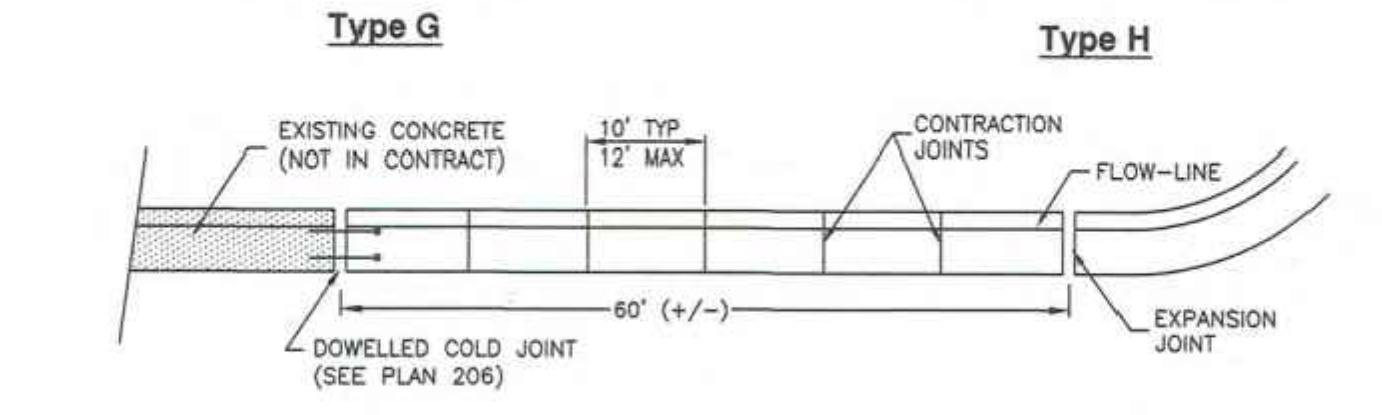
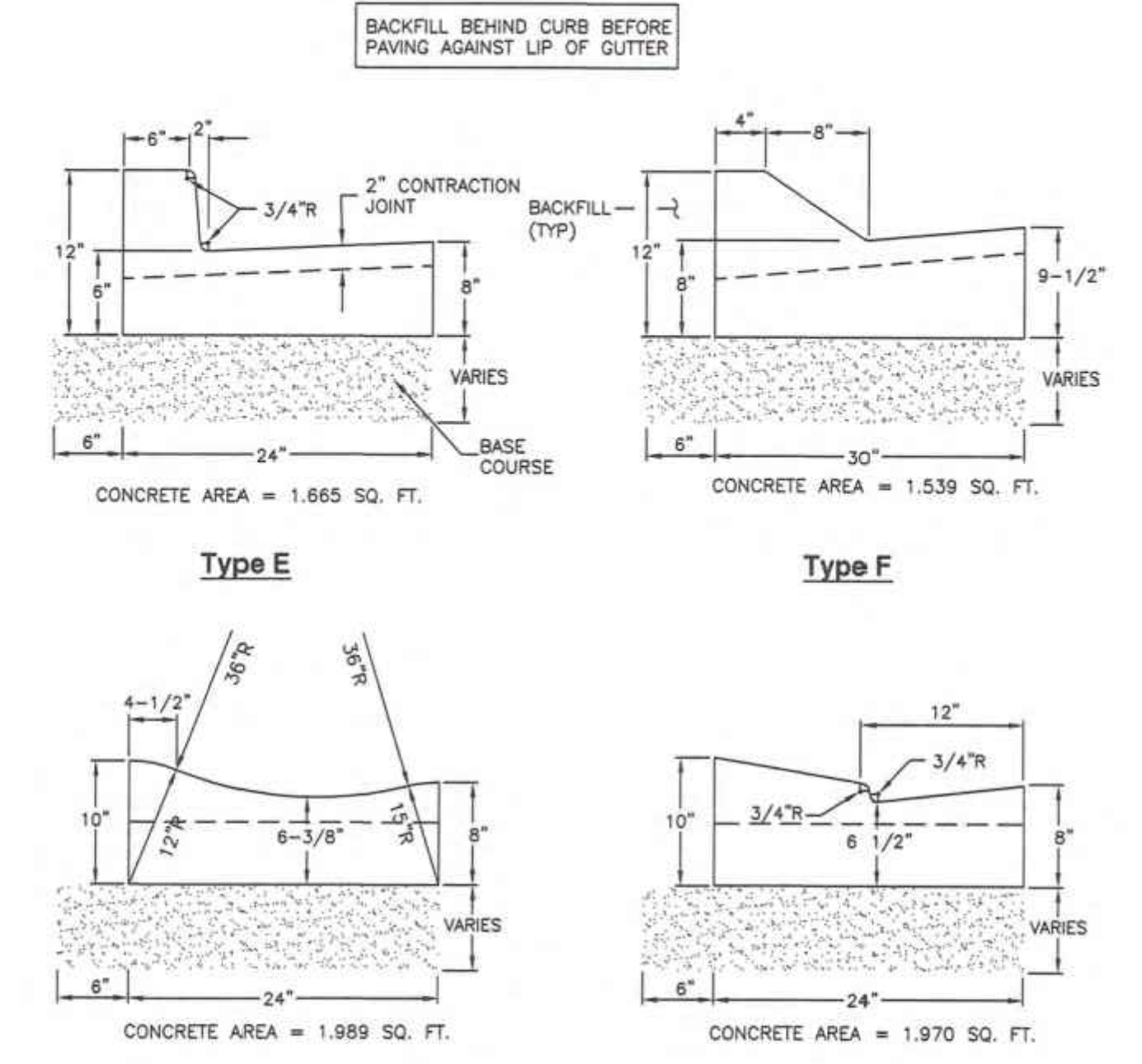
**SECTION A-A**



**NOTES**

1. CONCRETE: CLASS 4000 PER APWA SECTION 03304. PLACE PER APWA SECTION 02770. CURE PER APWA SECTION 03300
2. COMPACT EXISTING SUBGRADE 95% MINIMUM (MODIFIED PROCTOR).
3. CURING BY APPLICATION OF CURING COMPOUND PER CURRENT APWA SPECIFICATIONS.
4. WHERE CONCRETE OR ASPHALT IS TO BE REMOVED, THE MATERIAL MUST BE SAWCUT TO FULL DEPTH WITH STRAIGHT LINES. MINIMUM WIDTH OF ASPHALT REMOVAL IN FRONT OF A DRIVE APPROACH IS 3 FT. 0 INCHES.
5. 6" ROAD BASE MINIMUM UNDER ALL NEW CONCRETE.
6. EPOXY COATED REBAR REQUIRED.
7. STRAIGHT METAL FORMS REQUIRED FOR ALL TANGENT SECTIONS OR WHERE THE CURB RADIUS IS NOT LESS THAN 150 FT.

**5 DRIVE APPROACH**  
 C501  
 NOT TO SCALE

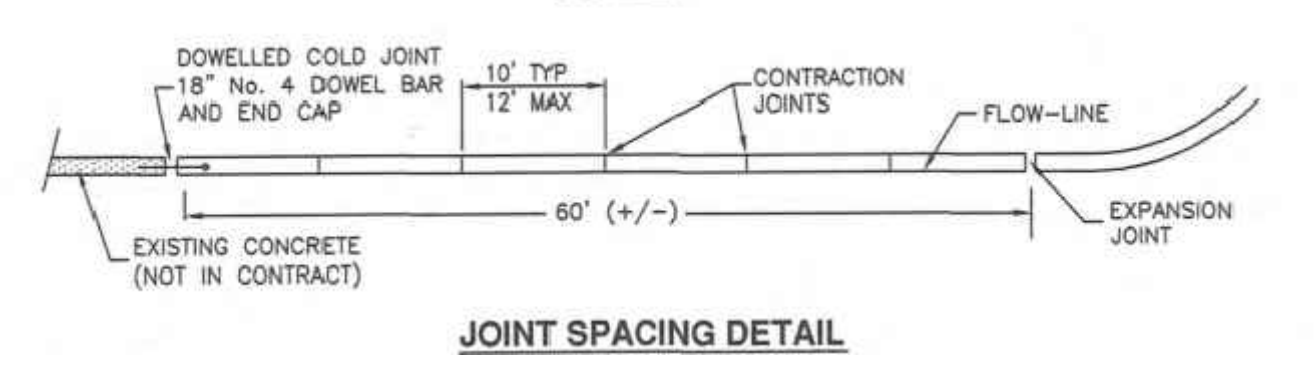
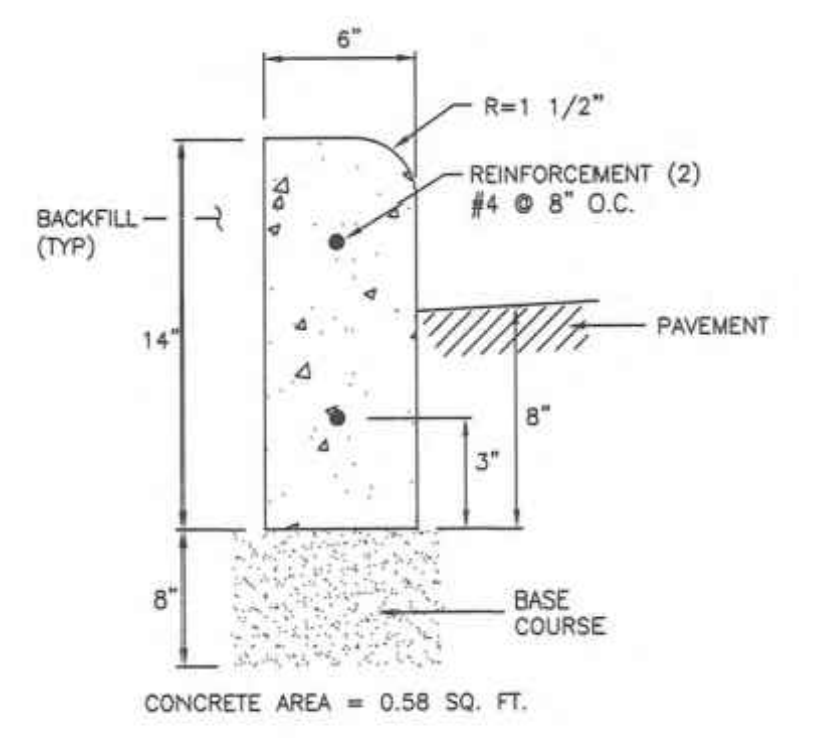


**6 Curb and gutter**  
 C501  
 Utah Chapter

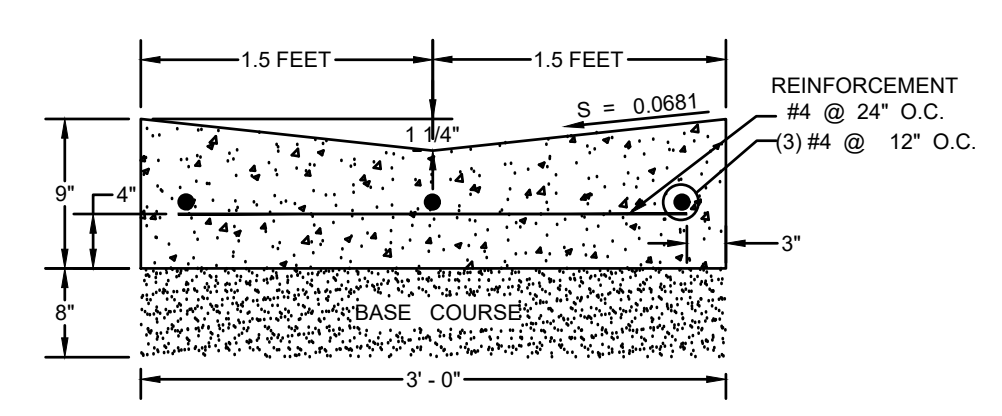
Plan **205.2**  
 April 2011

**ADWA Utah Chapter**  
**7 Sewer lateral connection**  
 C501

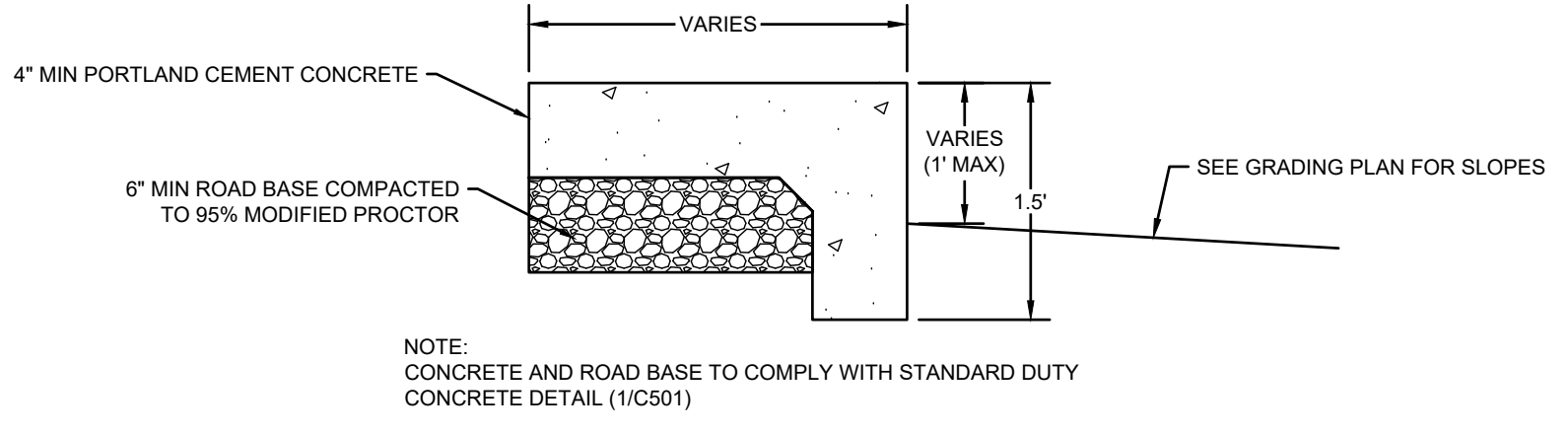
Plan **431**  
 January 2011



**10 APWA TYPE P CURB**  
 C501  
 NOT TO SCALE



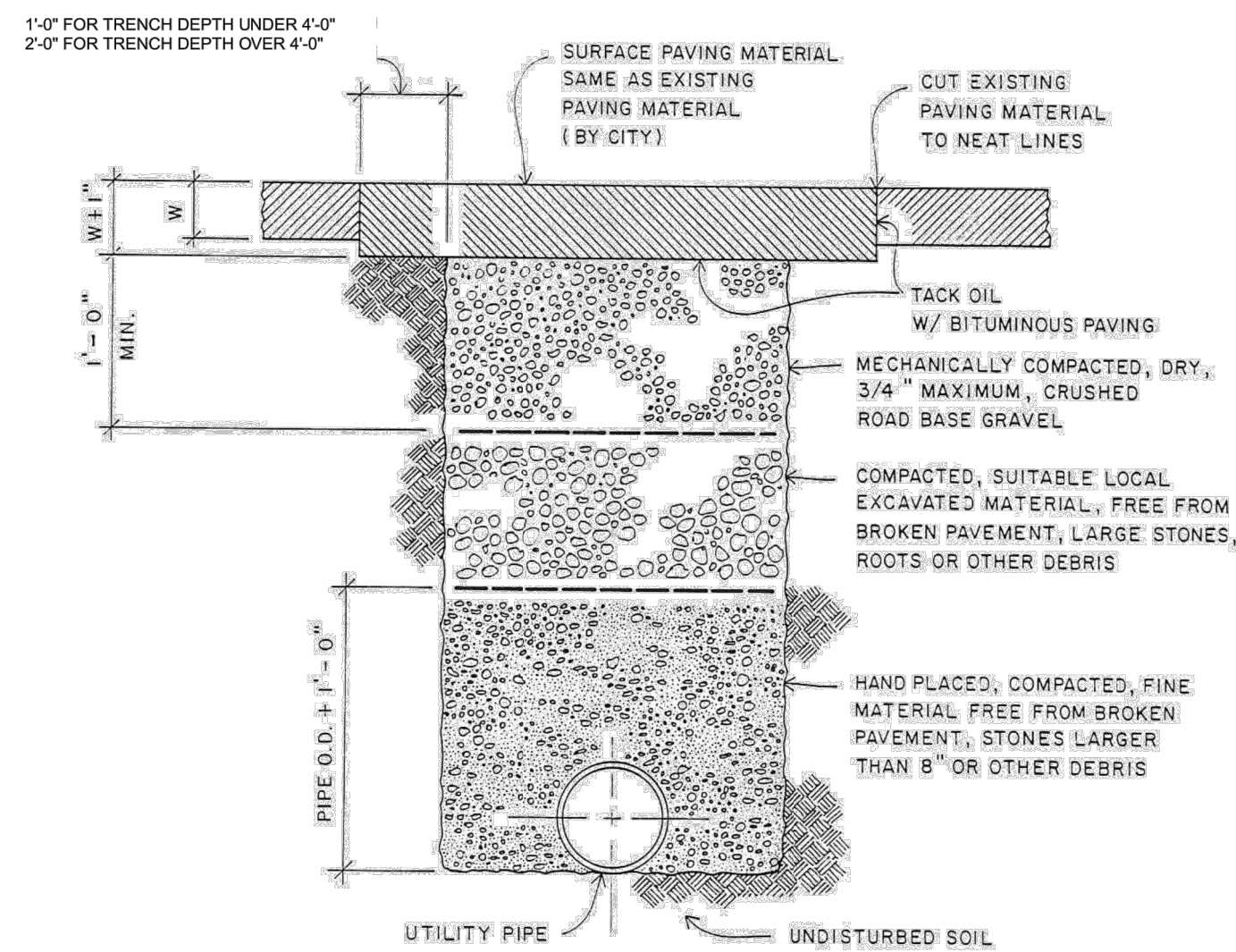
**8 3" CONCRETE WATERWAY**  
 C501  
 NOT TO SCALE



**9 THICKENED EDGE CONCRETE**  
 C501  
 NOT TO SCALE

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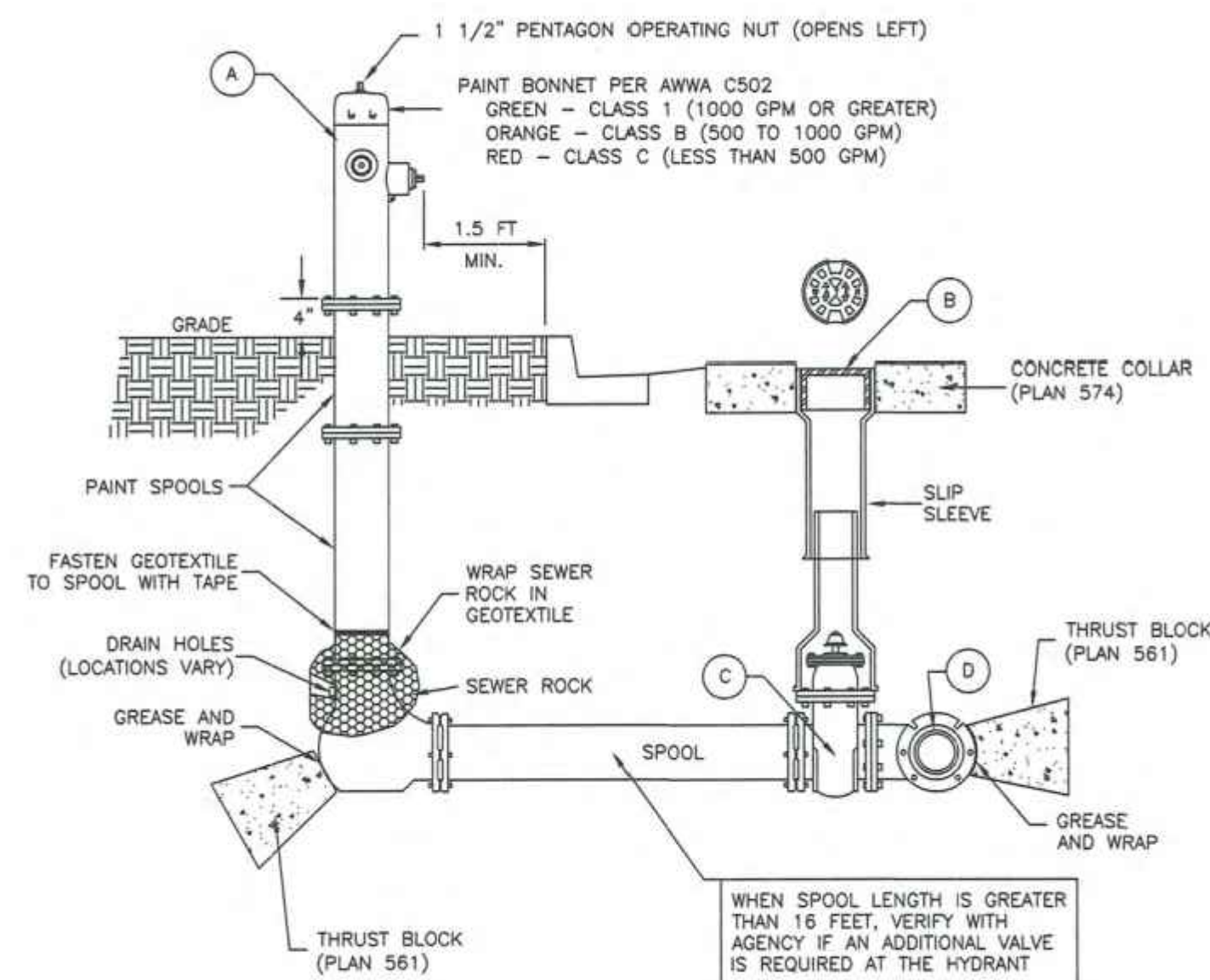
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**NOTES:**  
 1. MATERIAL MUST BE REPLACED AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.  
 2. CONTRACTOR TO IMMEDIATELY REMOVE EXCESS MATERIAL.

**BOUNTIFUL STANDARD STREET EXCAVATION DETAIL**

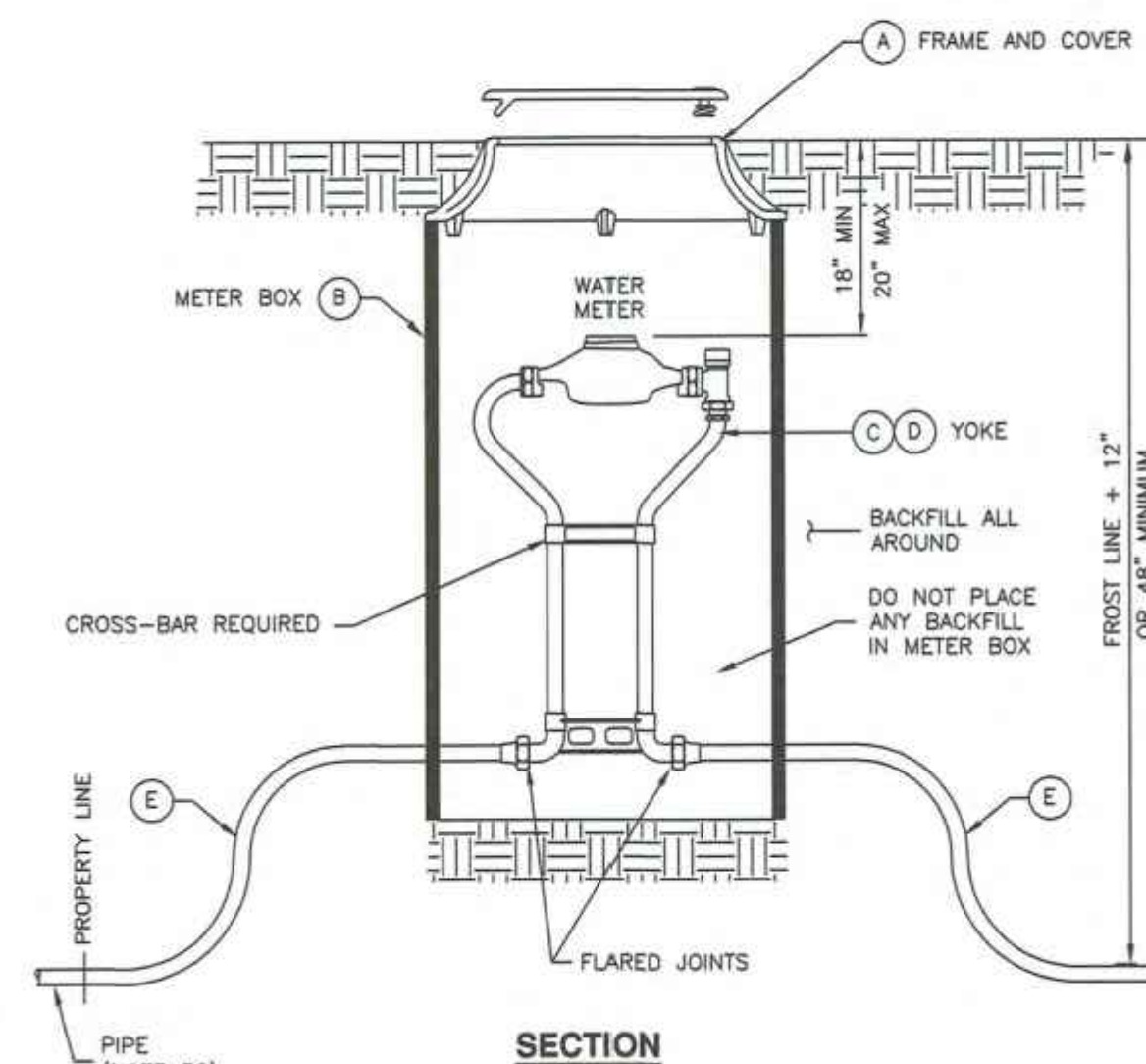
**1 TRENCHING DETAIL**  
C502  
NOT TO SCALE



LEGEND		
No.	*	DESCRIPTION
(A)	FIRE HYDRANT	AWWA C502
(B)	VALVE BOX WITH LID	2-PIECE CAST IRON
(C)	GATE VALVE WITH 2" X 2" NUT	AWWA C509
(D)	TEE WITH 125 # FLANGE	AWWA C110

**SECTION**

**2 Fire hydrant with valve**  
C502  
SEE NOTE #1



LEGEND		
No.	*	DESCRIPTION
(A)	FRAME AND COVER	CAST IRON COVER
(B)	METER BOX (18" TO 21" DIAMETER) (30" TO 36" DEEP)	CORRUGATED PE, PVC, CMP OR MATERIAL ACCEPTABLE TO AGENCY
(C)	3/4" METER YOKE	OPTIONAL BACKFLOW PROTECTION PER AGENCY REQUIREMENTS
(D)	1" METER YOKE	OPTIONAL BACKFLOW PROTECTION PER AGENCY REQUIREMENTS
(E)	COPPER PIPE	TYPE K (SOFT)

**SECTION**

**3 3/4" and 1" meter**  
C502  
SEE NOTE #1

Plan **511**  
February 2011

Plan **521**  
August 2001

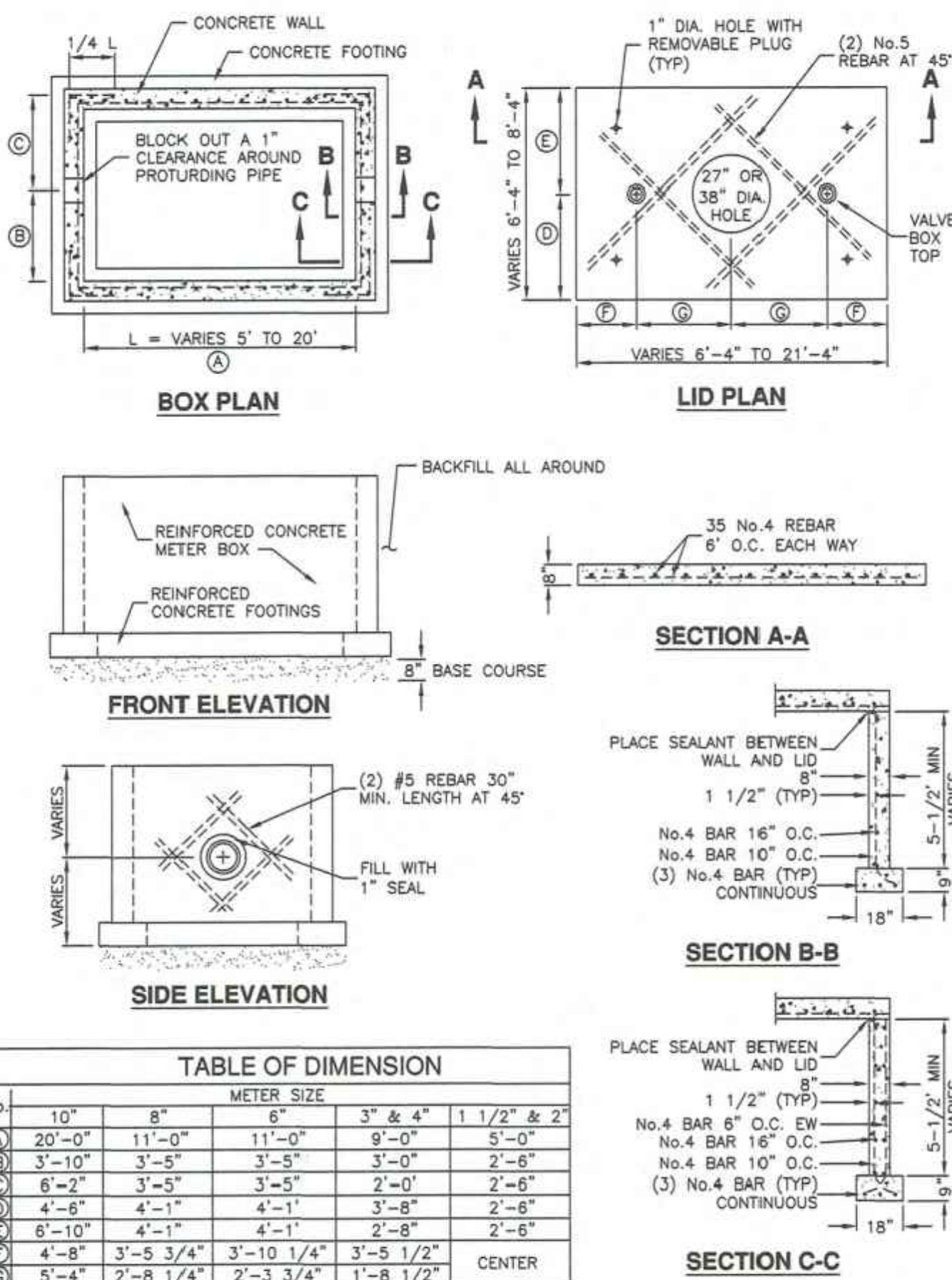
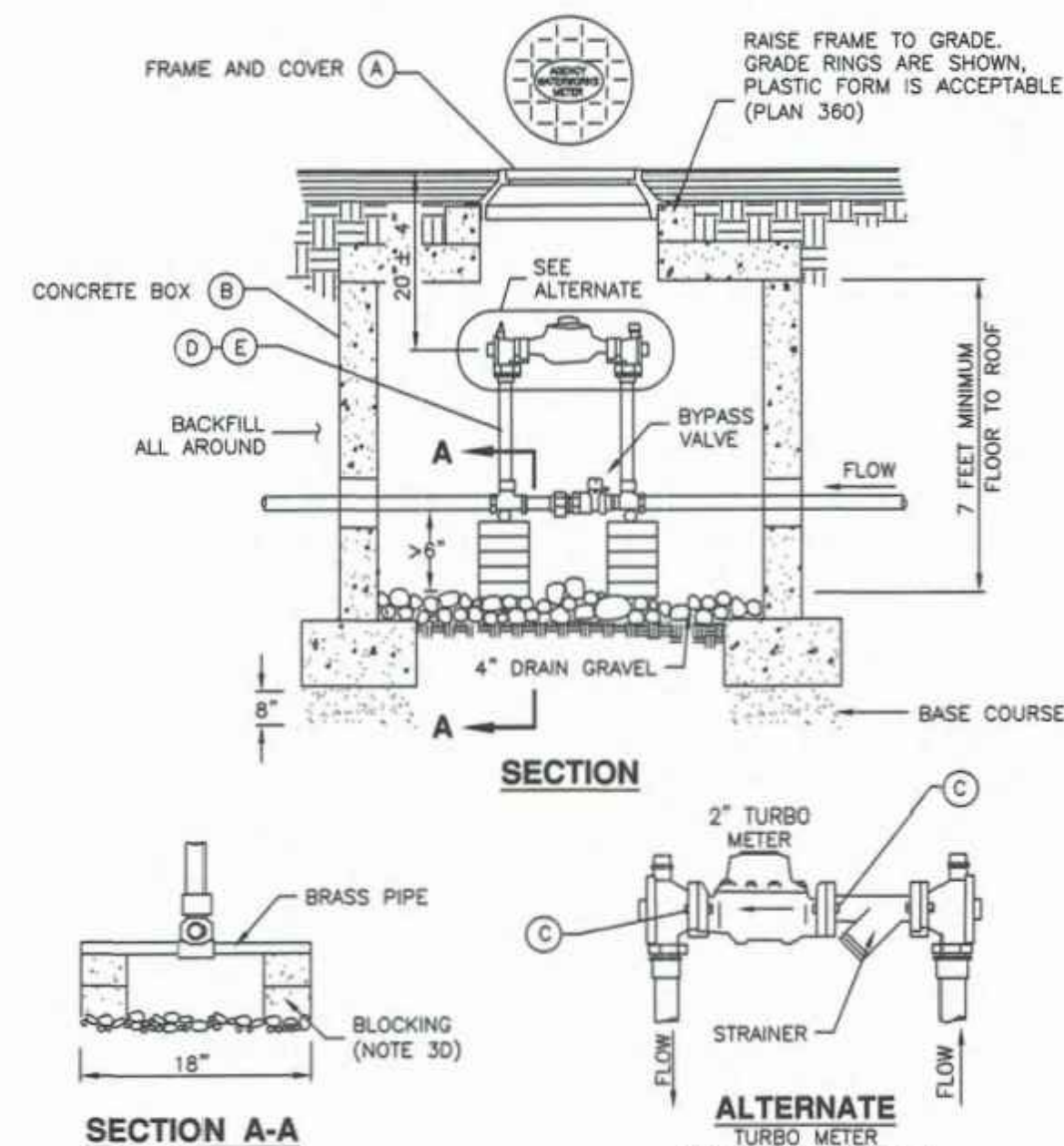


TABLE OF DIMENSION					
No.	10"	8"	3" & 4"	1 1/2" & 2"	
(A)	20'-0"	11'-0"	11'-0"	9'-0"	5'-0"
(B)	3'-10"	3'-5"	3'-5"	3'-0"	2'-6"
(C)	6'-2"	3'-5"	3'-5"	2'-0"	2'-6"
(D)	4'-8"	4'-1"	4'-1"	3'-8"	2'-6"
(E)	6'-10"	4'-1"	4'-1"	2'-8"	2'-6"
(F)	4'-8"	3'-5 3/4"	3'-10 1/4"	3'-5 1/2"	CENTER
(G)	5'-4"	2'-8 1/4"	2'-3 3/4"	1'-8 1/2"	

**4 Concrete meter boxes**  
C502  
SEE NOTE #1

Plan **505**  
August 2001

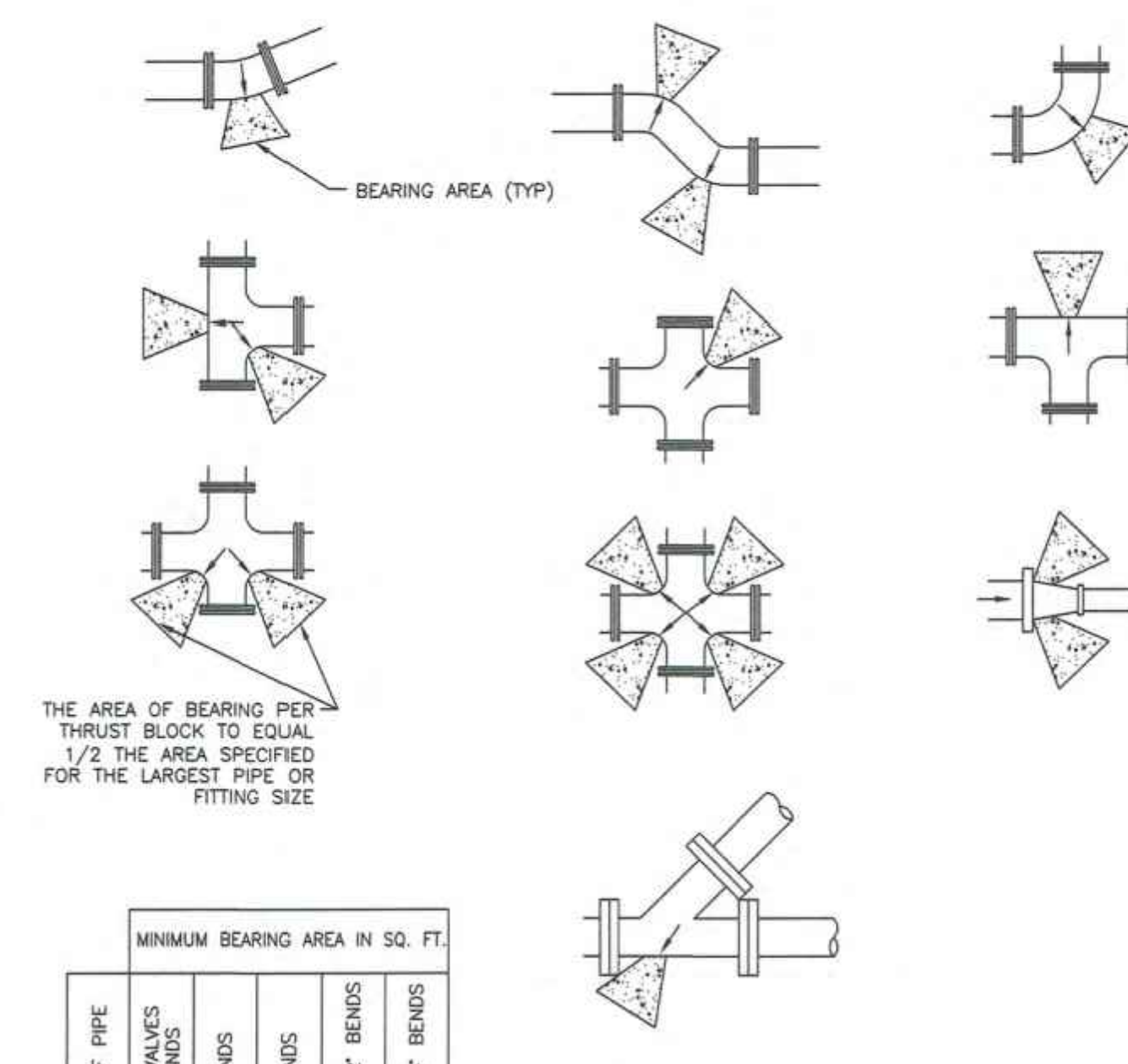


LEGEND		
No.	*	DESCRIPTION
(A)	27" FRAME AND COVER	PLAN 502
(B)	CONCRETE BOX	PLAN 505
(C)	STAINLESS STEEL METER BOLTS	5/8" x 2 3/4" BRASS
(D)	1 1/2" CUSTOM SETTER WITH BYPASS	
(E)	2" CUSTOM SETTER WITH BYPASS	

**SECTION A-A**

**5 1 1/2" and 2" meter**  
C502  
SEE NOTE #1

Plan **522**  
August 2001



SIZE OF PIPE	TEES, VALVES	90° BENDS	45° BENDS	22 1/2° BENDS	11 1/4° BENDS
4"	2	3	2	2	2
6"	4	5.5	3	2.5	2
8"	6.5	9.5	5	2.75	2.5
12"	14	20	11	5.5	3
14"	19	26.5	14.5	7.5	4
16"	24	34	18.5	9.5	6
20"	27	52	28.5	14.5	9
24"	53	74	41	21	12
30"	81	114	62	32	16

**6 Direct bearing thrust block**  
C502  
SEE NOTE #1

Plan **561**  
August 2010

**NOTES:**  
 1. TO BE FURNISHED AND INSTALLED BY BOUNTIFUL CITY WATER DEPARTMENT. COORDINATE WITH BOUNTIFUL CITY WATER DEPARTMENT.

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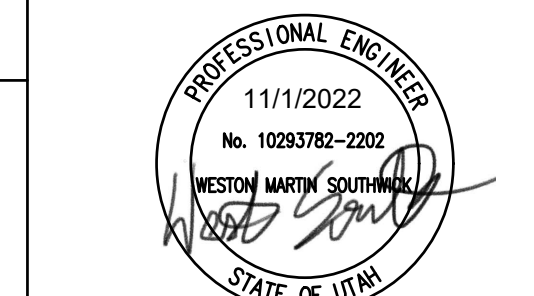
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 SALT LAKE | P. 801.216.3192  
 UTAH VALLEY | P. 801.874.1432  
 info@civilsolutionsgroup.net  
 www.civilsolutionsgroup.net

**390 APARTMENTS**  
 390 SOUTH MAIN STREET  
 BOUNTIFUL, UTAH

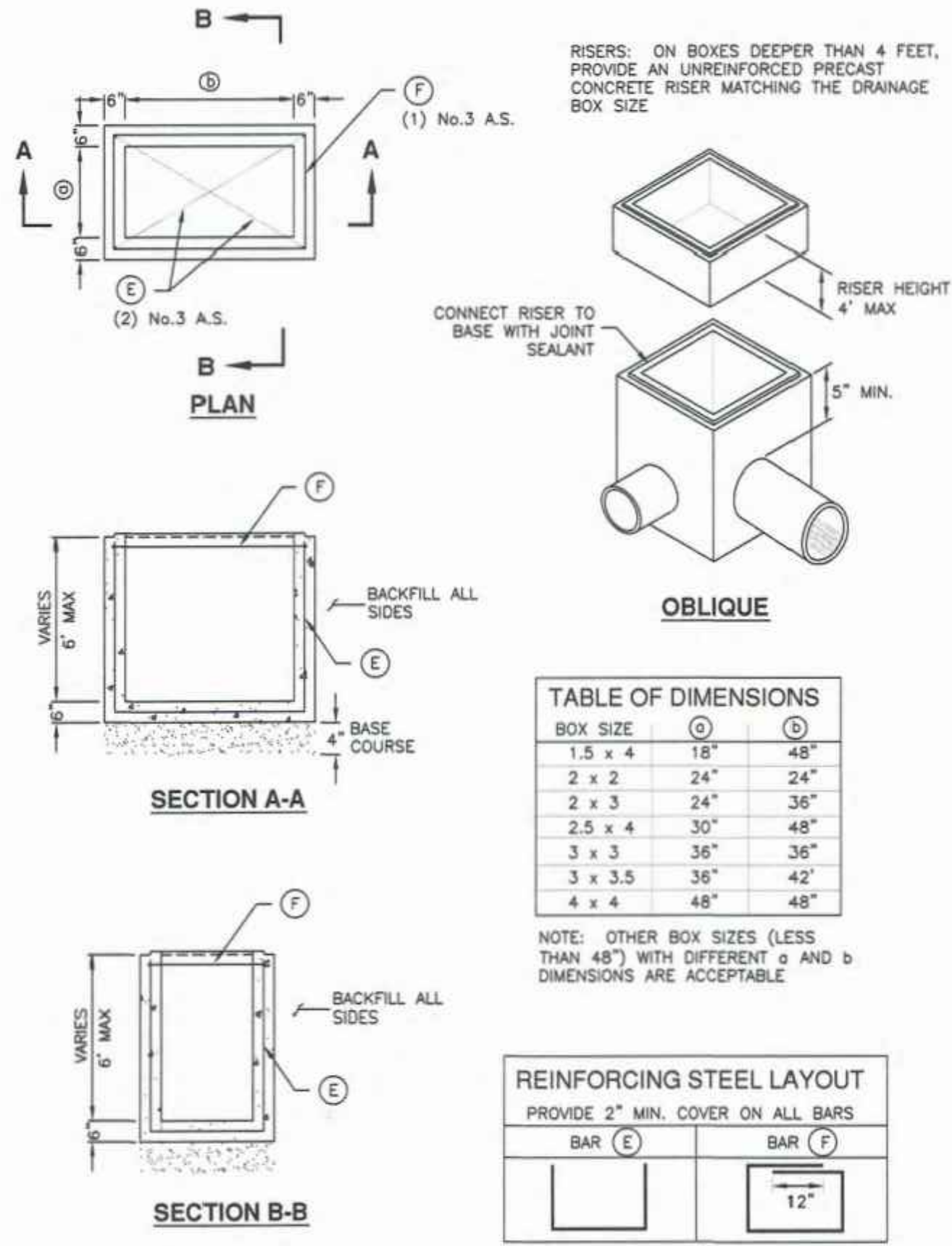
MARK:	DATE:	DESCRIPTION:

PROJECT #: 22-009  
 DRAWN BY: A. OCHSENBEIN  
 PROJECT MANAGER: W. SOUTHWICK  
 ISSUED: 11/1/2022



**DETAILS**

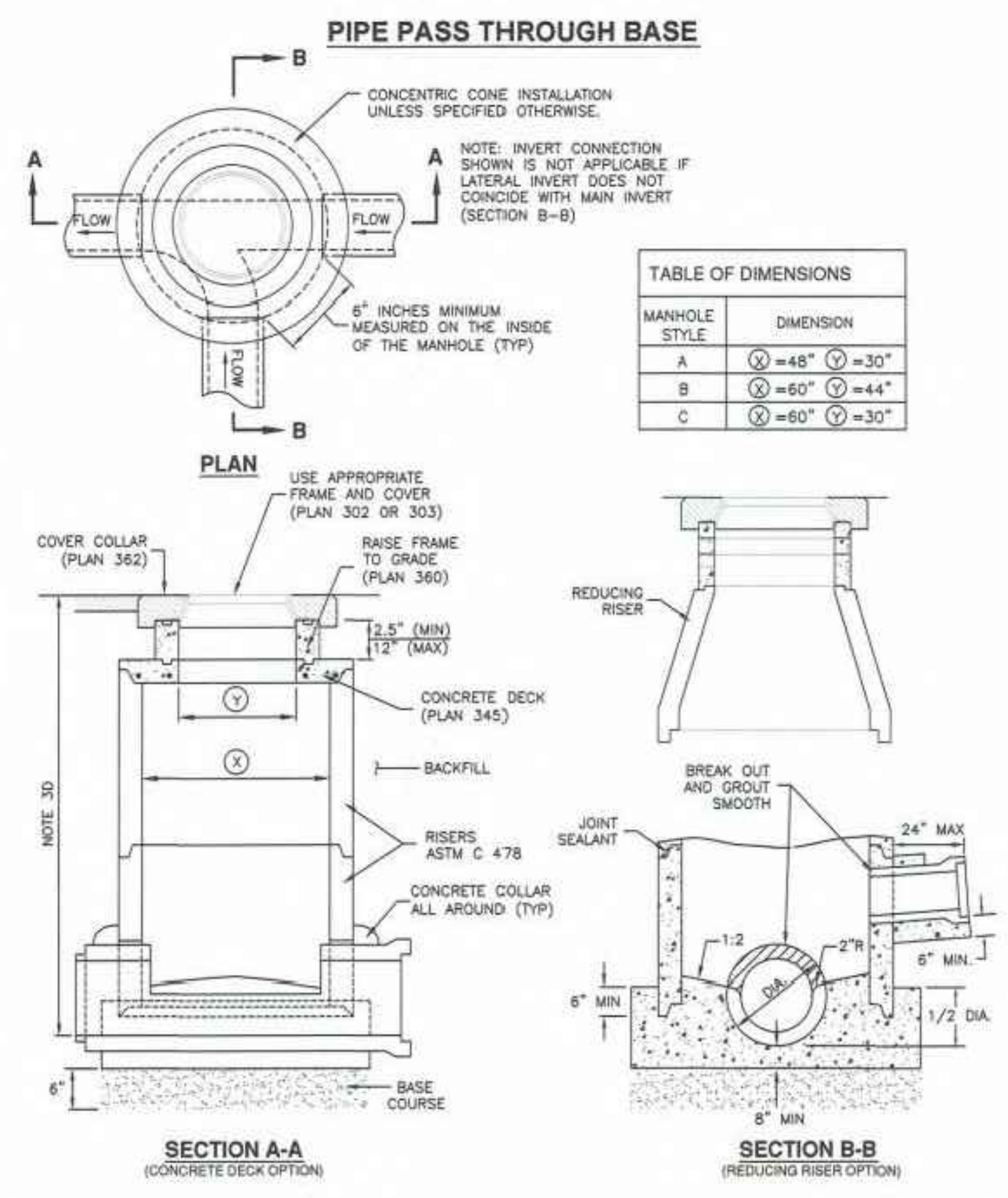
**C502**



**ADWA**  
Utah Chapter

1  
C503

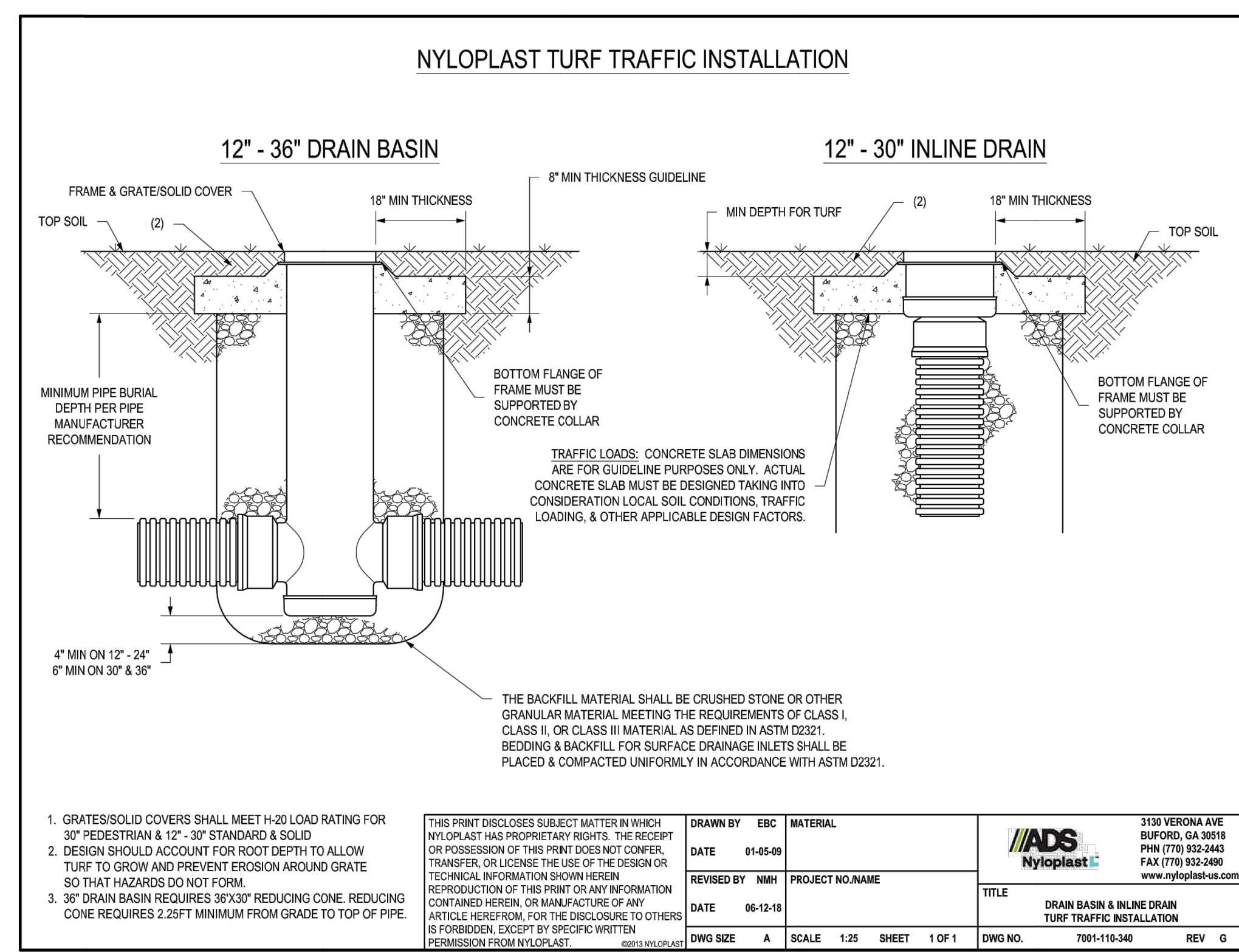
Precast box  
Plan 332  
June 2010



**ADWA**  
Utah Chapter

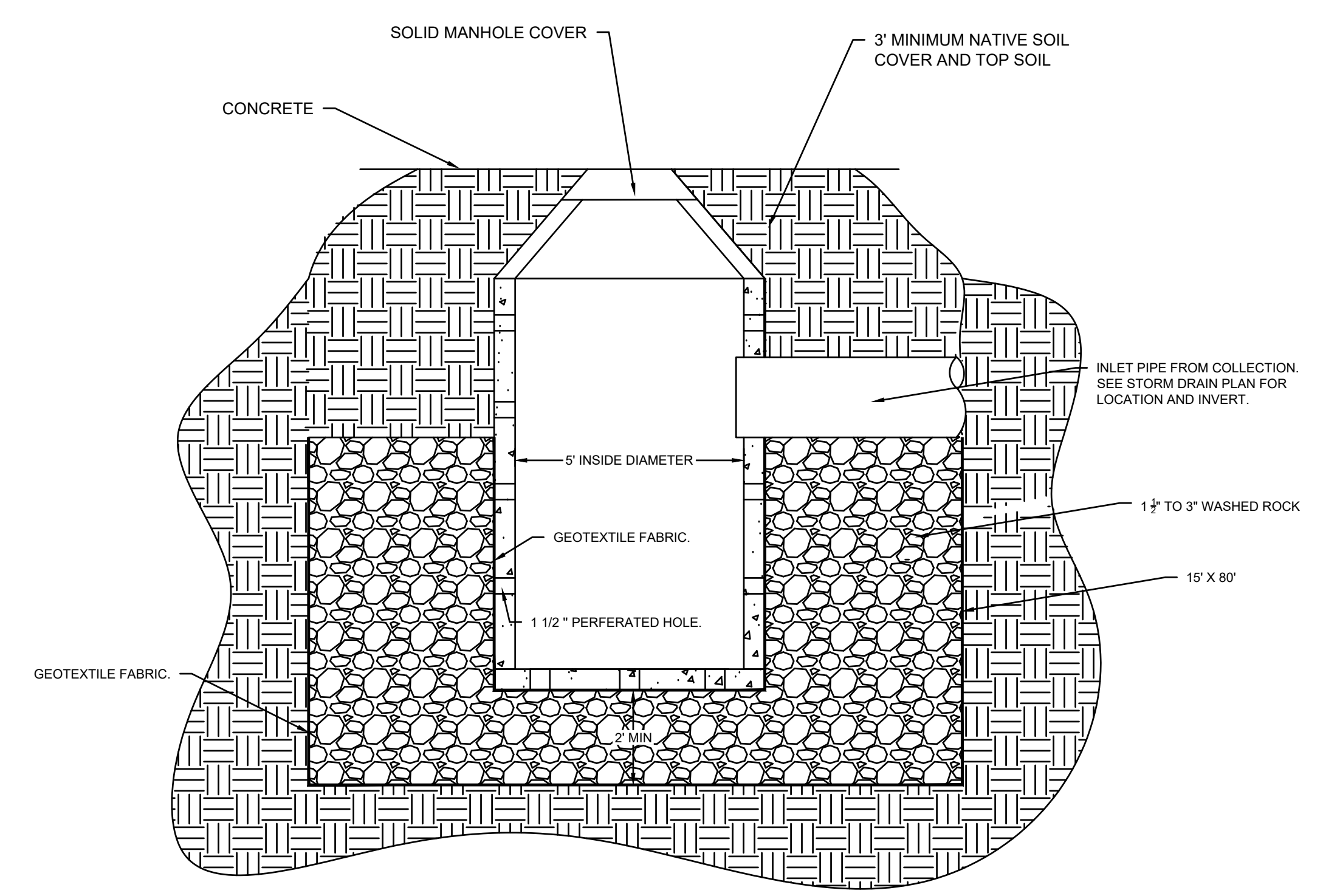
3  
C503

Precast manhole  
Plan 341.2  
November 2010



2  
C503

YARD DRAIN  
NOT TO SCALE



4  
C503

STORM DRAIN SUMP  
NOT TO SCALE

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390 APARTMENTS  
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BOUNTIFUL, UTAH

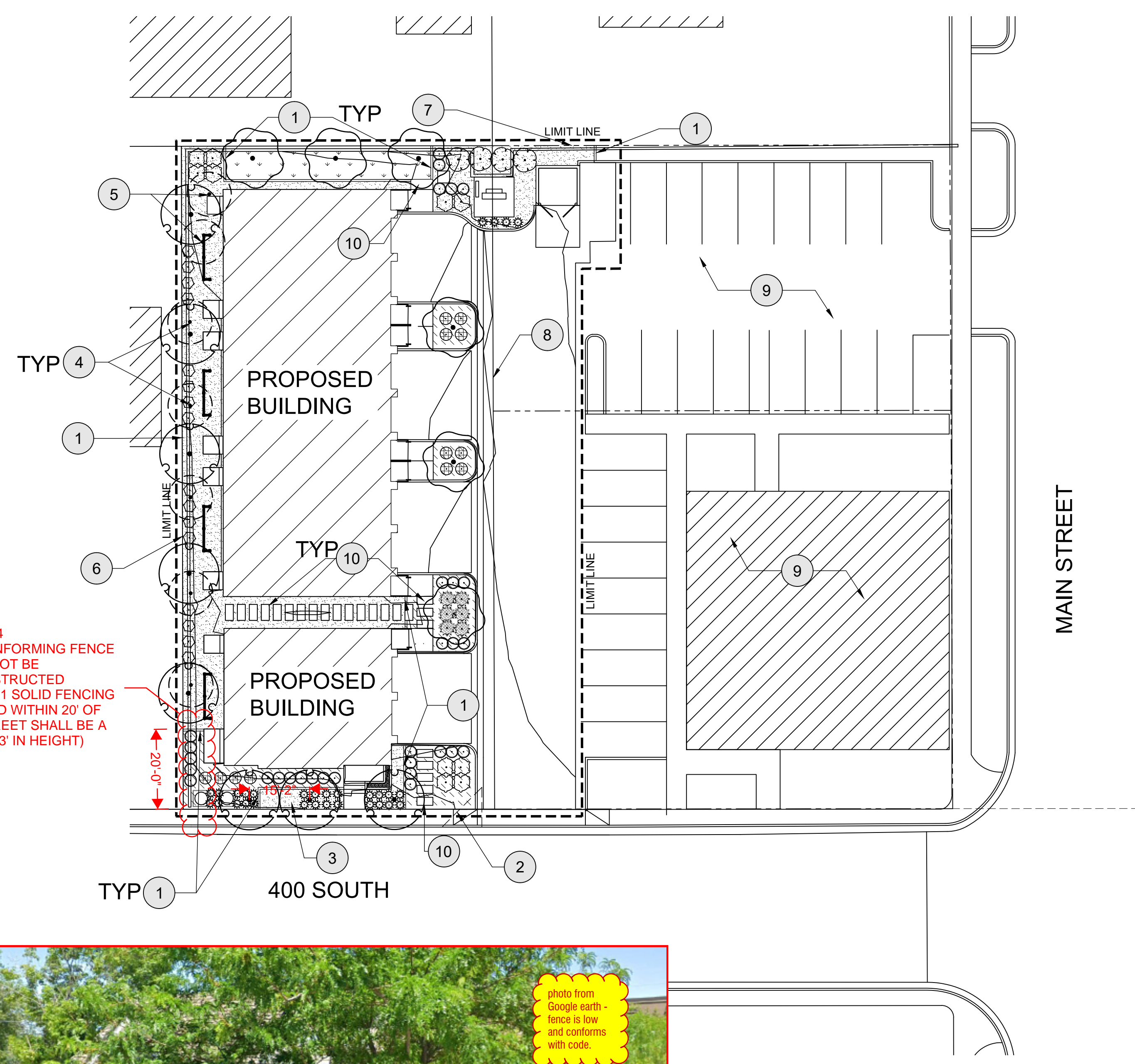
MARK	DATE	DESCRIPTION

PROJECT #: 22-009  
DRAWN BY: A. OCHSENBEIN  
PROJECT MANAGER: W. SOUTHWICK  
ISSUED: 11/1/2022



DETAILS

C503



	NUMBER REQUIRED	NUMBER PLANNED
landscape area	2	5
landscape area	2	6
	8	66
	3	3
	1,294 + 50 SF X 8 UNITS = 1,695 SF	3934 SF

\*PUMPSTER ENCLOSURE ARE NOT PART OF THESE NUMBERS.

### PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CAL
	AC2	8	ACER PLATANOIDES 'CRIMSON SENTRY' / CRIMSON SENTRY MAPLE	B&B	2" CAL
	MR	6	MALUS X 'ROYALTY' / ROYALTY CRABAPPLE	B&B	2" CAL
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT
	BG	30	BUXUS MICROPHYLLA 'WINTER GEM' / GLOBE WINTER GEM BOXWOOD	5 GAL.	
	CH	4	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD	5 GAL.	
	JA	6	JUNIPERUS COMMUNIS 'ALPINE CARPET' / JUNIPER	5 GAL.	
	RR	16	RHAMNUS FRANGULA 'FINE LINE' / FINE LINE BUCKTHORN	5 GAL.	
	RW	10	ROSA X 'MEICOUBLAN' / WHITE MEIDLAND	5 GAL.	
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT
	CK	12	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL.	
	DW	11	DIANTHUS GRATIANOPOLITANUS 'FIREWITCH' / FIREWITCH CHEDDAR PINK	1 GAL.	
	PH	30	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS	1 GAL.	

### REFERENCE NOTES SCHEDULE

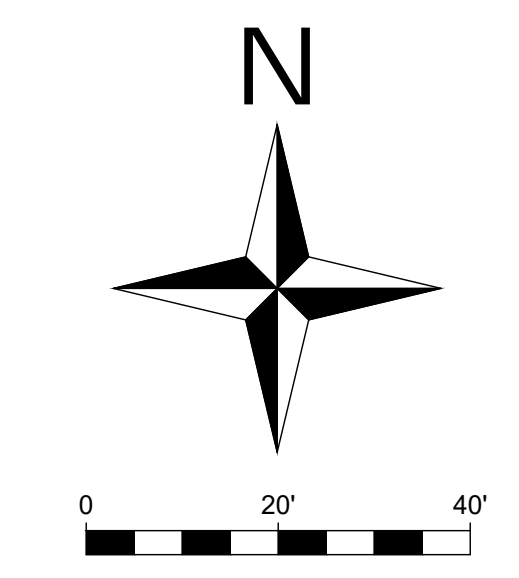
SYMBOL	DESCRIPTION	QTY	DETAIL
1	CONCRETE MOWSTRIP: 6" WIDE- SEE DETAIL		5/L201
2	10' X 10' SIGHT TRIANGLE AT DRIVEWAY INTERSECTION		
3	METER FOR IRRIGATION SYSTEM. SEE CIVIL PLANS FOR EXACT SIZE AND LOCATION. IRRIGATION PLAN BY OTHERS.		
4	EXISTING LARGE SHRUBS AND OTHER VEGETATION TO BE REMOVED ALONG WEST SIDE OF PROPERTY.		
5	EXISTING FLOWERING PEAR TREE TO BE REMOVED.		
6	EXISTING 6" VINYL FENCE TO REMAIN.		
7	EXISTING 6" CHAIN LINK FENCE WITH SLATS TO REMAIN.		
8	PARCEL LINE		
9	OUT OF SCOPE FOR THIS PROJECT		
10	4" CONCRETE OVER 4" COMPACTED BASE COURSE		

SYMBOL	DESCRIPTION	QTY	DETAIL
	TURF GRASS: SOD (IMPERIAL BLUE FROM CHANSHARE SOD OR APPROVED EQUAL) INSTALLED OVER 5" TOPSOIL LAYER.	431 SF	5/L201
	BARK MULCH (SMALL BARK MULCH FROM MILLER COMPANIES LC OR APPROVED EQUAL) INSTALLED AT DEPTH OF 3" WITHOUT WEED BARRIER FABRIC. PLANTINGS WITHIN THIS AREA WILL INCLUDE TREES, SHRUBS, GRASSES AND PERENNIALS.	1,067 SF	5/L201
	ROCK MULCH, 1" (WASATCH TAN CRUSHED ROCK FROM STAKER PARSON OR APPROVED EQUAL) INSTALLED AT DEPTH OF 3" INSTALLED OVER DEWITT PRO 5 BARRIER FABRIC.	2,436 SF	5/L201

**Reviewed by Planning Department**  
 Amber Corbridge Senior Planner  
 11/07/2022

**GENERAL NOTES:**  
 1. CONTRACTOR TO VERIFY ALL QUANTITIES.  
 2. SEE L201 FOR PLANTING NOTES AND DETAILS.

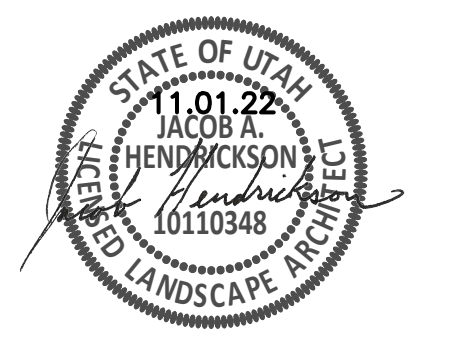
**IRRIGATION NOTES:**  
 1. LANDSCAPE TO BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM.  
 2. IRRIGATION PLAN BY OTHERS. PROVIDE SLEEVES UNDER DRIVEWAYS TO PLANTING ISLANDS AS NEEDED.



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MARK: DATE: DESCRIPTION:


PROJECT #: 22-009  
 DRAWN BY: KJ  
 REVIEWED BY: JH  
 ISSUED: 11.01.2022



**LANDSCAPE PLAN**

**L101**



**Reviewed by Building Department**  
 11/10/2022  
 Don Simons, Building Official

**PLAN REVIEW updated**  
 11/02/2022 11/10/22  
 LLOYD CHENEY  
 BOUNTIFUL CITY ENGINEER

**Reviewed by Planning Department**  
 Amber Corbridge Senior Planner  
 11/07/2022

**BUILDINGS UNDER CONSTRUCTION**

- Buildings undergoing construction must comply with Chapter 33 of the IFC.
- Fire Department Access Roads: An all-weather fire department access road is required to be maintained at all times during construction. If the all-weather access is not maintained, SDMF reserves the right to stop work until the required roads are placed back in service.
- Water Supplies for Fire Protection: Water supplies required for fire protection are required to be maintained at all times during construction. If the fire protection water supply is not maintained, SDMF reserves the right to stop work until the required water supply for fire protection is placed back in service.
- Water supplies for fire protection must be clearly identified in a manner to prevent obstruction by parking and/or other obstructions.

Note added to cover sheet - Babcock

**DESIGN CRITERIA:**

PROJECT ADDRESS  
 30 WEST 400 SOUTH  
 BOUNTIFUL UTAH

LOT:  
 SIZE: 0.2971 ACRES = 12,945 SQ.FT (10,000 SF MIN REQUIRED)  
 FRONTAGE: 77.90' (50' REQUIRED)

CODE ANALYSIS  
 2018 INTERNATIONAL RESIDENTIAL CODE

TOWNHOUSE PROJECT:  
 EACH UNIT SEPARATED BY 2-HOUR WALL ASSEMBLY PER R302.2  
 GARAGE SHEETED WITH 1/2" GYPSUM  
 GARAGE ACCESS DOOR 20 MIN RATED

STRUCTURAL DESIGN CRITERIA:  
 SNOW: USE USU SNOW STUDY  
 WIND: 155 MPH VUT 120 MPH V  
 EXPOSURE: B  
 SEISMIC: ZONE D2

CHAPTER THREE (3): BUILDING PLANNING  
 TOWNHOUSE: R302.2  
 FIRE SEPARATION BETWEEN TOWNHOUSES: PER R302.2 (DOUBLE WALL)  
 ROOF: NO PENETRATIONS WITH IN 4" OF RATED WALL (UNLESS 30" PARAPET INSTALLED)

BUILDING HEIGHT AND AREA  
 AREA: 5,600 SF (110' X 110' = 12,100SQ.FT. ALLOWABLE)  
 HEIGHT: 36'-6" (55' ALLOWABLE)

SQUARE FOOTAGE PER UNIT:

LEVEL 1:  
 CAR GARAGE 575 SQ. FT.  
 ENTRY 125 SQ.FT.  
 TOTAL LEVEL 1 700 SQ. FT.

LEVEL 2:  
 LIVING 700 SQ. FT.  
 TOTAL LEVEL 2 700 SQ. FT.

LEVEL 3:  
 LIVING / BED 700 SQ. FT.  
 TOTAL LEVEL 3 700 SQ. FT.

GRAND TOTAL  
 USABLE 1,525 SQ. FT.  
 CAR GARAGE 575 SQ. FT.  
 GRAND TOTAL 2,100 SQ. FT.

BUILDING COVERAGE:

ZONING  
 DOWNTOWN (DN) ZONING

MAXIMUM BUILDING HEIGHT:  
 DN - DOWNTOWN ZONE: 14-7-107 STRUCTURE HEIGHT: 55'-0"

MINIMUM YARD REQUIREMENTS:  
 SEE SHEET AS-101

FRONT YARD SET BACK:  
 10'-0"

INTERIOR SIDE YARD:  
 10'-0"

REAR YARD  
 10'-0"

Note added to cover sheet - Babcock

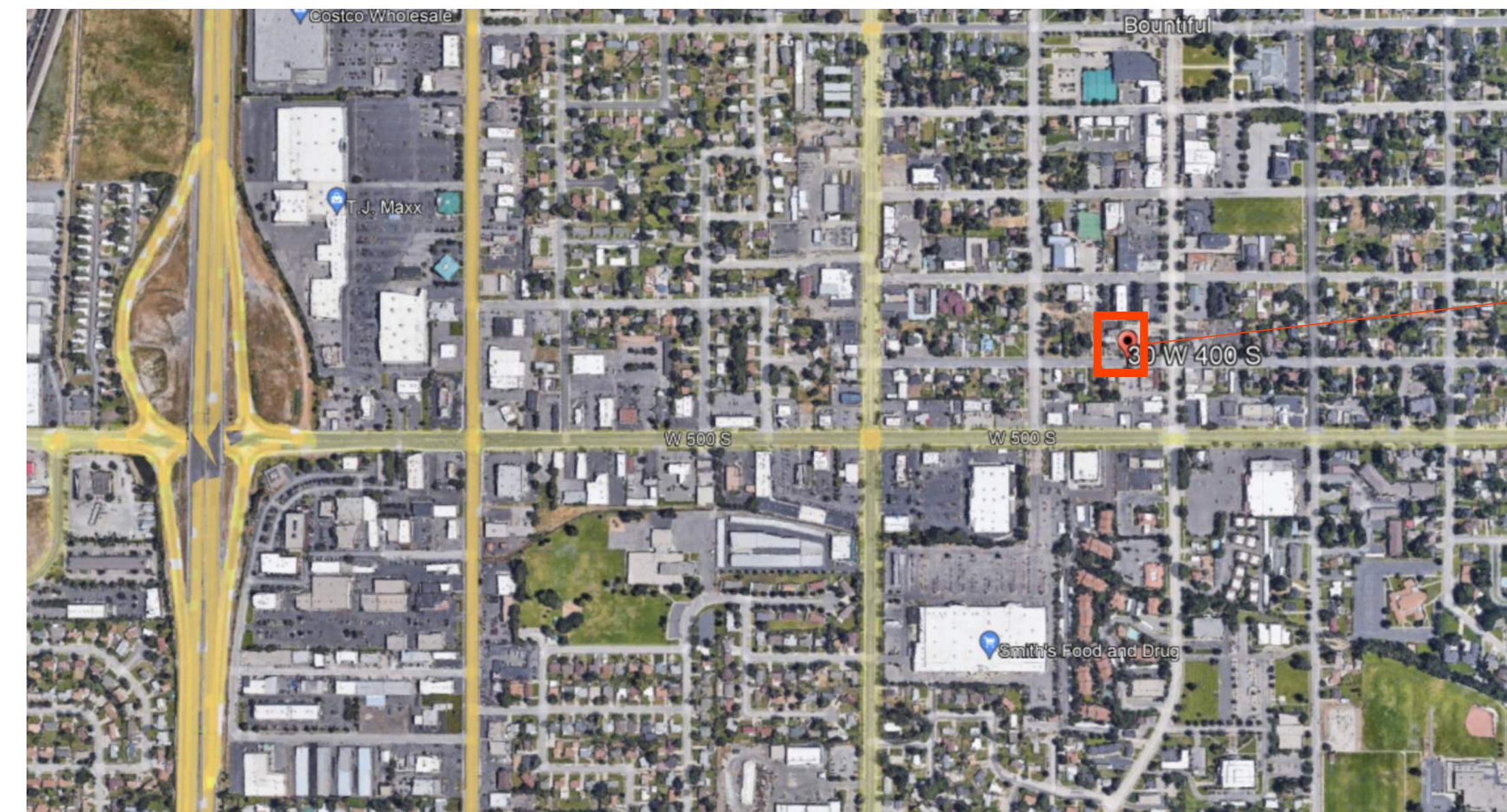
155 mph Vult 120 mph Vasd

Specify (2 hr. rated in accordance with ASTM E 119 or UL 263)



SITE

3 ENLARGED VICINITY MAP



SITE

2 VICINITY MAP



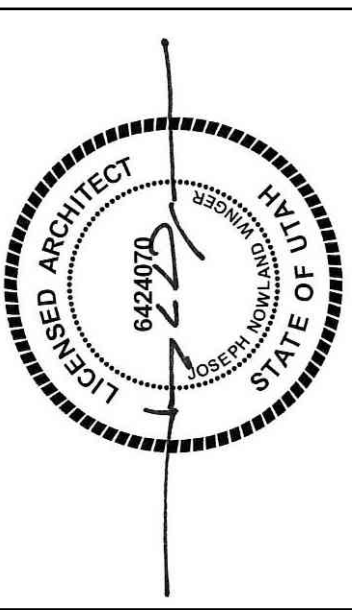
1 PERSPECTIVE

**DRAWING INDEX:**

GENERAL:	
G100	SITE PLAN / DRAWING INDEX
SURVEY	SHEET 1 OF 1
CIVIL:	
C001	COVER AND LEGEND
C101	DEMOLITION PLAN
C102	SITE & DIMENSION PLAN
C201	GRADING PLAN
C301	STORM DRAIN & UTILITY PLAN
C501	DETAILS
C502	DETAILS
C503	DETAILS
LANDSCAPE:	
L101	LANDSCAPE PLAN
L201	DETAILS
ARCHITECTURAL:	
AS100	ARCHITECTURAL SITE PLAN
AS101	ARCHITECTURAL DUMPSTER DETAILS
A101	LEVEL 1 & 2 FLOOR PLANS
A102	LEVEL 3 & ROOF PLANS
A103	UNIT "A" ENLARGED PLAN
A104	UNIT "B-H" ENLARGED PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A203	BUILDING SECTIONS
A204	SECTIONS & DETAILS (FUTURE PKG)
STRUCTURAL (FUTURE PACKAGE):	
S101	FOOTING AND FOUNDATION PLAN
S102	MAIN LEVEL FRAMING PLAN
S103	UPPER LEVEL FRAMING PLAN
S104	ROOF FRAMING PLAN
S105	STRUCTURAL DETAILS
ELECTRICAL (FUTURE PACKAGE):	
E101	LOWER LEVEL POWER / LIGHTING PLAN
E102	MAIN LEVEL POWER / LIGHTING PLAN
E103	UPPER LEVEL POWER / LIGHTING PLAN

**SQUARE FOOTAGE:**

UNIT "A-H":	
125 SF	LEVEL 1 ENTRY (FINISHED)
700 SF	LEVEL 2 LIVING (FINISHED)
700 SF	LEVEL 3 BEDROOM (FINISHED)
1,525 SF	(TOTAL LIVING)
575 SF	LEVEL 1 GARAGE (FINISHED)
2,100 SF	(GRAND TOTAL)

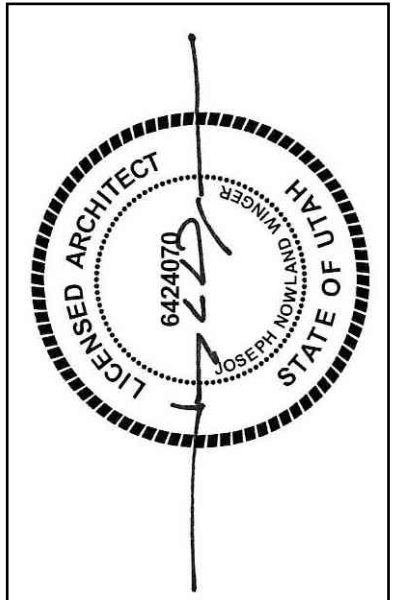


stamp:

**TOWNS at 400**  
 30 West 400 South  
 Bountiful Utah 84010

REVISION BLOCK	
NO.	DATE:
DESCRIPTION:	

**G100**  
 COVER  
 date:  
 10.27.2022

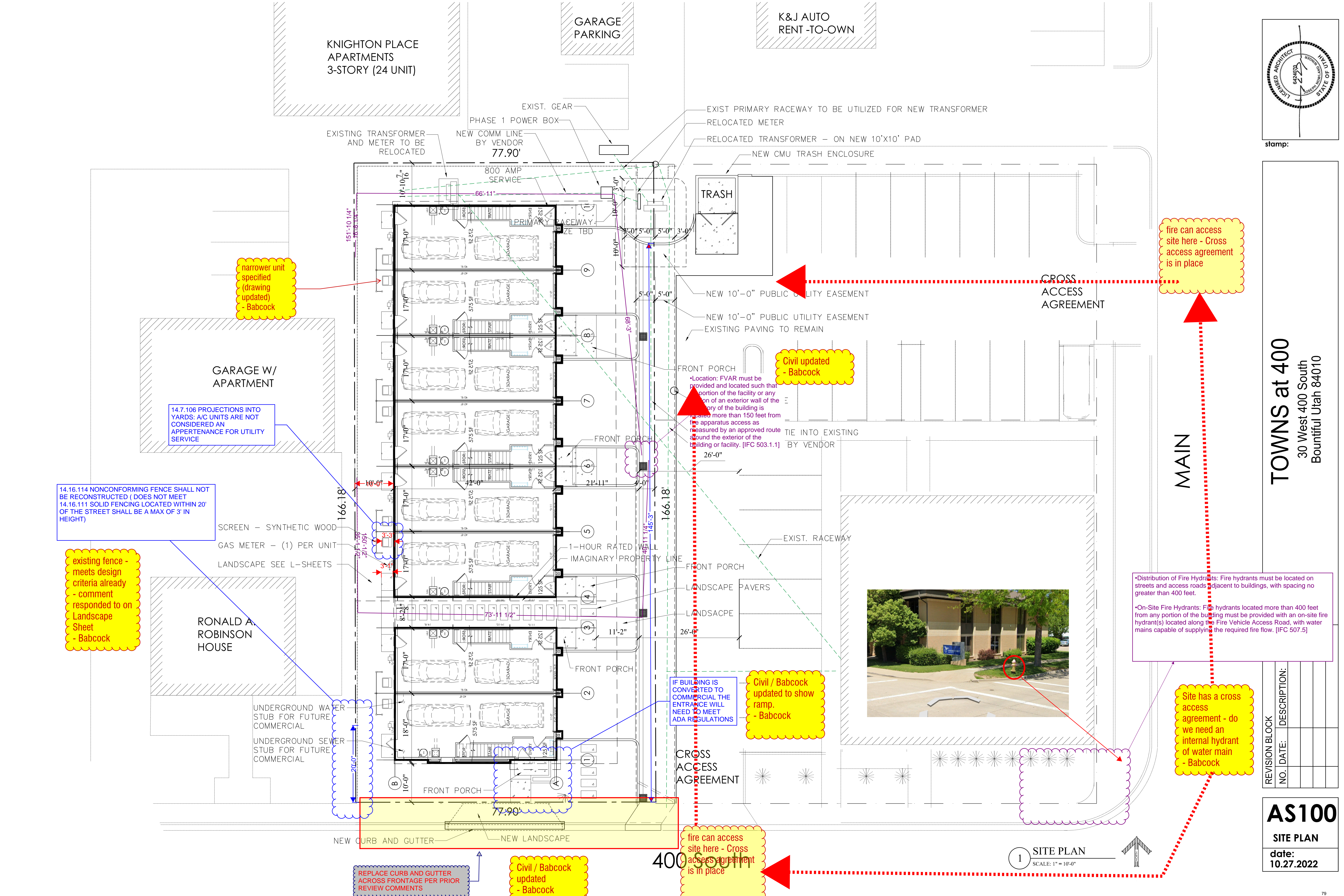


stamp:

**TOWNS at 400**  
30 West 400 South  
Bountiful Utah 84010

REVISION BLOCK NO.	DATE	DESCRIPTION

**AS100**  
SITE PLAN  
date:  
10.27.2022



narrower unit specified (drawing updated) - Babcock

14.7.106 PROJECTIONS INTO YARDS: A/C UNITS ARE NOT CONSIDERED AN APPERTENANCE FOR UTILITY SERVICE

14.16.114 NONCONFORMING FENCE SHALL NOT BE RECONSTRUCTED ( DOES NOT MEET 14.16.111 SOLID FENCING LOCATED WITHIN 20' OF THE STREET SHALL BE A MAX OF 3' IN HEIGHT)

existing fence - meets design criteria already - comment responded to on Landscape Sheet - Babcock

Civil updated - Babcock

IF BUILDING IS CONVERTED TO COMMERCIAL THE ENTRANCE WILL NEED TO MEET ADA REGULATIONS

Civil / Babcock updated to show ramp. - Babcock

fire can access site here - Cross access agreement is in place

MAIN

Distribution of Fire Hydrants: Fire hydrants must be located on streets and access roads adjacent to buildings, with spacing no greater than 400 feet.  
On-Site Fire Hydrants: Fire hydrants located more than 400 feet from any portion of the building must be provided with an on-site fire hydrant(s) located along the Fire Vehicle Access Road, with water mains capable of supplying the required fire flow. [IFC 507.5]

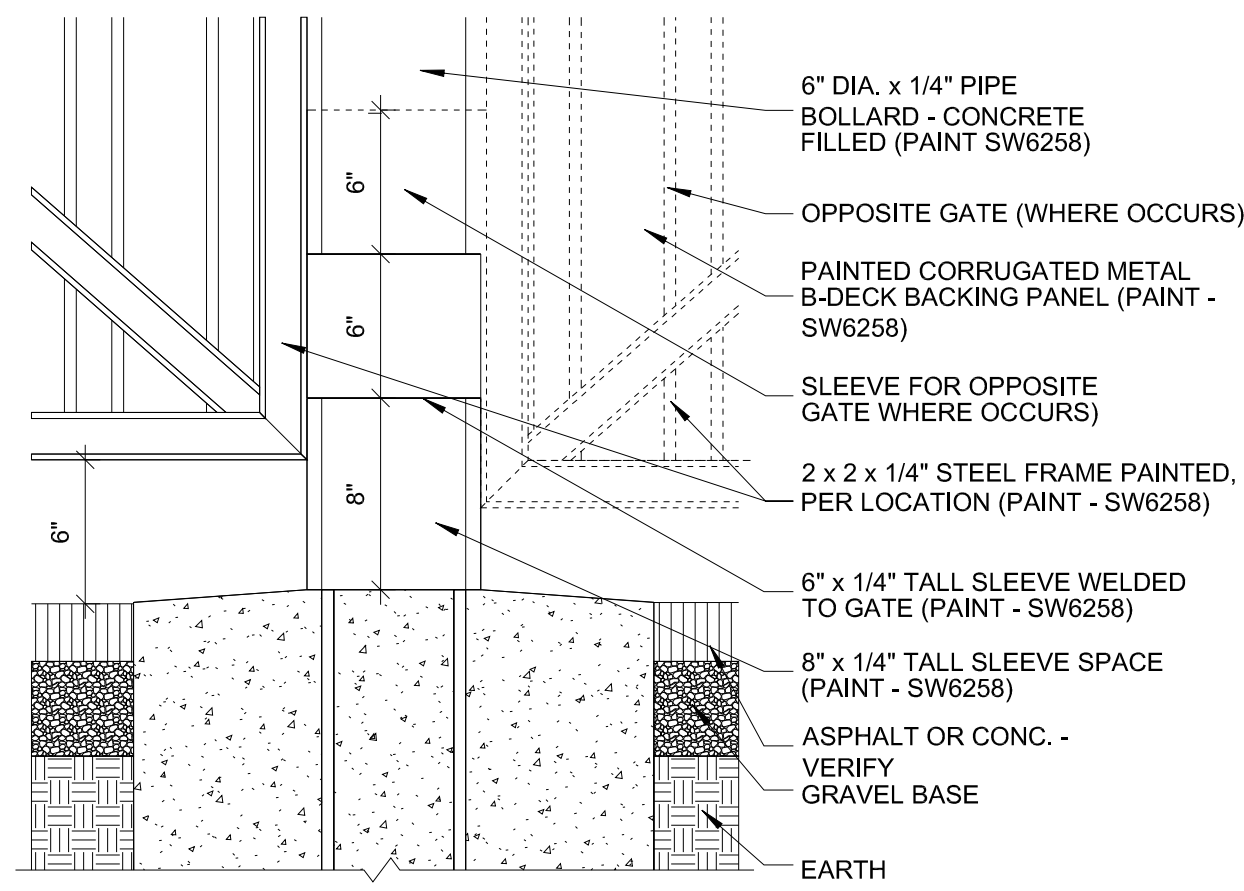
Site has a cross access agreement - do we need an internal hydrant of water main - Babcock

fire can access site here - Cross access agreement is in place

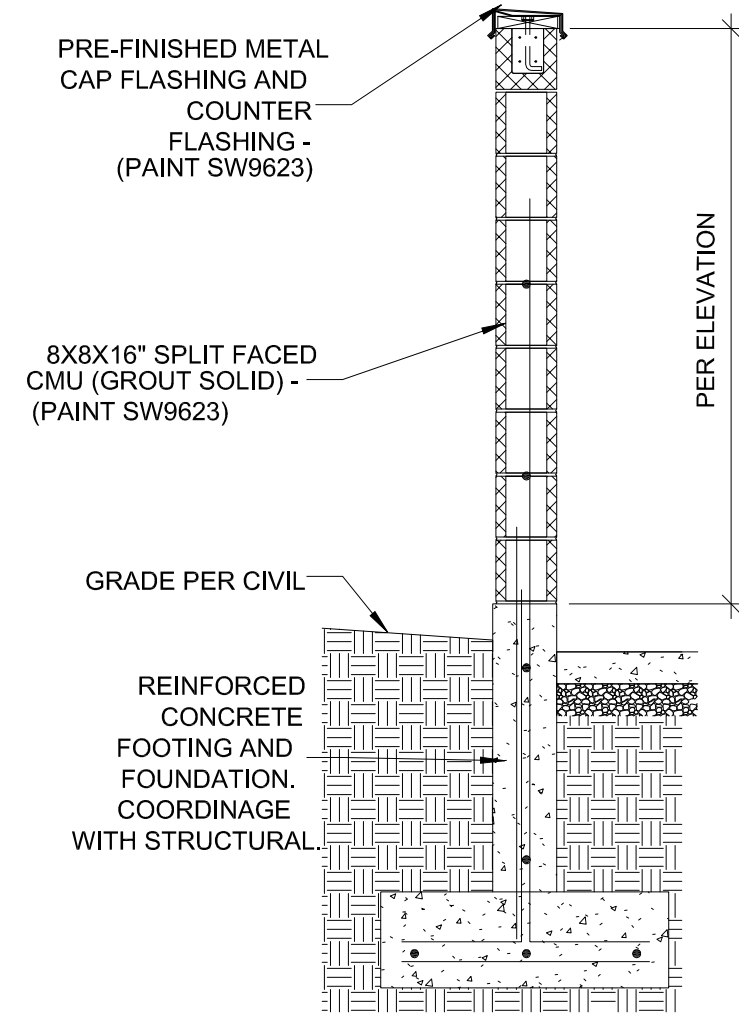
Civil / Babcock updated - Babcock

REPLACE CURB AND GUTTER ACROSS FRONTAGE PER PRIOR REVIEW COMMENTS

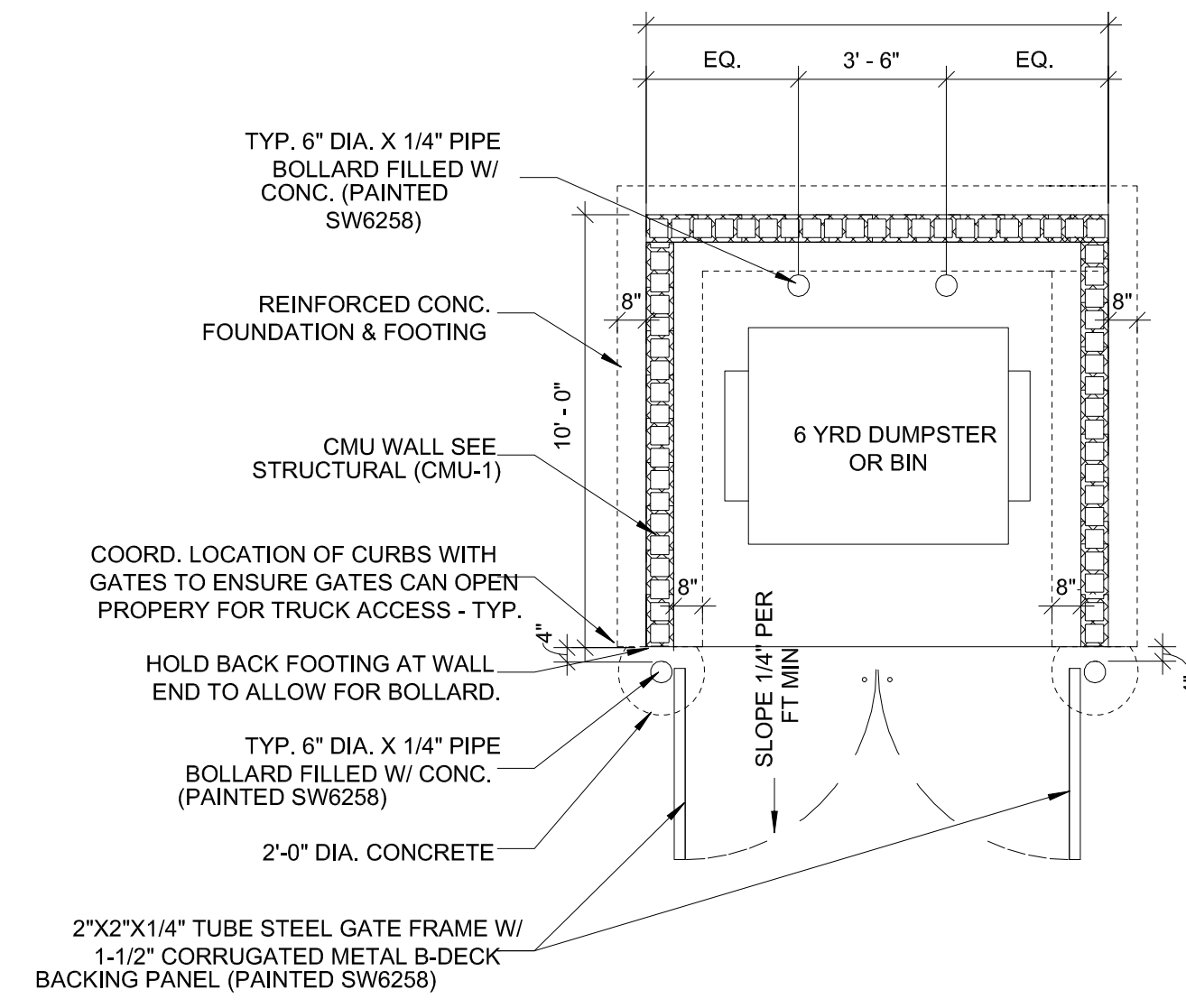
1 SITE PLAN  
SCALE: 1" = 10'-0"



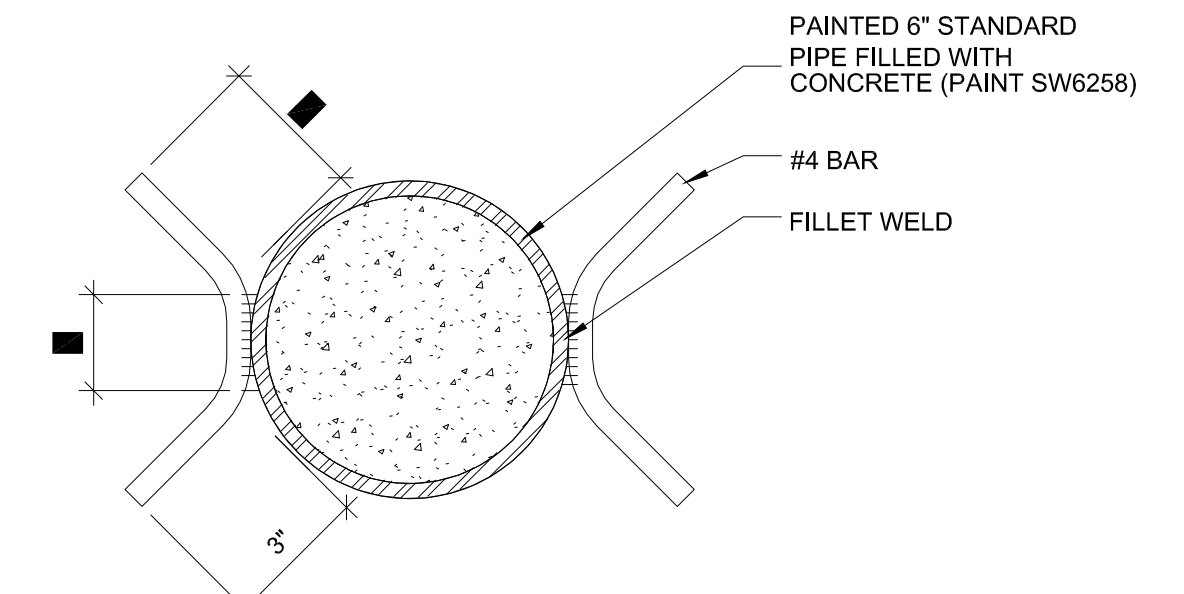
12 DUMPSTER GATE SLEEVE DETAIL  
1 1/2" = 1'-0"



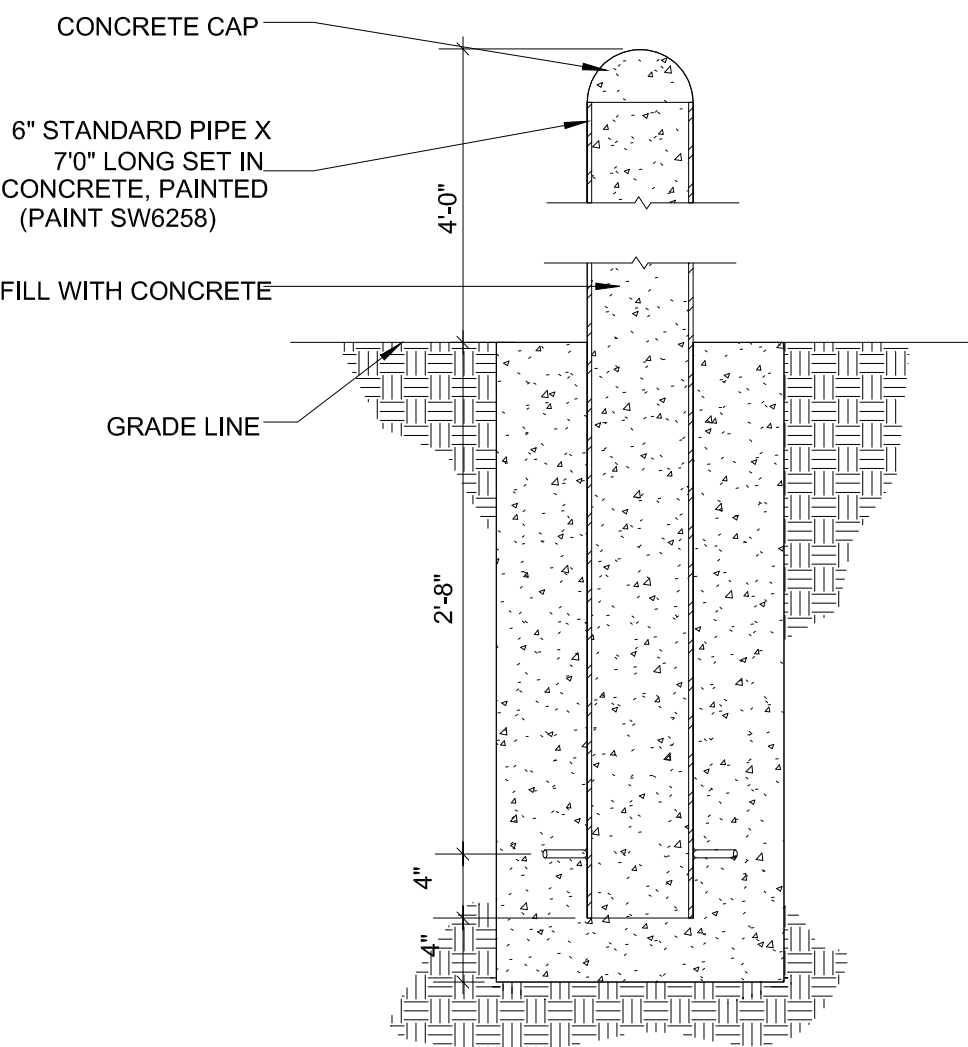
9 TRASH ENCLOSURE WALL SECTION  
1/2" = 1'-0"



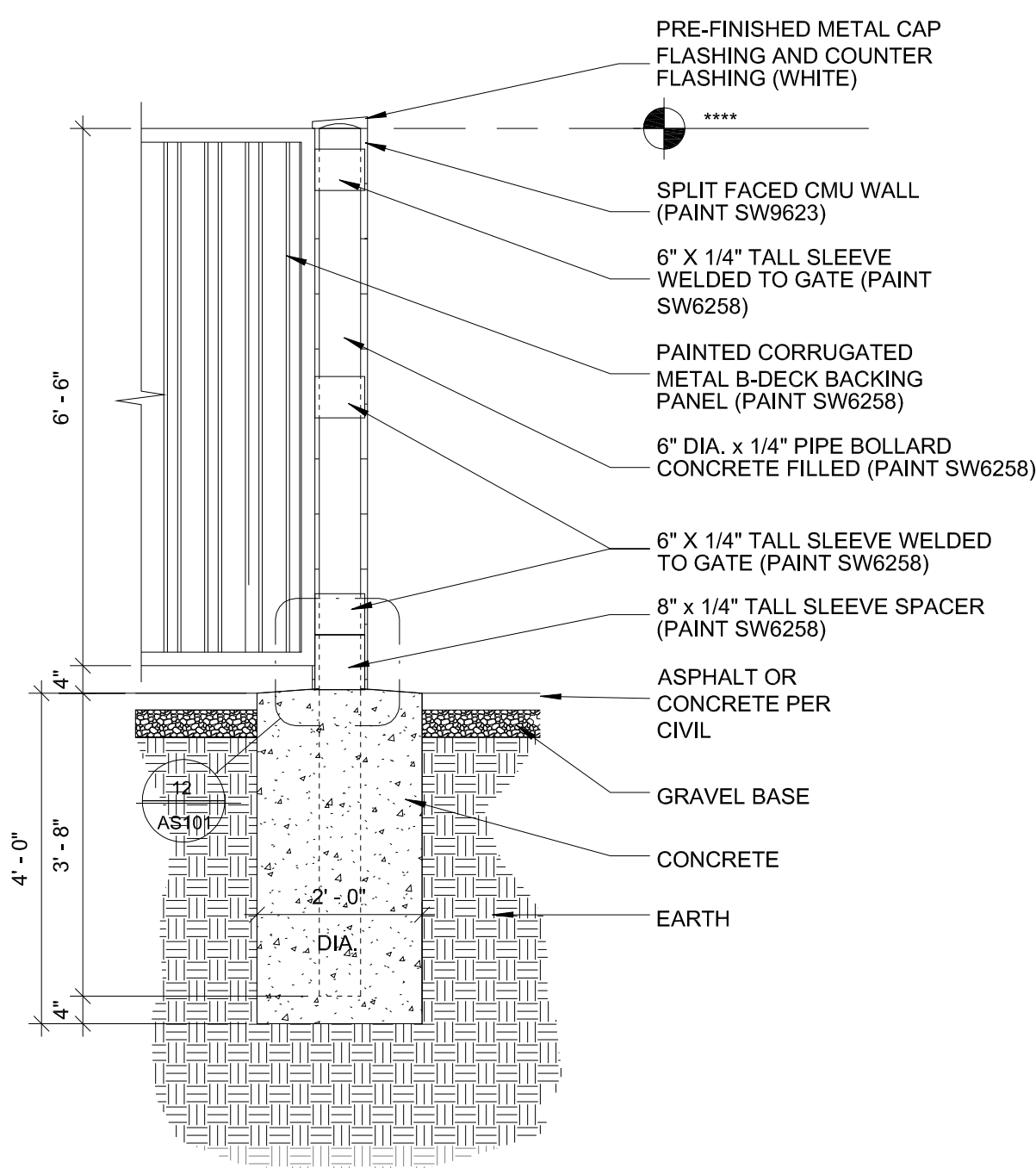
5 TRASH ENCLOSURE  
1/4" = 1'-0"



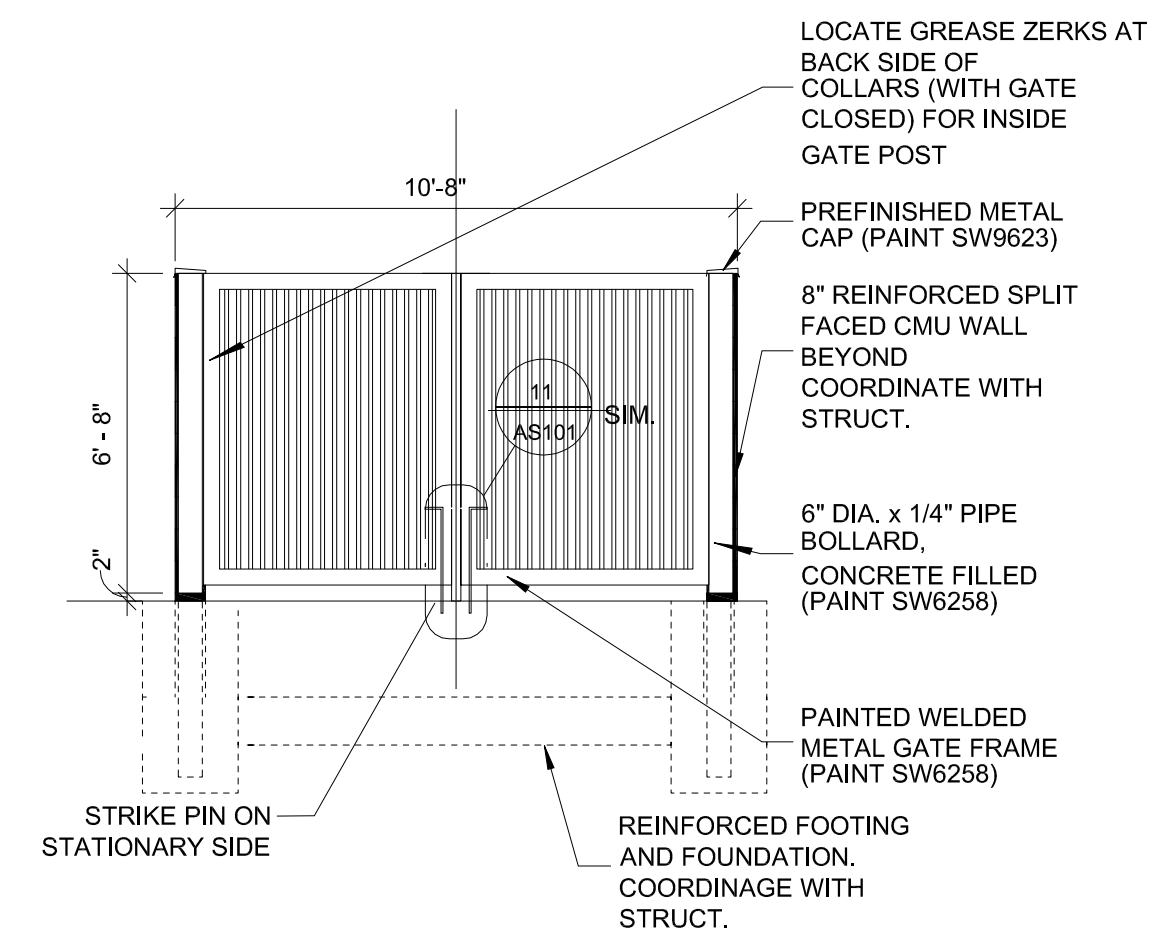
1 BOLLARD CROSS SECTION  
3" = 1'-0"



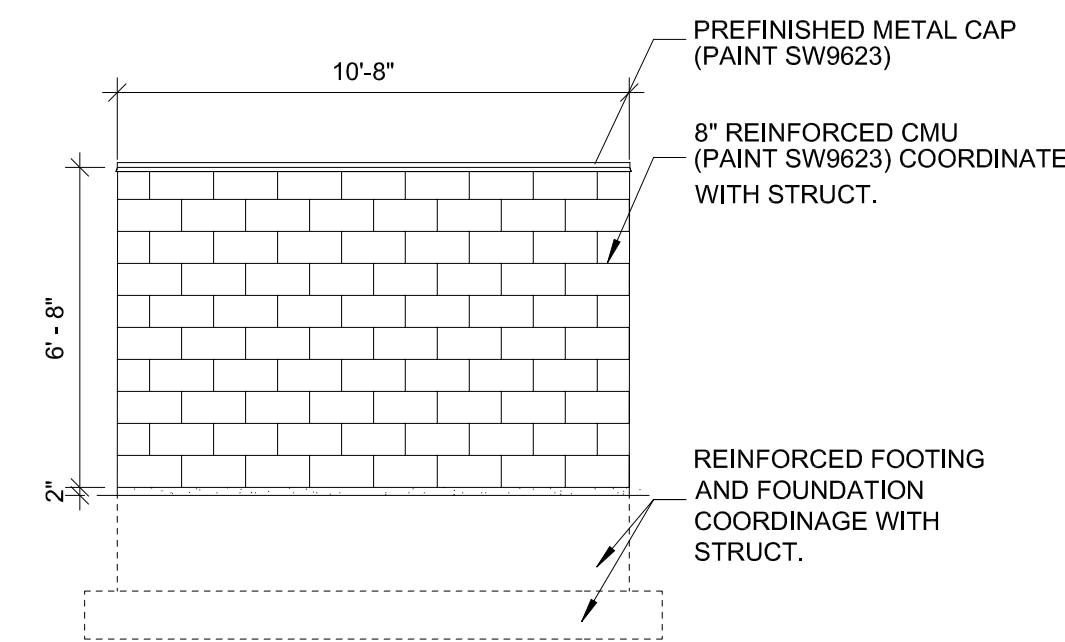
2 BOLLARD SECTION  
1/2" = 1'-0"



10 DUMPSTER GATE - END POST DETAIL  
1/2" = 1'-0"



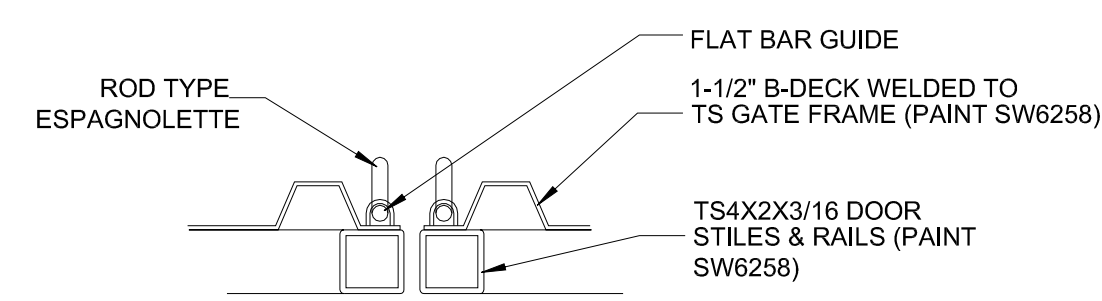
6 TRASH ENCLOSURE - FRONT ELEVATION  
1/4" = 1'-0"



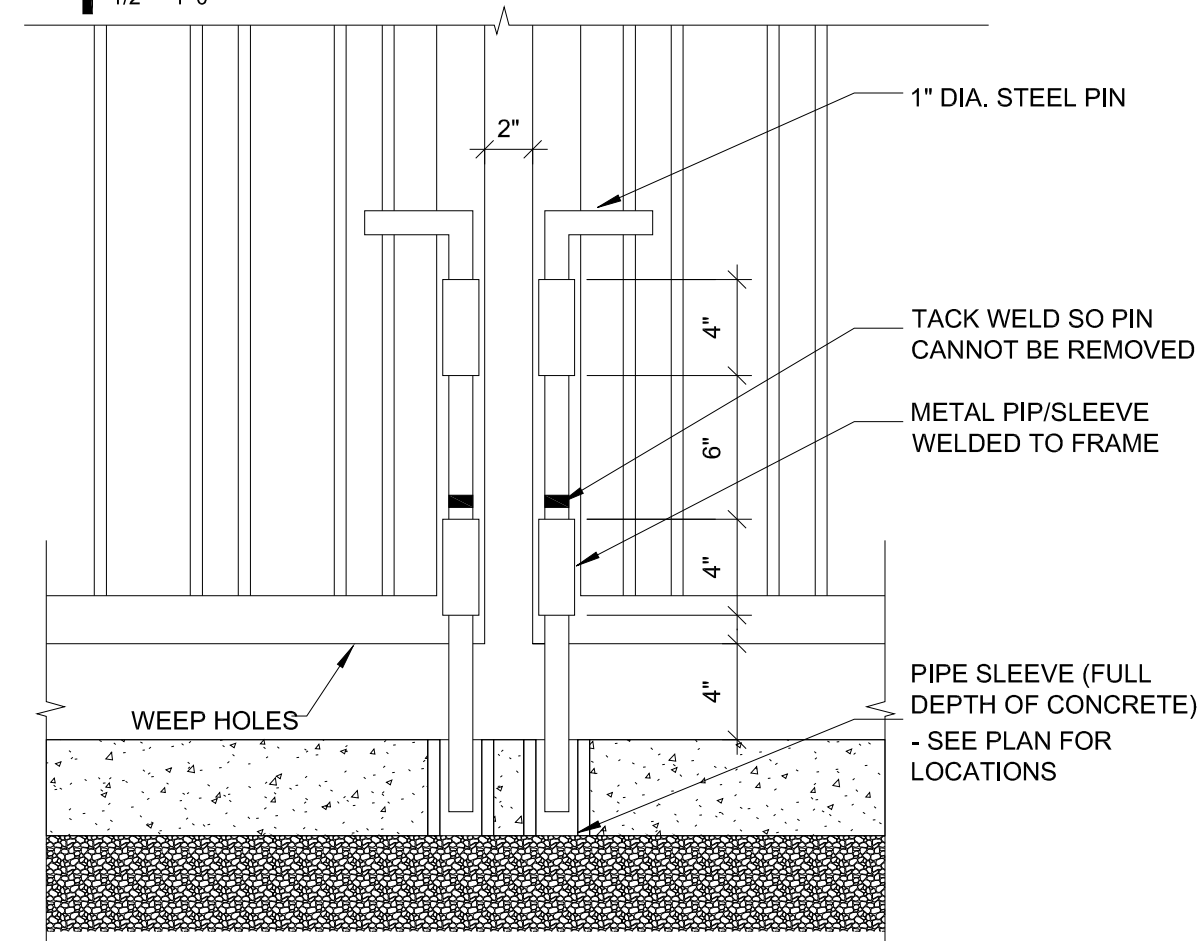
7 TRASH ENCLOSURE - BACK ELEVATION  
1/4" = 1'-0"

3 NOT USED  
1 1/2" = 1'-0"

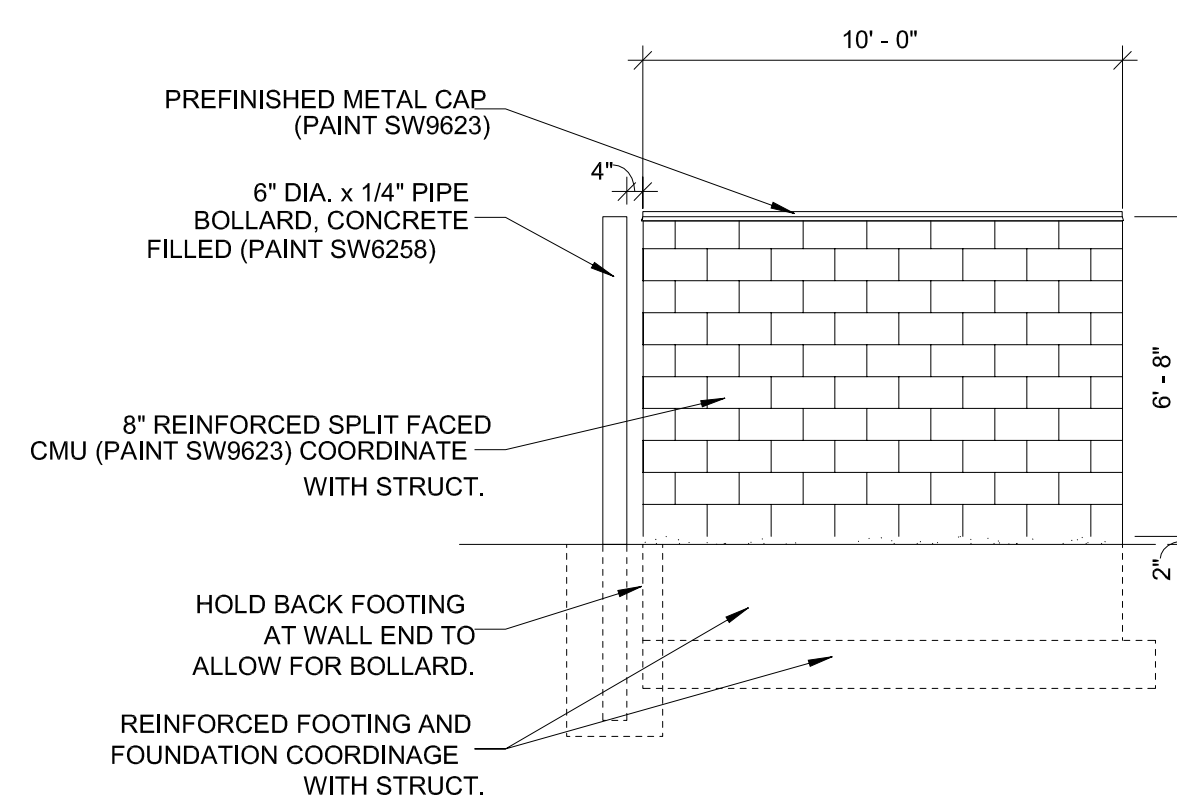
13 NOT USED  
1/2" = 1'-0"



14 GATE ESPAGOLETTE  
1" = 1'-0"

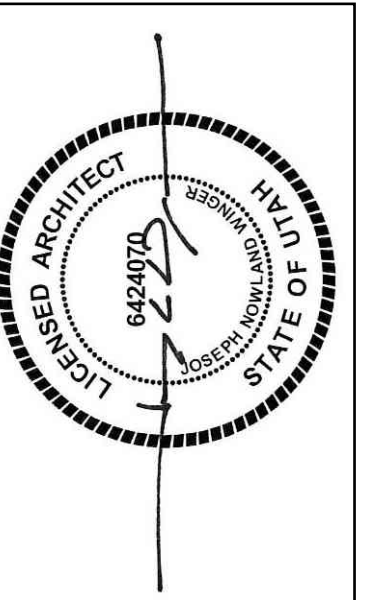


11 DUMPSTER GATE PIN  
1 1/2" = 1'-0"



8 TRASH ENCLOSURE - SIDE ELEVATION  
1/4" = 1'-0"

4 NOT USED  
1/2" = 1'-0"



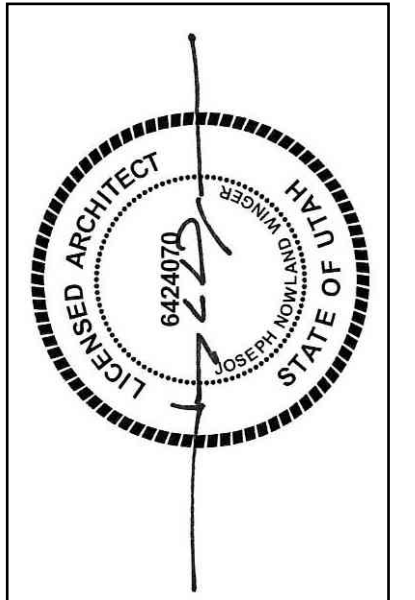
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**TOWNS at 400**  
30 West 400 South  
Bountiful Utah 84010

REVISION BLOCK	
NO.	DESCRIPTION:

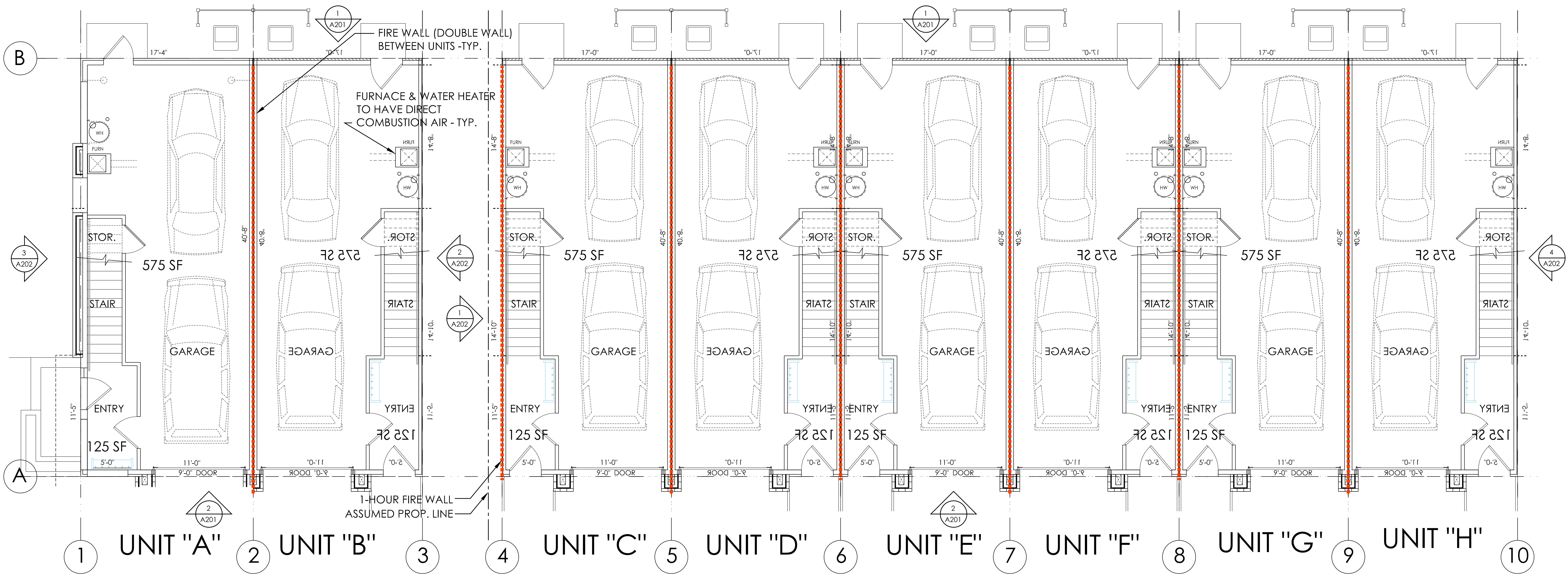
**AS101**  
DUMPSTER  
DETAILS  
date:  
10.27.2022



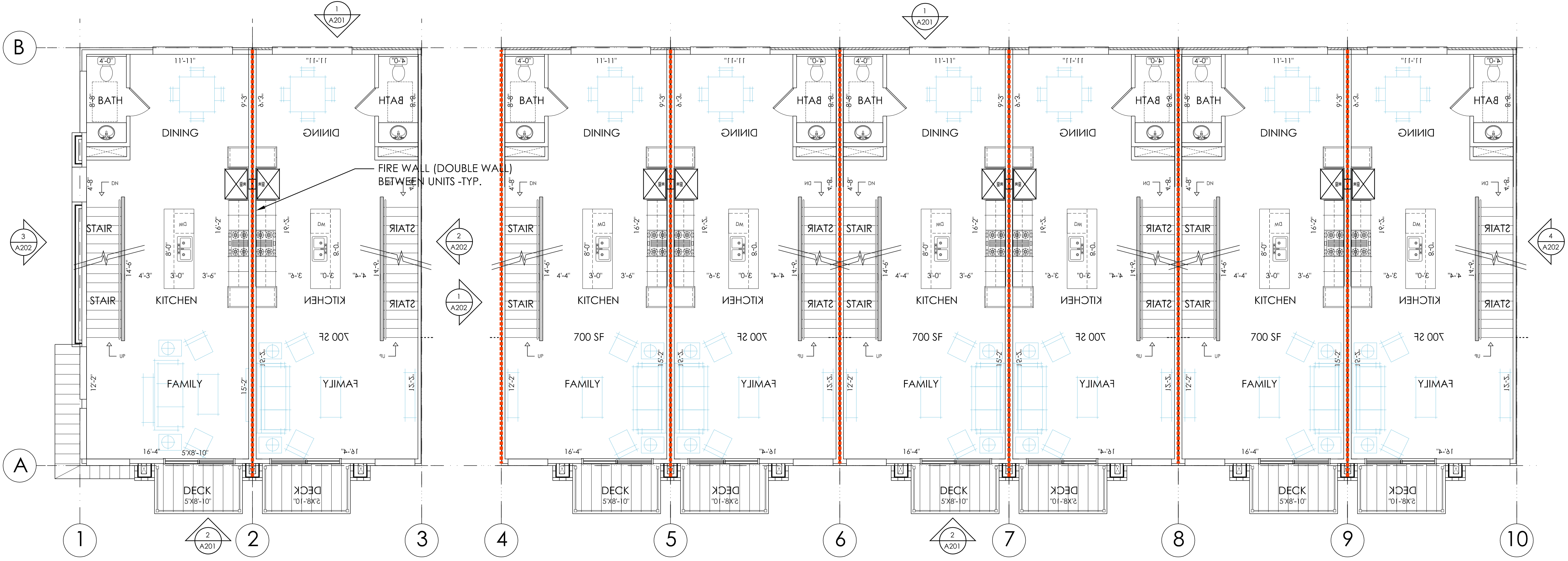


stamp:

**TOWNS at 400**  
 30 West 400 South  
 Bountiful Utah 84010



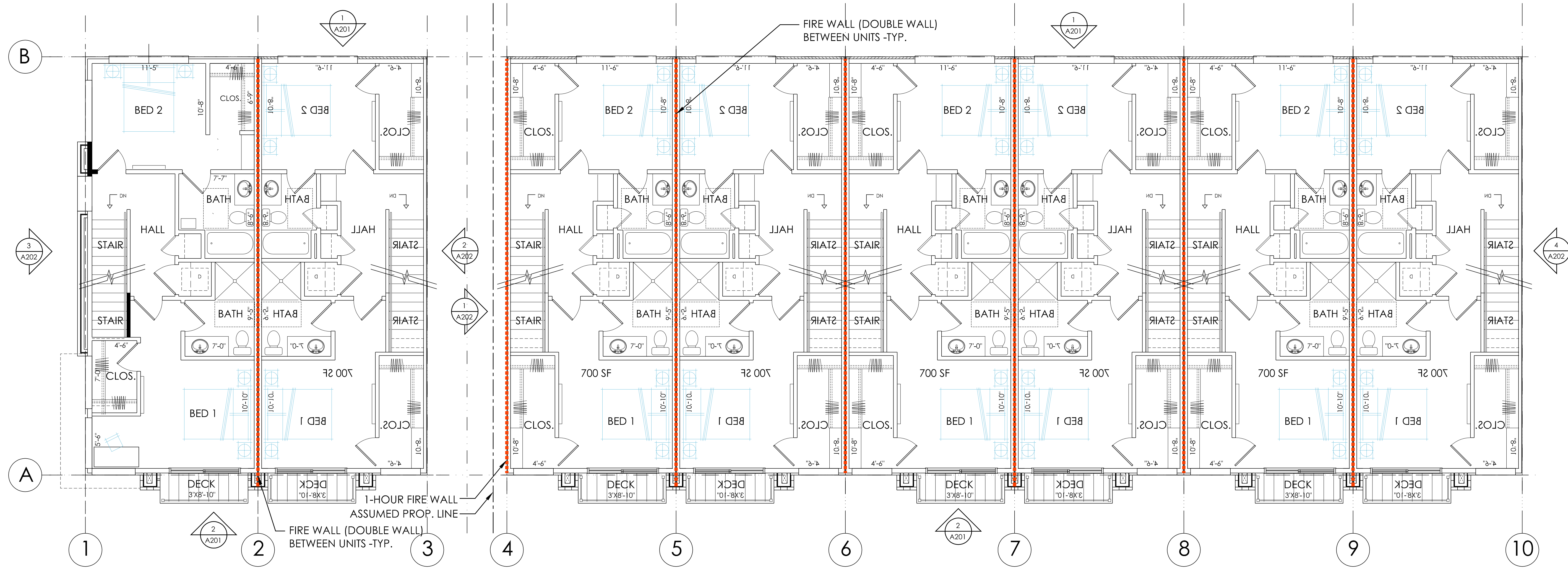
1 LEVEL 1 - OVERALL FLOOR PLAN  
 SCALE: 3/32" = 1'-0"



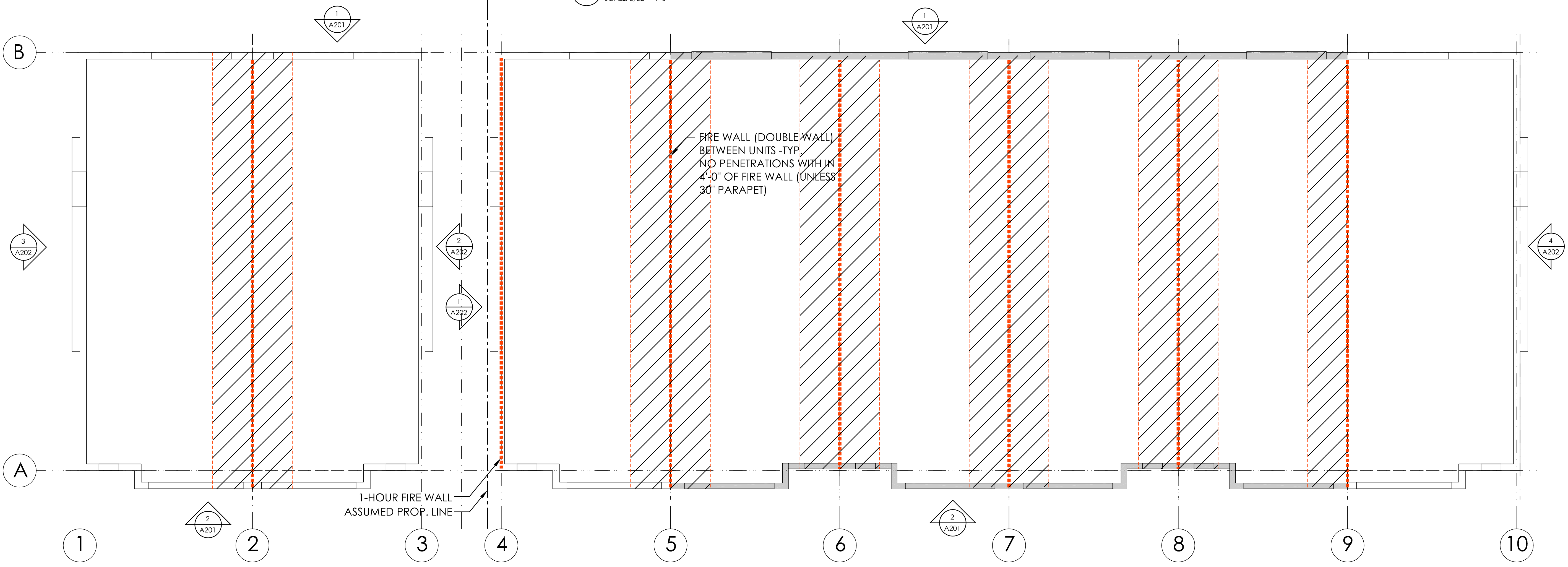
2 LEVEL 2 - OVERALL FLOOR PLAN  
 SCALE: 3/32" = 1'-0"

REVISION BLOCK	
NO.	DATE: DESCRIPTION:

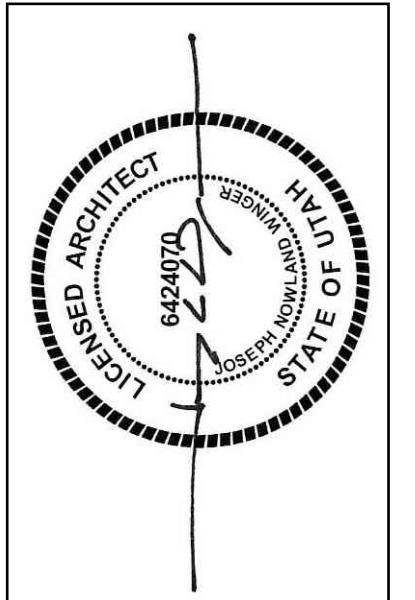
**A101**  
 LEVEL 1&2  
 date:  
 10.27.2022



1 LEVEL 3 - OVERALL FLOOR PLAN  
SCALE: 3/32" = 1'-0"



2 ROOF - OVERALL ROOF PLAN  
SCALE: 3/32" = 1'-0"

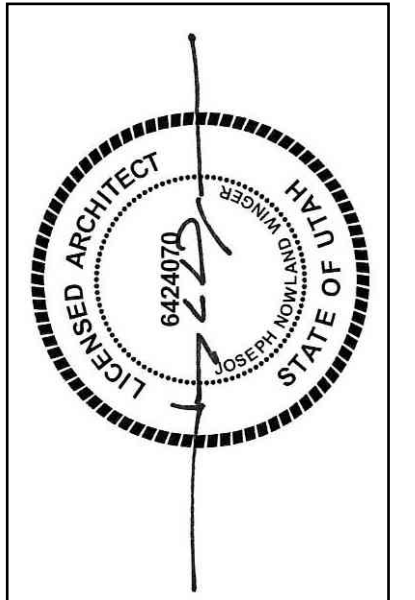


stamp:

**TOWNS at 400**  
30 West 400 South  
Bountiful Utah 84010

REVISION BLOCK	
NO.	DESCRIPTION:

**A102**  
LEVEL 3&ROOF  
date: 10.27.2022



stamp:



1 LEVEL 1 - FLOOR PLAN (UNIT A)  
SCALE: 1/4" = 1'-0"

2 LEVEL 2 - FLOOR PLAN (UNIT A)  
SCALE: 1/4" = 1'-0"

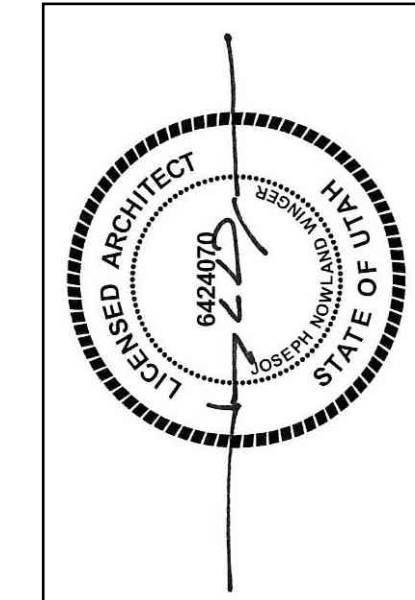
3 LEVEL 3 - FLOOR PLAN (UNIT A)  
SCALE: 1/4" = 1'-0"

4 ROOF PLAN (UNIT A)  
SCALE: 1/4" = 1'-0"

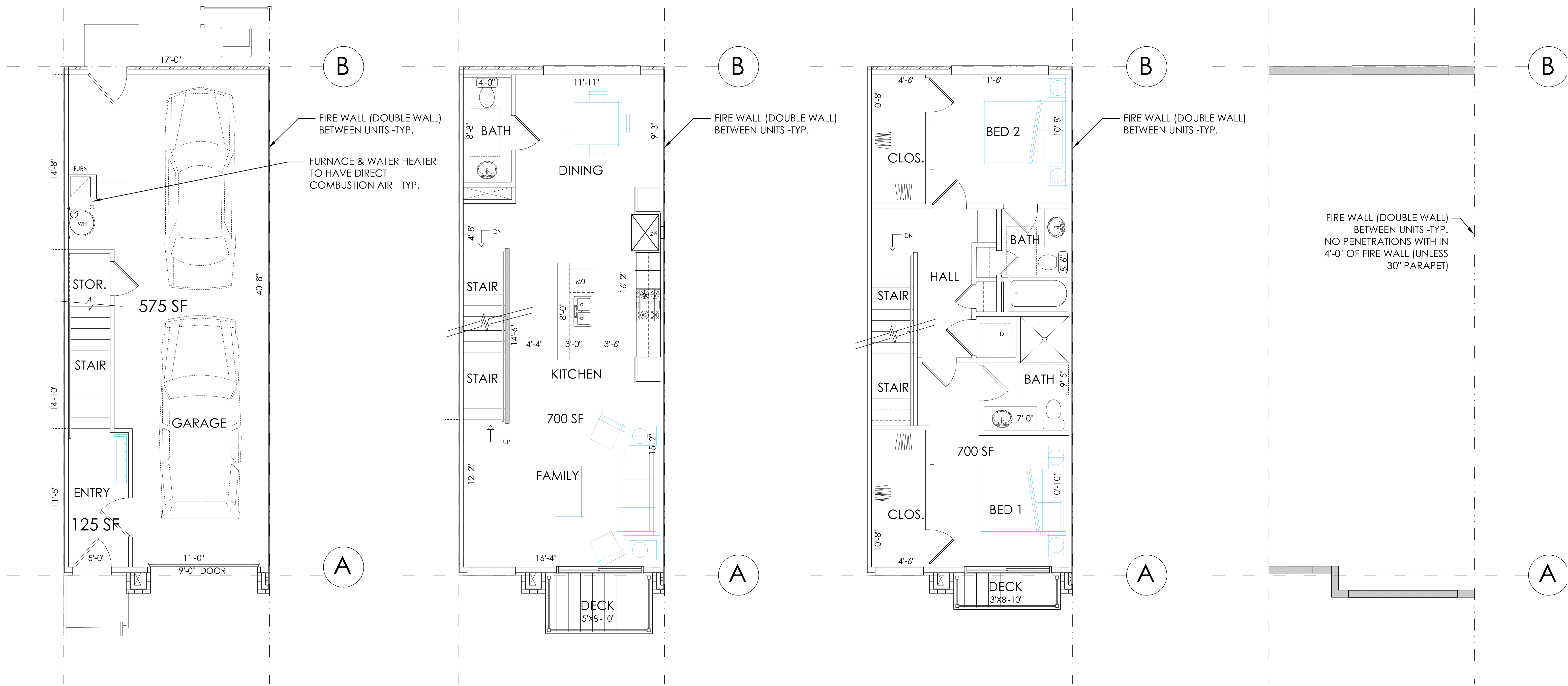
**TOWNS at 400**  
30 West 400 South  
Bountiful Utah 84010

REVISION BLOCK	
NO.	DESCRIPTION:

**A103**  
UNIT A PLANS  
date:  
10.27.2022



stamp:



1 LEVEL 1 - FLOOR PLAN (UNIT B-H)  
SCALE: 1/4" = 1'-0"

2 LEVEL 2 - FLOOR PLAN (UNIT B-H)  
SCALE: 1/4" = 1'-0"

3 LEVEL 3 - FLOOR PLAN (UNIT B-H)  
SCALE: 1/4" = 1'-0"

4 ROOF PLAN (UNIT B-H)  
SCALE: 1/4" = 1'-0"

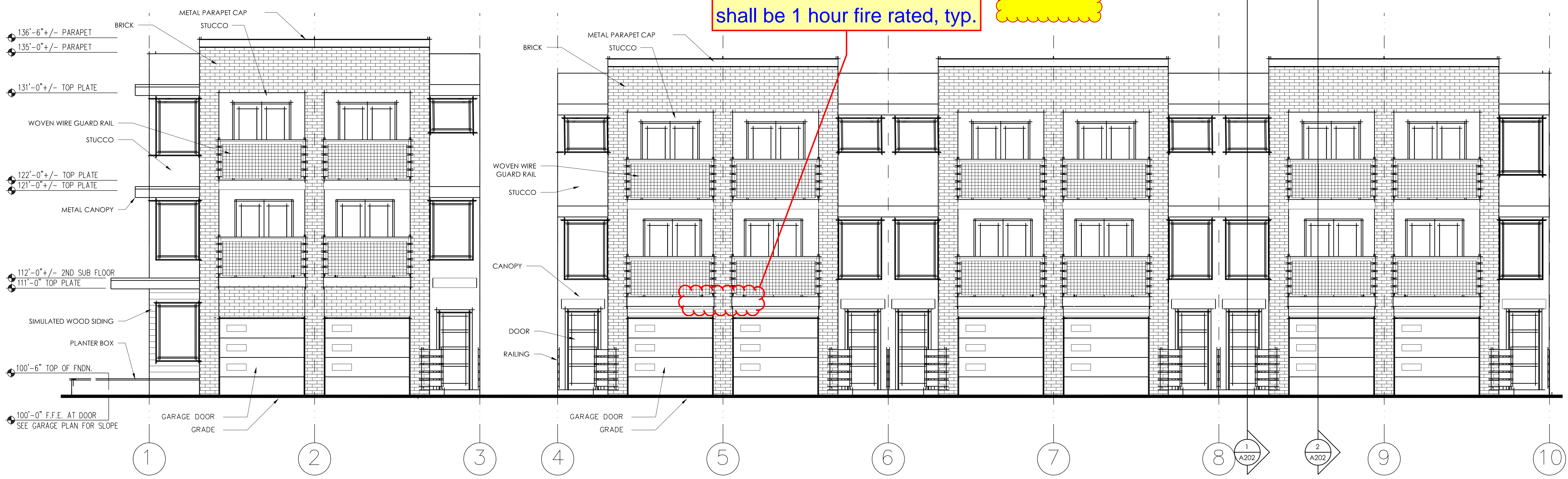
**TOWNS at 400**  
30 West 400 South  
Bountiful Utah 84010

REVISION BLOCK	NO.	DATE	DESCRIPTION

**A104**  
UNIT G-H  
PLANS  
date:  
10.27.2022

The underside of the decks within 4' of the common wall shall be 1 hour fire rated, typ.

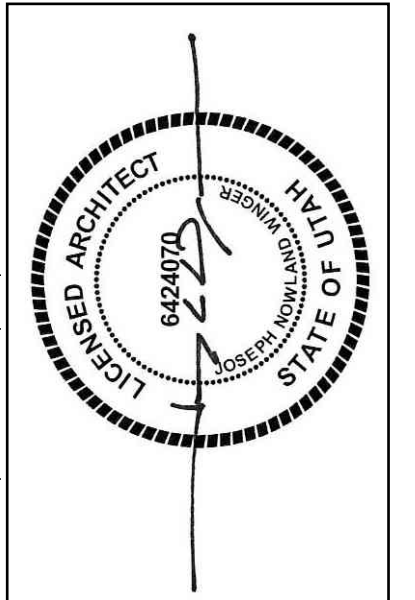
note added - Babcock



SOUTH BUILDING FINISHES (%):  
 STUCCO: 44%  
 OTHER FINISHES: 56%

2 WEST ELEVATION  
 SCALE: 3/32" = 1'-0"

NORTH BUILDING FINISHES (%):  
 STUCCO: 48%  
 OTHER FINISHES: 52%



stamp:

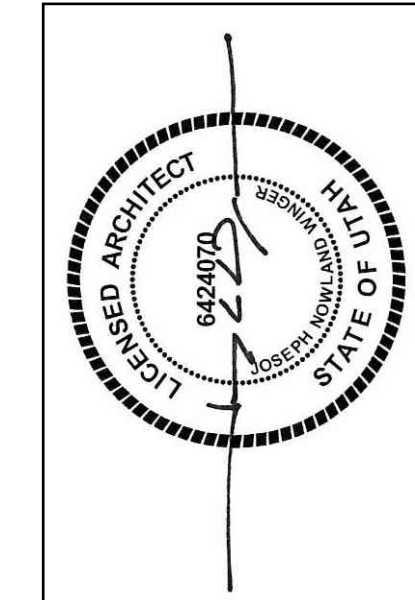
**TOWNS at 400**  
 30 West 400 South  
 Bountiful Utah 84010



1 EAST ELEVATION  
 SCALE: 3/32" = 1'-0"

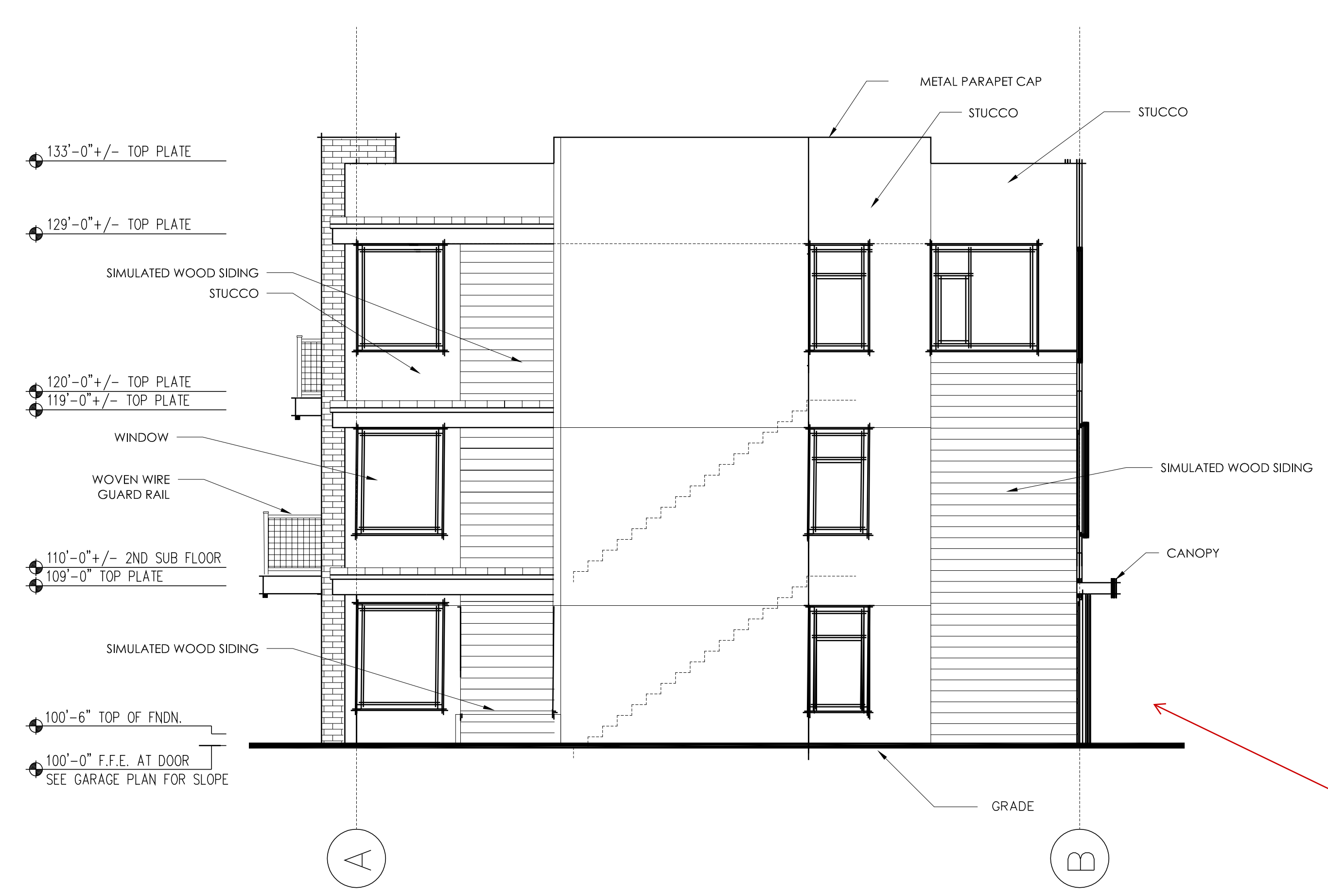
NO.	DATE	DESCRIPTION

**A201**  
 ELEVATIONS  
 date: 10.27.2022



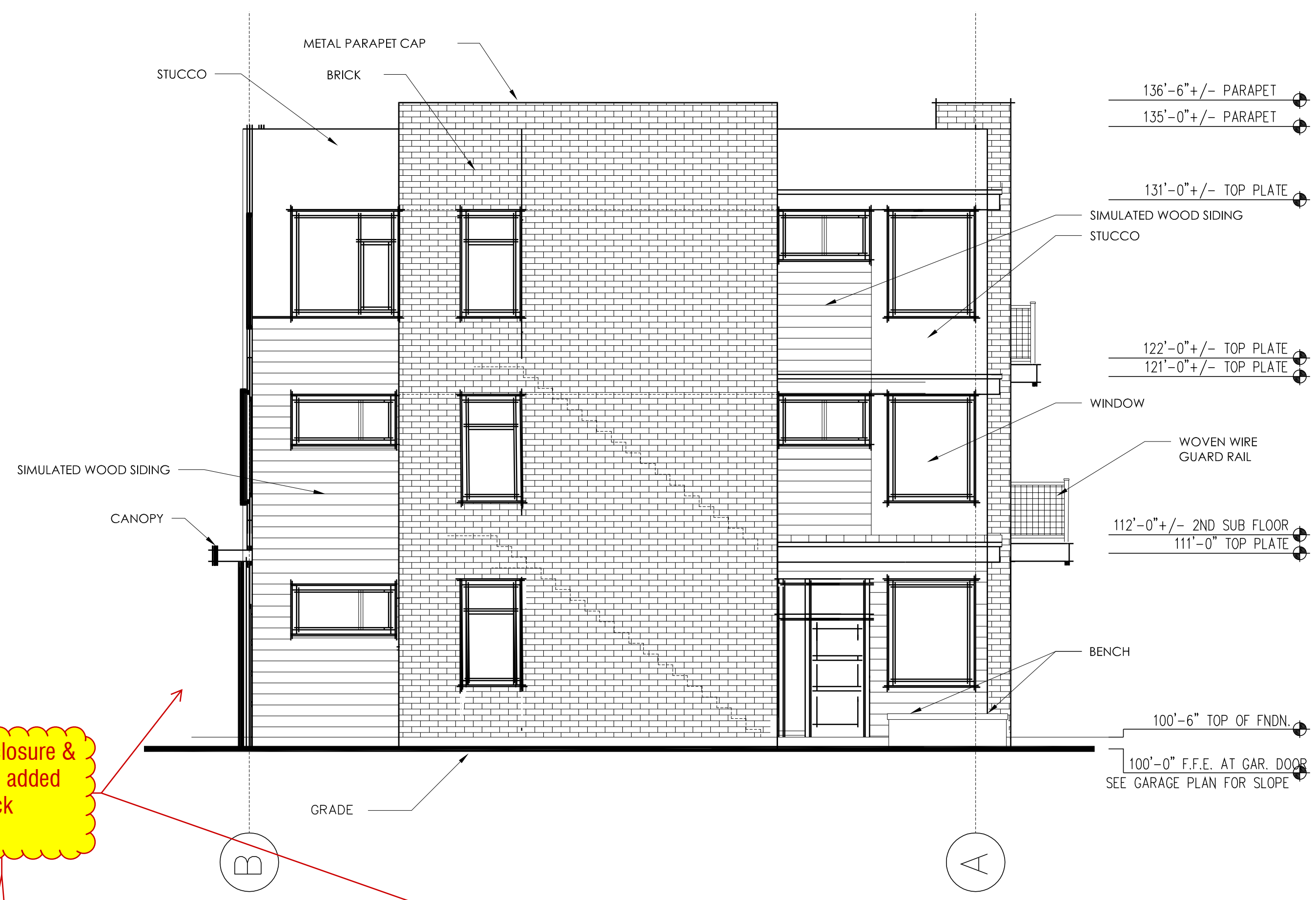
stamp:

**TOWNS at 400**  
 30 West 400 South  
 Bountiful Utah 84010



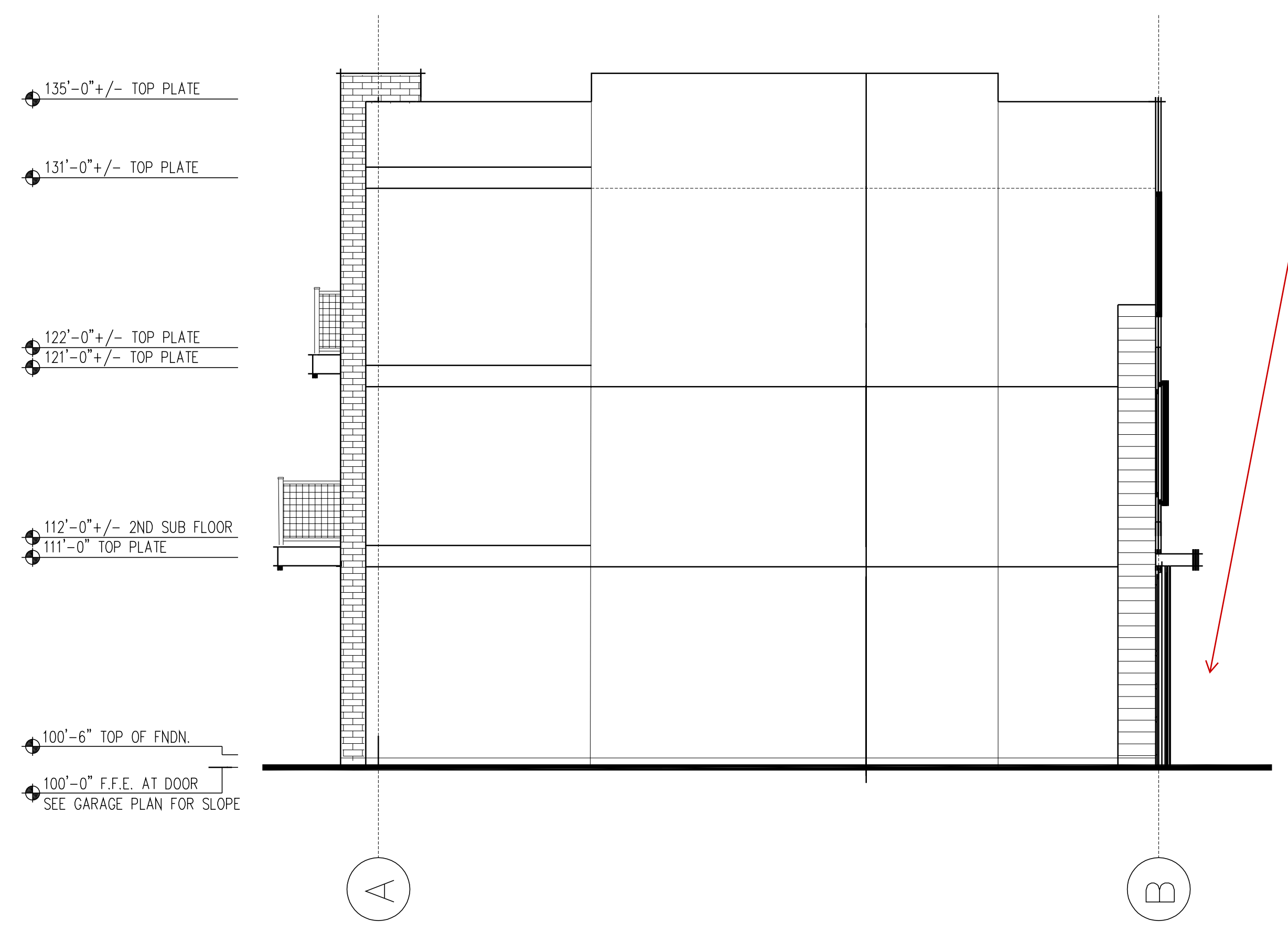
**4 BUILDING ELEVATION**  
 SCALE: 3/32" = 1'-0"

MEP enclosure & elevation added - Babcock

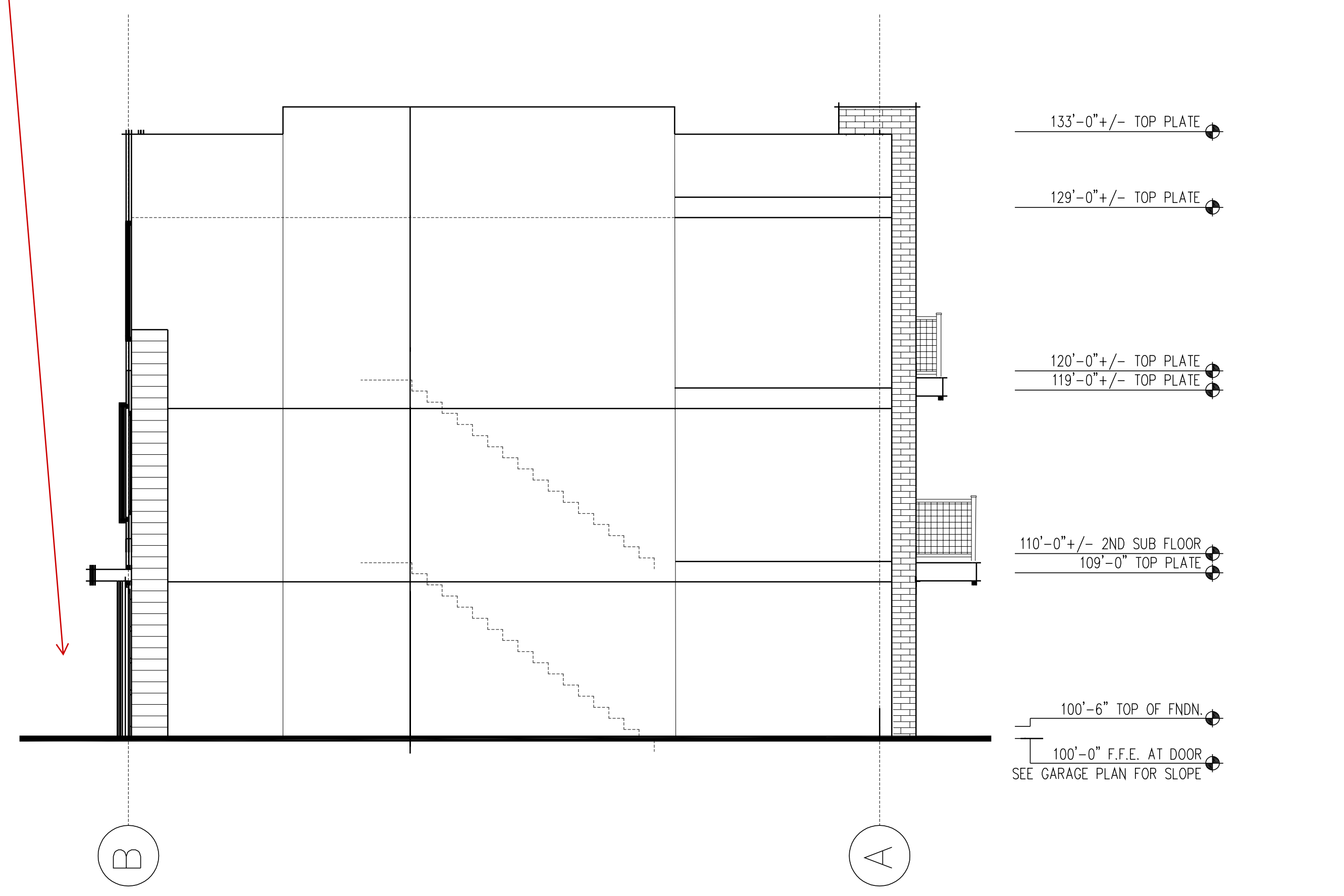


**3 BUILDING ELEVATION**  
 SCALE: 3/32" = 1'-0"

SHOW WHERE UTILITY EQUIPMENT AND SERVICE AREAS ARE LOCATED



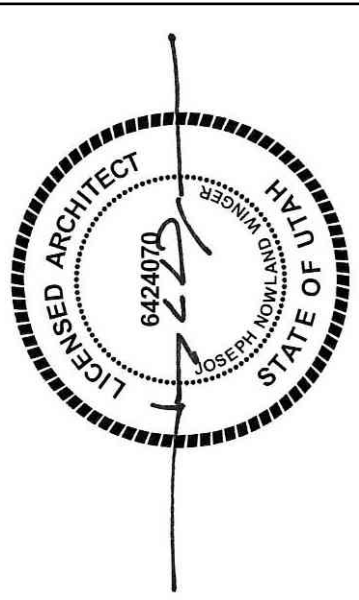
**2 BUILDING ELEVATION**  
 SCALE: 3/32" = 1'-0"



**1 BUILDING ELEVATION**  
 SCALE: 3/32" = 1'-0"

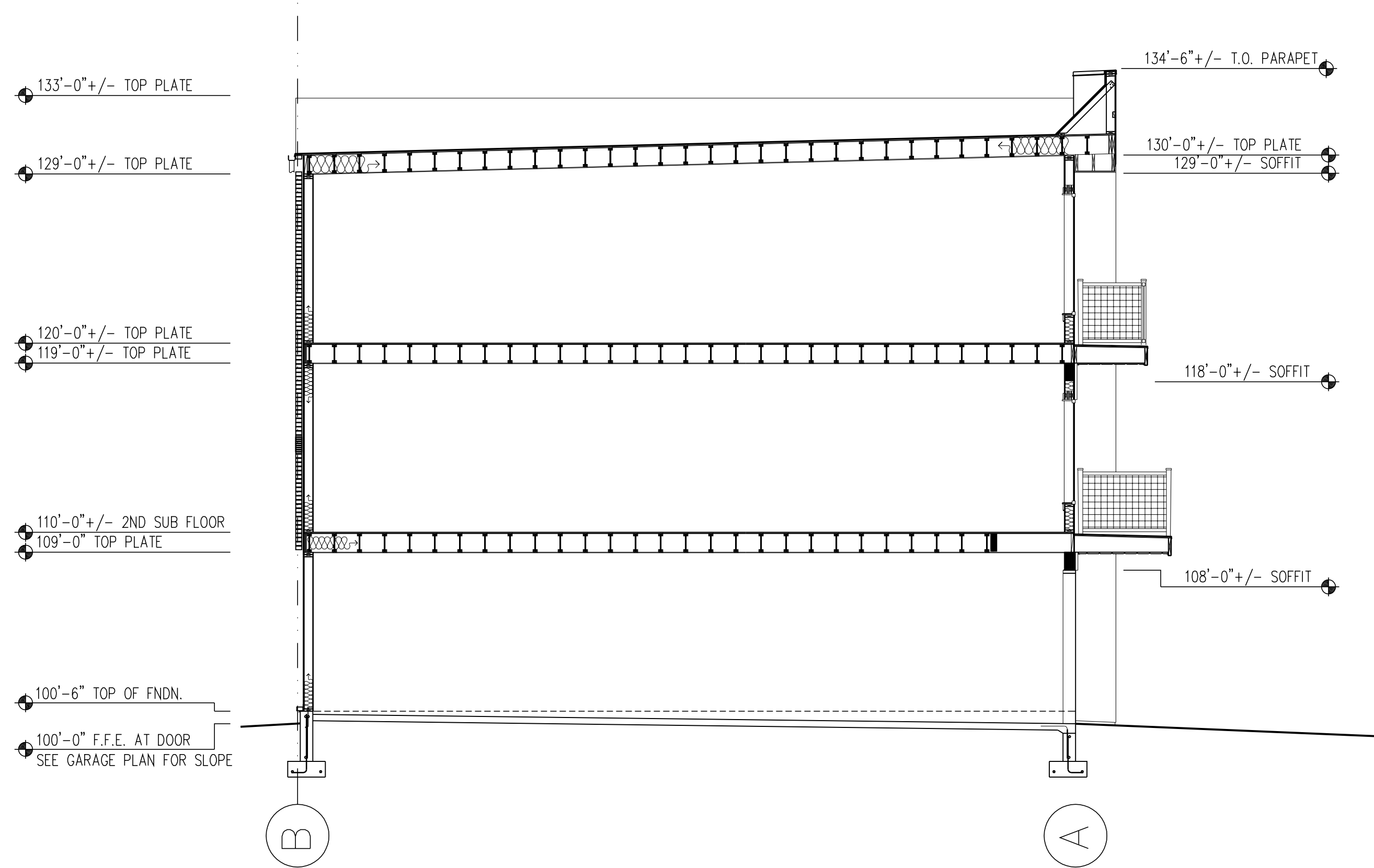
REVISION BLOCK	
NO.	DESCRIPTION:

**A202**  
 ELEV & SECT  
 date:  
 10.27.2022

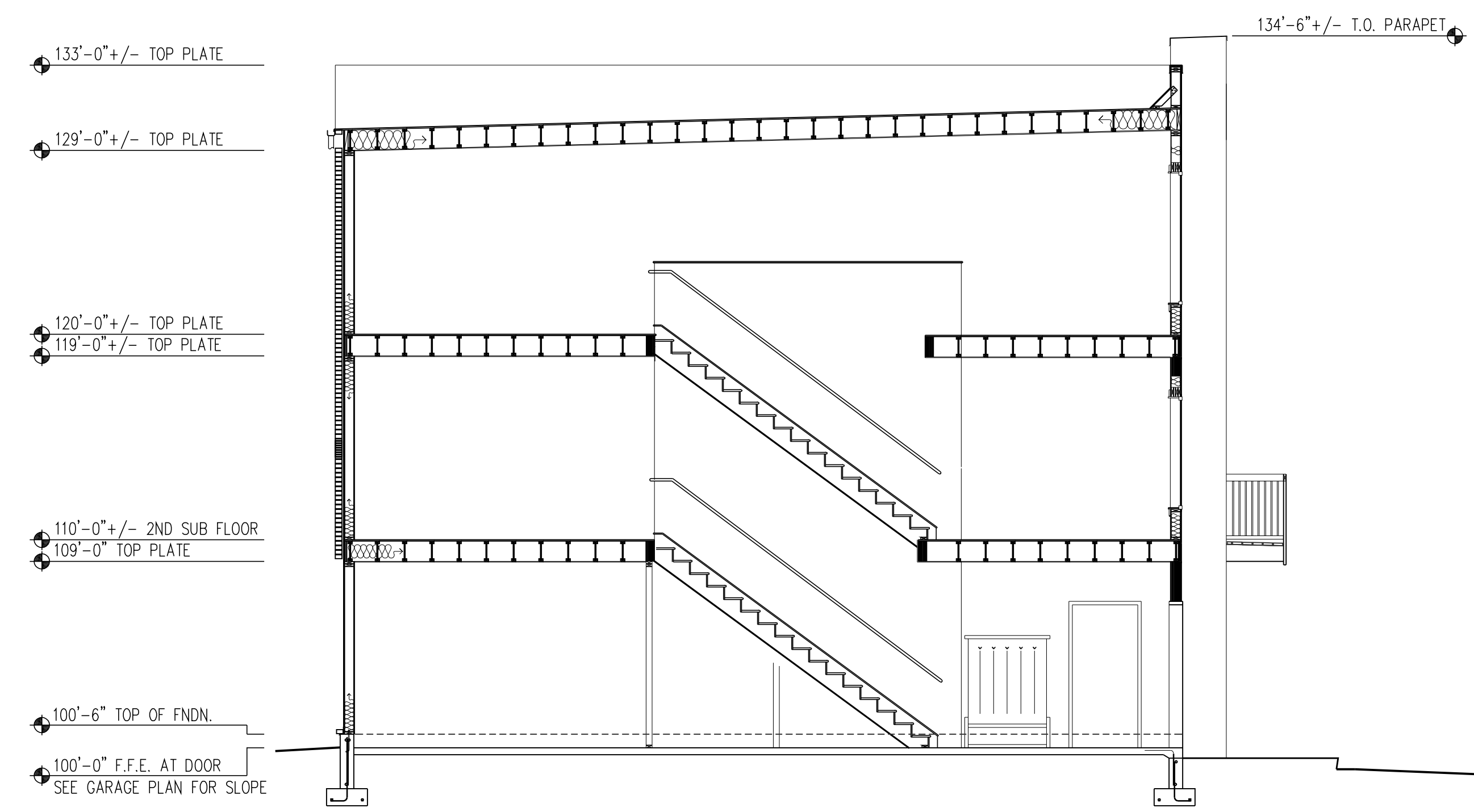


stamp:

**TOWNS at 400**  
 30 West 400 South  
 Bountiful Utah 84010



**2 BUILDING SECTION**  
 SCALE: 3/32" = 1'-0"



**1 BUILDING SECTION**  
 SCALE: 3/32" = 1'-0"

REVISION BLOCK	
NO.	DESCRIPTION:

**A203**  
 SECT & DETAIL  
 date:  
 10.27.2022





# City Council Staff Report

**Subject:** Bountiful Trails Construction Set A – Mueller Park A  
**Author:** Todd Christensen, Assistant City Engineer  
**Department:** Engineering  
**Date:** December 13, 2022



## **Background**

Earlier this year, the City Council approved revisions to the Trails Implementation Plan. The updated plan incorporated the master planning work done by IMBA, a trails consultant who worked with staff and the trails committee. The Implementation Plan lists the master-planned trails in order of priority. A significant amount of trail construction work is anticipated for 2023, so trails projects were lumped into different “sets.” Set A includes high priority trails in the Mueller Park area. The Forest Service approved these trails. However, bridges needed for some of the trails still need additional Forest Service approval.

## **Analysis**

The planning, design, and flagging for Set A trails is complete. Specifically, Set A includes new trails that connect the bottom of Mueller Park to the new Bonneville Shoreline Trail, Big/Elephant Rock, and Mueller Park Trail. Set A includes one item that was bid as an additional alternate: a hiking-only trail connecting Big Rock (AKA Elephant Rock) to Mill Stream, to be hand-built. At this point we are still looking at options for the construction of this trail.

The Engineering Department solicited bids for a contractor to build this project. Three bids were submitted. The bids came in as follows:

<u>Contractor</u>	<u>Base Bid Total</u>
Singletrack Trails	\$282,581.79
Rock Solid Trail Contracting	\$165,216.00
Avid Trails	\$122,336.00
Note: Engineer’s Estimate was	\$125,000.00

Note: Avid Trail’s price for the additive alternate item (hiking only trail) is \$49,063.00.

Avid Trails is the contractor who has been building the Bonneville Shoreline Trail for Davis County over the last couple of years. Bountiful City has a separate contract with Avid Trails to build the Holbrook to Ward Trail, including a bridge in Holbrook Canyon. Work is progressing on this project and we have been pleased with their work.

## **Department Review**

This proposal has been reviewed by the City Engineer, Parks Director, and Senior Planner.

**Significant Impacts**

Expenditures for this work will be paid from the account for capital projects using bond funds.

**Recommendation**

Staff recommends that the City Council accept the bid from Avid Trails to build trails in the Set A – Mueller Park A Project for \$122,336.00.

**Attachments**

Figure 1: Mueller Canyon and North Canyon Trail Design with Set A Highlighted

Figure 2: Mueller Park Set A Trails

# MUELLER CANYON & NORTH CANYON TRAIL DESIGN

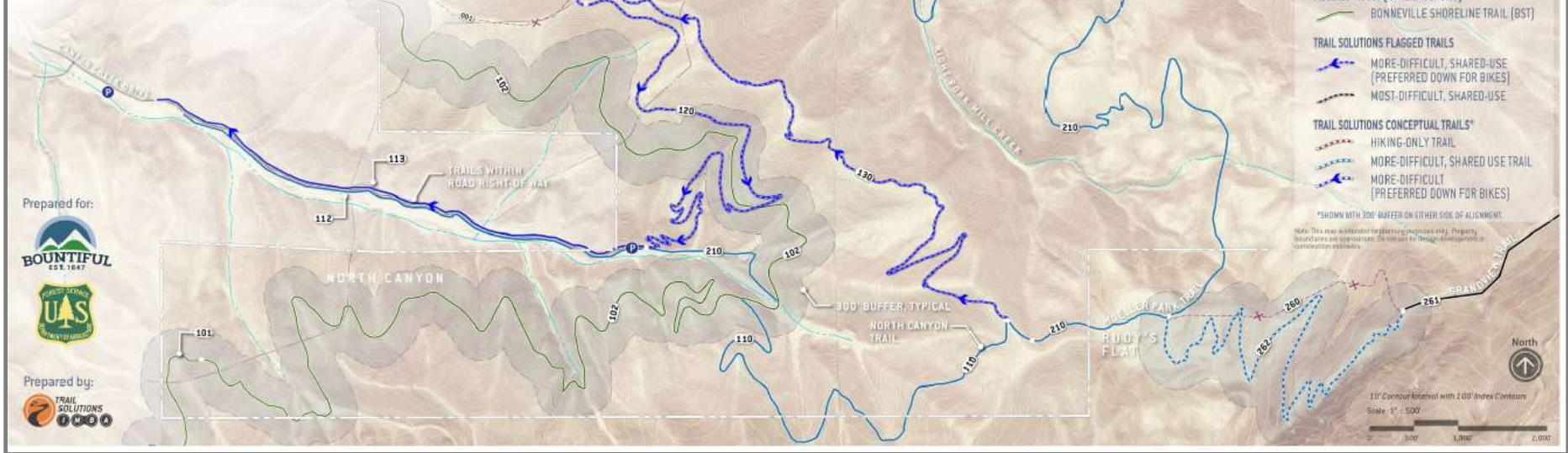
## BOUNTIFUL UTAH

### TRAIL DATA

LOCALITY	NAME	STATUS	VEP	TRAIL CLASS	DESIGNED	MARKED	DIFFICULTY	PERMITS	ACTION	DISTANCE (MI)
001	SNOW PLOW PARKING TRAIL	EXT	N/A	N/A	N/A	N/A	N/A	BI	ABANDON	0.000
002	CAVE PEAK ROVER TRAIL	EXT	N/A	N/A	N/A	N/A	N/A	BI	ABANDON	2.453
101	BONNEVILLE SHOVELING TRAIL	CON	3	HIKE / BIKE	HIKE / BIKE	GREEN	BI	TO FLAG	4.220	
102	BONNEVILLE SHOVELING TRAIL	CON	3	HIKE / BIKE	HIKE / BIKE	GREEN	BI	TO FLAG	30.519	
103	BONNEVILLE SHOVELING TRAIL	CON	3	HIKE / BIKE	HIKE / BIKE	GREEN	BI	TO FLAG	18.579	
104	BONNEVILLE SHOVELING TRAIL	CON	3	HIKE / BIKE	HIKE / BIKE	GREEN	BI	TO FLAG	16.002	
110	NORTH CANYON TRAIL	EXT	3	N/A	N/A	BLUE	BI	IMPROVE	8.000	
112	N/A	EXT	3	HIKE / BIKE	HIKE / BIKE	BLUE	BI	IMPROVE	5.717	
113	N/A	EXT	3	HIKE / BIKE	HIKE / BIKE	BLUE	BI	IMPROVE	6.000	
120	TO BE DETERMINED	PLA	3	HIKE / BIKE	HIKE / BIKE	BLUE	BI	CONSTRUCT	6.600	
130	TO BE DETERMINED	PLA	3	HIKE / BIKE	HIKE / BIKE	BLUE	BI	CONSTRUCT	16.340	
140	TO BE DETERMINED	PLA	3	HIKE / BIKE	HIKE / BIKE	BLUE	BI	CONSTRUCT	7.800	
142	TO BE DETERMINED	PLA	3	HIKE / BIKE	HIKE / BIKE	BLUE	BI	CONSTRUCT	0.613	
143	TO BE DETERMINED	CON	3	HIKE / BIKE	HIKE / BIKE	BLUE	BI	TO FLAG	7.97	
210	MUELLER PARK TRAIL	EXT	3	N/A	N/A	BLUE	BI	IMPROVE	33.047	
220	NARROWY CHECK TRAIL (WEST)	EXT	3	N/A	HIKE / BIKE	BLACK	BI	REROUTE	6.200	
221	NARROWY CHECK TRAIL (EAST)	EXT	3	N/A	HIKE / BIKE	BLACK	BI	REROUTE	6.210	
224	TO BE DETERMINED	PLA	3	HIKE / BIKE	HIKE / BIKE	BLACK	BI	CONSTRUCT	8.300	
230	TO BE DETERMINED	PLA	3	HIKE / BIKE	HIKE / BIKE	BLACK	BI	CONSTRUCT	7.600	
232	TO BE DETERMINED	PLA	3	HIKE / BIKE	HIKE / BIKE	BLACK	BI	CONSTRUCT	7.200	
233	TO BE DETERMINED	PLA	3	HIKE / BIKE	HIKE / BIKE	BLACK	BI	CONSTRUCT	4.375	
240	TO BE DETERMINED	PLA	3	HIKE / BIKE	HIKE / BIKE	BLACK	BI	CONSTRUCT	4.375	
241	TO BE DETERMINED	PLA	3	HIKE / BIKE	HIKE / BIKE	BLACK	BI	CONSTRUCT	1.129	
242	TO BE DETERMINED	CON	3	HIKE / BIKE	HIKE / BIKE	BLACK	BI	TO FLAG	3.000	
250	CANYONVIEW TRAIL	EXT	4	HIKE	HIKE	BLACK	BI	ABANDON	3.137	
251	BRANFORD TRAIL	EXT	1	HIKE	HIKE	BLACK	BI	IMPROVE / REROUTE	22.250	
260	TO BE DETERMINED	CON	3	HIKE / BIKE	HIKE / BIKE	BLUE	BI	TO FLAG	8.000	
301	N/A	EXT	3	HIKE	HIKE	GREEN	BI	RECONSTRUCT	2.000	
302	N/A	CON	3	HIKE	HIKE	GREEN	BI	TO FLAG	0.00	
303	N/A	CON	3	HIKE	HIKE	GREEN	BI	TO FLAG	2.00	
304	N/A	CON	3	HIKE	HIKE	GREEN	BI	TO FLAG	2.00	
310	TRUCK EXHAUST	EXT	N/A	WELL	N/A	N/A	BI	IMPROVE / SHORAGE	2.000	
311	WATER TREATMENT PD	EXT	N/A	WELL	N/A	N/A	BI	IMPROVE / SHORAGE	2.000	
312	MILL CREEK / BARBAR WINE TRAIL	EXT	3	HIKE	HIKE	BLACK	BI	IMPROVE	8.000	
320	TO BE DETERMINED	CON	3	HIKE	HIKE	BLACK	BI	TO FLAG	8.000	

ABBREVIATIONS: EXT - EXISTING; CON - CONCEPT; EST - EXISTING; N/A - NOT APPLICABLE; BI - BIODIRECTIONAL

SEE MUELLER CANYON AND NORTH CANYON TRAILS SHEET FOR FULL ATTRIBUTE DATA.



### KEY

- PROJECT AREA
- PARKING
- CREEKS
- 300' CONCEPT TRAIL BUFFER
- PAVED ROADS
- 4 X 4 ROAD
- PIPELINE
- SPAN BRIDGE
- GATE
- PUNcheon BRIDGE

### TRAIL TYPES

**EXISTING TRAILS**

- HIKING-ONLY TRAIL
- MORE-DIFFICULT, SHARED-USE TRAIL
- MORE-DIFFICULT, SHARED-USE TRAIL (PREFERRED DOWN FOR BIKES)
- MOST-DIFFICULT, SHARED-USE TRAIL
- TRAIL TO ABANDON/DECOMMISSION

**PLANNED TRAILS (OTHER AGENCIES)\***

- BONNEVILLE SHORELINE TRAIL (BST)

**TRAIL SOLUTIONS FLAGGED TRAILS**

- MORE-DIFFICULT, SHARED-USE (PREFERRED DOWN FOR BIKES)
- MOST-DIFFICULT, SHARED-USE

**TRAIL SOLUTIONS CONCEPTUAL TRAILS\***

- HIKING-ONLY TRAIL
- MORE-DIFFICULT, SHARED USE TRAIL (PREFERRED DOWN FOR BIKES)

\* SHOWN WITH 300' BUFFER ON EITHER SIDE OF ALIGNMENT.

Note: This map is intended for planning purposes only. Property boundaries are approximate. The intent is to show development or construction possibilities.

Prepared for:

Prepared by:

Figure 1: Mueller Canyon & North Canyon Trail Design - Set A Highlighted

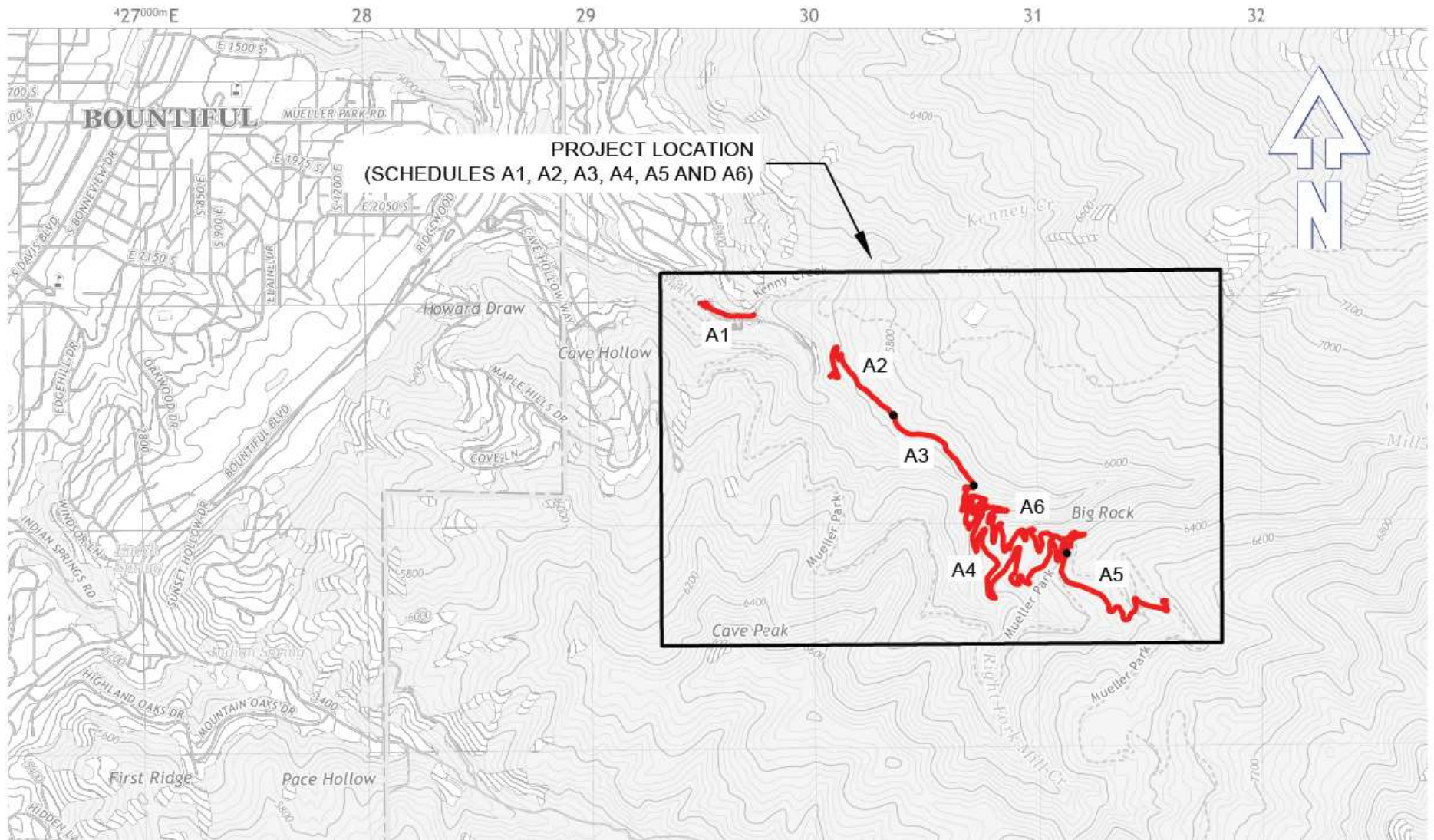


Figure 2: Mueller Park Set A Trails

# City Council Staff Report

**Subject:** Bountiful Trails Construction Set B – Mueller Park B  
**Author:** Todd Christensen, Assistant City Engineer  
**Department:** Engineering  
**Date:** December 13, 2022



## **Background**

Earlier this year, the City Council approved revisions to the Trails Implementation Plan. The updated plan incorporated the master planning work done by IMBA, a trails consultant who worked with staff and the trails committee. The Implementation Plan lists the master-planned trails in order of priority. A significant amount of trail construction work is anticipated for 2023, so trails projects were lumped into different “sets.” Set B includes high priority trails in the Mueller Park and North Canyon areas. The Forest Service approved these trails. However, bridges needed for some of the trails still need additional Forest Service approval.

## **Analysis**

The planning, design, and flagging for trails in Set B is complete. Specifically, Set B includes new trails that connect the North Canyon Trail to Cave Peak. Set B also includes an advanced difficulty-level trail connecting the Mueller Park Trail to a new connecting trail in Set A.

The Engineering Department solicited bids for a contractor to build this project. Three bids were submitted. The bids came in as follows:

<u>Contractor</u>	<u>Base Bid Total</u>
Singletrack Trails	\$455,606.37
Rock Solid Trail Contracting	\$303,251.00
Avid Trails	\$278,686.00
Note: Engineer’s Estimate was	\$293,000.00

Avid Trails is the contractor who has been building the Bonneville Shoreline Trail for Davis County over the last couple of years. Bountiful City has a separate contract with Avid Trails to build the Holbrook to Ward Trail, including a bridge in Holbrook Canyon. Work is progressing on this project and we have been pleased with their work.

## **Department Review**

This proposal has been reviewed by the City Engineer, Parks Director, and Senior Planner.

## **Significant Impacts**

Expenditures for this work will be paid from the account for capital projects using bond funds.

**Recommendation**

Staff recommends that the City Council accept the bid from Avid Trails to build trails in the Set B – Mueller Park B Project for \$278,686.00.

**Attachments**

Figure 1: Mueller Canyon and North Canyon Trail Design with Set B Highlighted

Figure 2: Mueller Park Set B Trails

# MUELLER CANYON & NORTH CANYON TRAIL DESIGN

## BOUNTIFUL UTAH

### TRAIL DATA

SEQUENCE NO.	NAME	STATUS	USFS TRAIL CLASS	DESIGNED WHEN	MARKED WHEN	EMPOWERED BY	CONSTRUCTION	ACTION	DISTANCE (FT)
001	CAVE PEAK/RYLLING TRAIL	EXT	N/A	N/A	N/A	N/A	BI	ABANDON	15,202
002	CAVE PEAK RIDGE TRAIL	EXT	N/A	N/A	N/A	N/A	BI	ABANDON	2,423
101	BONNEVILLE SHORELINE TRAIL	CON	3	HARD / HARD	HARD / HARD	GREEN	BI	TO FLAG	41,000
102	BONNEVILLE SHORELINE TRAIL	CON	3	HARD / HARD	HARD / HARD	GREEN	BI	TO FLAG	35,518
103	BONNEVILLE SHORELINE TRAIL	CON	3	HARD / HARD	HARD / HARD	GREEN	BI	TO FLAG	11,574
104	BONNEVILLE SHORELINE TRAIL	CON	3	HARD / HARD	HARD / HARD	GREEN	BI	TO FLAG	16,302
110	NORTH CANYON TRAIL	EXT	3	N/A	N/A	BLDGE	BI	MAINTAIN	8,000
111	N/A	EXT	3	HARD / HARD	HARD / HARD	BLDGE	BI	MAINTAIN	5,717
112	N/A	EXT	3	HARD / HARD	HARD / HARD	BLDGE	BI	MAINTAIN	9,079
120	TO BE DETERMINED	FLG	3	HARD / HARD	HARD / HARD	BLDGE	BI	CONSTRUCT	6,075
130	TO BE DETERMINED	FLG	3	HARD / HARD	HARD / HARD	BLDGE	BI	CONSTRUCT	13,340
140	TO BE DETERMINED	FLG	3	HARD / HARD	HARD / HARD	BLDGE	BI	CONSTRUCT	7,081
142	TO BE DETERMINED	FLG	3	HARD / HARD	HARD / HARD	BLDGE	BI	CONSTRUCT	663
143	TO BE DETERMINED	CON	3	HARD / HARD	HARD / HARD	BLDGE	BI	TO FLAG	737
210	MUELLER PARK TRAIL	EXT	3	N/A	N/A	BLDGE	BI	MAINTAIN	13,047
220	KENNY CREEK TRAIL (BOST)	EXT	3	N/A	HARD / HARD	BLDGE	BI	RELOCATE	6,388
221	KENNY CREEK TRAIL (BOST)	EXT	3	N/A	HARD / HARD	BLDGE	BI	RELOCATE	12,573
231	TO BE DETERMINED	FLG	3	HARD / HARD	HARD / HARD	BLDGE	BI	CONSTRUCT	5,285
232	TO BE DETERMINED	FLG	3	HARD / HARD	HARD / HARD	BLDGE	BI	CONSTRUCT	7,081
233	TO BE DETERMINED	FLG	3	HARD / HARD	HARD / HARD	BLDGE	BI	CONSTRUCT	7,081
240	TO BE DETERMINED	FLG	3	HARD / HARD	HARD / HARD	BLDGE	BI	CONSTRUCT	4,375
241	TO BE DETERMINED	FLG	3	HARD / HARD	HARD / HARD	BLDGE	BI	CONSTRUCT	1,179
250	TO BE DETERMINED	CON	3	HARD / HARD	HARD / HARD	BLDGE	BI	TO FLAG	3,000
260	GRANDVIEW TRAIL	EXT	1	HARD	HARD	BLDGE	BI	ABANDON	21,137
301	GRANDVIEW TRAIL	EXT	1	HARD	HARD	BLDGE	BI	IMPROVE / RENOVATE	22,252
302	TO BE DETERMINED	CON	3	HARD / HARD	HARD / HARD	BLDGE	BI	TO FLAG	9,000
303	N/A	EXT	3	HARD	HARD	GREEN	BI	RELOCATE	3,000
304	N/A	CON	3	HARD	HARD	GREEN	BI	TO FLAG	100
305	N/A	CON	3	HARD	HARD	GREEN	BI	TO FLAG	384
306	N/A	CON	3	HARD	HARD	GREEN	BI	TO FLAG	2,043
310	PEAK RAVINE	EXT	N/A	N/A	N/A	N/A	BI	IMPROVE / RENOVATE	2,043
311	WATER TREATMENT TRAIL	EXT	N/A	N/A	N/A	N/A	BI	IMPROVE / RENOVATE	2,043
312	MILL CREEK / SHARED BIKE TRAIL	EXT	1	HARD	HARD	BLDGE	BI	IMPROVE	6,075
320	TO BE DETERMINED	CON	3	HARD	HARD	BLDGE	BI	TO FLAG	9,000

ABBREVIATIONS KEY: FLG = FLAGGED; CON = CONCEPT; EXT = EXISTING; BLDGE = BLDGE; N/A = NOT APPLICABLE; BI = BIDIRECTIONAL

SEE MUELLER CANYON AND NORTH CANYON TRAIL DESIGN FOR FULL ATTRIBUTES DATA.

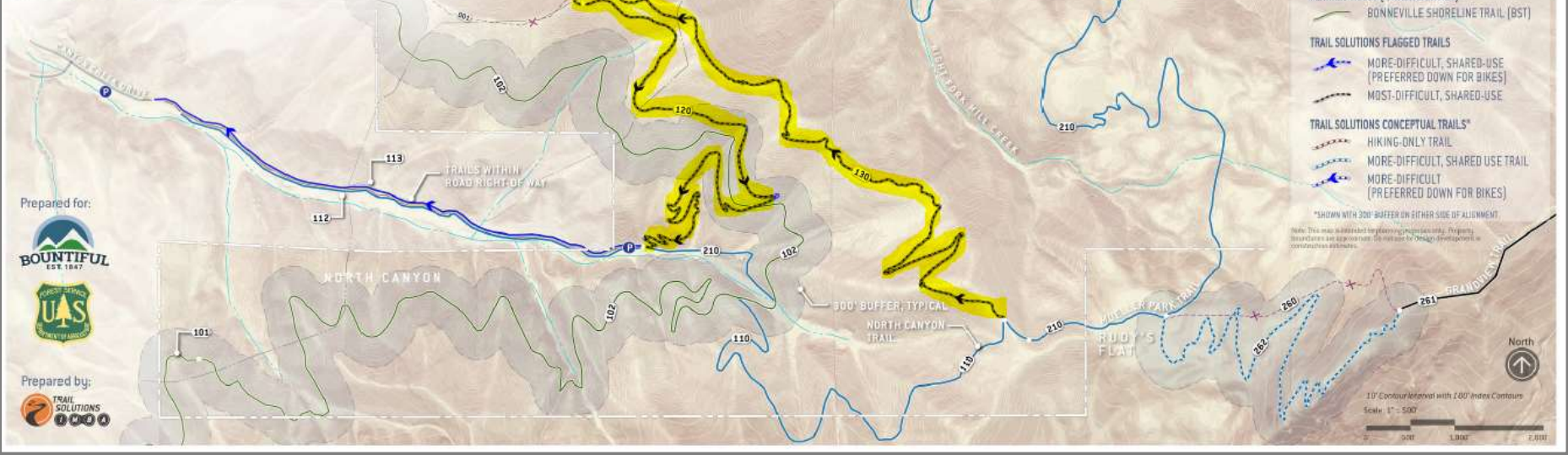


Figure 1: Mueller Canyon & North Canyon Trail Design - Set B Highlighted

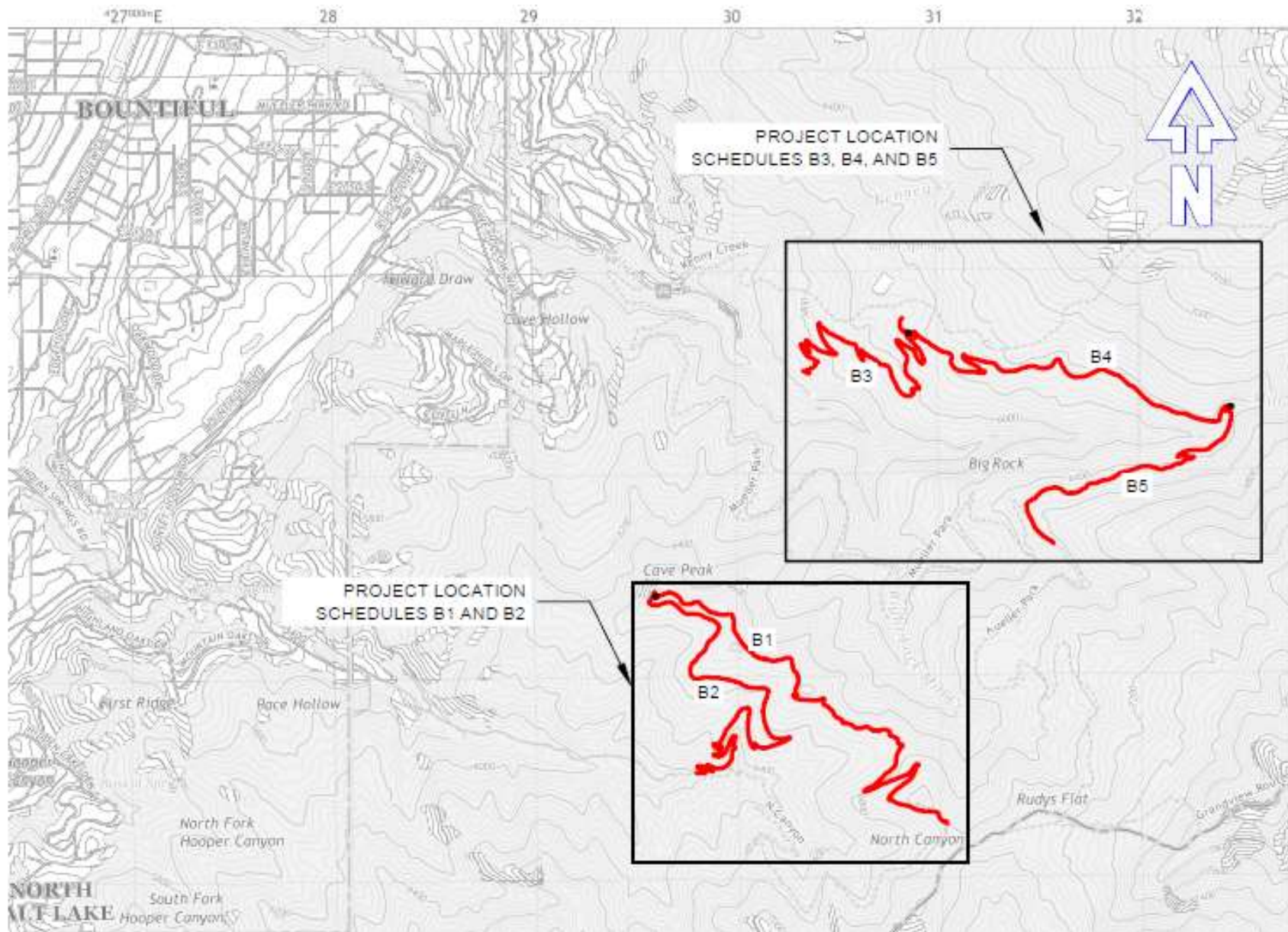


Figure 2: Mueller Park Set B Trails



# City Council Staff Report



**Subject:** Deseret First Planned Unit Development Plan Extension  
and Deseret First Rear Building Architectural and Site  
Plan Approval Extension

**Author:** Francisco Astorga, AICP, Planning Director and  
Lloyd Cheney, PE, City Engineer

**Date:** December 13, 2022

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## Background

On December 14, 2021, the City Council approved a Planned Unit Development (PUD) Plat located at 260/262 North 500 West in order to separate the existing credit union, towards the front, and a proposed building, towards the rear, containing five (5) indoor vehicle storage units. The Council staff report is found [here](#) and the approved meeting minutes are found [here](#).

Land Use Code § 14-20-204(J) indicates that: *A subdivision which has been granted final approval by the City Council must be delivered to the office of the Davis County Recorder for recording within one year of the date of approval unless extended by the City Council, for good cause shown, for an additional period of time of up to one (1) year. If it is not so delivered within one year or within any additional period of time approved by the City Council, the approval shall expire. The subdivision must thereafter be re-submitted as if it had never previously been considered.*

On December 14, 2021, the City Council approved an Architectural and Site Plan Review (Site Plan) for an indoor vehicle storage building located at 262 North 500 West (towards the rear of the lot). The approval consisted of five (5) indoor vehicle storage units. The Council staff report is found [here](#) and the approved meeting minutes are found [here](#).

Land Use Code § 14-2-305(B) indicates that: *The final decision by the City Council shall expire within one year of the final decision. If an entire project is not to be built simultaneously, a phasing plan must be approved at the time of final approval, and construction commenced within one year of the approved phasing dates. One extension of up to six months may be approved by the City Council.*

## Analysis

The applicant requests the six (6) month extension for both the PUD Plat and the Site Plan. On November 14, 2022, the applicant submitted a letter requesting the extensions as they will not be able to make the one (1) year expiration date consisting of December 14, 2022. There are not any substantial changes to the Land Use Code that would affect the approval.

## Department Review

This staff report was written by the City Engineer/Planning Director and City Attorney and City Manager.

## Significant Impacts

There are not any significant impacts related to the extension as there are no substantial changes to the Land Use Code that would affect the approval.

**Recommendation**

Extend the PUD Plat and the Site Plan approvals to June 14, 2023. If the applicant does not record the PUD Plat by June 14, 2023, the plat approval is null and void. If the applicant does not obtain a building permit by June 14, 2023, the site will lose any vested land use rights / approvals / etc.

**Attachments**

1. Applicant's Extension Request



November 14, 2022

City of Bountiful:

Deseret First Credit Union respectfully requests a 6-month extension of the approval of the preliminary plat and site plan for the property located at 200 North 500 West. This approval was initially granted on December 14, 2021. Please let us know if anything additional is required.

Respectfully,

Michael Warner  
SVP



# City Council Staff Report

**Subject:** Renaissance Towne Center South Apartment Building  
Architectural and Site Plan Approval Extension  
**Author:** Francisco Astorga, AICP, Planning Director  
**Date:** December 13, 2022



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## Background

On January 11, 2022, the City Council approved a Final Architectural / Site Plan Review for the Renaissance Towne Center South Apartment Building located at 1721 South Renaissance Towne Drive (platted as Lot 14 of the Renaissance Towne Centre...Phase 3, Plat 2). The approval consisted of 287 apartment units which partially wrap around a new concrete parking garage which is to serve the new apartment building and the public. The building includes apartments, leasing office, clubrooms, fitness room, etc. The residential building consists of approximately 255,921 square feet, containing 189 1-bedroom units, 90 2-bedroom units, and 8 3-bedroom units. The Council staff report is found [here](#) and the approved meeting minutes are found [here](#).

Land Use Code § 14-2-305(B) indicates that: *The final decision by the City Council shall expire within one year of the final decision. If an entire project is not to be built simultaneously, a phasing plan must be approved at the time of final approval, and construction commenced within one year of the approved phasing dates. One extension of up to six months may be approved by the City Council.*

## Analysis

The applicant requests the six (6) month extension as the building permit is currently going through the review process. On November 28, 2022, the applicant submitted a letter requesting the extension as they anticipate that they will not be able to make the one (1) year expiration date consisting of January 11, 2023. The applicant has been working with the Building Official and the Planning Department to ensure compliance with applicable Codes. There are not any substantial changes to the Land Use Code that would affect the approval.

## Department Review

This staff report was written by the Planning Director and reviewed by the City Engineer, City Attorney, and City Manager.

## Significant Impacts

There are not significant impacts related to the extension as there are no substantial changes to the Land Use Code that would affect the approval.

## Recommendation

Extend the Final Architectural and Site Plan Approval to July 11, 2023. If the applicant does not obtain a building permit by July 11, 2023, the site will lose any vested land use rights / approvals/etc.

**Attachments**

1. Applicant's Extension Request

# Towne Center LLC.

1560 Renaissance Towne Dr.  
Suite 104  
Bountiful UT 84010

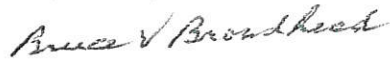
November 21, 2022.  
City of Bountiful:  
Attn. Francisco Astorga

Dear Sir,

In accordance with Bountiful City Code 14-2-305 Section B (Review and approval), Towne Center LLC. respectfully requests a 6-month extension of the approval of the preliminary plat and site plan for the Renaissance South 287-unit Apartments located in the Renaissance Towne Center Project. This approval was initially granted on January 11, 2022.

Thank you.

Respectfully,



Bruce V. Broadhead  
Manager.  
Towne Center LLC.

Hand Delivered

RECEIVED

NOV 21 2022

BOUNTIFUL CITY  
PLANNING DEPT.





# City Council Staff Report



**Subject: Small Wireless Facilities Master License Agreement with Verizon Wireless (5G)**

**Author: Clinton Drake**

**Dept: Legal**

**Date: December 13, 2022**

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## **Background**

In 2018, the Utah legislature approved the Small Wireless Facilities Deployment Act (S.B. 189). Small cell wireless facilities are commonly referred to as 5G. The law allows small cell wireless service providers to co-locate small wireless facilities on existing poles or install new poles in the right of way. According to the Act, municipalities are prohibited from regulating the placement of small cell wireless facilities. The law does allow municipalities to create and implement certain standards for the installation of the facilities. Cellco Partnership, doing business as Verizon Wireless, has approached the City about deploying a small cell wireless facility network throughout the City. Verizon has stated that they wish to install small cell wireless facilities throughout the City to provide better coverage and service to its customers. Particularly in areas that have historically had poor cell reception.

## **Analysis**

Under the law Bountiful City is limited in its regulation of small cell wireless facilities. Any City regulations that can be imposed are done through a master license agreement. An MLA provides terms, conditions, and standards designed to protect public interests to the extent possible. Once a provider like Verizon obtains an MLA they will be required to obtain a permit to construct in the right of way. Staff has met with Verizon representatives regarding an MLA for Bountiful City. The attached MLA is the result of several meetings and revisions. The MLA addresses issues such as:

- The term of the Agreement
- Fees
- Permit process
- Height restrictions
- Aesthetic / design criteria
- Power metering for each pole
- Interference
- Maintenance and repairs
- Insurance

Examples of small cell wireless facilities have been provided by Verizon.

Existing power pole (this would not be allowed in Bountiful because some of the equipment is in the power space but is provided as an example of an attachment on an existing pole)



Existing Power Pole

DIRECTION  
102 deg(T)

40.52010°N  
111.85340°W

ACCURACY 9 m  
DATUM WGS84



New pole in park



## New Pole with streetlight



### **Department Review**

This Staff Report was prepared by the City Attorney and reviewed by the City Manager.

### **Significant Impacts**

Approving the MLA will begin the process of Verizon constructing a small cell wireless facility network in Bountiful City. If/when they proceed with construction, small cell wireless facilities will be installed in the right of way within Bountiful City. Some of this equipment will be installed on existing poles (rare), and when not on existing poles, will be

new separate poles installed and maintained by Verizon. As noted, this construction cannot be prohibited; only regulated to a limited extent. Verizon says a small cell wireless facility network will provide better cell phone and data coverage for Verizon customers in the City, including better connectivity for public safety.

**Recommendation**

It is recommended that the City Council approve the Master License Agreement between Bountiful City and Cellco (Verizon).

**Attachments**

Master License Agreement (Most current draft as of December 8, 2022. It is possible there may be additional changes made before the meeting. Any changes will be provided to the Council prior the meeting and/or addressed at the meeting.)

## SMALL WIRELESS COMMUNICATIONS FACILITIES MASTER LICENSE AGREEMENT

THIS SMALL WIRELESS COMMUNICATIONS FACILITIES MASTER LICENSE AGREEMENT ("Agreement") is entered into this \_\_\_\_ day of \_\_\_\_\_, 2022 ("Effective Date"), by and between the City of Bountiful ("City"), and Cellco Partnership, a Delaware general partnership, d/b/a Verizon Wireless (the "Company"). City and Licensee are at times collectively referred to hereinafter as the "Parties" or individually as the "Party."

In consideration of the covenants of this Agreement and other good and valuable consideration, the receipt and sufficiency of which is acknowledged by the Parties, the Parties agree as follows:

1. Definitions and Scope. Unless otherwise specifically defined herein any capitalized terms used herein shall have the meaning set forth in the Small Wireless Facilities Deployment Act pursuant to Title 54, Chapter 21 of the Utah Code (the "State Code").

2. Grant. Subject to Laws (defined in Section 16) and this Agreement, City grants Licensee a nonexclusive license, 7 days a week, 24 hours a day, to: (i) Collocate a Small Wireless Facility in the City's Right-of-Way (or ROW); (ii) Collocate a Small Wireless Facility on a Wireless Support Structure in a ROW; and (iii) subject to the limitations set forth in the second paragraph below, install, modify, or replace a Utility Pole associated with a Small Wireless Facility in a ROW. Use of the City's Utility Poles by Licensee shall, in accordance with Section 5, require the City's approval of a Permit. All of the uses described in romanettes (i, ii & iii) shall be hereinafter defined as "Licensee's Use". The City expressly reserves for itself the rights and uses of the ROW for its public purposes and for the public's health, safety and general welfare.

No Small Wireless Facility or equipment shall be installed on City Utility Poles that are for transmission or electric distribution above 500 volts or on City power lines or in the Power Space. For the purposes of this Agreement, "Power Space" shall mean the area located in the uppermost area of a pole, where electrical equipment (including electric distribution cables, transformers, and capacitors) is found.

3. Term of Agreement. The term of this Agreement shall be for 10 years beginning on the Effective Date (the "Term"). Unless either Party provides written notice to the other Party at least ninety 90 days prior to expiration of the Term that such Party will not renew the Term, the Term will automatically renew for 1 additional 5 year period. After the expiration or earlier termination of this Agreement, it shall apply to all Permits entered into hereunder until the expiration or termination of such Permit.

4. Fees. Licensee shall pay to the City the Fees and costs set forth in the "Fee Schedule" attached hereto and made a part hereof as **Exhibit A**. Licensee shall pay the initial recurring fee (if any) on or before the Commencement Date (defined in

Section 5(e)) and pay subsequent recurring fees on or before each anniversary of the Commencement Date. Before any recurring fees are paid, City shall provide Licensee a completed, current Internal Revenue Service Form W-9 and state and local withholding forms if required. Licensee may make payments by check made out to the order of the City of Bountiful and sent to the following address or through electronic transfer subject to the City's approval and necessary bank routing instructions:

City of Bountiful  
Attn: Assistant City Manager  
795 South Main Street  
Bountiful, Utah 84010

5. City Permit.

(a). Prior to Licensee's Use, Licensee shall file a City pole application in the form attached hereto and made a part hereof as **Exhibit B** ("Pole Application") for one or more poles. Batch Pole Applications shall be permitted pursuant to Section 54-21-302(9) of the State Code. City shall, in writing, approve or reject the Pole Application within (i) 60-days of receipt for the Collocation of a Small Wireless Facility, or (ii) 105-days after receipt for a new, modified or replacement Utility Pole or Wireless Support Structure. If the City timely rejects the Pole Application, Licensee shall, without paying any additional fees, have 30-days to cure the deficiency and resubmit the Pole Application. City shall have 30-days after its receipt of the revised Pole Application to approve or deny the revised Pole Application. If City fails to approve or deny a Pole Application in a timely manner, the Pole Application shall be deemed accepted. Upon approval, a City Pole Application shall be deemed to be a City Permit ("Permit") to install Licensee's equipment. Licensee's Use for attachments to Utility Poles or Wireless Support Structures in the ROW owned by a third party shall not require a Permit; however, upon request, Licensee shall provide the City a certification of authorization to attach to such third party structures.

(b). If Licensee's use meets the height limitations set forth in Section 54-21-205 of the State Code, City may reject a Pole Application only for one or more of the reasons set forth in Section 54-21-302(7) of the State Code. No Small Wireless facilities shall be installed or attached to City power lines or within the Power Space.

(c). Any aesthetic or other design criteria for Small Wireless Facilities and poles upon which Small Wireless Facilities are attached (collectively, the "Design Criteria") which are adopted by the City shall only apply if the criteria are (i) reasonable, (ii) applied equally and in a non-discriminatory manner to other types of infrastructure deployments within the ROW, (iii) objective and published in advance of a Small Wireless Facility request/application submitted herein, and (iv) comply with applicable federal and the State Code [including, but not limited to, Section 54-21-103(4)], as may be amended, modified or replaced from time to time. If pole reinforcement or replacement is necessary, Licensee shall provide engineering design and specification drawings demonstrating the proposed alteration to the pole. Changes made to the City's



Design Criteria shall not be imposed or otherwise applied retroactively unless required by laws.

(d). Licensee's electricity service shall be metered, shall meet all applicable electrical codes, and the costs for such electricity are not included in the fees paid by Licensee hereunder and shall be paid separately.

(e). The term of each Permit shall be 10 years beginning on the first day of the month following the date that is 180 days from the date of the fully approved or fully executed (as applicable) Permit ("Commencement Date"). Unless Licensee provides written notice to the City prior to the expiration of the then current term that Licensee will not renew any Permit, each Permit will automatically renew for 1 additional 5 year period.

(f). A Permit may be terminated prior to the expiration of its term: (i) by City upon written notice to Licensee, if Licensee fails to pay any amount when due and such failure continues for 30 days after Licensee's receipt of notice; (ii) by either Party upon written notice to the other Party, if such other Party fails to comply with this Agreement and the party has failed to initiate a cure within 60 days after receipt of written notice; (iii) by Licensee at any time for any reason or no reason; or (iv) by Licensee in the event that Licensee fails to timely obtain or maintain, or is not satisfied with any governmental approval applicable to Licensee.

(g). Following expiration or earlier termination of any Permit, Licensee shall remove all Licensee owned equipment from the City owned or controlled poles and, other than reasonable wear and tear, repair and restore the City owned or controlled poles and the ROW to its prior condition, unless the City authorized otherwise. In the event that Licensee removes any City poles pursuant to this Agreement, the City shall retain ownership of any poles Licensee or its contractor removes, and shall provide directions to Licensee for their reuse or disposal. Poles installed by Licensee pursuant to this Agreement shall not be subject to removal but shall at all times remain subject to the City's Municipal Code (City's Code").

6. Permits/Municipal Code. While the requirements of the City's Code are in addition to the requirements of this Agreement, Licensee shall be required to apply for and obtain only those additional permits that are required of other occupants of the ROW, such as excavation or closing of sidewalks or vehicular lanes in a City ROW. City may only impose on the permit those conditions that are permitted by applicable Laws and necessary to protect structures in the ROW, to ensure the proper restoration of the ROW, to provide for protection and the continuity of pedestrian and vehicular traffic, and otherwise to protect the safety of the public's utilization of the ROW.

7. Interference.

(a). Licensee will not cause interference to City traffic, public safety or other communications signal equipment in the ROW, including existing and future City

communications signal equipment. City agrees that if interference to Licensee's equipment is caused by the City, the City will make reasonable attempts to correct said interference. Under no circumstances shall the City be required to correct said interference when said interference is the result of public safety equipment. It is Licensee's obligation to ensure Licensee's selected equipment locations do not cause and are not affected by existing City equipment/signals.

(b). If interference occurs, the non-interfering Party shall notify the interfering Party via telephone to Licensee's Network Monitoring Center at (800) 264-6620 or to City at (801-298-6125), and the Parties shall work together to cure the interference as soon as commercially possible.

8. Maintenance, Repairs and Modifications.

(a) Equipment Maintenance, Repairs and Modifications. Licensee shall keep and maintain all of Licensee's equipment in commercially reasonable condition and in accordance with any applicable and non-discriminatory maintenance requirements of City. Licensee may conduct testing and maintenance activities, and repair and replace damaged or malfunctioning equipment at any time. City may not require Licensee to submit a new Pole Application, permit or pay a rate for (A) routine maintenance, or (B) the replacement of a Small Wireless Facility with a Small Wireless Facility that is substantially similar or smaller in size. Any work that requires connection or disconnection and reconnection of power shall require a permit.

(b). Emergency Events. City reserves the right to take all reasonable actions in the case of an emergency to protect the public health and safety of its citizens, and to ensure the safe operation of its rights of way and public facilities. The Parties will use reasonable efforts to coordinate any emergency responses. In case of an emergency affecting Licensee's equipment or Licensee's Use, Licensee may access the ROW and perform necessary repairs to its equipment and to the pole, including the right to install a replacement pole, without first obtaining any otherwise necessary permit(s) or authorization(s). All emergency work in the ROW shall be conducted in a safe and good workmanlike manner and in accordance with Laws.

(c). Emergency Contacts. Licensee's network monitoring center may be reached 24/ 7 at (800) 264-6620. Licensor's 24/7 emergency contact information is (801) 298-6072. Each Party will maintain the emergency contact information current at all times with the other Party.

9. Removal and Relocation. No later than 180 days after receipt of written notice from City, Licensee shall remove and may relocate Licensee's equipment to an alternative location made available by City due to: (i) construction, expansion, repair, relocation, or maintenance of a street or other public improvement project; or (ii) maintenance, upgrade, expansion, replacement, or relocation of City traffic light poles and/or traffic signal light system; or (iii) permanent closure of a street or sale of City property. The City shall require removal or relocation only if necessary. If Licensee fails

to remove or relocate any Licensee equipment within 180 days, City shall be entitled to remove said equipment at Licensee's expense. The Parties shall cooperate to the extent possible to assure continuity of service during any relocation. City shall use best efforts to provide a reasonably equivalent location that affords Licensee substantially similar engineering objectives.

10. Indemnity/Damages. Licensee shall indemnify, defend and hold the City, its employees, officers, elected officials, agents and contractors (the "Indemnified Parties") harmless from and against all injury, loss, damage, liability, costs or expenses arising from any third party claims resulting from Licensee's Use or Licensee's breach of this Agreement. Licensee's indemnity shall not apply to any liability resulting from the negligence or willful misconduct of the City or other Indemnified Party. The City shall give prompt written notice to Licensee of any claim for which the City seeks indemnification. Licensee shall have the right to investigate these claims. Licensee shall not settle any claim without reasonable consent of the City, unless the settlement (i) will be fully funded by Licensee, and (ii) does not contain an admission of liability or wrongdoing by any Indemnified Party. Neither party will be liable under this Agreement for consequential, special, punitive or indirect damages, whether under theory of contract, tort (including negligence), strict liability, or otherwise.

11. Insurance.

(a). Licensee and its subcontractors shall carry the following insurance: (i) commercial general liability insurance in an amount of \$3,000,000 per occurrence and \$4,000,000 general aggregate and which provides coverage for bodily injury, death, damage to or destruction of property of others, including loss of use thereof, and including products and completed operations; (ii) Workers' Compensation Insurance as required by law; and (iii) employers' liability insurance in an amount of \$500,000 bodily injury each accident, \$500,000 disease each employee, and \$500,000 disease policy limit. Due the length of the term of this Agreement, insurance requirements may be updated from time to time by the City upon reasonable notice to and approval by Licensee in order to maintain insurance requirements consistent with reasonable industry standards.

(b). The insurance coverages identified in this Section: (i) except the workers' compensation insurance, shall include the City as an additional insured as their interests may appear under this Agreement; (ii) will be primary and non-contributory with respect to any self-insurance or other insurance maintained by the City; (iii) contain a waiver of subrogation for the City's benefit; and (iv) will be obtained from insurance carriers having an A.M Best rating of at least A-VII.

(c). Licensee shall provide the City with a Certificate of Insurance to provide evidence of insurance. Licensee shall keep a current Certificate of Insurance on file with the City. Licensee will endeavor to provide the City with thirty (30) days prior written notice of cancellation upon receipt of notice thereof from its insurer(s).

12. Assignment. Licensee may assign this Agreement, any Permit, and/or related permits or consents to any entity which (i) is an affiliate, subsidiary or successor of Licensee; or (ii) that acquires all or substantially all of the Licensee's assets in the market. Licensee shall provide the City notice of any such assignment. Otherwise, Licensee shall not assign or transfer this Agreement or the rights granted hereunder without the City's consent.

13. Notices. Notices required by this Agreement may be given by registered or certified mail by depositing the same in the United States mail or with a commercial courier. Unless either party notifies the other of a change of address, notices shall be delivered as follows:

If to City:

City of Bountiful  
Legal Department  
Bountiful, Utah 84010  
795 South Main Street  
Attn: City Attorney

With a copy to:

City of Bountiful  
795 South Main Street  
Bountiful, Utah 84010  
Attn: City Recorder's Office

If to Licensee:

Verizon Wireless (VAW) LLC  
d/b/a Verizon Wireless  
180 Washington Valley Road  
Bedminster, New Jersey 07921  
Attention: Network Real Estate

With a copy to:

Verizon Wireless (VAW) LLC  
d/b/a Verizon Wireless  
[MARKET LEGAL ADDRESS]  
[ADDRESS]  
Attention: Legal Department

Notices shall be deemed effective upon delivery or refusal of delivery.

14. Change of Law. If any state or federal Law sets forth a term or provision that is inconsistent with or different than this Agreement, then the Parties agree to promptly amend the Agreement to effect the term or provision set forth under such Law.

15. Taxes. If City is required by Law to collect any federal, state, or local tax, fee, or other governmental imposition (each, a "Tax") from Licensee with respect to the transactions contemplated by this Agreement, then City shall bill such Tax to Licensee in the manner and for the amount required by Law. Licensee shall pay such billed amount of Tax to City, and City shall remit such Tax to the appropriate tax authorities as required by Law. Licensee shall have no obligation to pay any Tax for which Licensee is exempt. Otherwise, Licensee shall be responsible for paying all Taxes that are the legal responsibility of Licensee under Laws.

16. Laws. The Parties shall comply with applicable laws including, without limitation, regulations and judicial decisions, Federal Communications regulations and order and the State Code ("Law" or "Laws"). Notwithstanding anything else in this Agreement, City shall treat Licensee in a manner that is competitively neutral,

nondiscriminatory, consistent with all applicable Laws, and is no more burdensome than other users of the ROW or City poles.

17. Miscellaneous. This Agreement shall be governed by the laws of the State of Utah and all other applicable Laws. The provisions of this Agreement may be waived or modified only by written agreement signed by both Parties. This Agreement may be executed in counterparts. A scanned or electronic copy shall have the same legal effect as an original signed version. If one or more provisions in this Agreement is found to be invalid, illegal or otherwise unenforceable, all other provisions will remain unaffected and shall be deemed to be in full force and effect and the Parties shall amend this Agreement, if needed to effect the original intent of the Parties. This Agreement shall be binding upon and shall inure to the benefit of the Parties hereto and their respective successors. Nothing in this Agreement shall be construed to grant Licensee an interest in the City's ROW or City assets located in the ROW. Neither Party shall be responsible for delays in the performance of its obligations caused by events beyond the Party's reasonable control. As to the subject matter hereof, this Agreement is the complete agreement of the Parties. The Parties represent and warrant that the individuals executing this Agreement are duly authorized.

*[Remainder of page intentionally left blank; signature page to follow.]*

DRAFT

IN WITNESS WHEREOF, the Parties have executed, or caused their respective duly authorized representatives to execute, this Agreement as of the day and year listed below.

City of Bountiful

Cellco Partnership  
d/b/a Verizon Wireless

\_\_\_\_\_  
(Signature)

Printed Name:  
Title:  
Date:

\_\_\_\_\_  
(Signature)

Printed Name:  
Title:  
Date:

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

DRAFT

**EXHIBIT A**  
**FEE SCHEDULE**

One-Time Application Fee	<ul style="list-style-type: none"><li>- An application fee for the Collocation of a Small Wireless Facility on an existing or replacement Utility Pole in a ROW shall be <b>\$100</b> for each Small Wireless Facility on the same application;</li> <li>-An application fee for installation, modification or replacement of a new Utility Pole in a ROW shall be <b>\$250</b> for each Small Wireless Facility on the same application</li></ul>
Pole Recurring Fee	\$50.00 - per pole per year.

Consistent with the State Code and as outlined herein, Licensee shall not be charged any additional rate, Fee or compensation for the right to use or occupy any ROW because Licensee is subject to the municipal telecommunications license tax under Title 10, Chapter 1, Part 4, Municipal Telecommunications License Tax Act.

For purposes of determining the total annual fee applicable to a Permit for a partial calendar year in which the Commencement Date occurs in a month other than January, the total fee will be a pro-rated amount equal to the product obtained by multiplying 1/12th of the annual fee by the number of months remaining in such year.

Except as provided in this Fee Schedule, the City's Fee Schedule (for example, excavation permit fees), or as allowed by law, the City shall not require any other or additional recurring fees, costs, or charges of any kind.

**EXHIBIT B  
Form of Application for Permit**

**City Permit Application No. \_\_\_\_**

Applicant/Licensee: \_\_\_\_\_

**Governing Agreement:** Wireless Communications Facilities Master License Agreement dated \_\_\_\_\_ (“Master License Agreement”)

Date: \_\_\_\_\_

**Applicant will own, install, maintain, repair and replace all equipment identified in this application, as further provided in the Master License Agreement.**

**Check the appropriate box:**

- City will own, maintain, repair and replace (as necessary) the pole(s) at the location(s) referenced in the following table. City will, at Applicant’s expense, replace existing City pole(s) with new pole(s) if needed to support the initial attachment of the equipment.**

Pole Type	Verizon Site ID #	City Site ID #	Lat/Long Coordinates	General Equipment Description	Application Fee (per Pole)	Annual Fee (per Pole)
[Streetlight]					\$	\$50
					\$	\$

\*Application fee(s) and annual fee(s) to commence and be paid consistent with the terms of the Master License Agreement.

- Applicant will own, maintain, repair and replace (as necessary) the pole(s) at the location(s) referenced in the following table. Applicant will, at Applicant’s expense, replace existing City pole(s) with new pole(s) to support the initial attachment of the Equipment.**

Pole Type	Verizon Site ID #	City Site ID #	Lat/Long Coordinates	General Equipment Description	Application Fee (per Pole)
[Streetlight]					\$



					\$

\*Application fee(s) to commence and be paid consistent with the terms of the Master License Agreement. Note: Attachment fees do not apply to poles owned by Applicant.

If more than one (1) site is listed above, rejection of one (1) or more sites shall not constitute a rejection of all other acceptable sites.

**APPLICANT SHALL PROVIDE THE FOLLOWING IF/AS APPLICABLE:**

- Site plan and engineering design and specifications for installation of Equipment, including the location of radios, antenna facilities, transmitters, equipment shelters, cables, conduit, point of demarcation, transport solution, electrical distribution panel, electric meter, and electrical conduit and cabling. Where applicable, the design documents should include specifications on design, pole modification, and ADA compliance.
- Load bearing study that determines whether the City pole requires reinforcement or replacement in order to accommodate attachment of equipment. If pole reinforcement or replacement is warranted, the design documents should include the proposed pole modification.
- If the proposed installation will require a new pole or reinforcement or replacement of an existing City pole, provide applicable design and specification drawings.
- The number, size, type and proximity to the facilities of all communications conduit(s) and cables to be installed.
- Description of the utility services required to support the facilities to be installed.
- All necessary permits and letters of authorization from all affected parties.
- List of the contractors and subcontractors, and their contact information, authorized to work on the project.

ATTACH CHECK OR MONEY ORDER IN AMOUNT OF APPROPRIATE APPLICATION FEE. THIS PROCESSING FEE IS NON-REFUNDABLE AND NON-TRANSFERABLE.

THE CITY WILL PROCESS THIS APPLICATION AS SET FORTH IN THE MASTER LICENSE AGREEMENT, UNLESS AN AGREEMENT IS EXECUTED BY APPLICANT AND THE CITY TO EXTEND THE APPROVAL DATE.

**APPLICANT SIGNATURE:** \_\_\_\_\_

**PRINTED NAME:** \_\_\_\_\_

**TITLE:** \_\_\_\_\_

-----**FOR CITY USE ONLY**-----

RECEIPT DATE: \_\_\_\_\_

APPLICATION NO.: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

CITY POLE LICENSE APPROVAL DATE: \_\_\_\_\_

DRAFT

# City Council Staff Report



**Subject: Agreement with Ace Recycling & Disposal  
for the purchase and sale of recycle carts**

**Author: Clinton Drake**

**Dept: Legal**

**Date: December 13, 2022**

## **Background**

Until December 1, 2022, Ace Recycling has operated a recycle program within Bountiful City. Bountiful City has evaluated and determined it is in the City's best interest to not renew the recycling and begin its own. Staff has negotiated an agreement to purchase the existing recycle carts being currently being utilized by citizens. As of December 1, 2022, the City has already begun its recycling program operations. The Streets Director has tentatively signed the agreement to allow for operations to begin. Final approval of the agreement and continuation of the program is contingent on City Council approval.

## **Analysis**

The agreement to purchase the recycle carts contains the following substantive terms:

The total number of carts to be purchased is 13,065. These carts are already distributed to participants throughout the City as part of the Ace recycling program.

The City will make a monthly payment of \$1,000 on the first day of each month until the beginning of the new fiscal year, at which time the City will make a final payment of \$522,600 for a total purchase price of \$529,600. See chart below.

12/01/2022 -	\$1,000
01/01/2023 -	\$1,000
02/01/2023 -	\$1,000
03/01/2023 -	\$1,000
04/01/2023 -	\$1,000
05/01/2023 -	\$1,000
06/01/2023 -	\$1,000
07/01/2023 -	<u>\$522,600</u>
Total	- \$529,600

The City has begun operations. Continued operations is contingent on City Council approval of the agreement.

## **Department Review**

This Staff Report was prepared by the City Attorney and reviewed by the City Manager.

**Significant Impacts**

Purchase of the recycle carts will allow the City to purchase recycle carts and continue a recycling program throughout the City.

**Recommendation**

It is recommended that the City Council approve the Agreement between Bountiful City and Ace Recycling & Disposal.

**Attachments**

Agreement between Bountiful City and Ace Recycling & Disposal

## **Agreement Between Bountiful City and Ace Recycling and Disposal for the Purchase and Sale of Recycle Carts**

This Agreement, dated as of November 30, 2022, (this "**Agreement**," ) is entered into between Bountiful City, a Utah Municipal Corporation ("**Buyer**") and ACE Disposal, Inc., a Utah Corporation doing business as Ace Recycling and Disposal ("**Seller**") and together with Buyer, the "**Parties**", and each, a "**Party**").

WHEREAS Seller has contracted with Buyer and currently operates a recycle program within Bountiful City; and

WHEREAS Buyer has determined to operate its own recycle program at the end term of Seller's contract with the Buyer; and

WHEREAS, Seller's contract with Buyer will expire on December 1, 2022; and

WHEREAS Buyer desires to purchase from Seller, and Seller desires to sell to Buyer the recycle carts currently deployed to residents of Bountiful City for the operation of its new recycle program.

NOW, THEREFORE, in consideration of the mutual covenants and agreements hereinafter set forth and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

1. Sale of Goods. Seller shall sell to Buyer thirteen thousand, sixty-five (13,065) recycle carts at the prices, and upon the terms and conditions set forth in this Agreement.

2. Price and Payment Terms. Buyer shall purchase the Goods from Seller for five hundred twenty-nine thousand, six hundred dollars (\$529,600). Beginning December 1, 2022 Buyer shall make a payment to Seller a payment of one thousand dollars (\$1,000) and every month thereafter until and including June 1, 2022. The final payment shall be on July 1, 2023, and shall be for five hundred twenty two thousand and six-hundred dollars (\$522,600). Payments will be as follow:

12/01/2022 -	\$1,000
01/01/2023 -	\$1,000
02/01/2023 -	\$1,000
03/01/2023 -	\$1,000
04/01/2023 -	\$1,000
05/01/2023 -	\$1,000
06/01/2023 -	\$1,000
<u>07/01/2023 -</u>	<u>\$522,600</u>
Total	- \$529,600

Seller shall submit an invoice to Buyer within 30 days of the dates noted above. Buyer shall pay all properly invoiced amounts due to Seller within 60 days after Buyer's receipt of such invoice.

3. Approval. This Agreement may be tentatively approved by the Bountiful Streets Superintendent with the condition that final approval of this Agreement is required by the Bountiful City Council. Bountiful City shall make the initial December 1, 2022, payment pending approval of this Agreement. The Agreement will be considered for approval by the Bountiful City Council at the December 13, 2022, Bountiful City Council Meeting. No statements, promises, or other guarantees have been made by Bountiful City regarding City Council Approval of this Agreement. If the Agreement is not approved this Agreement shall be null and void.

4. Entire Agreement. This Agreement constitutes the sole and entire agreement of the Parties with respect to the subject matter contained herein and supersedes all prior and contemporaneous understandings, agreements, representations, and warranties, both written and oral, regarding such subject matter.

5. Notices. All notices must be in writing and addressed to the other Party at its address set forth below.

Notice to Buyer:

Zach Buhler  
Ace Recycling and Disposal Sales Manager  
PO Box 2608  
Salt Lake City, Utah 84110  
Telephone: 801-363-9995

Notice to Seller:

Charles Benson  
Bountiful City Streets Director  
950 South 200 West  
Bountiful, Utah 84010  
Telephone: 801-298-6175

6. Severability. If any term or provision of this Agreement is invalid, illegal, or unenforceable, such invalidity, illegality, or unenforceability shall not affect any other term or provision of this Agreement.

7. Amendments. Amendments to this Agreement must be in writing and signed by the parties.

8. Assignment. The parties shall not assign, transfer, delegate, or subcontract any of its rights or obligations under this Agreement without the prior written consent of the other party.

9. Successors and Assigns. This Agreement is binding on and inures to the benefit of the Parties to this Agreement and their respective permitted successors and permitted assigns.

10. Choice of Law. This Agreement and all matters arising out of or relating to this Agreement are governed by the laws of the State of Utah.

11. Counterparts. This Agreement may be executed in counterparts, each of which is deemed an original, but all of which together are deemed to be one and the same agreement.

12. Relationship of the Parties. The relationship between the parties is that of independent contractors. Nothing contained in this Agreement shall be construed as creating any agency, partnership, franchise, business opportunity, joint venture, or other form of joint enterprise, employment, or fiduciary relationship between the parties, and neither party shall have authority to contract for or bind the other party in any manner whatsoever.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed as of the date first written above by their respective officers thereunto duly authorized.

Seller: Ace Disposal, Inc.

By \_\_\_\_\_

Name:

Title:

Seller: Bountiful City (tentative approval)

By \_\_\_\_\_

Charles Benson

Bountiful City Streets Director

Bountiful City (final approval)

By \_\_\_\_\_

Kendalyn Harris

Mayor

Attest \_\_\_\_\_

Shawna Andrus

City Recorder





# Council Staff Report

**Subject:** Lot Line Adjustment for Lots 9 and 10 of Granada Hills No. 2 and Lot 6 of the Moss Hill Drive Subdivision  
**Address:** 1532 E Vineyard Dr  
**Author:** City Engineer  
**Department:** Engineering, Planning  
**Date:** December 6, 2022



---

## Background

Cody Page and Ralph Wolfe, applicants, are requesting approval of a lot line adjustment of the common boundary between Lot 10 of the Granada Hills No. 2 Subdivision (GH2, Page) and Lot 6 of the Moss Hill Drive Subdivision (MH, Wolfe). This lot line adjustment also includes property owned by Bountiful City (GH2, Lot 9) which is currently used as a storm water detention basin (and the former unofficial skate park) located on the southeast corner of the intersection of Vineyard Drive and Moss Hill Drive.

The State Code necessitates that these requests be processed as amended subdivision plats where the properties involved are part of an existing platted subdivision and involve a parcel with an existing residential structure.

This item was presented to the Planning Commission on December 6, 2022 and has forwarded a recommendation for approval to the City Council.

## Analysis

The lots involved in this proposed adjustment are located in the R-3 zone (11,000 sq ft min. lot size, 80 ft frontage requirement). The applicants are requesting the lot line adjustment between Lot 10 (GH 2) and Lot 6 (MH) to follow the existing fence and landscaping along the common property line. After the adjustment, all properties will remain in compliance with the current zoning requirements.

Since the original GH2 plat was recorded, there have been several adjustments to the property lines on Lots 9 and 10. It appears that Lot 9 was split into 2 pieces (whether this was done intentionally or not has been difficult to determine) which resulted in the City owning the northern portion of the detention basin and later acquiring the southern section of Lot 9 through a tax sale. The common boundary of Lots 9 and 10 was also re-aligned from the configuration shown on the original GH2 subdivision plat. By including Lot 9 in this process, the City will benefit by having a clear boundary for the detention basin property.

Utilities: No additional utilities are required.

Proposed Right of Way Improvements and Access: No improvements are required.

## Department Review

This memo has been reviewed by the City Attorney, and Planning Director.



Figure 1 Location of Proposed Lot Line Adjustment

## Recommendation

Staff recommends approval of the Lot Line Adjustment at 1532 E Vineyard Drive with the following conditions:

1. Complete any outstanding corrections to the Plat.
2. Provide a current Title Report.

## Significant Impacts

None

## Attachments

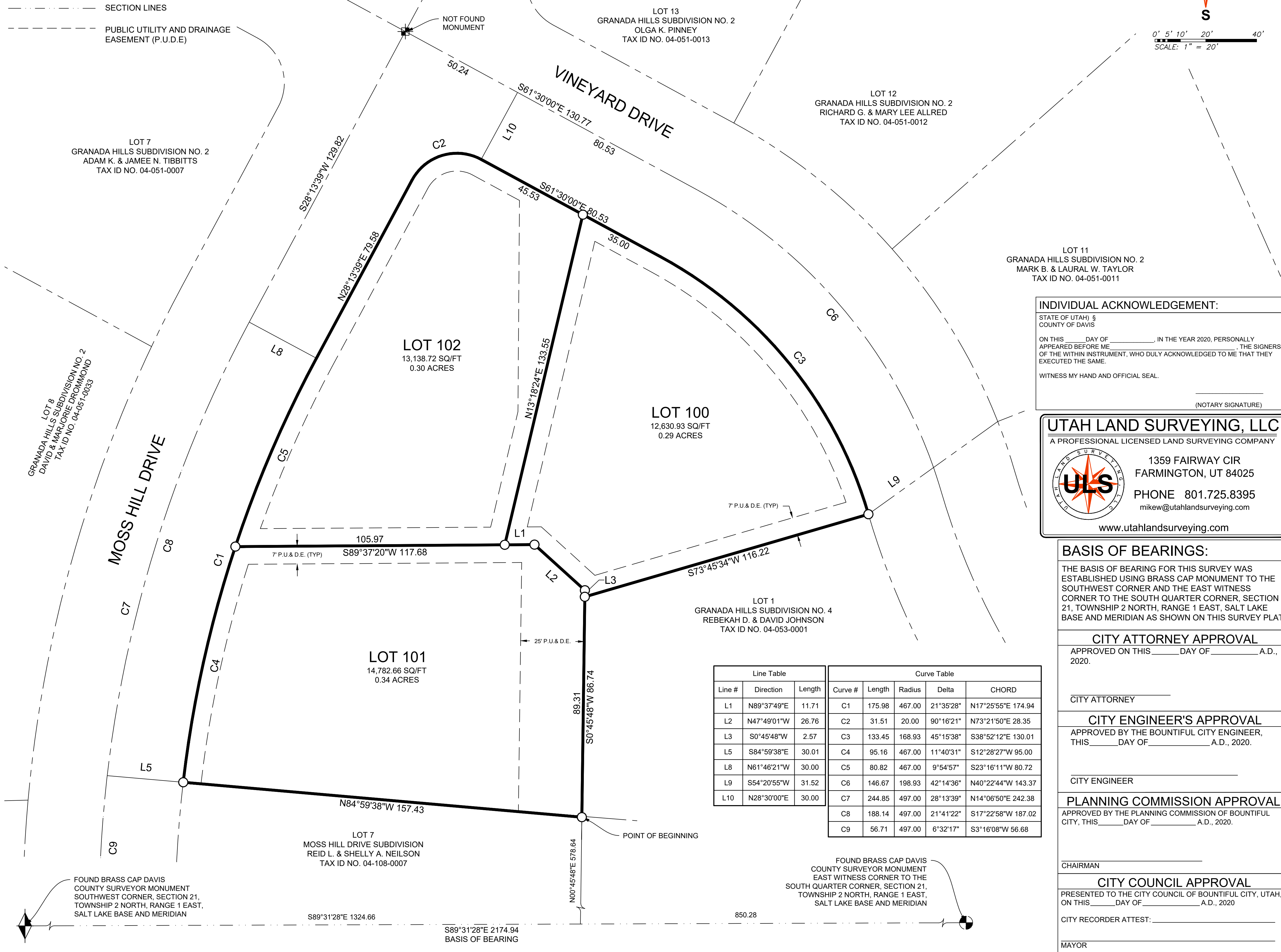
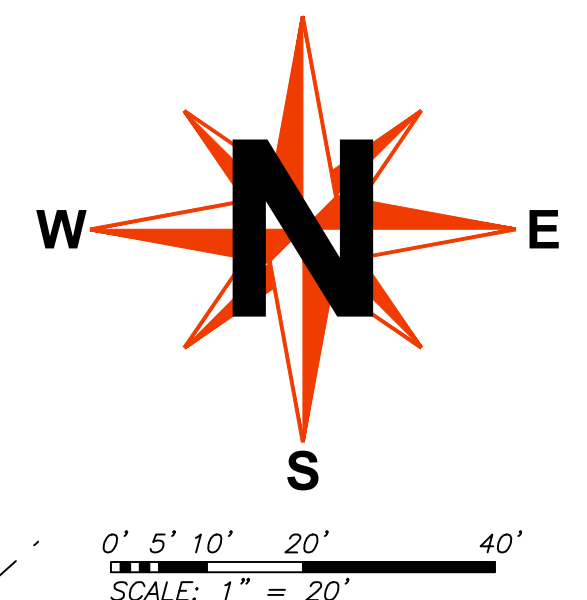
1. A copy of the preliminary amended plat.

**LEGEND**

- SECTION CORNER
- STREET MONUMENT
- PROPERTY CORNER
- PROPERTY LINE
- CENTERLINE
- SECTION LINES
- PUBLIC UTILITY AND DRAINAGE EASEMENT (P.U.D.E.)

**GRANADA MOSS HILL SUBDIVISION**

A SUBDIVISION AMENDMENT TO LOT 6, MOSS HILL DRIVE SUBDIVISION AND LOTS 9 & 10, GRANADA HILLS SUBDIVISION NO. 2 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN BOUNTIFUL CITY, DAVIS COUNTY, UTAH



Line Table			Curve Table				
Line #	Direction	Length	Curve #	Length	Radius	Delta	CHORD
L1	N89°37'49"E	11.71	C1	175.98	467.00	21°35'28"	N17°25'55"E 174.94
L2	N47°49'01"W	26.76	C2	31.51	20.00	90°16'21"	N73°21'50"E 28.35
L3	S0°45'48"W	2.57	C3	133.45	168.93	45°15'38"	S38°52'12"E 130.01
L5	S84°59'38"E	30.01	C4	95.16	467.00	11°40'31"	S12°28'27"W 95.00
L8	N61°46'21"W	30.00	C5	80.82	467.00	9°54'57"	S23°16'11"W 80.72
L9	S54°20'55"W	31.52	C6	146.67	198.93	42°14'36"	N40°22'44"W 143.37
L10	N28°30'00"E	30.00	C7	244.85	497.00	28°13'39"	N14°06'50"E 242.38
			C8	188.14	497.00	21°41'22"	S17°22'58"W 187.02
			C9	56.71	497.00	6°32'17"	S3°16'08"W 56.68

**SURVEYOR'S CERTIFICATE:**

I, **MICHAEL L. WANGEMANN**, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. **6431156**, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS: **GRANADA MOSS HILL SUBDIVISION** AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT.

DATE: \_\_\_\_\_ MICHAEL L. WANGEMANN  
LICENSE NO. 6431156

**BOUNDARY DESCRIPTION**

BEGINNING AT THE NORTHEAST CORNER OF LOT 7, MOSS HILL DRIVE SUBDIVISION, BEING RECORDED JUNE 27, 1985, AS ENTRY NO. 705780 IN BOOK 1040 AT PAGE 1272 OF OFFICIAL RECORDS, SAID POINT BEING SOUTH 89°31'28" EAST (ALONG THE BASIS OF BEARING FOR THIS SURVEY) 1324.66 FEET AND NORTH 00°45'48" EAST 578.64 FROM THE SOUTHWEST CORNER OF SECTION 21, TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE NORTH 84°59'38" WEST ALONG THE NORTH LINE OF SAID LOT 7, A DISTANCE OF 157.44 FEET TO THE EAST RIGHT-OF-WAY LINE OF MOSS HILL DRIVE TO A POINT ON A 467.00 FOOT RADIUS CURVE; THENCE NORTHEASTERLY 95.16 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 11°40'31" (WHICH LONG CHORD BEARS NORTH 12°28'36" EAST 95.00 FEET); THENCE NORTH 28°13'39" EAST 79.58 FEET TO A POINT ON A 20.00 FOOT RADIUS; THENCE NORTHEASTERLY 31.51 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 90°16'21" (WHICH LONG CHORD BEARS NORTH 73°21'50" EAST 28.35 FEET) AROUND TO THE SOUTH RIGHT-OF-WAY LINE OF VINEYARD DRIVE; THENCE SOUTH 61°30'00" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE 80.53 FEET TO A POINT ON A 168.93 FOOT RADIUS CURVE; THENCE SOUTHEASTERLY 133.45 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 45°15'38" (WHICH LONG CHORD BEARS SOUTH 38°52'12" EAST 130.01 FEET) TO THE NORTHEAST CORNER OF LOT 1, GRANADA HILLS SUBDIVISION NO. 4, RECORDED ON JULY 26, 1979 AS ENTRY NO. 539307 IN BOOK 782 AT PAGE 105 OF OFFICIAL RECORDS; THENCE SOUTH 73°45'34" WEST ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 116.22 FEET TO THE EAST LINE OF SAID MOSS HILL DRIVE SUBDIVISION; THENCE SOUTH 00°45'48" WEST 86.74 FEET TO THE POINT OF BEGINNING.  
CONTAINS 40,552.41 SQ/FT OR 0.93 ACRES AND 3 LOTS

**OWNERS DEDICATION:**

WE, THE UNDERSIGNED OWNERS OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AS SHOWN ON THIS PLAT, AND NAME SAID TRACT:

**GRANADA MOSS HILL SUBDIVISION**

AND DO HEREBY DEDICATE, GRANT AND CONVEY TO BOUNTIFUL CITY, DAVIS COUNTY, UTAH, ALL THOSE PARTS AND PORTIONS OF SAID TRACTS OF LAND DESIGNATED AS PUBLIC UTILITY & DRAINAGE EASEMENTS, THE SAME TO BE USED AS PUBLIC UTILITY AND DRAINAGE EASEMENTS AND SLOPE EASEMENTS FOREVER AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY BOUNTIFUL CITY.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUT HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2020.  
JAMES C. PAGE \_\_\_\_\_ KERI L. PAGE \_\_\_\_\_  
TRUSTEE FOR THE WOLFE FAMILY TRUST DATED DECEMBER 11, 2014

**CORPORATE ACKNOWLEDGEMENT:**

STATE OF UTAH) §  
COUNTY OF DAVIS  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR 2020, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_, WHOSE IDENTITY IS PERSONALLY KNOWN TO ME (OR PROVEN ON THE BASIS OF SATISFACTORY EVIDENCE) AND WHO BY ME DULY SWORN/AFFIRMED, DID SAY THAT HE/SHE IS THE \_\_\_\_\_ OF \_\_\_\_\_ AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID \*CORPORATION BY AUTHORITY OF ITS BYLAWS, OR (RESOLUTION OF ITS BOARD OF DIRECTORS), AND SAID \_\_\_\_\_ ACKNOWLEDGED TO ME THAT SAID \*CORPORATION EXECUTED THE SAME.  
WITNESS MY HAND AND OFFICIAL SEAL.  
\_\_\_\_\_  
(NOTARY SIGNATURE)

**CORPORATE ACKNOWLEDGEMENT:**

STATE OF UTAH) §  
COUNTY OF DAVIS  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR 2020, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_, WHOSE IDENTITY IS PERSONALLY KNOWN TO ME (OR PROVEN ON THE BASIS OF SATISFACTORY EVIDENCE) AND WHO BY ME DULY SWORN/AFFIRMED, DID SAY THAT HE/SHE IS THE \_\_\_\_\_ OF \_\_\_\_\_ AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID \*CORPORATION BY AUTHORITY OF ITS BYLAWS, OR (RESOLUTION OF ITS BOARD OF DIRECTORS), AND SAID \_\_\_\_\_ ACKNOWLEDGED TO ME THAT SAID \*CORPORATION EXECUTED THE SAME.  
WITNESS MY HAND AND OFFICIAL SEAL.  
\_\_\_\_\_  
(NOTARY SIGNATURE)

**DAVIS COUNTY RECORDER**

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_  
FILED FOR RECORD AND RECORDED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020  
AT \_\_\_\_\_ IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
\_\_\_\_\_  
DAVIS COUNTY RECORDER  
BY: \_\_\_\_\_ DEPUTY RECORDER

**INDIVIDUAL ACKNOWLEDGEMENT:**  
STATE OF UTAH) §  
COUNTY OF DAVIS  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR 2020, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_, THE SIGNERS OF THE WITHIN INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.  
WITNESS MY HAND AND OFFICIAL SEAL.  
\_\_\_\_\_  
(NOTARY SIGNATURE)

**UTAH LAND SURVEYING, LLC**  
A PROFESSIONAL LICENSED LAND SURVEYING COMPANY  
  
1359 FAIRWAY CIR  
FARMINGTON, UT 84025  
PHONE 801.725.8395  
mikew@utahlandsurveying.com  
www.utahlandsurveying.com

**BASIS OF BEARINGS:**

THE BASIS OF BEARING FOR THIS SURVEY WAS ESTABLISHED USING BRASS CAP MONUMENT TO THE SOUTHWEST CORNER AND THE EAST WITNESS CORNER TO THE SOUTH QUARTER CORNER, SECTION 21, TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AS SHOWN ON THIS SURVEY PLAT.

**CITY ATTORNEY APPROVAL**

APPROVED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2020.  
\_\_\_\_\_  
CITY ATTORNEY

**CITY ENGINEER'S APPROVAL**

APPROVED BY THE BOUNTIFUL CITY ENGINEER, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2020.  
\_\_\_\_\_  
CITY ENGINEER

**PLANNING COMMISSION APPROVAL**

APPROVED BY THE PLANNING COMMISSION OF BOUNTIFUL CITY, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2020.  
\_\_\_\_\_  
CHAIRMAN

**CITY COUNCIL APPROVAL**

PRESENTED TO THE CITY COUNCIL OF BOUNTIFUL CITY, UTAH, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2020  
\_\_\_\_\_  
CITY RECORDER ATTEST:  
\_\_\_\_\_  
MAYOR

FOUND BRASS CAP DAVIS COUNTY SURVEYOR MONUMENT SOUTHWEST CORNER, SECTION 21, TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN  
S89°31'28"E 1324.66  
S89°31'28"E 2174.94 BASIS OF BEARING

FOUND BRASS CAP DAVIS COUNTY SURVEYOR MONUMENT EAST WITNESS CORNER TO THE SOUTH QUARTER CORNER, SECTION 21, TOWNSHIP 2 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN  
850.28